



Olney Estates: A. Limited Preliminary Plan Amendment No. 12005092A and B. Limited Site Plan Amendment No. 82006019A

M.C.S. Molline Smith, Senior Planner, Molline.Smith@montgomeryplanning.org, 301.495.4573

RAW
JAC

Richard Weaver, Acting Supervisor, Richard.Weaver@montgomeryplanning.org, 301.495.4544

John Carter, Chief, John.Carter@montgomeryplanning.org, 301.495.4575

Staff Report Date: 06-29-12

Description: Olney Estates

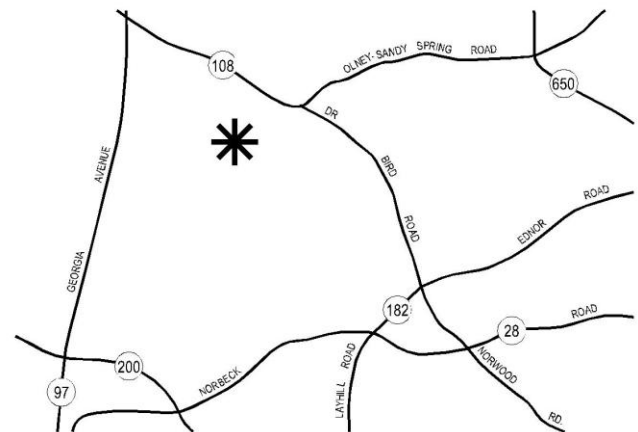
A. Limited Preliminary Plan Amendment No. 12005092A

Staff Recommendation Approval with Conditions

B. Limited Site Plan Amendment No. 82006019A

Staff Recommendation Approval with Conditions

Adjustments to platted lot lines and lot sizes, revisions to the single family unit types, modifications to the landscaping and adjustments to the entrance signage located on the south side of Old Baltimore Road, approximately 1,000 feet south of the intersection with Sandy Spring Road (MD 108), approximately 107.35 acres, RNC Zone, Olney Master Plan.



Applicant: Toll Md. XI Limited Partnership

Preliminary Plan Filing Date: April 25, 2012

Site Plan Filing Date: March 20, 2012

Review Basis: County Code Chapter 50 and 59.

Summary

This amendment will accomplish the following:

- improve the character of the MPDUs
- accommodate a larger building footprint
- provide neighborhood compatibility
- establish a more unified neighborhood character along the street frontage
- minor adjustments to the lot lines in order to make the Preliminary and Site Plans consistent

The total number of units and the limits of disturbance (LOD) established by the Final Forest Conservation Plan (approved August 28, 2008) will remain the same.

The community has expressed concerns regarding the size of the lots, adequate buffering from neighboring properties and the dimensions of the signage features.

SITE DESCRIPTION & BACKGROUND INFORMATION

(Preliminary Plan and Site Plan)

Site Analysis

The subject site is zoned RNC (approximately 107.35 acres) and located on the south side of Old Baltimore Road, approximately 1,000 feet south of the intersection with Sandy Spring Road (MD 108). The overall development is mainly composed of two different features: residential lots and environmentally sensitive areas. The residential lots (42 total lots, including 6 MPDUs) make up approximately 30 percent of the overall development, and are primarily clustered toward the northern portion in order to avoid further impacts to the environmentally sensitive areas. The western portion of the property (Block A) consists of 23 one-family detached units and 4 MPDUs; while the eastern portion of the property (Block B) consists of 13 one-family detached units and 2 MPDUs. A 4-foot natural surface trail is the only internal connection between Blocks A and B. The street frontage of the development along Old Baltimore Road is divided into two separate access points. The residential properties located between the access points (Parcels 957, 953 900 and 950) are zoned RNC and RE-2, and are not incorporated into the overall development.



Vicinity Map

The surrounding uses are primarily low density residential with one religious institution nearby. Confronting the subject site across Old Baltimore Road is the eastern edge of the Hallowell property (819860380, zoned R-60); which is developed at a higher density than the RNC zone permits. St.

Andrews Catholic Church (119990210, zoned RC) is located along the northeast boundary, and Bachelors Forest (820080190, zoned RNC) is located along the southern boundary.

Located within the Northwest Branch Watershed, the environmentally sensitive areas make up approximately 70 percent of the overall development. There are two streams bisecting the property, running in the north south orientation. There are extensive wetlands and numerous seeps and springs. In accordance with the previous approval there are 32.06 acres of land designated as stream valley buffer, approximately 67.14 acres of forest has been retained, and 77.21 acres of land has been preserved as private rural open space.



Rendered Plan

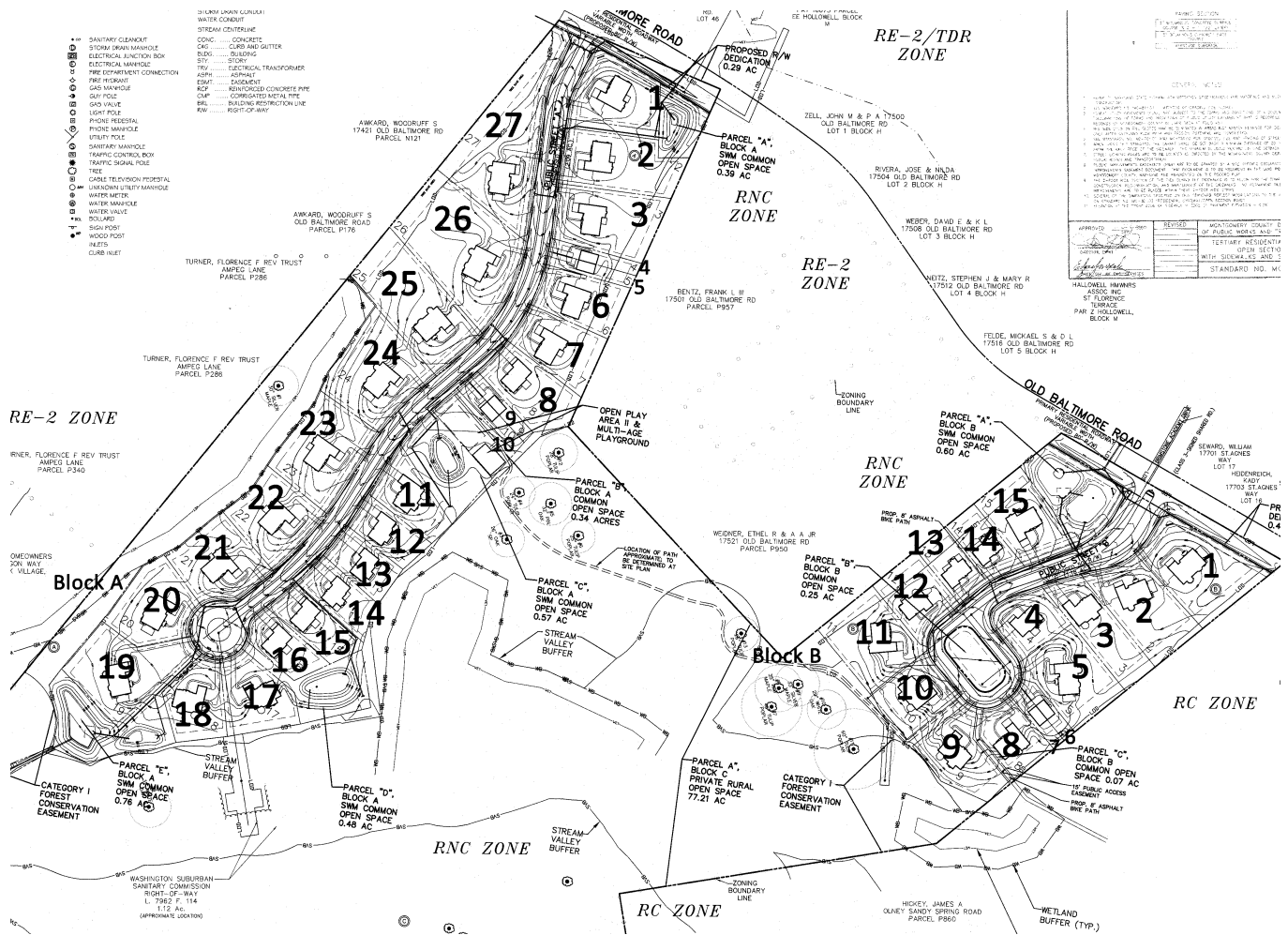
PREVIOUS APPROVALS

	Approval Date	Brief Description
Preliminary Plan No. 120050920	Presented: July 13, 2006 (mailed September 19, 2006)	42 residential units including 6 MPDUs on 107.35 acres of land.
Site Plan No. 820060190	Presented: July 20, 2006 (mailed October 23, 2008)	42 one-family dwelling units, including 6 MPDUs on 107.35 acres of land.

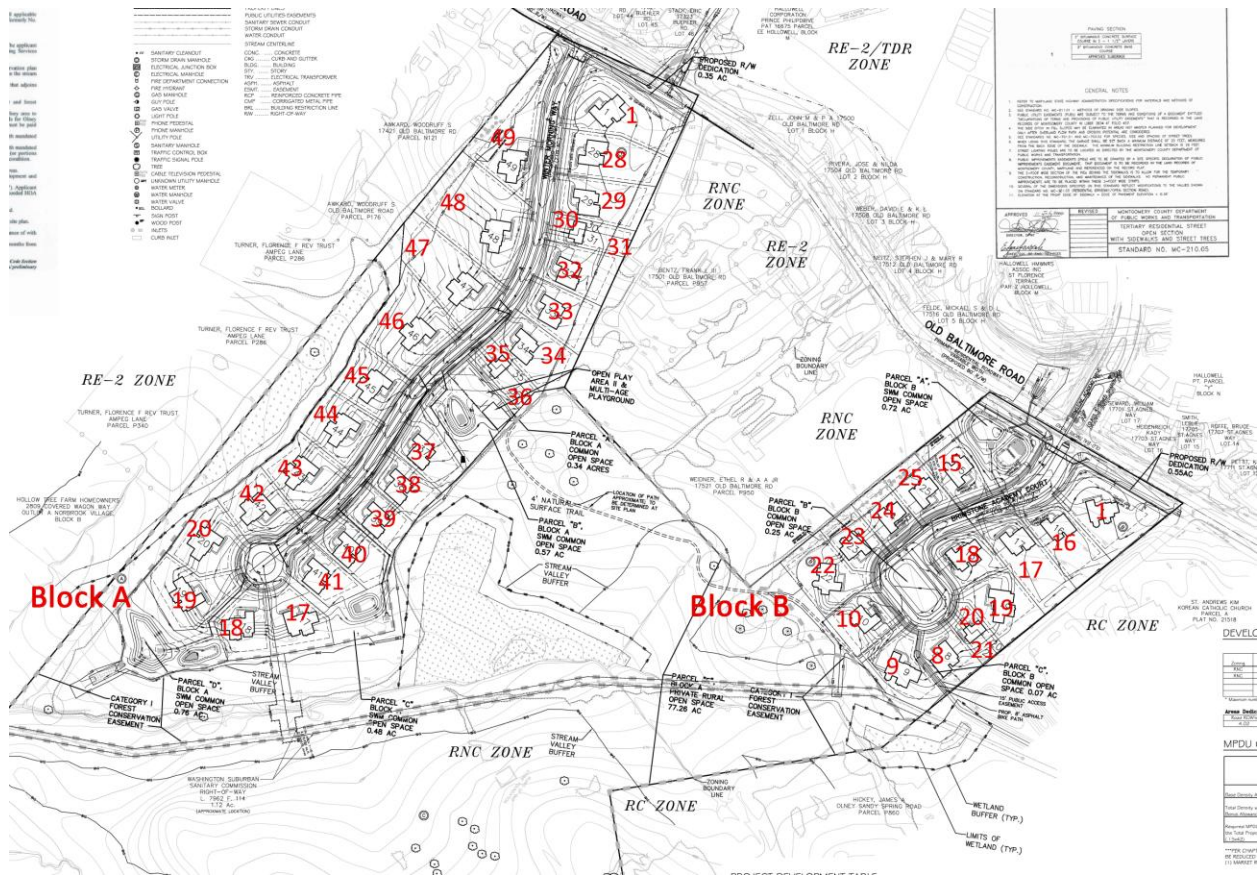
PRELIMINARY PLAN REVIEW

STAFF RECOMMENDATION

The conditions enumerated in the Planning Board Opinion for Preliminary Plan No. 120050920 remain valid and do not require modifications. Staff will review and certify a revised Preliminary Plan that modifies the lot layout, but the amended plan will still be subject to the original conditions of approval.



