



**Site Plan Amendment, 82004026C, River Quarry Consent Amendment**

- BCB** Benjamin Berbert, Senior Planner, Area 3, (301) 495-4644 [benjamin.berbert@montgomeryplanning.org](mailto:benjamin.berbert@montgomeryplanning.org)
- RW** Richard A. Weaver, Acting Supervisor, Area 3, (301) 495-4544 [richard.weaver@montgomeryplanning.org](mailto:richard.weaver@montgomeryplanning.org)
- JAC** John Carter, Chief, Area 3, (301) 495-4575, [john.carter@montgomeryplanning.org](mailto:john.carter@montgomeryplanning.org)
- 

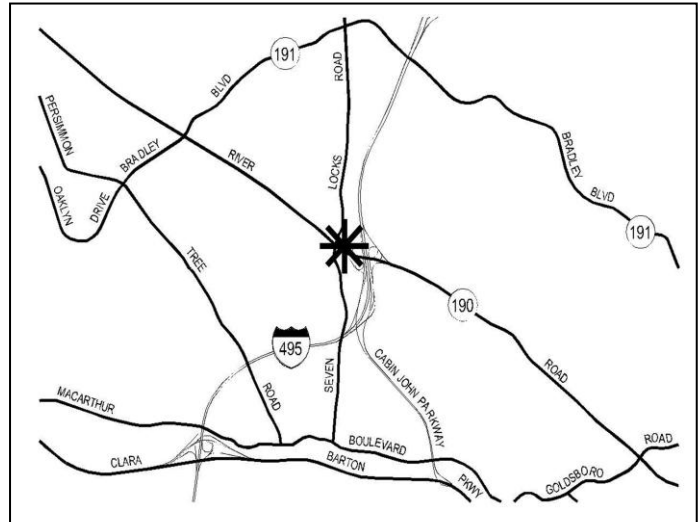
Staff Report Revised: 03/13/12

**Description**

**Site Plan 82004026C: River Quarry Consent Amendment.** Changes to the development program and to decorative site elements including lighting, driveways and walkways, paving, fences, and landscaping. Located at the intersection of River Quarry Place and River Road, Bethesda MD, at the north west quadrant of River Road and the Capital Beltway; R-200/TDR-12; 6.16 acres; Potomac Subregion.

Staff recommendation: **Approval with conditions** of site plan amendments and adoption of the Resolution

Applicant: RQ Acquisitions  
Submitted: 12/05/2011



**Summary**

## STAFF RECOMMENDATION

Staff recommends approval with conditions of the proposed modifications to Site Plan 82004026C: River Quarry **with the following conditions**.

1. All site development elements as shown on the River Quarry drawings stamped by the M-NCPPC on December 5, 2011 (revised on January 25, 2012), are required.
2. The site plan elements listed in sections 1(b), 3(a), and 4 of the Development Program must be provided before the issuance of the Use and Occupancy Permits for lots 21 and 22.
3. The proposed development must comply with, unless specifically amended, all other conditions of approval for Site Plan Nos. 820040260, 82004026A, and 82004026B .

The proposed modifications are minor and qualify for approval as a Consent item.

## SITE DESCRIPTION

### Vicinity

The property is located in the northwestern quadrant of the interchange of I-495 and River Road (MD 190). The site is bordered by Shawfield Drive to the north, River Road (MD 190) to the south, Old Seven Locks Road to the west, and the Capital Beltway (I-495) to the east. A townhouse development known as Stoneyhurst is located on the west side of Seven Locks Road, and Cabin John Park is located to the southwest across River Road (Figure 1).

