



**MONTGOMERY COUNTY PLANNING DEPARTMENT**  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**MCPB**  
**Item # 1B**  
**3-15-2012**

**MEMORANDUM**

**DATE:** March 8, 2012

**TO:** Montgomery County Planning Board

**VIA:** Catherine Conlon, Supervisor  
D.A.R.C. Division *CC*  
(301) 495-4542

**FROM:** Stephen Smith, Senior Planner *SS*  
D.A.R.C. Division  
(301) 495-4522

**SUBJECT:** Informational Maps and Summary of Record Plats for the Planning Board  
Agenda for March 15, 2012

---

The following record plats are recommended for APPROVAL, subject to the appropriate conditions of approval of the preliminary plan and site plan, if applicable, and conditioned on conformance with all requirements of Chapter 50 of the Montgomery County Code. Attached are specific recommendations and copies of plan drawings for the record plat. The following plats are included:

220081190 - 220081200 **Burton Woods**  
220120190 **Washington-Rockville Industrial Park**

**Plat Name:** Burton Woods  
**Plat #:** 220081190 - 220081200

**Location:** Located at the terminus of Sycamore Hollow Lane, approximately 1,500 feet north of Davis Mill Road

**Master Plan:** Agriculture and Rural Open Space

**Plat Details:** RE-2 zone; 10 lots  
Private Well, Private Septic

**Applicant:** MB Long Meadows LLC

The subdivision plats have been reviewed by M-NCPPC staff as documented on the attached Plat Review Checklist. Staff has determined that the plats comply with Preliminary Plan No. 12006027A (MCPB Resolution No. 07-217), as approved by the Board, and that any minor modifications reflected on the plats do not alter the intent of the Board's previous approval of the aforesaid plan.

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD
C1	200.00'	73.02'	20.5511°	36.92'	S. 70.3925° W	74.62'
C2	1210.00'	446.87'	21.0923°	228.01'	N. 80.1148° E	444.34'
C3	33.00'	29.83'	51.3754°	16.02'	N. 43.5819° E	28.83'
C4	65.00'	72.57'	63.5810°	40.89'	S. 49.3113° W	68.96'
C5	33.00'	29.83'	51.3754°	16.02'	N. 43.5819° E	28.83'
C6	1210.00'	446.87'	21.0923°	228.01'	N. 80.1148° E	444.34'
C7	1270.00'	367.46'	16.1423°	185.02'	N. 77.1465° E	364.18'

LINE	BEARING	DISTANCE
L1	S. 71.9273° E	35.16'

**PLAT NO.**

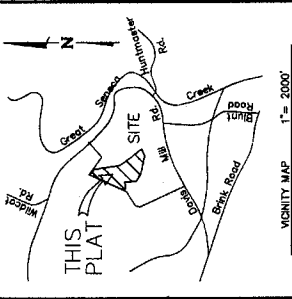
**DETAILED TABULATION**

Number of Lots = 4  
 Area of Lots = 562,109 sq. ft.  
 Total Area = 12,804,244 sq. ft.  
 or 12,804.24 acres

**LEGEND**

IPF = Iron Pipe Found  
 OPF = Open Pipe Found

N/F  
**BARBARA B. KNAPP,**  
 TRUSTEE  
 L85580 F.053



MONUMENT MAP 1" = 2000'  
 TAX MAP No. FV 342

**OWNER'S CERTIFICATE**

MB Long Meadows LLC, a Maryland limited liability company, owner of the property shown, hereby certifies that the part of the subdivision shown on this plat (the "Subdivision") is a subdivision of the part of the subdivision shown on the plat of the subdivision of Public Unity Estates, as recorded in Liber 3034 of Folio 457 among the Land Records of Montgomery County, Maryland, subject to all current and applicable regulations of all federal, state, and local governing agencies; hereby grants a Conservation Easement, as defined in the Maryland Code, Title 28, Subtitle 2, Section 28-201, to the State of Maryland, subject to the terms set forth therein; As owners of the Subdivision, we warrant that we have the authority to execute this plat and any other instruments necessary to carry out the purpose of this plat in accordance with Section 50-24(a)(2) of the Montgomery County Code. There are no sales, liens, leases, mortgages, or trusts, affecting the property included in this plat, which have not been disclosed to the public in the public records. We have affixed their signatures hereon indicating their assent to this plat of subdivision.

MB Long Meadows LLC

John B. Conner  
 John B. Conner, President  
 Date: June 20, 2012

I hereby assent to this plat of subdivision.  
 Eagle Bank  
[Signature]  
 Date: 6/21/12  
 Alison L. Acres, Trustee

I hereby assent to this plat of subdivision.  
 Year 2000 Trust for Descendants of William D. Scarborough  
 Columbia Bank  
[Signature]  
 Date: 6/21/12  
 Deborah F. Peabody, Trustee