Approved Preliminary Plan



Revised Preliminary Plan

PRELIMINARY PLAN FINDINGS

The following findings were considered as part of the review of this amendment. This project is subject to the original findings analyzed in the previous approval, unless amended below.

- a.) The minimum lot area for one-family detached and semi-detached will be increased; which will slightly modify the range of lot sizes from 5,305 square feet (Lot 20B) to 55,970 square feet (Lot 48A). The clustered layout substantially conforms to the Olney Master Plan.
- b.) The Public facilities will be adequate to support and service the area of the subdivision. The Local Area Transportation Review will remain applicable to the congestion standards established for the Olney Policy Area. As stated in the original findings, the Applicant is subject to the mitigation of the impact to the intersection of Old Baltimore Road and will pay 50 percent of the applicable transportation impact tax prior to the issuance of any building permits.
- c.) This application meets all applicable stormwater management (“SWM”) requirements and will provide adequate control of the stormwater runoff from the site. This finding is based on the determination of the Montgomery County Department of Permitting Services (“MCDPS”) that the SWM concept plan (dated October 13, 2005) meets the agencies standards.
- d.) The total number of lots (42 dwelling units, including 6 MPDU’s) is consistent with the original approval.
- e.) The use of elongated cul-da-sacs is justified by the shape and environmental features of the property. Due to the unusual shape, size and topography of the subdivision; both cul-de-sacs (within Block A & B) exceed the 500 feet limitation. The length was determined to be essential

to reach the developable portions of the property and gives all lots direct street frontage without the use of pipe stems. An alternative connection was discussed; however, it was determined not possible without adding pavement (impervious surface) in the stream valley buffer. There are no changes proposed to the roadway layout; therefore, the use of cul-de-sacs is consistent with the Planning Board's original approval.

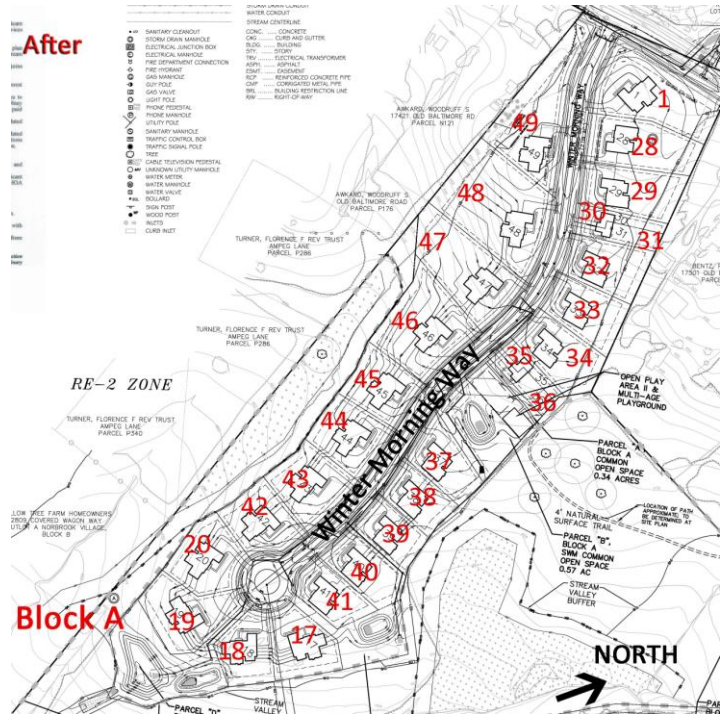
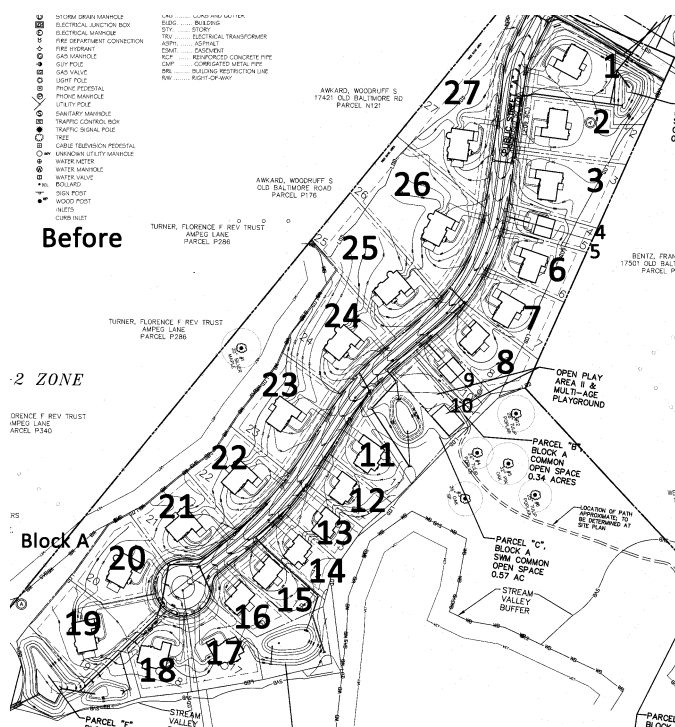
- f.) The lot size, width, shape and orientation shall be revised; however, are still appropriate for the location of the subdivision taking into account the recommendation of the Olney Master Plan.

Introduction

The lot yield, layout and overall dimensions of the subject site must substantially conform to the Preliminary and Site Plans; therefore, the modifications proposed in this application will be reviewed and approved concurrently. The Preliminary Plan No. 12005092A ("Preliminary Plan") is a limited amendment to adjust the lot lines as shown on record plats for the Olney Estates Subdivision. The proposed modifications are intended to resolve the following issues:

Re-alignment of the Lots within Block A

The total number of lots within Block A (west of Winter Morning Way) will be increase by one detached unit. In the original approval (*labeled Before, bottom left*) 9 lots were proposed along the western street edge of Winter Morning Way, and the lot dimensions were found to be appropriate at that time. The revised plan (*labeled After, bottom right*) proposes to deduce the lot sizes of the 3 one-family detached units located close to the entrance of the site. The lot sizes for remaining 7 lots, proposed along this same edge street frontage (Lots 19A-20A and 42A-46A) will be also deduced in order to accommodate one additional one-family detached lot. Adequate buffering from the adjacent property is already provided by the existing forest conservation easement and the Tree Save Area along the western property boundary. The re-alignment of these lots will accommodate the necessary spacing for lots (Lots 1A, 17A-18A, and 28A-41A) along the eastern street edge of Winter Morning Way.



Block A

(Before and After)

The proposed lot line adjustments do not substantially change the size, shape, width and orientation of the lots from the original approval and do not affect the rural open space approved under the original application. The orientation of the revised building footprints for the MPDU's new unit types will continue to remain in the same relative location as compared to the approved building footprints for the MPDU's unit types. Staff finds that all of the lots proposed by the amended Preliminary Plan have the appropriate size, shape, width and orientation for this subdivision.

Neighborhood Compatibility and Street Frontage Issues

The Preliminary Plan shows two (2) attached units at three separate locations (relabelled Lots 30A, 31A, 35A, 36A, 20B and 21B on the revised plan) providing a total of six (6) required MPDU's. The new unit types are proposed to be larger than the units and were specifically selected to resolve compatibility, frontage, and streetscape issues. Semi-detached larger units will be provided in place of the smaller units (previously approved) at the same approximate location. The unique unit ownership and floor plan of the semi-detached units requires a distinct lot shape to accommodate the dual ownership within the single structure. These unit types are more compatible with the one-family detached homes. The MPDU's are well integrated into the one-family detached lots on the Property and appropriately located.



Building Elevations (Hampton Manor unit types)



Building Elevations (Langley Savannah unit types)



COLONIAL ELEVATION
SCALE: 3/16" = 1'-0"



NEW ENGLAND ELEVATION
SCALE: 3/16" = 1'-0"



WILLIAMSBURG ELEVATION
SCALE: 3/16" = 1'-0"



CLASSIC ELEVATION
SCALE: 3/16" = 1'-0"

Building Elevations (MPDU's unit types)

SITE PLAN REVIEW

STAFF RECOMMENDATION

The modifications to the Site Plan do not significantly alter the overall design character of the development in relation to the original approval, and the site remains compatible with the existing developments adjacent to the site. The application proposes to adjust the lot line locations and sizes, revise the single family unit types, modify the landscape, and amend the entrance signage. These modifications do not negatively impact the efficiency, adequacy, or safety of the site with respect to vehicular and pedestrian circulation, open space, landscaping, or lighting.

Staff recommends approval of Site Plan No. 82006019A, Olney Estates, for the amendments delineated above. All site development elements shown on the Site and Landscape plans received on June 25, 2012 are required except as modified by the following conditions.

Conformance with Previous Approvals

1. Preliminary Plan Conformance
The development must comply with the conditions of approval for the amended Preliminary Plan 120050920 as listed in the Planning Board Resolution and as amended by this Application.
2. Site Plan Conformance
The development must comply with the conditions of approval for Site Plan 820060190 regarding the site design, lighting, pedestrian circulation, SWM, common open space covenant, the development program, and the MPDU's in the Planning Board Resolution dated June 25, 2012, unless modified by this Application.

Site Plan

3. Landscaping
All existing plant material specifically located within the area designated as "Tree Save Area" on the Site Plan must be retained in order to provide a densely planted landscape buffer between the subject sites the adjacent neighboring properties.
4. Surety
Prior to issuance of first building permit, Applicant must provide a performance bond(s) or other form of surety for any additional plant material provided within the "Tree Save Areas", in accordance with Section 59-D-3.5(d) of the Montgomery County Zoning Ordinance with the following provisions:
 - a. Applicant must provide a cost estimate of the materials and facilities, which, upon staff approval, will establish the initial surety amount.
 - b. Prior to issuance of the first building permit, Applicant must enter into a Site Plan Surety & Maintenance Agreement with the Planning Board in a form approved by the Office of General Counsel that outlines the responsibilities of the Applicant and incorporates the cost estimate.
 - c. Bond/surety must be tied to the development program, and completion of plantings and installation of particular materials and facilities covered by the surety for each phase of development will be followed by inspection and reduction of the surety.