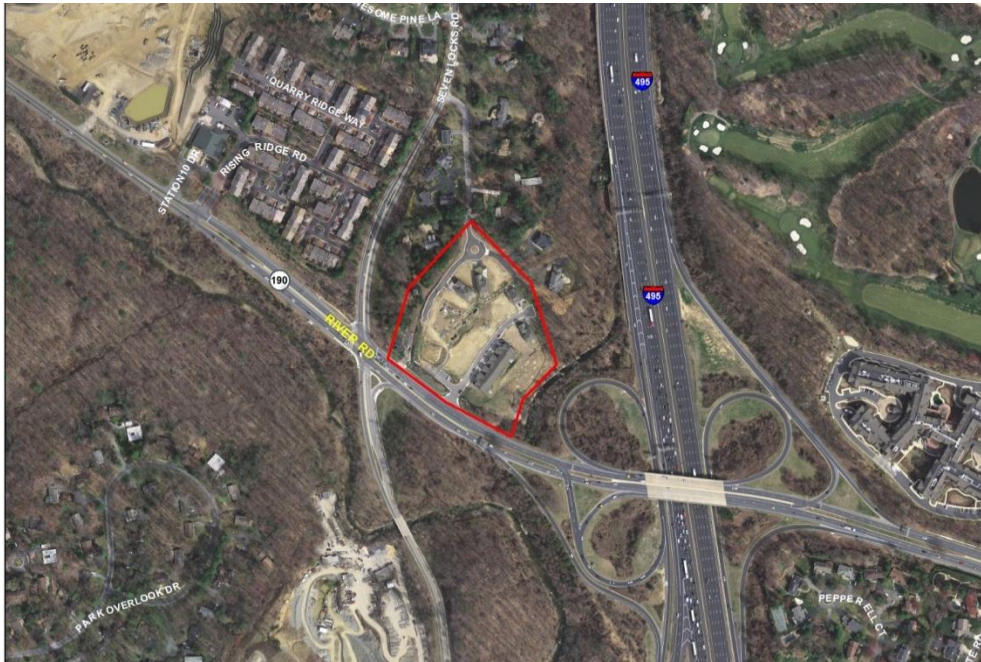


Figure 1

### Site Analysis

The site is currently being developed under Site Plan 82004026B. The Site Plan approved 30 lots; 11 are already developed by the previous owner (Figure 2).

The property consists of 6.16 acres, zoned R-200/TDR-12. It previously operated as the Giancola Quarry. The site naturally drains into the Thomas Branch and Cabin Branch streams (Use I streams), within the Cabin John Watershed. There are no known rare, threatened, or endangered species on site. There are no known historic properties or features on site