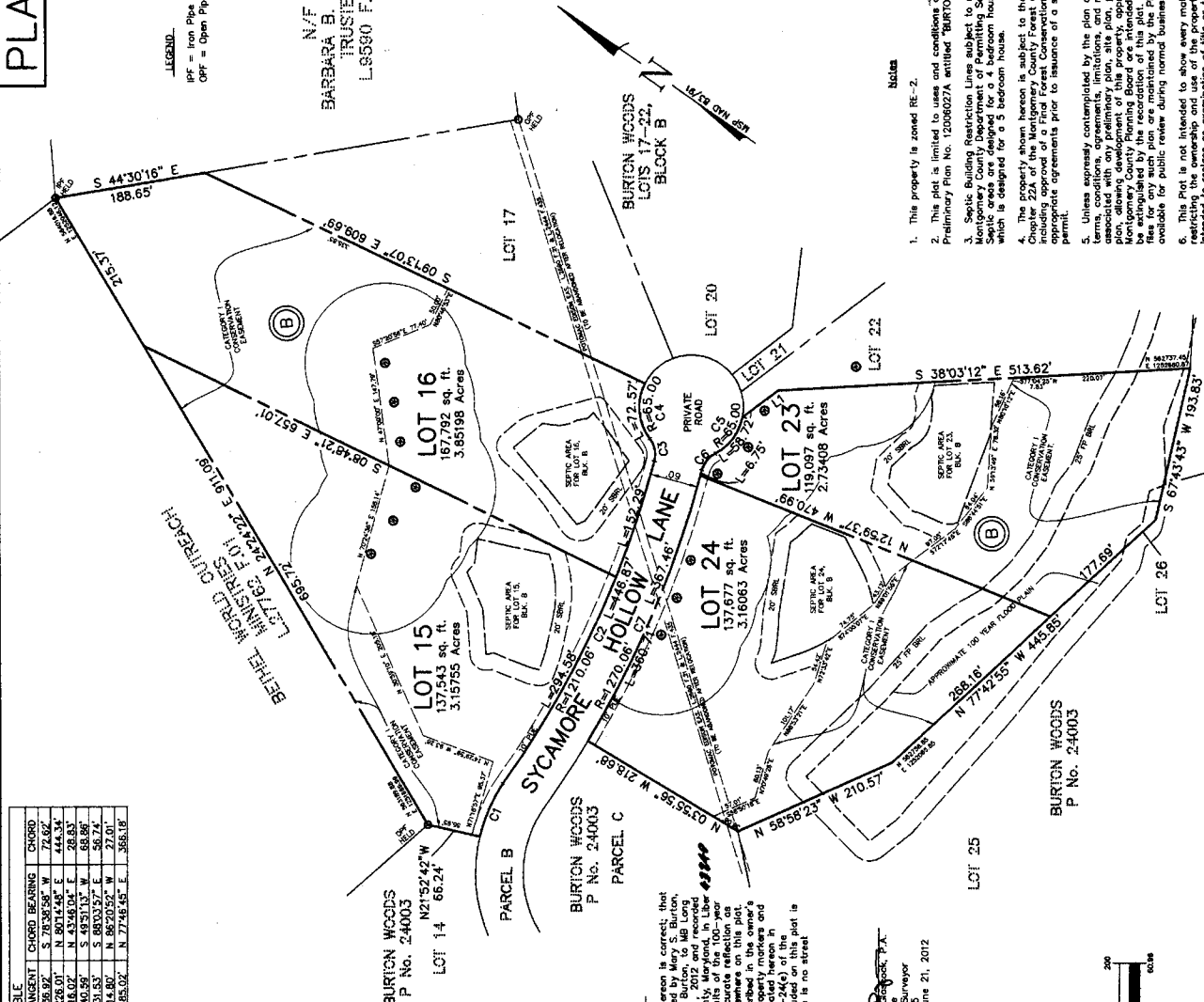
I hereby assent to this plat of subdivision.  
 Mary Sheppard Burton Revocable Trust  
[Signature]  
 Date: 6/21/12  
 C. H. BURTON  
 TRUSTEE

**SUBDIVISION RECORD PLAT**  
**LOTS 15-16, 23-24, BLOCK B**  
**BURTON WOODS**  
 ELECTION DISTRICT No. 2  
 MONTGOMERY COUNTY, MARYLAND  
 SCALE: 1" = 100' JANUARY, 2012



**MHG**  
 Macoris, Hendricks & Glascock, P.A.  
 Engineers, Planners & Surveyors  
 Landscape Architects • Surveyors  
 9220 Williams Road, Suite 120  
 Montgomery Village, Maryland  
 20886-1275  
 Phone: 301.670.0640  
 Fax: 301.946.0683  
 www.mhga.com

PLAT NO. 2  
 03.303.31



- Notes**
- This property is zoned RE-2.
  - This plat is limited to uses and conditions as required by Preliminary Plan No. 12008027A entitled "BURTON WOODS, PHASE II".
  - Septic Building Restriction Lines subject to change only with Montgomery County Department of Permitting Services reapproval. Septic crests are designed for a 4 bedroom house; except for Lot 16 which is designed for a 5 bedroom house.
  - The property shown hereon is subject to the requirements of Chapter 22A of the Montgomery County Forest Conservation Law, which requires the applicant to obtain and execute appropriate agreements prior to issuance of a sediment control permit.
  - Unless expressly contemplated by the plan as approved, all terms, conditions, agreements, limitations, and requirements associated with any preliminary plan, site plan, project plan, or other instrument filed with the Montgomery County Department of Permitting Services are intended to survive and not be extinguished by the recordation of this plat. The official public use map for any plan are maintained by the Planning Board and available for public review during normal business hours.
  - This Plat is not intended to show every matter affecting or encumbering the property, but only those matters which are intended to replace an examination of title or to depict or note all matters affecting title.
  - This Plat is subject to a Declaration of Covenants recorded in Liber 33559 of Folio 375.
  - The 100 year floodplain shown hereon is by Macoris, Hendricks & Glascock, P.A. and approved by OPS as part of this plat approval and is subject to a 25' Building Restriction Line (BRL). This floodplain is a tributary to Great Seneca Creek, which has a FEMA Floodplain ID Number 22031001800, dated September 28, 2006.