5. Certified Site Plan

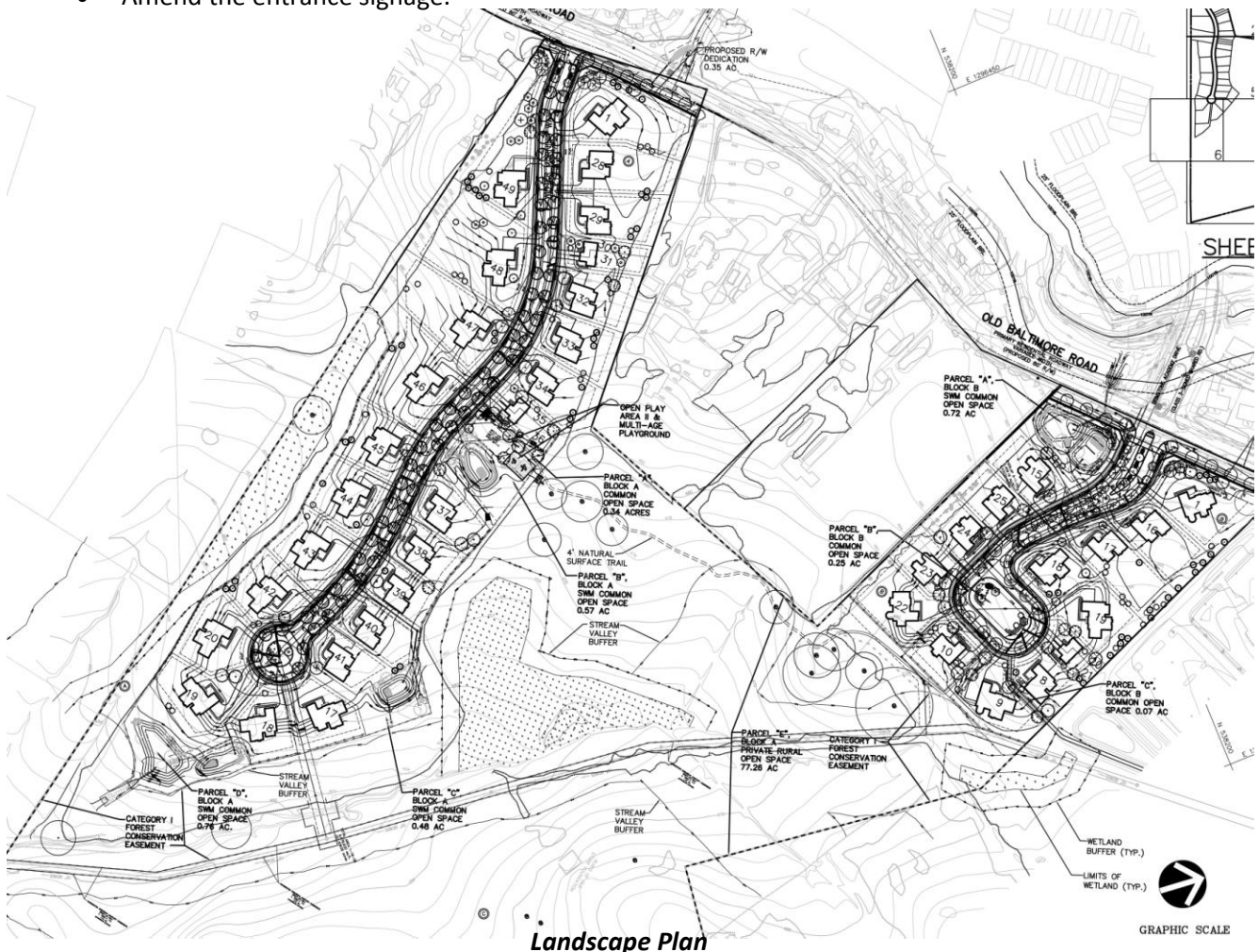
Prior to approval of the Certified Site Plan the following revisions must be made and/or information provided subject to Staff review and approval:

- a. Development program, Inspection schedule, and approved Resolution.
- b. Limits of disturbance.
- c. Methods and locations of tree protection.
- d. Note stating the M-NCPPC staff must inspect tree-save areas and protection devices prior to clearing and grading.
- e. MPDU calculations.
- f. Corrected building restrictions line (BRL) on individual lots.
- g. A minimum 20-foot rear year setback for one-family detached dwelling units.
- h. Location and details of the natural surface pathway.

Proposal

The Applicant is requesting the following modifications:

- Adjust the lot line locations and sizes,
- Revise the single family unit types,
- Modify the landscape, and
- Amend the entrance signage.



Considering the location of the established LOD by the Final Forest Conservation Plan (FFCP), the lot sizes will be widened to accommodate the new unit types. The one-family detached units were re-designed with side loaded garages in order to establish a hierarchy in the front building facades; while the unit types and the lot sizes for the MPDUs have been enlarged to be more compatible with the one-family units. The building restriction lines (BRLs) have been shifted and setback from the adjusted lot line locations. The maximum building footprints have been added to the plan in order to verify that adequate space has been provided in the rear yards of each lot. The buildings have also been relocated closer to the roadway (28 feet from the property line), and pushed away (approximately 20 feet) from the LOD and Tree Save areas.

SITE PLAN FINDINGS

1. *The site plan conforms to all non-illustrative elements of a development plan or diagrammatic plan, and all binding elements of a schematic development plan, certified by the Hearing Examiner under Section 59-D-1.64, or is consistent with an approved project plan for the optional method of development, if required, unless the Planning Board expressly modifies any element of the project plan.*

There is no Development or Project Plan associated with this property.

2. *The site plan meets all of the requirements of the zone in which it is located, and where applicable conforms to an urban renewal plan approved under Chapter 56.*

Development Standards

The subject site is zoned Rural Neighborhood Cluster (RNC). The intent of the RNC zone is to preserve open land, environmentally sensitive natural resources and rural community character that would be lost under conventional, large-lot development. This would be accomplished by requiring clusters of residential development in the form of small neighborhoods that provide neighborhood identity in an open space setting. The proposed development meets the purpose and requirements of the zone.

The site layout clusters the housing development in two areas along Old Baltimore Road, and preserves more than 70 percent of the property for rural open space. The lot diversity will be slightly decreased from nine (9) to seven (7) different categories; essentially combining the smaller lots (11 lots) into one category ranging from 5,000 square feet to 15,000 square feet. The total number of MPDUs (6 lots) will remain the same; however the overall size of the one-family detached and semi-detached units has increase in order to accommodate the new building footprint.

The following data table indicates the proposed development's compliance with the Zoning Ordinance. Only the standards that are affected by the proposed amendment are listed; a comprehensive modified data table is included on the certified site plan.

Project Data Table for the RNC Zone

Development Standard	Permitted/Required within the RNC Zone	Approved w/ Site Plan (820060190)	Site Plan 82006019A
Min. Area of Development (acres)	10 acres	107.35 acres	107.35 acres
Diversity of Lot Sizes (sf.)			
	Required for Developments of 70 acres or more	4-5,000 sf. – 2 units 5-10,000 sf. – 4 units 10-15,000 sf. – 5 units 15-20,000 sq. ft. – 6 units 20-25,000 sq. ft. – 8 units 25-30,000 sq. ft. – 6 units 30-35,000 sq. ft. – 4 units 35-40,000 sq. ft. – 4 units >40,000 sq. ft. – 3 units	5-15,000 sf. – 6 units 15-20,000 sf. – 8 units 20-25,000 sf. – 13 units 20-30,000 sf. – 8 units 30-35,000 sf. – 1 unit 35-40,000 sf. – 3 units >40,000 sf. – 3 units
Total Lots	N/A	42 lots	42 lots
Development Standards			
Min. Lot Area	4,000 sf. for one-family detached	13,349 sf.	16,463 sf.
	3,500 sf. for one-family semi-detached	4,577 sf.	5,305 sf.
Max. Building Coverage	Not specific for one-family attached	60%	60%
	35% max. for one family detached	35%	35%
Imperviousness	N/A	±8.82 acres (8.5%)	8.82 acres (8.5%)
Common Open Space	Req'ed for 10 du. or more	3.49 acres (3%)	3.49 acres (3%)
Rural Open Space	65-85%	77.35 acres (71.92%)	77.35 acres (71.92%)
Min. Parking Spaces	84 spaces	84 spaces	84 spaces

- The locations of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

The locations of the buildings will be slightly shifted to accommodate the maximum building footprint and still provide adequate space for the rear yards with minimal impact to the Tree Save Area and FCP easement areas. The minimum lot area will be increased by 3,114 square feet for one-family detached, and 728 square feet for one-family semi-detached units. The height, scale and design of the MPDU's are compatible with the market rate units. The material and signage plaque of the entrance features will be revised to reflect a different design concept; however the total height, width and location are still consistent with the original approval. The locations of the buildings and structures are adequate, safe and efficient.

There are no changes proposed to the open space areas (77.21 acres), recreational amenities and circulation systems; therefore, these elements will main consistent with the previous approvals. The circulation systems will continue to efficiently direct traffic into and through the site with minimal impacts to pedestrian circulation. Existing plantings have been specifically identified within the Tree Save areas in order to discourage the removal of these plant buffers. Per the certified Site Plan, removal of the existing plant materials would indicate a violation of the amended Site Plan. The proposed landscaping, street trees and lighting poles will be adjusted to accommodate the new lot lines and driveway locations.

4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.*

This amendment proposes no changes to the total number of residential lots, the building height and building setbacks. The new unit types are locations within the limits established by the FFCP easements, the LOD and the BRLs in the previous approvals. The proposed lots are adequately buffered along the rear yards, directly adjacent to the neighboring properties.

5. *The site plan meets all applicable requirements of Chapter 22A regarding forest conservation, Chapter 19 regarding water resource protection, and any other applicable law.*

The site plan amendment 82006019A for Olney Estates is consistent with the Final Forest Conservation Plan (FFCP) approved on August 28, 2008 and no amendment to the FFCP amendment is necessary. Staff recommends approval.

COMMUNITY OUTREACH

The Applicant has met all proper signage, noticing, and submission meeting requirements. Notice of the subject amendment was sent to all parties of record on March 23, 2012 giving 15 days for comments. Staff received a phone call and written correspondence regarding this matter in April 2012. Staff returned the message and responded to the email with a point by point letter (*Appendix D*). Essentially, the resident had recently moved back into the immediate area (directly adjacent to the subject property), and she expressed the following concerns: increased property taxes, increased traffic along Old Baltimore Road, the lack of communication between the community and the Applicant, environmental, buffering, and signage issues. Staff offered alternative solutions to the concerns listed above and passed their concerns onto the Applicant. A revised Site Plan set was re-submitted on June 25, 2012, and most of their concerns (as it directly relates to this amendment) have been addressed.

APPENDIX

- A. Resolutions (Preliminary and Site Plans)
- B. Letter of Explanation
- C. Community Correspondence
- D. Re-submitted Plans (received 06-25-12)

APPENDIX A: Resolutions (Preliminary Plan & Site Plan)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date Mailed: SEP 19 2006

Hearing Date: July 13, 2006

Action: Approved Staff Recommendation

Motion of Commissioner Bryant, seconded by Commissioner Robinson, with a vote of 3-2; Chairman Berlage and Commissioners Bryant and Robinson voting in favor. Commissioners Wellington and Perdue voting against.

MONTGOMERY COUNTY PLANNING BOARD

OPINION

Preliminary Plan No. 120050920 (formerly No. 1-05092)

NAME OF PLAN: Olney Estates

SEP 19 2006

The date of this written opinion is _____ (which is the date that this opinion is mailed to all parties of record). Any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this written opinion, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

INTRODUCTION

On 04/27/05, Oxbridge Development at Northwest, L.C. ("Applicant") submitted an application for the approval of a preliminary plan of subdivision of property in the RNC zone. The application proposed to create 42 lots on 107.35 acres of land located on the south east side of Old Baltimore Road, approximately 1,000 feet south of the intersection with Sandy Spring Road (MD 108), in the Olney Master Plan area ("Subject Property"). The application was designated Preliminary Plan No. 120050920 formerly No. 1-05092 ("Preliminary Plan"). On 07/13/06, the Preliminary Plan was brought before the Montgomery County Planning Board for a public hearing. At the public hearing, the Planning Board heard testimony and received evidence submitted in the record on the application.