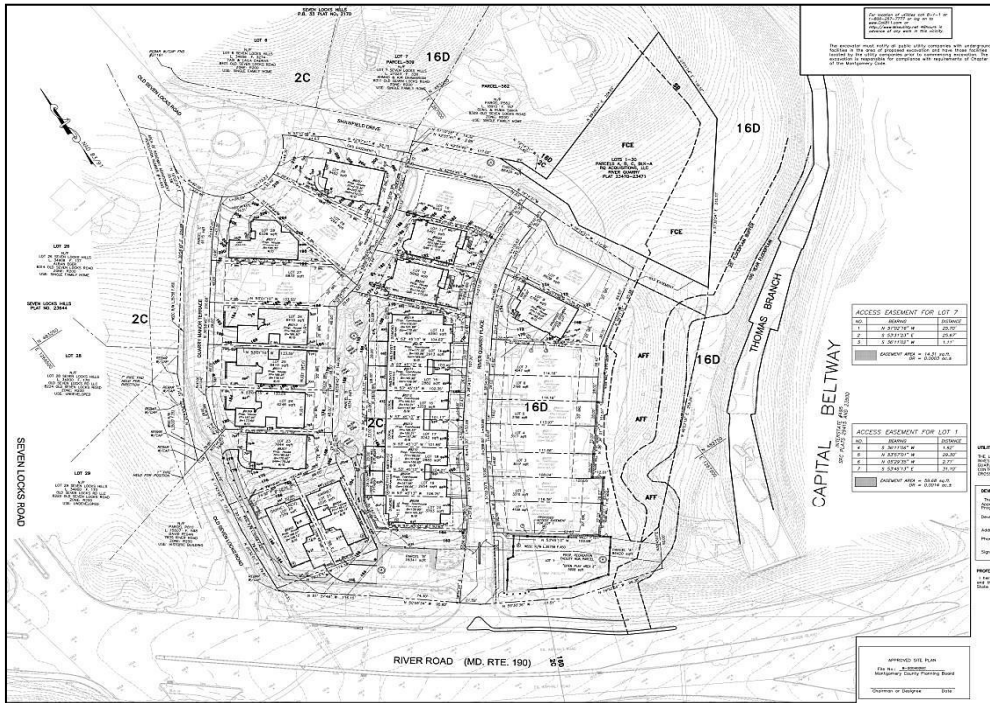


Figure 2

## AMENDMENT DESCRIPTION

### Description of Amendment[s]

The Applicant requests the following modifications to the Site Plan:

- a) Update topography as shown on the revised plan submitted December 5, 2011, to match existing conditions;
- b) Minor architectural change to the capping of the stone pier pillars along the stone entrance wall;
- c) Modify the lighting of the stone entrance signs and wall to allow for ground lighting rather than hanging lanterns;
- d) Revise the main entrance gate metalwork to match the existing metal fences along the front of the site;
- e) Removal of the metal gate as shown on the previously approved plan at the access drive for lots 21 and 22;
- f) Replace pavers as shown on the previously approved plan for driveways, walkways, and courtyard with a stamped concrete texture;
- g) Replace pavers as shown on the previously approved plan for the front entrance with asphalt;
- h) Change the model type of the homes on un-built lots;
- i) Modify the design and location of the street light posts to reflect new driveway locations;
- j) Install decorative pathway lighting to internal walkways; and
- k) Add existing landscaping to the approved Landscape Plan and modify the acceptable and compatible substitutions for plants list

The Applicant requests the following modifications to the Development Program:

- a) The site plan elements listed in sections 1(b), 3(a), and 4 of the Development Program must be provided before the issuance of the Use and Occupancy Permits for lots 21 and 22.

**Staff Discussion**

Staff does not feel the requested amendments to the site plan will change the community character or original intent of the approved Site Plan. Many of the changes, including the amendments to modify the entrance sign lighting, match the fence metal work with the gate, remove the second gate to lots 21 and 22, and install decorative pathway lighting will result in a more attractive overall design by removing visual clutter and enhancing the built environment around the proposed recreational areas. Likewise the proposed modifications to the stone pillars (figure 3), the streetlighting (figure 4) and the proposed pavers (figure 5) are minor and remain decorative and visually appealing.