**SURVEYOR'S CERTIFICATE**

We hereby certify that the plat shown hereon is correct; that it is a subdivision of part of the land conveyed by Mary S. Burton, et al., to MB Long Meadows LLC by deed dated 04/27/2011, as recorded in Liber 3034 of Folio 457 among the Land Records of Montgomery County, Maryland, in Liber 3034 of Folio 457. We hereby certify that the limits of the 100-year floodplain shown on this plat were determined from the floodplain information shown on this plat. We hereby certify that, once engaged as described in the owner's certificate hereon, all measurements and all property markings and monuments shown on this plat were made in accordance with the provisions of Section 50-24(a) of the Montgomery County Code. The total area included on this plat is 562,109 square feet or 12,804.24 acres. There is no street dedication by this plat.

2/11/12  
 Date  
[Signature]  
 Thomas R. Peabody, P.E.  
 Professional Land Surveyor  
 Md. Reg. No. 21135  
 Expiration Date: June 21, 2012

**GRAPHIC SCALE**  
 (IN FEET)  
 0 50 100  
 0 15.2 30.4  
 (IN METERS)  
 1 inch = 30.48 m.

FOR PRIVATE WELL AND SEPTIC SYSTEMS ONLY  
 THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION  
 MONTGOMERY COUNTY PLANNING BOARD

APPROVED:

CHAIRMAN SECRETARY-TREASURER

M.N.C.P. & P.C. RECORD FILE NO.

N/F  
**C.H. BURTON,**  
 et al.  
 L-2260 F.299

Date: \_\_\_\_\_  
 Plat No.:

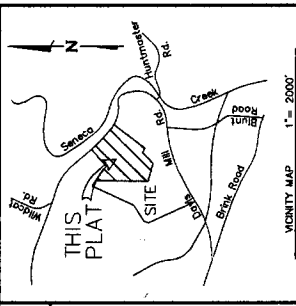
DIRECTOR

MONTGOMERY COUNTY, MARYLAND  
 DEPARTMENT OF PERMITTING SERVICES

APPROVED:

DIRECTOR

PLAT NO.



PLAT TABULATION: Number of Lots = 6, Area of Lots = 712,964 sq. ft., Street Dedication = 729,575 sq. ft., TOTAL AREA = 16,751,033 acres

LEGEND: PF = Iron Pipe Found, OPF = Open Pipe Found, ⑤ = No/If

TAX MAP No. FV 342

OWNERS CERTIFICATE

MR Long Meadows LLC, a Maryland limited liability company, owner of the property shown herein, hereby adopts this plat of subdivision, dedicating the streets to public use...

There are no suits, liens, leases, mortgages, or trusts, affecting the property included in this plat of subdivision...

I hereby assent to this plat of subdivision, Eight Bank, 1-25-12, Date

I hereby assent to this plat of subdivision, MR Long Meadows LLC, 1-25-12, Date

I hereby assent to this plat of subdivision, John B. Coyne, President, 1-25-12, Date

I hereby assent to this plat of subdivision, Mary Shoppa, 1-25-12, Date

I hereby assent to this plat of subdivision, 1-25-12, Date

I hereby assent to this plat of subdivision, 1-25-12, Date

SURVEYOR'S CERTIFICATE: We hereby certify that the plat shown herein is correct...