The record for this application ("Record") closed at the conclusion of the public hearing, upon the taking of an action by the Planning Board. The Record includes: the information on the Preliminary Plan Application Form; the Planning Board staff-generated minutes of the Subdivision Review Committee meeting(s) on the application; all correspondence and any other written or graphic information concerning the application received by the Planning Board or its staff following submission of the application and prior to the Board's action at the conclusion of the public hearing, from the applicant, public agencies, and private individuals or entities; all correspondence and any other written or graphic information issued by Planning Board staff concerning the application, prior to the Board's action following the public hearing; all evidence, including written and oral testimony and any graphic exhibits, presented to the Planning Board at the public hearing.

SITE DESCRIPTION

The 107.35-acre Subject Property is zoned RNC and is located in the Olney Master Plan area on Old Baltimore Road. The surrounding uses are primarily low density residential with some religious institutions nearby. Confronting the site across Old Baltimore Road is the eastern edge of the Hallowell Subdivision, zoned R-60, that developed at a much higher density than the RNC zone allows. The Subject Property is currently vacant with some open field areas and has frontage on Old Baltimore Road at two locations, which are separated by intervening properties, not part of this application.

This site contains headwaters of the Northwest Branch watershed. There are two streams bisecting the property, running generally north to south. Typical of headwater areas, there are extensive wetlands, as well as numerous seeps and springs. There are 32.06 acres of the site that fall within environmental (stream valley) buffers. There are also 67.35 acres of existing forest on the Subject Property with numerous specimen trees located throughout the forested areas. A cleared, WSSC ROW runs from north to south across the middle of the property.

PROJECT DESCRIPTION

The Preliminary Plan proposes subdividing the Subject Property into 42 clustered lots. As required by the Olney Master Plan the open space for the Olney Estates Property must be a minimum of 70% if it develops using the optional (cluster) method. A stream valley buffer dictates the developable area; the Applicant's layout responds to this limitation by clustering the 42 lots in the most developable area, all out of the stream valley buffers. The development proposes use of two public streets (cul-de-sacs) to gain access to Old Baltimore Road. Public sewer and water will be provided to the site by connections to existing lines that abut the property.

All proposed lots front on the newly created public streets. Stormwater management is provided in a number of dry ponds located throughout the site in close proximity to the streets and residential units. A pathway location is shown that will connect the two roads through the open space on the plan. The final location and composition of this pathway will be determined at site plan, but it is important that it provide direct access to the multi-age playground shown on the Preliminary Plan and that it avoid a spring head on the site, to the maximum extent possible.

The Subject Property is encumbered with streams and their associated stream valley buffers. Aside from the area of the lots, there is an otherwise buildable area located in the center and eastern portions of the site that will be placed in an open space easement to meet the 70% open space requirements of the RNC zone for Olney. Forest conservation will also be met on-site.

The Preliminary Plan provides a well-dispersed variety of lot sizes ranging from less than 5,000 square feet to greater than 40,000 square feet as required by the RNC zone.

MASTER PLAN COMPLIANCE

The proposed development of approximately 107 acres is zoned RNC and located in the Southeast Quadrant of Olney within the 2005 Olney Master Plan area. The Subject Property is identified as site #12 in the Specific Property Recommendations section of the Master Plan on page 36. The Master Plan recommends a maximum base density of 0.33 units per acre for an optional method (cluster) development on community sewer and water on this site. At the density proposed (35 units), MPDUs must be provided in accordance with the MPDU law. This maximum permitted density can be increased through the bonus density provisions of the law. The Subject Property contains the headwaters of the Northwest Branch and significant forest resources.

The Master Plan recommends "any housing development must be clustered near Old Baltimore Road to protect environmental resources, including the entire forest stand, on this property." The proposed layout clusters the proposed housing units in two areas along Old Baltimore Road, which are currently unforested, and preserves more than 70% of the site as Rural Open Space in accordance with the provisions of the RNC Zone. The proposed plan achieves lot size diversity, required by the RNC Zone, by providing lot sizes ranging approximately from 4,580 square feet to 58,830 square feet.

Staff found that the proposed layout is consistent with the goals and recommendations of the 2005 Olney Master Plan.

TRANSPORTATION

Local Area Transportation Review

Two local intersections and site access points were identified as critical intersections for analysis to determine whether they meet the applicable congestion standard of 1,475 CLV for the Olney Policy Area. The proposed development trips were added to the existing and the background traffic (trips generated from approved but unbuilt developments) to determine the total future traffic. The total future traffic was assigned to the critical intersections to calculate the total future CLVs.

Based on the total future CLVs, the intersections of Old Baltimore Road and MD 108 will operate at a CLV value that exceeds the congestion standard of 1,475 in the morning peak hour under the total traffic condition. The intersection of Old Baltimore Road and MD 97 also operates at a CLV value that exceeds the congestion standard of 1,475 for this area during the morning peak hours under the existing, background and total traffic conditions. In order to mitigate their impact, the Applicant has proposed to pay a payment equal to 50% of the applicable transportation impact tax before any building permit is issued. The FY 2006 Growth Policy under section TL1, Standards and Procedures allows for developments generating between 30 and 49 peak hour trips to pay only half the applicable impact tax to satisfy the requirements of Local Area Transportation Review. The Applicant has chosen this alternative as opposed to other methods of reducing Local Area Transportation Impact (i.e. providing maximum number of bus shelters and/or "real time transit information signs") due to DPWT's uncertainty in identifying the location of such shelters or signs and accepting the funds for these improvements in the near future. Other methods of non-automobile transportation amenities beside bus shelters and "real time transit information signs" could not provide accumulatively for the number of trip credits needed to satisfy the Local Area Transportation Review (LATR) requirements. Staff recommended that the Planning Board accept the Applicant's proposed payment to satisfy LATR requirements.

Overlength Cul-de-sacs

Section 50-26 (d) of the Subdivision Regulations limits the use of cul-de-sacs in new subdivisions unless their use results in an improved street layout because of the unusual shape, size or topography of the subdivision. The section also limits the maximum length of a cul-de-sac to 500 feet, unless the Planning Board finds that a greater length is justified because of shape, size, topography, large lot size, or improved street alignments.

For the subject Preliminary Plan, the shape of the Subject Property is such that the two points of tangency with Old Baltimore Road are separated by an intervening property necessitating two separate intersections with Old Baltimore to serve the new lots. The Subject Property is essentially bisected by the intervening properties, and the

stream buffer located in the center and southern portions of the site. A connection of the two proposed cul-de-sacs was discussed, however, it is not possible without paving within the stream valley buffer. Staff considered the language in the Master Plan that placed a premium on preservation of forest and recognition of the environmental sensitivity of this site. The Olney Master Plan recommended clustering of lots near Old Baltimore Road. In staff's opinion, with the development located in this portion of the site, the plan is best served by the road alignments as proposed. Both cul-de-sacs exceed 500 feet in length, but staff found that the length of the cul-de-sacs is essential to reach the developable portions of the site and give all lots direct frontage on a public right-of-way without the need for pipestems. Fire and Rescue have approved the road configuration; a trail connection as previously discussed will provide pedestrian access between the two cul-de-sacs.

ENVIRONMENTAL COMPLIANCE

Forest Conservation

There are 67.35 acres of forest on the Subject Property. As previously noted, the recently approved Olney Master Plan includes a specific recommendation for this property which includes the following sentence: "Any housing development must be clustered near Old Baltimore Road to protect environmental resources, including the entire forest stand, on this property." The only forest clearing on this site is directly associated with a sewer connection resulting in 0.12 acres of forest impacted, which will be reforested.

The Applicant is afforesting 4.93 acres, so the entire environmental (stream valley) buffer will be forested. An additional 3.90 acres is designated as a natural regeneration area so it can develop into forest. All existing forest, afforestation areas, and stream valley buffers will be placed in a Category I forest conservation easement. The site plan will review the path in greater detail.

A path is proposed to connect the north arm of the development with recreation amenities on the south arm. The exact path location and composition will be determined at site plan. A field-located natural surface path is strongly recommended since it would cause the least disturbance to both forest and sensitive environmental features in the area. There is a spring in the area of the proposed path that must be avoided and any impacts minimized.

Environmental Buffers

The Subject Property has two perennial streams and multiple wetlands with 32.06 acres of stream valley buffer. Currently, 26.93 acres of this buffer is forested, and 4.93 acres will be afforested as part of the proposed plan. The entire buffer will be protected by a Category I forest conservation easement. Stream valley buffer impacts

for stormwater management outfalls have been minimized and these areas will be afforested.

MPDU CALCULATIONS

By letter dated June 15, 2006, the Applicant has calculated MPDUs pursuant to Chapter 25A and concluded that the MPDU legislation offers an opportunity to achieve an extra market rate unit if the total market rate units which can be achieved per the specified calculations is less than the full base density of the property, inclusive of the minimum MPDU requirement. The provision that the Applicant cited to in Section 25A-5(d)(2) of the Montgomery County Code states:

“If the Planning Board approves a density bonus of at least 20 percent for a development which consists of 20 or more but fewer than 50 units at one location, the number of MPDUs required must be governed by subsection (c) unless the formula in subsection (c) would not allow the development to have one bonus market rate unit. In that case, the Planning Board must reduce the required number of MPDUs by one unit and approve an additional market rate unit.”

Per the formula in subsection (c), the subject development achieves 35 market rate units by providing 7 MPDUs (15%), and the base density of the property (0.33 dwelling units per acre x 107.35 acres) is 35 dwelling units. By the Applicant's interpretation of subsection (d) above, the project is entitled to convert one of the required MPDUs to a market unit. The Applicant pointed out that the MPDU law provides this as an incentive to assure that at least one bonus market rate unit is provided when an applicant provides 15% MPDU's.

Staff concurred with the Applicant's interpretation of the MPDU legislation. There is legislative history that the County Council intended that section 25A-5(d)(2) be interpreted to permit an additional market rate unit if a development requesting a 20 percent density bonus did not achieve at least one market rate unit above the base zone density that could have been achieved *without* the minimum MPDU requirement. The proposed unit mix of 36 market rate units and 6 MPDUs is consistent with this history and intent.

STAFF RECOMMENDATION

Staff found that the Preliminary Plan demonstrates that the number of units proposed can be adequately served by the existing road infrastructure. Water and sewer facilities are also adequate. Stormwater management and drainage will be controlled by a stormwater management system approved by MCDPS. The lots meet the minimum dimensional requirements of the RNC zone and the density of lots proposed is within the maximums established by the Zoning Ordinance. In addition, the

Preliminary Plan conforms to the requirements of the Olney Master Plan to place a cluster development at this location, provide a variation in lot sizes, and to preserve the significant natural features that exist on the site.

Staff also found that the proposed size, width, shape and orientation of the lots are appropriate, and that the use of over-length cul-de-sacs is justified by the shape and environmental features of the Subject Property. Staff recommended approval of the plan subject to conditions.