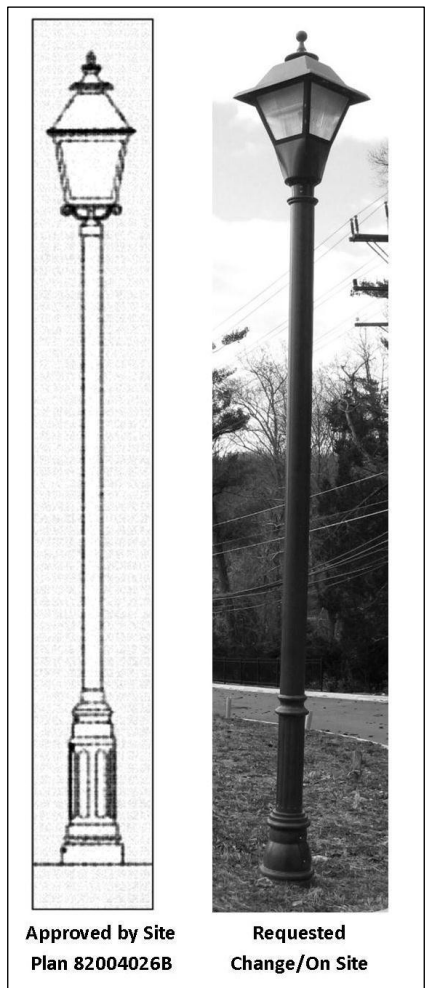


Figure 4



Figure 3

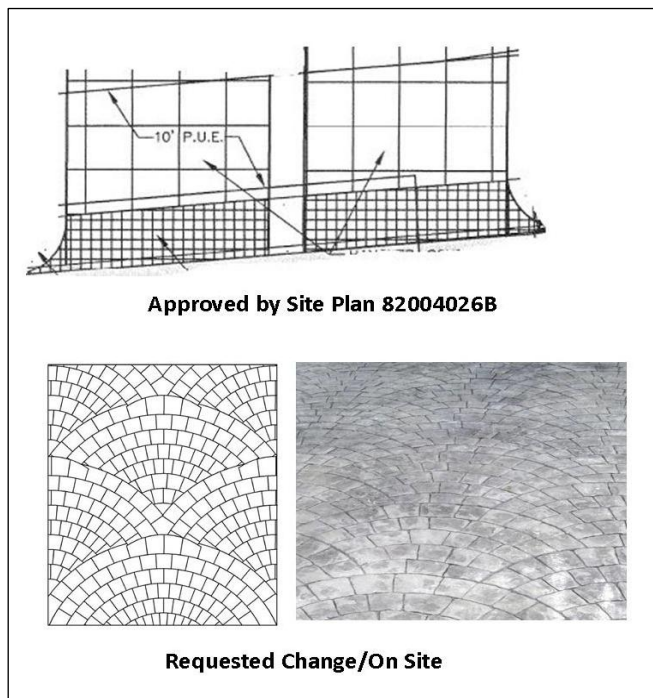


Figure 5

## **Previous Approvals & Project History**

### *Preliminary Plan*

This plan is subject to the conditions of Preliminary Plan 120040210 Giancola Quarry, which was approved on April 15, 2004 for 30 lots on 5.8 acres of land (Resolution dated April 27<sup>th</sup>, 2004).

### *Site Plan*

Site Plan #820040260 was approved on July 22, 2004 for 15 one-family detached homes and 15 townhouses, including 18 Transferable Development Rights (TDR's) on 6.02 acres of land.

Amendment #82004026A was approved on July 27, 2006 (Resolution 06-110, December 1<sup>st</sup>, 2006) for modifications to the vehicular/ pedestrian circulation, the drainage systems, the Development Data Table, the Landscape Plan and the Development Program.

Amendment #82004026B was approved on September 10<sup>th</sup>, 2009 (Resolution 09-021, October 6<sup>th</sup>, 2009) to revise the Development Standards Table to provide setback language at the rear of Lot 20 from 20 feet to 11.5 feet.

The River Quarry Site was purchased by RQ Acquisitions LLC, represented by Carter Wilson on October 7, 2011. The amendment to the River Quarry Site Plan, 82004026C was applied for on December 5, 2011. The current amendment requests minor modifications to a limited number of architectural and landscaping elements that were not installed according to the previously approved Site Plans.

### **Description of Amendment[s]**

The Applicant requests the following modifications to the Site Plan:

- a) ~~Update topography as shown on the submitted revised plan to match existing conditions.~~
- b) ~~Minor architectural change to the capping of the stone pier pillars along the stone entrance wall.~~
- c) ~~Modify the lighting of the stone entrance signs and wall to allow for ground lighting rather than hanging lanterns.~~
- d) ~~Match the yet to be installed main entrance gate metalwork to the existing metal fences along the front of the site.~~
- e) ~~Removal of the proposed metal gate on the access drive for lots 21 and 22.~~
- f) ~~Replace proposed pavers proposed for driveways, walkways, courtyard, and front entrance with a stamped concrete texture.~~
- g) ~~Change the proposed model type of the new homes to be built on current un-built lots.~~
- h) ~~Modify the design and location of the street light posts to reflect new driveway locations.~~
- i) ~~Install decorative pathway lighting to internal walkways.~~
- j) ~~Add existing landscaping to the Landscape Plan and modify the acceptable and compatible substitutions for plants list.~~

### **PUBLIC NOTICE**

A notice regarding the amendment was sent to all parties of record by the Applicant. The notice gave interested parties 15 days to review and comment on the amended site plan per Montgomery County Zoning Ordinance Section 59-D-3.7. A community meeting between the applicant and the existing residents was held on October 20, 2011, and the issues were discussed. The property was also posted with three signs on November 11, 2011. Staff received one inquiry from the West Bradley Citizens' Association regarding stormwater easements, which were explained and resolved.