By: Barry E. Hoyle, Professional Land Surveyor, Expiration Date: June 21, 2012

SUBDIVISION RECORD PLAT, LOTS 17-22, BLOCK B, BURTON WOODS ELECTION DISTRICT No. 2, MONTGOMERY COUNTY, MARYLAND



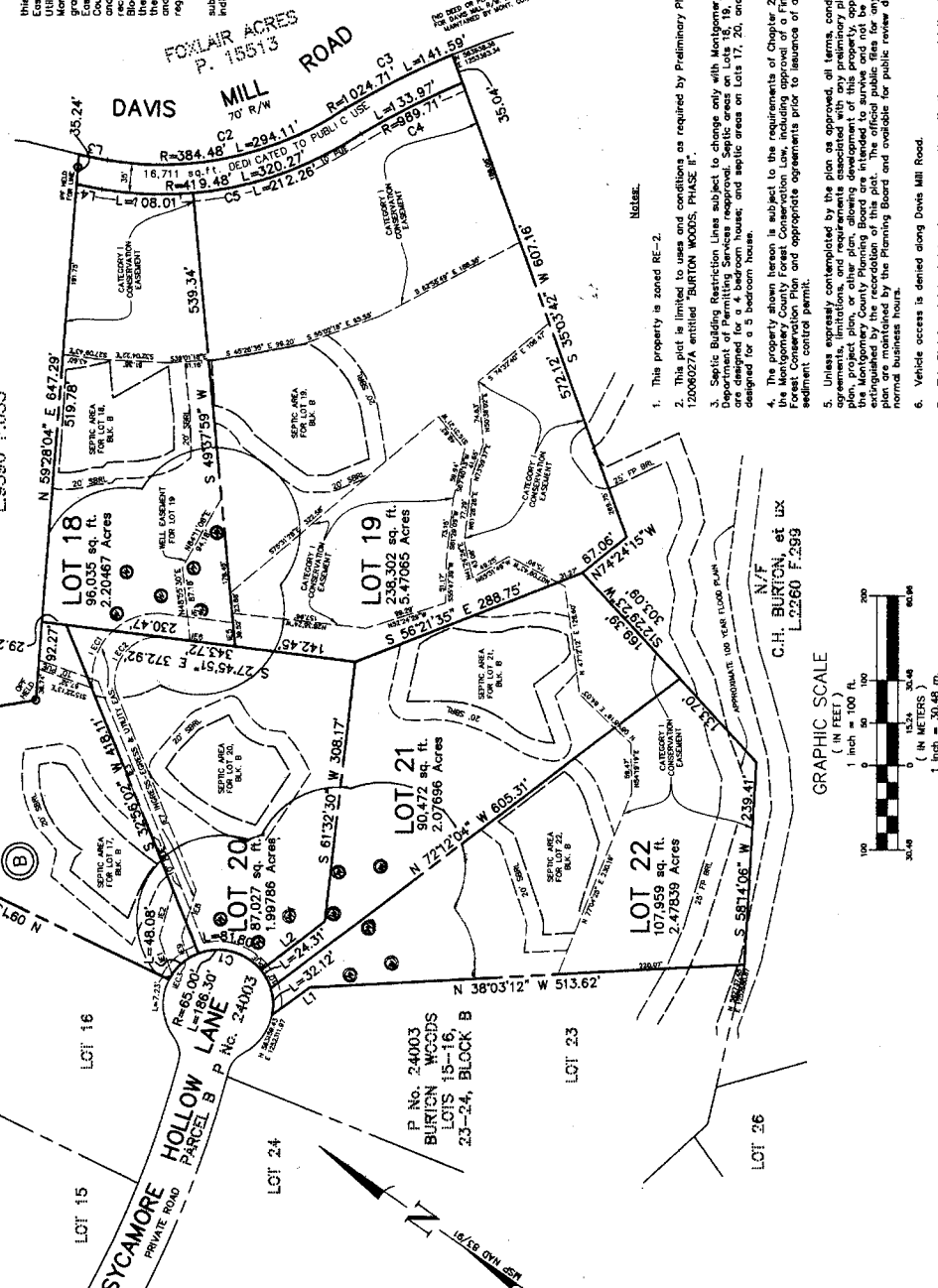
9220 Wilmont Road, Suite 120, Montgomery Village, Maryland 20886-1275

PLAT NO. 3

03.3003.31

INGRESS/EGRESS & UTILITY CURVE TABLE with columns for CURVE, RADIUS, LENGTH, DELTA, TANGENT, CHORD BEARING, CHORD

INGRESS/EGRESS & UTILITY ESMT LINE TABLE with columns for LINE, BEARING, DISTANCE



- 1. This property is zoned RE-2.
2. This plat is limited to uses and conditions as required by Preliminary Plan No. 12006027A entitled 'BURTON WOODS, PHASE II'.

3. Septic Building Restriction Lines subject to change only with Montgomery County Department of Permitting Services approval...

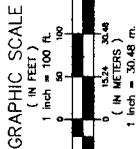
4. The property shown herein is subject to the requirements of Chapter 22A of the Forest Conservation Plan and appropriate agreements prior to issuance of a sediment control permit.

5. Uses expressly contemplated by the plan as approved, all terms, conditions, agreements, limitations, and requirements associated with any preliminary plan, site plan, project plan, or other plan, allowing development of this property...

6. Vehicle access is denied along Dams Mill Road.
7. This Plat is not intended to show any matter affecting or restricting the ownership and use of the property...

8. This Plat is subject to a Declaration of Covenants recorded in Liber 33539 at Folio 375.

9. The 100-year floodplain shown herein is by Macris, Hendricks & Glascock, P.A. and approved by DPS as part of this plat approval and is subject to a 25' building Restriction Line (BRL). This floodplain is a tributary to Great Seneca Creek which has a FEMA Floodplain Insurance Rate Map for Montgomery County, Maryland, map number 2401001000, dated September 29, 2000.



Approval and signature lines for CHARMAN, SECRETARY-TREASURER, and DIRECTOR, along with 'APPROVED:' and 'DATE:' fields.