FINDINGS

Having given full consideration to the recommendations of its Staff; the recommendations of the applicable public agencies¹; the Applicant's position; and other evidence contained in the Record, which is hereby incorporated in its entirety into this Opinion, the Montgomery County Planning Board, based on the uncontested evidence of record and subject to the conditions of approval, finds that:

- a) The Preliminary Plan No. 120050920 formerly No. 1-05092 substantially conforms to the Olney master plan.
- b) Public facilities will be adequate to support and service the area of the proposed subdivision. The Planning Board hereby adopts staff recommendation to allow the Applicant to pay a payment equal to 50% of the applicable transportation impact tax before any building permit is issued to satisfy LATR.
- c) The size, width, shape, and orientation of the proposed lots are appropriate for the location of the subdivision and the use of over-length cul-de-sacs is justified by the shape and environmental features of the Subject Property.
- d) The application satisfies all the applicable requirements of the Forest Conservation Law, Montgomery County Code, Chapter 22A.
- e) The application meets all applicable stormwater management requirements and will provide adequate control of stormwater runoff from the site. This finding is based on the determination by the Montgomery County Department of Permitting Services ("MCDPS") that the Stormwater Management Concept Plan meets MCDPS' standards.

¹The application was referred to outside agencies for comment and review, including the Washington Suburban Sanitary Commission, the Department of Public Works and Transportation, the Department of Permitting Services and the various public utilities. All of these agencies recommended approval of the application.

- f) The number of required MPDUs is 6. After an extensive discussion concerning the calculation of MPDUs for this project, the Planning Board concluded that Staff and the Applicant's interpretation as set forth above is correct. In addition, the Planning Board based its conclusion on the demonstrated fact that to find that the Applicant is not entitled to an additional market rate unit would render the above-cited provision of Chapter 25A meaningless. Commissioners Perdue and Wellington disagreed with this conclusion finding the language in Chapter 25A unclear and that the Planning Board is not required to reduce the MPDUs based on the market rate units already achieved by the proposed development.
- g) The Record of this application does not contain any contested issues; and, therefore, the Planning Board finds that any future objection, which may be raised concerning a substantive issue in this application, is waived.

CONDITIONS OF APPROVAL

Finding Preliminary Plan No. 120050920 formerly No. 1-05092 in accordance with the purposes and all applicable regulations of Montgomery County Code Chapter 50, the Planning Board approves Preliminary Plan No. 120050920 formerly No. 1-05092, subject to the following conditions:

- 1) Limit future development on the property to a maximum of 42 single-family units, including 6 MPDU's.
- 2) The proposed development shall comply with the conditions of the preliminary forest conservation plan. The applicant shall satisfy all conditions prior to recording of plat(s) or Montgomery County Department of Permitting Services (MCDPS) issuance of sediment and erosion control permits. Conditions include, but are not limited to:
 - a. Approval of final forest conservation plan consistent with the approved preliminary forest conservation plan (PFCP), including a planting plan for afforestation and reforestation of approximately 5.0 acres within the stream valley buffer, prior to any clearing, grading or demolition on the site.
 - b. Split rail fencing and permanent forest conservation signage are required along the easement line that adjoins residential lots and must be shown on the final FCP.
- 3) Record plat shall reflect a Category I conservation easement over all areas of environmental buffer and forest conservation as shown on the preliminary forest conservation plan

- 4) The applicant shall make a payment equal to 50% of the applicable transportation impact tax for the Olney area to mitigate the additional trips contributing to exceeding Critical Lane Volume (CLV) congestion standards for Olney Policy Area at the two intersections of Old Baltimore Road with MD 108 and MD 97. This payment must be paid before any building permit is issued.
- 5) The applicant shall dedicate all road rights-of-way shown on the approved preliminary plan to the full width mandated by the Master Plan unless otherwise designated on the preliminary plan.
- 6) The applicant shall construct all road rights-of-way shown on the approved preliminary plan to the full width mandated by the Master Plan and to the design standards imposed by all applicable road codes. Only those roads (or portions thereof) expressly designated on the preliminary plan, "To Be Constructed By _____" are excluded from this condition.
- 7) Record plat to reflect common ingress/egress and utility easements over all shared driveways.
- 8) Record Plat shall reflect all areas under Homeowners Association ownership and stormwater management areas.
- 9) Record plat to have the following note: "The land contained hereon is within an approved cluster development and subdivision or resubdivision is not permitted after the property is developed."
- 10) Record plat to reference the Common Open Space Covenant recorded at Liber 28045 Folio 578 ("Covenant"). Applicant shall provide verification to Commission staff prior to release of final building permit that Applicant's recorded HOA Documents incorporate by reference the Covenant.
- 11) Compliance with the conditions of the MCDPS stormwater management approval dated October 13, 2005.
- 12) Compliance with the conditions of MCDPWT approval letter dated May 25, 2006, unless otherwise amended.
- 13) No clearing, grading or recording of plats prior to certified site plan approval.
- 14) Final approval of the number and location of dwelling units, sidewalks, and bikepaths will be determined at site plan.
- 15) A landscape and lighting plan must be submitted as part of the site plan application for review and approval.

- 16) Final number of MPDU's as per condition no. 1 above to be determined at the time of site plans in accordance of with the actual number of units approved.
- 17) The Adequate Public Facility (APF) review for the preliminary plan will remain valid for sixty-one (61) months from the date of mailing of the Planning Board opinion.

This Preliminary Plan will remain valid for 36 months from its Initiation Date (as defined in Montgomery County Code Section 50-35(h), as amended). Prior to the expiration of this validity period, a final record plat for all property delineated on the approved preliminary plan must be recorded among the Montgomery County Land Records or a request for an extension must be filed.

* * * * *

[CERTIFICATION OF BOARD VOTE ADOPTING OPINION ON FOLLOWING PAGE]

APPROVED AS TO LEGAL SUFFICIENCY
byo 9/1/06

CERTIFICATION OF BOARD ADOPTION OF OPINION

At its regular meeting, held on **Thursday, September 7, 2006**, in Silver Spring, Maryland, the Montgomery County Planning Board of The Maryland-National Capital Park and Planning Commission, **ADOPTED** the above opinion, on motion of Commissioner Perdue, seconded by Commissioner Wellington, with Commissioners Bryant, Perdue, Robinson, and Wellington voting in favor, and with Chairman Hanson abstaining. This Opinion constitutes the final decision of the Planning Board and memorializes the Board's findings of fact and conclusions of law for **Preliminary Plan No. 120050920 (formerly No. 1-05092), Olney Estates.**



Certification As To Vote of Adoption
E. Ann Daly, Technical Writer



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

OCT 23 2006

MCPB No. 06-78

Site Plan No. 820060190

Olney Estates

Hearing Date: July 20, 2006

RESOLUTION

WHEREAS, pursuant to Montgomery County Code Division 59-D-3, the Montgomery County Planning Board ("Planning Board" or "Board") is required to review site plan applications; and

WHEREAS, pursuant to Montgomery County Code § 59-D-3.4(b), following a public hearing on the application, the Planning Board must, by resolution, approve, approve with conditions or disapprove a proposed site plan; and

WHEREAS, on October 25, 2005, Oxbridge Development at Northwest LLC ("Applicant"), filed an application for approval of a Site Plan for 42 one-family detached dwelling units including six MPDUs on 107.35 acres of land in the RNC Zone on the south side of Old Baltimore Road, approximately 1,000 feet south of the intersection with Sandy Spring Road (MD 108) ("Property"); and

WHEREAS, Applicant's site plan application was designated Site Plan No. 820060190 (Olney Estates) (the "Application"); and

WHEREAS, following review and analysis of the Application by Planning Board staff ("Staff") and the staffs of other governmental agencies, on July 20, 2006, Staff presented the Application to the Planning Board at a public hearing for its review and action (the "Hearing"); and

WHEREAS, prior to the Hearing, on July 7, 2006, Staff had issued a memorandum to the Board setting forth its analysis of, and recommendation for approval of the Application subject to certain conditions ("Staff Report"); and

WHEREAS, at the Hearing, the Planning Board heard testimony and received evidence submitted for the record ("Record") on the Application and approved the Application on the motion of Commissioner Bryant, seconded by Commissioner Wellington, with

Chairman Berlage and Commissioners Bryant, Robinson, and Wellington voting in favor of the motion, and Commissioner Perdue being absent.

NOW, THEREFORE, BE IT RESOLVED THAT, pursuant to the relevant provisions of Montgomery County Code Chapter 59, the Montgomery County Planning Board approved Site Plan No. 820060190 for 42 dwelling units on 1-7.35 acres of land in the RNC Zone, subject to the following conditions:

1. Preliminary Plan Conformance
The proposed development shall comply with the conditions of approval for Preliminary Plan No. 120050920.
2. Site Design
 - a. The data table on the site plan shall be revised to match the data table in the staff report. Information about the proposed diversity of lot sizes shall be added to the data table.
 - b. The recreation table on the site plan shall be revised to match the recreation table in the staff report. The recreation table shall show one open play area II instead of two open play areas II, multiage play area, pedestrian system, nature surface trail and natural areas to meet the recreational demand on site.
 - c. Provide a building height table and street level references on the site plan.
 - d. Revise the rear yard setback for one-family detached dwelling units to be a minimum of 20 feet.
3. Lighting
 - a. All light fixtures shall be full cut-off fixtures or be able to be equipped with refractors, reflectors or shields.
 - b. Deflectors shall be installed on all fixtures causing potential glare or excess illumination, especially on the perimeter fixtures abutting the adjacent properties.
 - c. Illumination levels shall not exceed 0.5 footcandles (fc) at any property line.
 - d. The height of the light poles shall not exceed 16 feet including the mounting base.
4. Pedestrian Circulation
 - b. Provide a natural surface pathway to connect the two areas of the development.
 - c. Provide the width, specifications and exact location of the proposed pathway.
5. Stormwater Management
The proposed development is subject to Stormwater Management Concept approval conditions dated October 13, 2005 unless amended and approved by Department of Permitting Services.

6. Common Open Space Covenant

Record plat of subdivision shall reference the Common Open Space Covenant recorded at Liber 28045 Folio 578 ("Covenant"). Applicant shall provide verification to M-NCPPC staff prior to issuance of the first building permit that Applicant's recorded Homeowners Association Documents incorporate by reference the Covenant.

7. Development Program

Applicant shall construct the proposed development in accordance with the Development Program. The Development Program shall be reviewed and approved by M-NCPPC staff prior to approval of the certified site plan. The Development Program shall include a phasing schedule as follows:

- a. On-site landscaping and sidewalks shall be installed along with the construction of units but no later than six months following completion of adjacent units.
- b. All bike paths, sidewalks within public rights-of-way, community-wide pedestrian pathways, the pathway connecting the two developments and recreational facilities shall be completed prior to issuance of the 36th building permit for the proposed units.
- c. Clearing and grading shall correspond to the construction phasing, to minimize soil erosion.

9. Clearing and Grading

No clearing or grading prior to M-NCPPC approval of the certified plans.

10. Moderately Priced Dwelling Units

- a. The applicant shall provide six MPDUs on-site, consistent with the optional method of development.
- b. The MPDU agreement shall be executed prior to the issuance of the first building permit.
- c. If all of the required MPDUs are not provided on-site, a site plan amendment application shall be filed by the applicant and approved by the Planning Board prior to issuance of any building permit.

11. Certified Site Plan

Prior to approval of the certified site plans, the following revisions shall be included and/or information provided, subject to staff review and approval:

- a. Development program, inspection schedule, and Site Plan Opinion.
- b. Limits of disturbance.
- c. Methods and locations of tree protection.
- d. Note stating that M-NCPPC staff must inspect tree-save areas and protection devices prior to clearing and grading.
- e. MPDU calculations.