## **CONCLUSION**

The proposed modifications to the site plan will not alter the overall character or impact of the development with respect to the original findings of approval. These modifications will not affect the compatibility of the development with respect to the surrounding neighborhood. Staff recommends approval of Site Plan Amendment 82004026C.



DRAFT RESOLUTION NOT ADOPTED  
**MONTGOMERY COUNTY PLANNING BOARD**  
MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MCPB No. 12-35  
Site Plan No. 82004026C  
Project Name: River Quarry<sup>1</sup>  
Hearing Date: March 22, 2012

**RESOLUTION**

WHEREAS, pursuant to Montgomery County Code Division 59-D-3, the Montgomery County Planning Board ("Planning Board") is required to review amendments to approved site plans; and

WHEREAS, on April 27, 2004, upon the application of Michael T. Rose Land Co, Inc., the Planning Board approved Preliminary Plan 120040210, to create 30 lots on approximately 6.16<sup>2</sup> acres of R-200/DR-12 zoned property located in the northwestern quadrant of the interchange of I-495 and River Road ("Property" or "Subject Property"), in the Potomac Subregion Master Plan area; and

WHEREAS, on July 27, 2004 the Planning Board approved Site Plan 820040260 to allow construction of 15 one-family detached houses and 15 townhouses (including 18 TDRs), on the Property; and

WHEREAS, on December 1, 2006, the Planning Board approved an amendment to the site plan, Site Plan 82004026A (MCPB Resolution 06-110) for modifications to the vehicular and pedestrian circulation, drainage systems, landscape plan and development program; and

WHEREAS, on October 6, 2009, the Planning Board approved an amendment to the site plan, Site Plan 82004026B River Quarry (MCPB Resolution 09-121) to amend the development standards table to revise the setback; and

WHEREAS, on December 5, 2011, RQ Acquisitions, LLC<sup>3</sup>, ("Applicant"), filed a site plan amendment application, which was designated Site Plan No. 82004026C ("Amendment") for approval of the following modifications:

---

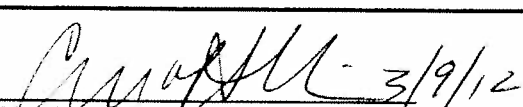
<sup>1</sup> After certain approvals, the project name was changed from Giancola Quarry to River Quarry.

<sup>2</sup> The land area of the project has varied throughout the different plan approvals.

<sup>3</sup> On October 7, 2011, RQ Acquisitions LLC purchased the Property from Michael T. Rose Land Co, Inc.

---

Approved as to  
Legal Sufficiency:

 3/9/12  
M-NCPCC Legal Department

1. Update topography as shown on the revised plan submitted December 5, 2011, to match existing conditions;
2. Minor architectural change to the capping of the stone pier pillars along the stone entrance wall;
3. Modify the lighting of the stone entrance signs and wall to allow for ground lighting rather than hanging lanterns;
4. Remove the proposed noise mitigation wall for Lot 9;
5. Revise the main entrance gate metalwork to match the existing metal fences along the front of the site;
6. Removal of the metal gate as shown on the previously approved plan at the access drive for lots 21 and 22;
7. Replace pavers as shown on the previously approved plan for driveways, walkways, and courtyard with a stamped concrete texture;
8. Replace pavers as shown on the previously approved plan for the front entrance with asphalt;
9. Change the model type of the homes on un-built lots;
10. Modify the design and location of the street light posts to reflect new driveway locations;
11. Install decorative pathway lighting to internal walkways; and
12. Add existing landscaping to the approved Landscape Plan and modify the acceptable and compatible substitutions for plants list; and