FOR PRIVATE WELL AND SEPTIC SYSTEMS ONLY THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION MONTGOMERY COUNTY PLANNING BOARD

**RECORD PLAT REVIEW SHEET**

Plat Name: Burton Woods Plat Number: 220081190  
 Plan Name: Burton Woods Phase II Plan Number: 12006027A  
 Plat Submission Date: 1-4-08  
 DRD Plat Reviewer: S. Smith  
 DRD Prelim Plan Reviewer: R. Weaver Checked: RAW Date 3/5/12

**Initial DRD Review:**

Signed Preliminary Plan - Date 1-16-08 Checked: Initial SJS Date 5/20/08  
 Planning Board Opinion - Date 11-19-07 Checked: Initial SJS Date 2/11/08  
 Site Plan Req'd for Development? Yes  No  Verified By: SJS (initial)  
 Site Plan Name: \_\_\_\_\_ Site Plan Number: \_\_\_\_\_  
 Planning Board Opinion - Date \_\_\_\_\_ Checked: Initial \_\_\_\_\_ Date \_\_\_\_\_  
 Site Plan Signature Set - Date \_\_\_\_\_ Checked: Initial \_\_\_\_\_ Date \_\_\_\_\_  
 Site Plan Reviewer Plat Approval: Checked: Initial \_\_\_\_\_ Date \_\_\_\_\_

Review Items: Lot # & Layout  Lot Area  Zoning  Bearings & Distances   
 Coordinates  Plan #  Road/Alley Widths  Easements  Open Space   
 Non-standard BRLs  Adjoining Land  Vicinity Map  Septic/Wells   
 TDR notes N/A Child Lot note N/A Surveyor Cert OK Owner Cert OK Tax Map

Agency Reviews Req'd	Reviewer	Date Sent	Due Date	Date Rec'd	Comments
Environment		<u>1/14/08</u>	<u>2-1-08</u>	<u>3-20-08</u>	<u>Check Easement Lines OK</u>
Research	Bobby Fleury			<u>1-16-08</u>	<u>OK</u>
SHA	Doug Mills				
PEPCO	Steve Baxter				
Parks	Doug Powell				
DRD	Nellie Carey			<u>2-1-08</u>	<u>Street Name OK</u>

**Final DRD Review:**

DRD Review Complete: Initial SJS Date 11/9/2011  
 (All comments rec'd and incorporated into mark-up)  
 Engineer Notified (Pick up Mark-up): SJS 11/9/2011  
 Final Mylar w/Mark-up & PDF Rec'd: SJS 3/5/2012

**Board Approval of Plat:**

Plat Agenda: SJS 3-15-2012

Planning Board Approval: \_\_\_\_\_

Chairman's Signature: \_\_\_\_\_

**DPS Approval of Plat:**

Engineer Pick-up for DPS Signature: \_\_\_\_\_

Final Mylar for Reproduction Rec'd: \_\_\_\_\_

**Plat Reproduction:**

Addressing: \_\_\_\_\_

File Card Update: \_\_\_\_\_

Final Zoning Book Check: \_\_\_\_\_

Update Address Books with Plat #: \_\_\_\_\_

Update Green Books for Resubdivision: \_\_\_\_\_

Notify Engineer to Seal Plats: \_\_\_\_\_

Engineer Seal Complete: \_\_\_\_\_

Complete Reproduction: \_\_\_\_\_

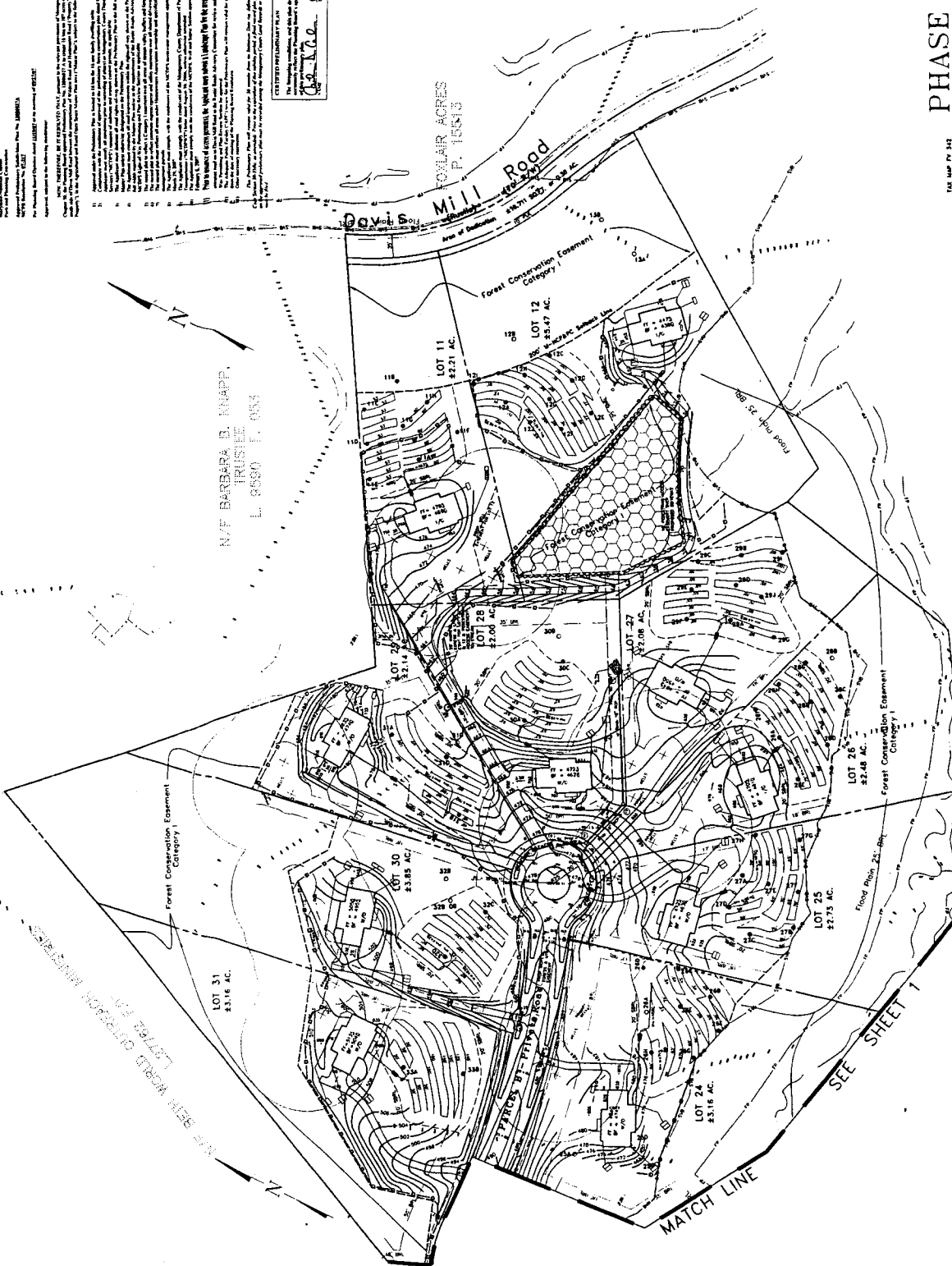
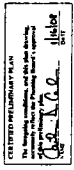
Sent to Courthouse for Recordation: \_\_\_\_\_