- f. Correct building restriction line (BRL) on individual lots.
- g. A minimum 20-foot rear yard setback for one-family detached dwelling unit.
- h. Location and details of the proposed natural surface pathway.

12. Rural Open Space

The 77.21-acre area designated as private rural open space (Parcel A, B and C) is to be owned and maintained by the HOA, and in accord with condition #8 of the Preliminary Plan (#120050920) and will remain in perpetuity as rural open space and no further subdivision is permitted.

BE IT FURTHER RESOLVED, that all site development elements shown on the Olney Estates Residential plans stamped by the M-NCPPC on April 20, 2006, shall be required except as modified by the above conditions of approval; and

BE IT FURTHER RESOLVED, that this Resolution incorporates by reference all evidence of record, including maps, drawings, memoranda, correspondence, and other information; and

BE IT FURTHER RESOLVED, that the Planning Board's approval of the Application is based on the following findings:

1. *The Site Plan conforms to all non-illustrative elements of a development plan or diagrammatic plan, and all binding elements of a schematic development plan. Certified by the Hearing Examiner under Section 59-D-1.64, or is consistent with an approved project plan for the optional method of development, if required, unless the Planning Board expressly modifies any element of the project plan.*

This section is not applicable because there is no development plan or project plan for this development.

2. *The Site Plan meets all of the requirements of the zone in which it is located, and where applicable, conforms to an urban renewal plan approved under Chapter 56.*

The Site Plan subject to conditions of approval meets all of the requirements of the RNC zone. Applicant must comply with the development standard approved by the Planning Board as set forth in the Data Table below:

DATA TABLE

	Development Standard Approved by the Planning Board and Binding on <u>Applicant</u>
Gross Tract Area (ac/sf.):	107.35 acres
Development Density	0.4 D.U./Ac 42 D.U. 36 one-family detached units and 6 MPDUs for a total of 42 units
MPDUs	6 MPDUs
Minimum Lot Area	
SF attached	4,577 sq.ft
SF detached	13,349 sq.ft.
Minimum Lot Width	
SF attached	
At street front	28'
SF detached	
At street front	28'
Minimum Building Setbacks	
SF detached	
From Public Street	28'
From Adjoining Lot - Side	8'
From Adjoining Lot - Rear	20'
SF attached	
From Public Street	28'
For end unit - Side	8'
From Adjoining Lot - Rear	10'
Maximum Building Height	
Main dwelling	35' (as measured from the level of approved street grade opposite the middle of the front of a building to the highest point of roof surface of a flat roof; to the mean height level between eaves and ridge of a gable, hip, mansard, or gambrel roof; street grade AND as referenced in the building height table and on the site plans. A condition of approval has been added to add a building height table and street level references on the site plan)
Accessory Building	5' for rear and side yards and 60' from the street
Maximum Building Coverage	
SF attached	60%
SF detached	35%
Rural Open Space	71.92% (77.21 acres)
Parking	2 per unit 84 for 42 units

3. *The location of the building and structures, the open spaces, the landscaping, recreation facilities, and the pedestrian and vehicular circulation systems are adequate, safe and efficient.*

a. Buildings and Structures

The Applicant is proposing a total of 42 residential units including six MPDUs on 107 acres of land. The residential units are proposed in the northwestern portion of the Property to avoid impacts to the two stream valley buffers on the site and create a large expanse of rural open space. The MPDUs are proposed in three locations. The height, scale and design of the MPDUs will match the height, scale and design of the market rate units. The maximum height of the residential units will be 35 feet.

b. Open Spaces

The plan proposed 77.21 acres (71.92%) of the site to be kept open as rural open space.

Two homeowners association recreational open spaces are proposed in both the areas with housing along Old Baltimore Road. Three stormwater management parcels are proposed along the northern property line. Homeowners association rural open space is proposed on the south and east sides of the residential area.

There are 32.06 acres of stream valley buffers and 67.35 acres of existing forest on the Property. There are numerous specimen trees throughout the forested areas.

c. Landscaping and Lighting

The Applicant is providing shade trees along Old Baltimore Road and the internal streets. Landscaping consisting of a combination of shade trees, evergreen trees, ornamental trees, shrubs and ground cover are proposed along the recreational areas. Pole mounted light fixtures are proposed along the private street and the recreational open space.

d. Recreation Facilities

Recreational amenities like a multi-age play structure, open play areas and pedestrian areas are provided in the recreational open space. The recreation demand is satisfied on-site and the recreational amenities are adequate in terms of location, layout, quantity and quality.

The recreational areas are conveniently located to be easily accessible by all the residential units and are landscaped with a combination of trees, shrubs and perennials to provide an attractive setting for encouraging social contact. The play area and the pedestrian areas provide opportunities for active and passive recreation. The location of the recreational areas and the proposed landscaping ensure that there are no noise and visual impacts to the proposed one-family attached units and adjacent properties.

e. Vehicular and Pedestrian Circulation

Two access points are proposed to the site from Old Baltimore Road. Internal streets will serve the proposed units. Conditions of approval have been added to provide dedication along Old Baltimore Road to provide to provide crosswalks and bike paths. A pathway is provided along the southern portion of the property to connect the two development areas. A condition of approval has been added to provide the location and design details of the proposed pathway.

4. *Each structure and use is compatible with other uses and other Site Plans; and with existing and proposed adjacent development; and*

The Applicant is proposing a total of 42 residential units on 107 acres of land. The residential units are proposed in the northwestern portion of the Property to avoid impacts to the environmental areas. The Applicant has retained more than 70% of the property as rural open space. The maximum height of the residential units will be 35 feet. The design of the units will be compatible with the surrounding residential development consisting of one-family residences and townhouses. Therefore, the proposal is compatible with existing and proposed adjacent development.

5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation, Chapter 19 regarding water resource protection, and any other applicable law.*

There are 67.35 acres of forest on the Property. The Applicant is proposing 0.12 acres of forest clearing for a sewer connection. The Applicant is afforesting 4.93 acres, so that the entire environmental buffer is forested except for five feet on either side of the sewer line in the WSSC right-of-way. An additional 3.9 acres is designated as natural regeneration area. The Environmental Planning Section is recommending a surface path for the proposed pathway connecting the two areas of development. A condition of approval has been added to require the same.

The Property has 32.06 acres of stream valley buffer. Currently, 26.93 acres of this buffer is forested. 4.93 acres of stream valley buffer will be afforested and the entire buffer will be protected with a category I Forest Conservation easement, except for the WSSC ROW.

The Department of Permitting Services has approved the Stormwater Management Concept approval for this development on October 13, 2005.

BE IT FURTHER RESOLVED, that this site plan shall remain valid as provided in Montgomery County Code Section 59-D-3.8; and

OCT 23 2006 BE IT FURTHER RESOLVED, that the date of this written opinion is (which is the date that this opinion is mailed to all parties of record); and

BE IT FURTHER RESOLVED, that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this written opinion, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, *Maryland Rules*).

* * * * *


At its regular meeting, held on **Thursday, October 5, 2006**, in Silver Spring, Maryland, the Montgomery County Planning Board of The Maryland-National Capital Park and Planning Commission ADOPTED the above Resolution, on motion of Commissioner Wellington, seconded by Commissioner Robinson, and with Commissioners Bryant, Robinson, and

Wellington voting in favor, and with Commissioners Hanson and Perdue abstaining. This Resolution constitutes the final decision of the Planning Board and memorializes the Board's findings of fact and conclusions of law for **Site Plan No. 820060190, Olney Estates.**

Adopted by the Montgomery County Planning Board this 5th day of October, 2006.



Royce Hanson
Chairman, Montgomery County Planning Board



Trudye M. Johnson
Executive Director

APPENDIX B: Letter of Explanation



March 8, 2012

Mr. Richard Weaver
Planning Area *3*
The Maryland National Capital Park and
Planning Commission
8787 Georgia Avenue, 2nd Floor
Silver Spring, MD 20910

Re: Olney Estates – Site Plan Limited Plan Amendment 82006019A: Letter of Explanation

Dear Richard Weaver:

On behalf of Toll Md XI, LP. (the “Applicant”), we submit the following application and materials for a Site Plan submittal for an Administrative Amendment to Site Plan 820060190, approved on August 2nd, 2007.

The Applicant proposes adjusting lot lines to accommodate new MPDU and single family unit types, with side loaded garages. The Applicant also proposes adjusting the street tree and on lot landscaping for the new building and driveway layout. With the proposed lot line adjustments, the lot diversity decreases from nine different lot sizes, ranging from 4,000 sf. to >40,000 sf. to seven different lot sizes, ranging from 5,000 sf. to >40,000 sf. The minimum lot size for a one-family detached unit increases from 13,349 sf. to 16,463 sf. The minimum lot size for a one-family semi-detached unit increases from 4,577 sf. to 5,305 sf.

If you have any questions regarding the enclosed applications, please do not hesitate to contact us. Thank you for your consideration.

Sincerely,
VIKA Maryland, LLC

Meredith Byer, RLA
Associate

K:\1000-1500\1319_documents\VM1319D\planning\site development\1319D Letter of Explanation.doc

VIKA Maryland, LLC

20251 Century Boulevard, Suite 400 ✪ Germantown, Maryland 20874 ✪ 301.916.4100 ✪ Fax 301.916.2262
McLean, VA ✪ Germantown, MD ✪ Washington, DC

www.vika.com

APPENDIX C: Community Correspondence

Smith, Molline

From: Smith, Molline
Sent: Friday, April 06, 2012 2:48 PM
To: 'Kym Awkard'
Subject: RE: Olney Estates Site Plan 820060190

Good afternoon Kym Awkard,

I definitely remember speaking with you over the phone, and in fact calling you back is on today's "to do list". First and foremost, I appreciate you taking the time to put your concerns in writing, as I encourage your continued participation on future developments and/or amendments to existing developments. This email has allowed me to gain a better understanding, and has guided my review thus far. Your concerns (listed below) will be forwarded onto the project engineer, and I intend to get all of your questions answered. I do also want to update you on a recent development since this application has been filed. This amendment has changed from an Administrative Amendment to a Limited Amendment; which means you **will** have the opportunity to comment (in person or via a formal response letter) at the public hearing. M-NCPPC will contact you and the surrounding community members informing them of the latest change to the application. Of course the target date has not been established, as I mentioned over the phone this project is still under review. Staff will be sending initial comments to the Applicant on Monday, April 9, 2012; and you will be happy to know that one of the comments is concerning adequate buffering along the western property boundary (Lots 24-27 are in close proximity to your property).

Regarding the communication concerns... I have reviewed the noticing list that the Applicant has provided and your contact information is on their list. You are absolutely correct that Olney Library is closed for renovations. However, I also contacted the closest schools (Sherwood High School and William H. Farquhar Middle School) to verify that they received the larger copies of the plans, and they are on spring break. So I will contact them after the holiday. In the past the Applicant has sent large drawing sets to each resident; however not everyone found this method to be as productive and/or convenient to their work schedules. The drawings were often times left at the post office or sent back to the sender. I would suggest checking online (http://www.mcatlas.org/Development_Info/Default.aspx), contacting the project engineer, or MNCPPC- Information Counter (http://www.montgomeryplanning.org/department/about/division_contacts.shtml).