WHEREAS, Applicant also requested approval to amend the Development Program to revise the timing of certain site plan elements; and

WHEREAS, following review and analysis of the Amendment by Planning Board staff ("Staff") and the staff of other applicable governmental agencies, Staff issued a memorandum to the Planning Board dated March 9, 2012, setting forth its analysis and recommendation for approval of the Amendment ("Staff Report"); and

WHEREAS, on March 22, 2012, Staff presented the Amendment to the Planning Board as a consent item for its review and action (the "Hearing"); and

NOW, THEREFORE, BE IT RESOLVED THAT, pursuant to the relevant provisions of Montgomery County Code Chapter 59, the Planning Board hereby adopts the Staff's recommendation and analysis set forth in the Staff Report and hereby approves certain elements of Site Plan No. 82004026C, as follows:

1. Applicant shall make the following modifications:
  - a) Update topography as shown on the revised plan submitted December 5, 2011, to match existing conditions;
  - b) Minor architectural change to the capping of the stone pier pillars along the stone entrance wall;



- c) Modify the lighting of the stone entrance signs and wall to allow for ground lighting rather than hanging lanterns;
  - d) Revise the main entrance gate metalwork to match the existing metal fences along the front of the site;
  - e) Removal of the metal gate as shown on the previously approved plan at the access drive for lots 21 and 22;
  - f) Replace pavers as shown on the previously approved plan for driveways, walkways, and courtyard with a stamped concrete texture;
  - g) Replace pavers as shown on the previously approved plan for the front entrance with asphalt;
  - h) Change the model type of the homes on un-built lots;
  - i) Modify the design and location of the street light posts to reflect new driveway locations;
  - j) Install decorative pathway lighting to internal walkways; and
  - k) Add existing landscaping to the approved Landscape Plan and modify the acceptable and compatible substitutions for plants list.
2. All site development elements as shown on the River Quarry drawings stamped by the M-NCPPC on December 5, 2011 (revised on January 25, 2012), are required.
  3. The site plan elements listed in sections 1(b), 3(a), and 4 of the Development Program must be provided before the issuance of the Use and Occupancy Permits for lots 21 and 22.

BE IT FURTHER RESOLVED, unless specifically amended, all other conditions of approval for Site Plan Nos. 820040260, 82004026A, and 82004026B remain valid and in full force and effect; and

BE IT FURTHER RESOLVED, that, having given full consideration to the recommendations and findings of its Staff as set forth in the Staff Report, which the Board hereby adopts and incorporates by reference, the Montgomery County Planning Board FINDS, that this Amendment does not alter the intent, objectives, or requirements expressed or imposed by the Planning Board in the originally approved site plan and that all findings remain in effect; and

BE IT FURTHER RESOLVED, that this Resolution constitutes the written opinion of the Board and incorporates by reference all evidence of record, including maps, drawings, memoranda, correspondence, and other information; and

BE IT FURTHER RESOLVED, that this Amendment shall remain valid as provided in Montgomery County Code § 59-D-3.8; and

BE IT FURTHER RESOLVED, that the date of this written resolution is \_\_\_\_\_ (which is the date that this resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED, that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this written opinion, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

\* \* \* \* \*

This is to certify that the foregoing is a true and correct copy of a resolution adopted by the Montgomery County Planning Board of The Maryland-National Capital Park and Planning Commission on motion of Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, with Commissioners \_\_\_\_\_ (list) voting in favor of the motion, with Commissioner(s) \_\_\_\_\_ (list) dissenting, Commissioner(s) \_\_\_\_\_ (list) abstaining, Commissioner(s) \_\_\_\_\_ (list) being absent or being temporarily absent, at its regular meeting held on Thursday, \_\_\_\_\_, 2012, in Silver Spring, Maryland.