No. \_\_\_\_\_

**NOTES:**

1. THIS PRELIMINARY PLAN IS BASED UPON THE SURVEY OF THE PROPERTY AS SHOWN ON THE ATTACHED SURVEY MAP AND THE RECORDS OF THE COUNTY OF MONTGOMERY, MARYLAND.
2. THE PROPERTY IS BOUND BY MILL ROAD TO THE NORTH AND WEST, AND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
3. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
4. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
5. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
6. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
7. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
8. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
9. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.
10. THE PROPERTY IS BOUND BY THE PROPERTY OF THE STATE OF MARYLAND TO THE SOUTH AND EAST.

M/F BARBARA D. KNAPP,  
TRUSTEE  
L. 0050 P. 055

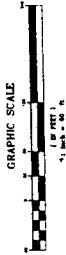


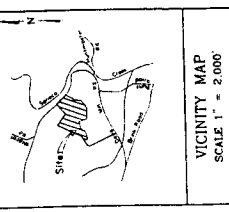
**PHASE II**  
 PRELIMINARY PLAN OF SUBDIVISION  
 LOTS 11, 12, 24-31 & PARCEL B  
**BURTON WOODS**  
 AS RECORDED IN LIBER 2260 AT FOLIO 299  
 2ND ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND

**MHG**  
 Marsh, Hendricks & Glascock, P.A.  
 Engineers, Planners, Surveyors  
 3410 BRIDGEWAY  
 GAITHERSBURG, MARYLAND 20878-1799  
 Tel: 301.948.0800  
 Fax: 301.948.0801  
 www.mhgpa.com

THE MAP IS AT  
 MDC 2260010

Engineer	1/1/00
Surveyor	1/1/00
Planner	1/1/00
Architect	1/1/00
Other	1/1/00
Scale	1" = 100'
Sheet	2
Project No.	01-251
Drawn	J. J.
Checked	J. J.





### NOTES

1. The proposed development shall conform to all applicable zoning and subdivision regulations.
2. The proposed development shall conform to all applicable environmental regulations.
3. The proposed development shall conform to all applicable health and safety regulations.
4. The proposed development shall conform to all applicable fire and rescue regulations.
5. The proposed development shall conform to all applicable utility regulations.
6. The proposed development shall conform to all applicable traffic regulations.
7. The proposed development shall conform to all applicable water supply regulations.
8. The proposed development shall conform to all applicable sewerage regulations.
9. The proposed development shall conform to all applicable storm water management regulations.
10. The proposed development shall conform to all applicable noise abatement regulations.
11. The proposed development shall conform to all applicable tree preservation regulations.
12. The proposed development shall conform to all applicable archaeological regulations.
13. The proposed development shall conform to all applicable historic preservation regulations.
14. The proposed development shall conform to all applicable cultural resource regulations.
15. The proposed development shall conform to all applicable paleontological regulations.
16. The proposed development shall conform to all applicable geotechnical regulations.
17. The proposed development shall conform to all applicable mineral resource regulations.
18. The proposed development shall conform to all applicable energy conservation regulations.
19. The proposed development shall conform to all applicable hazardous waste management regulations.
20. The proposed development shall conform to all applicable universal design regulations.
21. The proposed development shall conform to all applicable accessibility regulations.
22. The proposed development shall conform to all applicable community development regulations.
23. The proposed development shall conform to all applicable affordable housing regulations.
24. The proposed development shall conform to all applicable public works regulations.
25. The proposed development shall conform to all applicable transportation regulations.
26. The proposed development shall conform to all applicable urban design regulations.
27. The proposed development shall conform to all applicable recreation regulations.
28. The proposed development shall conform to all applicable public safety regulations.
29. The proposed development shall conform to all applicable telecommunications regulations.
30. The proposed development shall conform to all applicable information technology regulations.
31. The proposed development shall conform to all applicable intellectual property regulations.
32. The proposed development shall conform to all applicable data protection regulations.
33. The proposed development shall conform to all applicable network security regulations.
34. The proposed development shall conform to all applicable privacy regulations.
35. The proposed development shall conform to all applicable data retention regulations.
36. The proposed development shall conform to all applicable data backup regulations.
37. The proposed development shall conform to all applicable data recovery regulations.
38. The proposed development shall conform to all applicable data migration regulations.
39. The proposed development shall conform to all applicable data archiving regulations.
40. The proposed development shall conform to all applicable data backup and recovery regulations.