Regarding the entrance feature, environmental and transportation comments... At the beginning of the development process, the Applicant is required to provide information relative to their property and how it relates to the existing conditions (i.e. traffic study, forest conservation plan, stormwater management concept, etc.) in order to start the initial reviews. Based on the information provided, Staff reviews the documents and sends the Applicant comments. We welcome your input all throughout this process, because we work for Montgomery County and not solely for the interest of a particular party. Our first priority is to work with the community as a whole to create more sustainable neighborhoods throughout the county. Please feel free to contact the transportation specialist (Ki Kim 301-495-4538) and the environmental specialist (Katherine Nelson 301-495-4622). As the lead reviewer for this site plan amendment; I gladly welcome the opportunity to address your comments in person or over the phone. Please feel free to use the contact information provided below.

I have reached out to both numbers provide below and I left a message on both lines. I apologize if you have felt in any way excluded from this process; but again I welcome the opportunity to re-establish a better relationship with you in the near future.

Sincere regards,

Molline C. Smith, ASLA
(301) 495-4573 Site Plans

From: Kym Awkard [mailto:kawkard@yahoo.com]
Sent: Friday, April 06, 2012 11:28 AM
To: Smith, Molline
Subject: Olney Estates Site Plan 820060190

Good Friday Morning Ms. Smith,

My name is Kym Awkard and I am following up from our previous phone conversation regarding the above-mentioned subject.

As lead reviewer, I am contacting you about the Olney Estates Development. You mentioned that today you would be reviewing the proposed changes. I thought it best for me to document my concerns. I have a laundry list of things in no particular order that I am hoping you can address.

First - Since the inception of this development I/we have been left out of the loop. Because our houses have been here for well over 50 years and do not belong to an association, I think it would behoove Park and Planning to find a better way to notify neighboring residents of impending development way before it gets under way. Not after the fact when one is left feeling they really have no voice or say.

Second - Because we have been here for so many years, that is to say prior to an Olney Master Plan, rather than indicate we can go to the public library or school to see a copy of plans, they should be sent to us and we should be kept abreast of the changes. In the letter I received from VIKA, it indicates those facilities can post if they choose to do so. The Olney Library has been closed for some time. They also refer you to the lead reviewer, not mentioned by name which takes me to ...

Third - Trying to contact you was not an easy task as your phone systems are not accurate or user friendly. Thank goodness, I was able to reach Rebecca Boone when I hit an option, who was finally able to refer me to you after quite a bit of conversation.

So...here we are. My concerns regarding this development...

A. COMMUNICATION

Why would I think they would contact and communicate with the residents about the potential impact this development would have to them. Back in 2006, I first received plans for this development and at that time I contacted MNCPPC. A young lady came out and walked my property which is right next door as we were concerned among other things about the wetlands.

Things remained dormant for quite some time until about a year ago, I found a surveyor trespassing on my property who told me they were marking off for the development. Again, I ask why would someone not contact me. He couldn't tell me much. So again I contacted MNCPPC and was told basically, that it was not a requirement.

B. CONSIDERATION

As previously stated, me and my family have been at this residence and owned this property for well over 80 years. Some things should be grandfathered. This is my family legacy and GOD willing I hope to keep it in the family.

C. CONSERVATION/ ENVIRONMENTAL

I am concerned that the build of these houses will dramatically affect the well and natural spring water that I currently enjoy and could effect me.

What about the wildlife that inhabit that area? It seems to me they will be run over into my property.

With the revised plan showing a new entrance that is very close to my house, the noise is already a nuisance. Yet, let us have a cookout over the summer and the police are being called for noise.

What about traffic? Old Baltimore is currently a two lane road with a lot of traffic already. Are there plans to widen the road that I don't know about. Would that involve eminent domain?

D. PRIVACY

The new entrance close to my house concerns me with respect to privacy that I currently enjoy. Are they going to put up trees to provide privacy from my yard and the entrance to the development? Will there be street lights shining into my yard? Or lights from entrance signs shining into my yard?

E. OTHER

What happened to the Moratorium on building that was supposed to go on in the county? What is up with building these mega mansions? It seems to me that the county is trying to push the little people out? I mean on my mothers street, a MegaMansion was buildt next door to her and it just looks crazy! Why isn't what was there first taken into account?

These are the things I have thought about in the two weeks that I was given to respond to a letter I received from VIKA. I am sure if given a little more time, I would come up with some more.

Why do I feel like this is a David and Goliath situation? Or One against many?

I look forward to hearing from you.

Thanks for your time and consideration.

Respectfully,

Kym Awkard
301.774.0376 - H
301.785.0682 - C

APPENDIX D: Re-submitted Plans (received 06-25-12)

OLNEY ESTATES

SITE PLAN

#82006019A

DESIGN TEAM

OWNER

TOLL BROTHERS, INC.
7164 COLUMBIA GATEWAY
DRIVE #230
COLUMBIA, MD 21046
TEL. (410) 381-3191
FAX. (410) 872-4870
ATTN: TOM MATEYA

ATTORNEY

LINOWES AND BLOCHER LLP
7200 WISCONSIN AVENUE
SUITE # 800
BETHESDA, MD 20814
TEL. (301) 961-5156
FAX. (301) 654-2801
ATTN: STEVE KAUFMAN

CIVIL ENGINEER/ LANDSCAPE ARCHITECT

VIKA, INC.
20251 CENTURY BOULEVARD
SUITE 400
GERMANTOWN, MD 20874
TEL. (301) 916-4100
FAX. (301) 916-2262
ATTN: MEREDITH BYER, RLA
MIKE GOODMAN, PE

TRAFFIC CONSULTANT

KIMLEY-HORN AND ASSOCIATES, INC.
13755 SUNRISE VALLEY DRIVE
SUITE 450
HERNDON, VA 20171
TEL. (703) 674-1307
FAX. (703) 674-1350
ATTN: EDWARD PAZANIAN

SITE PLAN DRAWINGS: SP-1 - 12

- SP-1 COVER SHEET
- SP-1A SITE PLAN OPINION/ NOTES/ KEYS/
IMPERVIOUS AREA TABLE/ RECREATION TABLE
- SP-2 COMPOSITE SITE PLAN/
ADJACENT AREA PLAN
- SP-3 - 11 SITE PLAN
- SP-12 - 13 SITE DETAILS

LANDSCAPE AND LIGHTING PLAN DRAWINGS: LP-1 - 12

- LP-1 COMPOSITE LANDSCAPE AND LIGHTING PLAN
- LP-2 - 10 LANDSCAPE AND LIGHTING PLAN
- LP-11 LANDSCAPE PLAN DETAILS
- LP-12 LIGHTING SPECIFICATIONS AND DETAILS

SWM CONCEPT APPROVAL LETTER



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Dunham
County Executive Robert C. Hubbard
Deputy

October 13, 2006

Mr. Barry Smith
Vika, Inc.
20251 Century Boulevard, Suite 400
Germantown, MD 20874

Re: Stormwater Management CONCEPT Request
for Olney Estates
Preliminary Plan # 1-05092
SM File # 217890
Tract Size/Zone: 107.35 acres / RNC
Total Concept Area: 107.35 acres
Lot/Block: N/A
Parcel(s): 1242
Watershed: Northwest Branch

Dear Mr. Smith:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above mentioned site is acceptable. The stormwater management concept consists of on-site channel protection measures via construction of two dry detention ponds, on-site water quality control via construction of 5 Montgomery County Sand Filters (MCSF's), and onsite recharge via open section roadways and storage below the proposed facilities. Channel protection volume is not required for some of the drainage areas because the one-year post development peak discharge is less than or equal to 2 cfs. One area of proposed paving, at the intersection of existing Old Baltimore Road and proposed Public Street "B" will be paved with the water quality control requirement, conditioned upon the installation of a hydrodynamic structure to provide some quality pretreatment for that area.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. Prior to permanent vegetative stabilization, all disturbed areas must be topsoiled per the latest Montgomery County Standards and Specifications for Topsoiling.
2. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
3. An engineered sediment control plan must be submitted for this development.
4. A waiver of the water quality control requirement for a portion of the proposed Public Street "B" is hereby conditionally granted. The condition is that a hydrodynamic device must be installed to provide water quality pretreatment for this area. Due to the nature of the area being waived, the associated waiver contribution must be paid prior to approval of the sediment control plans.
5. Do not install overflow structures on the sand filters except where it is absolutely necessary to do so. It does not appear they are necessary in the proposed facilities. Please refer to the Montgomery County Flow Spilling Guidelines.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 is required, as outlined above.

This letter must appear on the sediment control/stormwater management plan at its final submission. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way specifically approved on the concept plan. Any divergence from the information provided to this office or additional information received during the development process, or a change in applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to re-evaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Mark Etheridge at 240-777-6336.

Robert R. Smith, Manager
Water Resources Section
Division of Land Development Services

NRB:am
cc: C. Condon
S. Fedelino
SM File # 217890

ON: ON: Area 30
CL: CL: Area 30
Recharge is provided



LOCAL AREA MAP

SCALE: 1" = 200'

DEVELOPMENT TABULATIONS

Zoning	Development Type Code	Existing Residential du/ SF	Proposed Residential du/ SF	MPDU	# of Lots
RNC	DP	0	36	6	36
RNC	DP	0	6	6	6
	Total Residential	0	42	42	6

Maximum number of dwelling units allowed by zoning.

Area Dedicated to Public Use (ac.)	Schools	Parks	Other	Total
Road ROW's	0.00	0.00	0.00	4.02
Other ROW's	0.00	0.00	0.00	4.02

MPDU CALCULATIONS FOR OLNEY ESTATES

Project Area in Acres	Permitted Zoning Unit Density	Subtotal of Units (Before Rounding)	Total Units Allowed (Rounded)	Total Units Provided
Base Density Allowed	107.35 x 0.33	= 35.42	35	36
Total Density with Maximum Bonus Allowance	107.35 x 0.4	= 42.94	42	42
Required MPDU's as 15% of the Total Proposed Units (1.5x42)		6.3	7	6***

***PER CHAPTER 25A -SECTION 5 (D)(2), THE ACTUAL NUMBER OF MPDU'S REQUIRED MAY BE REDUCED BY ONE (1), IF THE BONUS ALLOWANCE DOES NOT GENERATE AT LEAST ONE (1) MARKET RATE UNIT. THIS, & MPDU'S WILL BE PROVIDED.

NOTE: IF ALL OF THE REQUIRED MPDU'S ARE NOT PROVIDED ON-SITE, A SITE PLAN AMENDMENT APPLICATION SHOULD BE FILED BY THE APPLICANT AND APPROVED BY THE PLANNING BOARD PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.

DEVELOPMENT PROGRAM

- A. ALL 42 HOMES, INCLUDING 6 MPDU'S, WILL BE COMPLETED IN ONE CONTINUOUS PHASE.
- B. AMENITIES PHASING SCHEDULE:
1. STREET TREE PLANTING, ON-SITE SIDEWALKS AND STREET LIGHTING SHALL PROGRESS AS STREET CONSTRUCTION IS COMPLETED, BUT NO LATER THAN 6 (SIX) MONTHS AFTER COMPLETION OF THE UNITS ADJACENT TO THOSE STREETS.
2. THE BIKE PATH, SIDEWALKS WITHIN PUBLIC RIGHT-OF-WAYS AND CROSSWALK ACROSS OLD BALTIMORE ROAD & PUBLIC STREET "B" BRIMSTONE ACADEMY COURT SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF THE 36TH BUILDING PERMIT.
3. CONSTRUCTION OF THE OPEN PLAY AREA II, MULTI-AGE PLAYGROUND ASPHALT PATH AND NATURAL SURFACE TRAIL TO BE COMPLETED PRIOR TO ISSUANCE OF THE 36TH BUILDING PERMIT.
4. CLEARING AND GRADING SHALL CORRESPOND TO THE CONSTRUCTION PHASING, TO MINIMIZE SOIL EROSION.
- C. SITE INSPECTIONS:
1. APPLICANT SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH M-NCPPC STAFF AND MCDPS SEDIMENT CONTROL STAFF PRIOR TO CLEARING AND GRADING.
2. APPLICANT SHALL SEND WRITTEN NOTICE TO M-NCPPC'S INSPECTION UNIT TO INITIATE SCHEDULING OF PRE-CONSTRUCTION MEETINGS AND SITE INSPECTIONS.