### DEVELOPMENT STANDARDS (PER-2)

Table with 3 columns: Density of development, Max lot area, Max building area.

Density of development: 1.0 units/acre  
 Max lot area (Per-C-230241): 10,000 sq ft  
 Max building area (Per-C-230241): 5,000 sq ft  
 Max building height (Per-C-230241): 10 ft

**PHASE II**

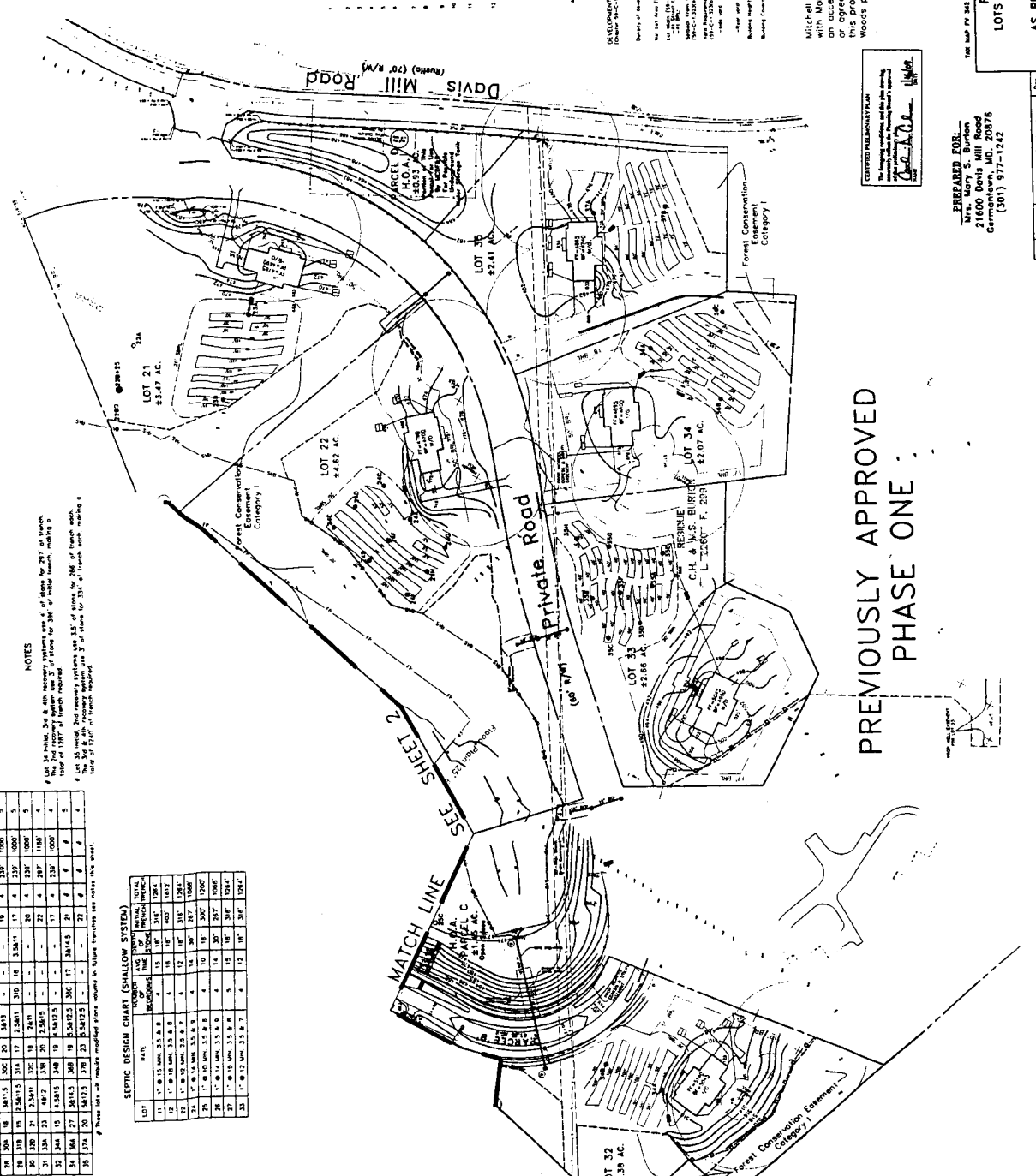
PRELIMINARY PLAN OF SUBDIVISION

**BURTON WOODS**

AS RECORDED IN LIBRARY 2260 AT FOLIO 299

2ND ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND

MHC  
 Macfarlane, Hargrett & Glendon, P.A.  
 Landscape Architects & Surveyors



PREVIOUSLY APPROVED  
PHASE ONE

**NOTES**

# Lot 24, 28, 34 & 35 with existing systems were shown on 2017 of record.  
 # Lot 32, 33, 34 & 35 with existing systems were shown on 2016 of record.  
 # Lot 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34 & 35 with existing systems were shown on 2015 of record.

### SEPTIC DESIGN CHART (DEEP SYSTEM)

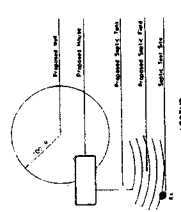
LOT	SIZE (Feet)	DEPTH (Feet)	DAYS	TOTAL INCHES	TOTAL FEET	TOTAL INCHES
21	20	4	3	21	21	21
22	20	4	3	21	21	21
23	20	4	3	21	21	21
24	20	4	3	21	21	21
25	20	4	3	21	21	21
26	20	4	3	21	21	21
27	20	4	3	21	21	21
28	20	4	3	21	21	21
29	20	4	3	21	21	21
30	20	4	3	21	21	21
31	20	4	3	21	21	21
32	20	4	3	21	21	21
33	20	4	3	21	21	21
34	20	4	3	21	21	21
35	20	4	3	21	21	21

### SEPTIC DESIGN CHART (SHALLOW SYSTEM)

LOT	SIZE (Feet)	DEPTH (Feet)	DAYS	TOTAL INCHES	TOTAL FEET	TOTAL INCHES
21	20	4	3	21	21	21
22	20	4	3	21	21	21
23	20	4	3	21	21	21
24	20	4	3	21	21	21
25	20	4	3	21	21	21
26	20	4	3	21	21	21
27	20	4	3	21	21	21
28	20	4	3	21	21	21
29	20	4	3	21	21	21
30	20	4	3	21	21	21
31	20	4	3	21	21	21
32	20	4	3	21	21	21
33	20	4	3	21	21	21
34	20	4	3	21	21	21
35	20	4	3	21	21	21

### INVERT TABLE

LOT	TOP OF SHED	TOP OF FOUNDATION	TOP OF FINISH FLOOR	TOP OF SECOND FLOOR	TOP OF ROOF	TOP OF DRIVE	TOP OF SIDEWALK
21	488.0	489.5	491.0	492.5	494.0	495.5	497.0
22	488.0	489.5	491.0	492.5	494.0	495.5	497.0
23	488.0	489.5	491.0	492.5	494.0	495.5	497.0
24	488.0	489.5	491.0	492.5	494.0	495.5	497.0
25	488.0	489.5	491.0	492.5	494.0	495.5	497.0
26	488.0	489.5	491.0	492.5	494.0	495.5	497.0
27	488.0	489.5	491.0	492.5	494.0	495.5	497.0
28	488.0	489.5	491.0	492.5	494.0	495.5	497.0
29	488.0	489.5	491.0	492.5	494.0	495.5	497.0
30	488.0	489.5	491.0	492.5	494.0	495.5	497.0
31	488.0	489.5	491.0	492.5	494.0	495.5	497.0
32	488.0	489.5	491.0	492.5	494.0	495.5	497.0
33	488.0	489.5	491.0	492.5	494.0	495.5	497.0
34	488.0	489.5	491.0	492.5	494.0	495.5	497.0
35	488.0	489.5	491.0	492.5	494.0	495.5	497.0



### PERMITS

No.	Date	Description	By
1	12/29/08	EXIST. LOT 11 & 12	DC
2	12/29/08	EXIST. LOT 11 & 12	DC
3	03/28/09	EXIST. LOT 21	DC
4	03/28/09	EXIST. LOT 22	DC
5	03/28/09	EXIST. LOT 23	DC
6	03/28/09	EXIST. LOT 24	DC
7	03/28/09	EXIST. LOT 25	DC
8	03/28/09	EXIST. LOT 26	DC
9	03/28/09	EXIST. LOT 27	DC
10	03/28/09	EXIST. LOT 28	DC
11	03/28/09	EXIST. LOT 29	DC
12	03/28/09	EXIST. LOT 30	DC
13	03/28/09	EXIST. LOT 31	DC
14	03/28/09	EXIST. LOT 32	DC
15	03/28/09	EXIST. LOT 33	DC
16	03/28/09	EXIST. LOT 34	DC

**PERCOLATION CERTIFICATE**

I hereby certify that the wells test data shown on this plan have been duly percolated.

Dated: 5/10/2021  
 By: [Signature]  
 Project No. 21-021  
 Planning No. 21-021

**SURVEYOR'S CERTIFICATE**

I hereby certify that the boundary lines and area shown on this plan have been duly surveyed.

Dated: 5/10/2021  
 By: [Signature]  
 Project No. 21-021  
 Planning No. 21-021