AMENDMENT 82006019A PROPOSED CHANGES

1. ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
2. REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
3. REVISE ENTRANCE SIGNAGE FEATURE.

PROFESSIONAL CERTIFICATION:

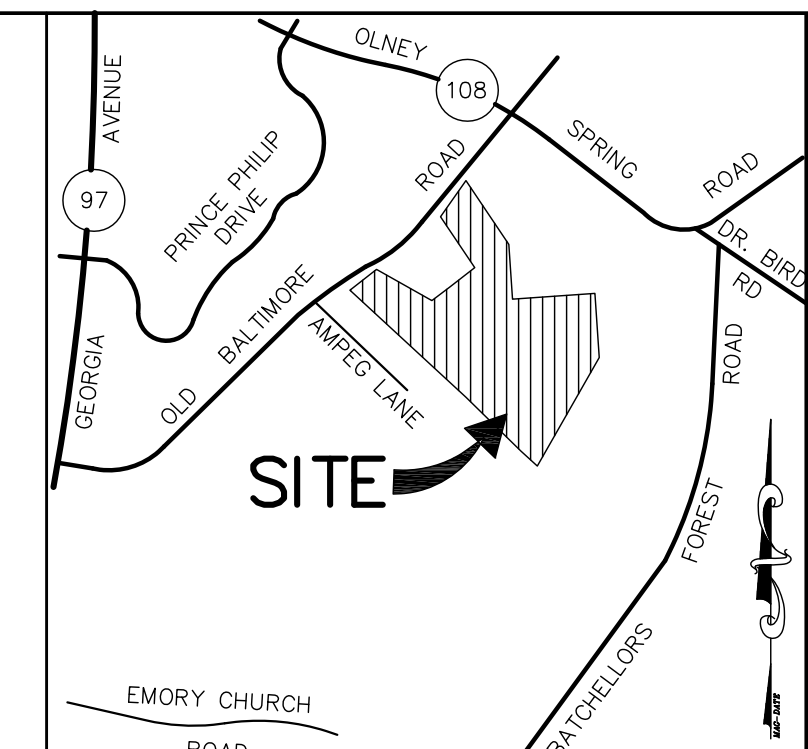
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNATURE: MICHAEL B. GOODMAN
PRINTED NAME: MICHAEL B. GOODMAN
TITLE: ASSOCIATE
DATE: JULY 19, 2012
EXPIRATION DATE: _____
LICENSE No. 22721

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN. DEVELOPER'S NAME: _____ COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____
PHONE: _____
SIGNATURE: _____



VICINITY MAP

SCALE: 1"=2000'

Copyright ADC The Map People
Permitted Use Number 20403121

OLNEY ESTATES SITE PLAN

M-NCPPC # 82006019A

GENERAL NOTES

1. THE SUBJECT PROPERTY IS COMPRISED OF PARCEL P240, LIBER 8007, FOLIO 50 WITH THE FOLLOWING TAX ACCT. # 08-02171864.
2. THE SUBJECT PROPERTY IS LOCATED ON TAX MAPS JT11, JT12, HT61, & HT62.
3. TOTAL SITE AREA IS 107.35 ACRES.
4. TREES ON LOTS 27B, 22A, 23A, 24A, AND 25A, WERE LOCATED BY ESE CONSULTANTS, INC.
5. THE SUBJECT PROPERTY IS LOCATED ON WSSC MAP 224NW03.
6. THE TOPOGRAPHIC INFORMATION IS BASED ON AN AERIAL SURVEY PROVIDED BY POTOMAC AERIAL SURVEYS, DATED MARCH 2005. THE SITE WAS FIELD EDITED BY VIKI, INC. IN MARCH 2005. THE CONTOUR INTERVAL IS 2'.
7. THE HORIZONTAL DATUM IS BASED ON NAD83(91) MARYLAND STATE PLANE COORDINATES (MD1900) USING THE FOLLOWING SURVEY CONTROL STATIONS:
-NGS CONTROL POINTS: SHERWOOD, PID NO. AJ7990
-GATHERSBURG CORP. ARP, PID NO. AF9222
-W.S.S.C. CONTROL POINT, TRAVERSE STATION 19527
8. THE VERTICAL DATUM IS BASED ON NVD029 USING THE FOLLOWING BENCH MARKS:
-W.S.S.C. CONTROL POINTS:
-BM 2049 (TRAVERSE STATION 20851, NGS STATION SHERWOOD, PID NO. AJ7990)
-BM 5217 (TRAVERSE STATION 19527)
-BM 5730 (TRAVERSE STATION 19525)
9. THE SUBJECT PROPERTY IS LOCATED IN ZONE "C" (AREA OF MINIMAL FLOODING) AS SHOWN OF FLOOD INSURANCE RATE MAP (FIRM) OF MARYLAND COMMUNITY PANEL NO. 240049 0150 B, FOR MONTGOMERY COUNTY, MARYLAND, DATED JULY 2, 1978.
10. THIS PROPERTY IS SUBJECT TO APPROVED NRI #4-0520BA AND APPROVED PRELIMINARY PLAN # 120050920 AND ANY AMENDMENTS TO IT.
11. THE SUBJECT PROPERTY FALLS WITHIN THE NORTHWEST BRANCH WATERSHED A CLASS IV STREAM.
12. THE SUBJECT PROPERTY IS CURRENTLY CLASSIFIED IN WATER & SEWER SERVICE CATEGORIES W-3 & S-3.
13. THIS SITE IS SUBJECT TO THE CONDITIONS OF APPROVAL FOR PRELIMINARY PLAN NO. 120050920, AS APPROVED BY THE PLANNING BOARD JULY 13, 2006, INCLUDING THE FOLLOWING CHANGES:
A) WALKER FOR OVER LENGTH CUL-DE-SACS FOR BOTH STREETS "A" AND "B" PER SEC 50-26(4).
14. HOUSE TYPES & HOUSE SITINGS SHOWN ON THIS PLAN ARE SUBJECT TO CHANGE WITH THE MARKET DICTATING THE FINAL DETERMINATION.
15. NO CLEARING OR GRADING PRIOR TO PRE-CONSTRUCTION MEETING WITH M-NCPPC STAFF AND MCDPS SEDIMENT CONTROL STAFF.
16. THIS SITE IS SUBJECT TO FOREST CONSERVATION PLAN NO. 820060190.
17. TREES HAVE BEEN LOCATED AND SHOWN FOR LOTS 27A, 22B, 23B, 24B, AND 25B. TREES WITHIN EXISTING HEDGEROW ALONG LOTS 1-10A, 37-30A, 19A, 20A, 42-47A, 26A, 27A, 22-25B, AND 12B TO BE PRESERVED. INVASIVE SPECIES WITHIN HEDGEROW ARE NOT PROTECTED AND CAN BE REMOVED WITH INITIAL CONSTRUCTION (BY HAND) OR IN THE FUTURE BY HOMEOWNER.

PROJECT DATA TABLE (RNC ZONE)

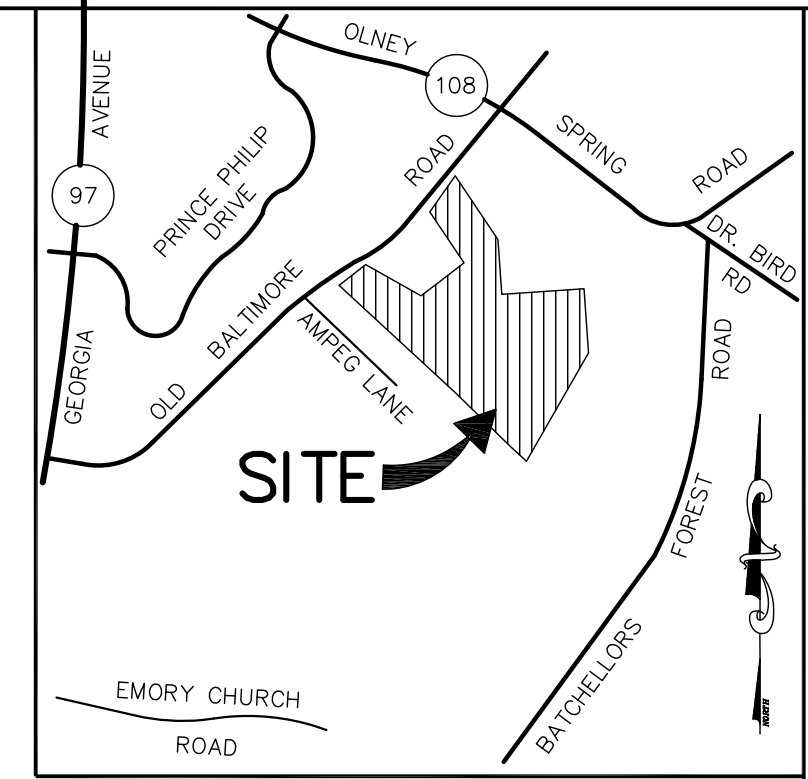
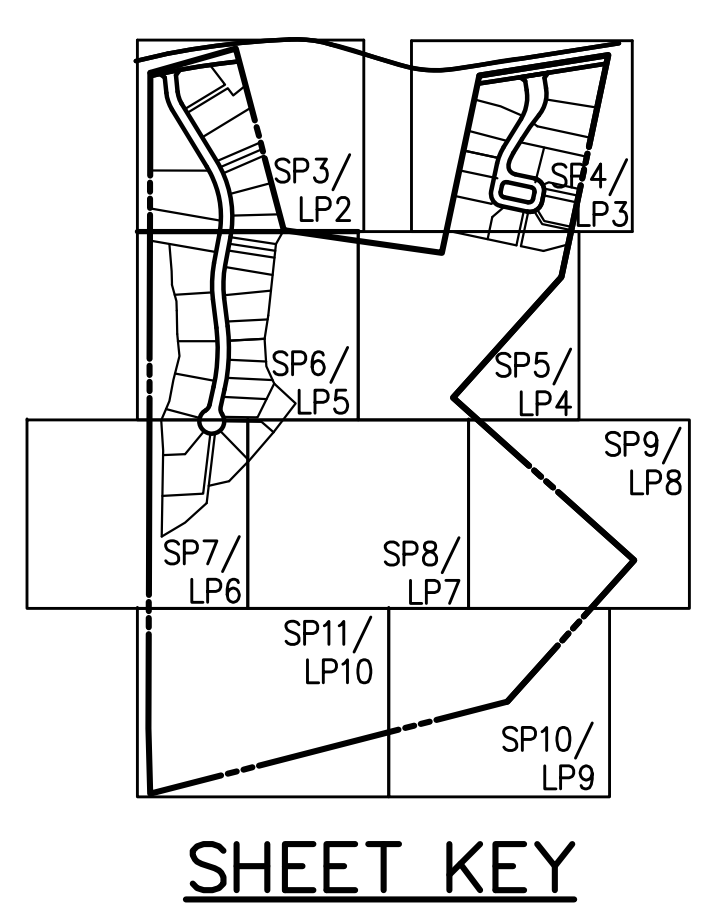
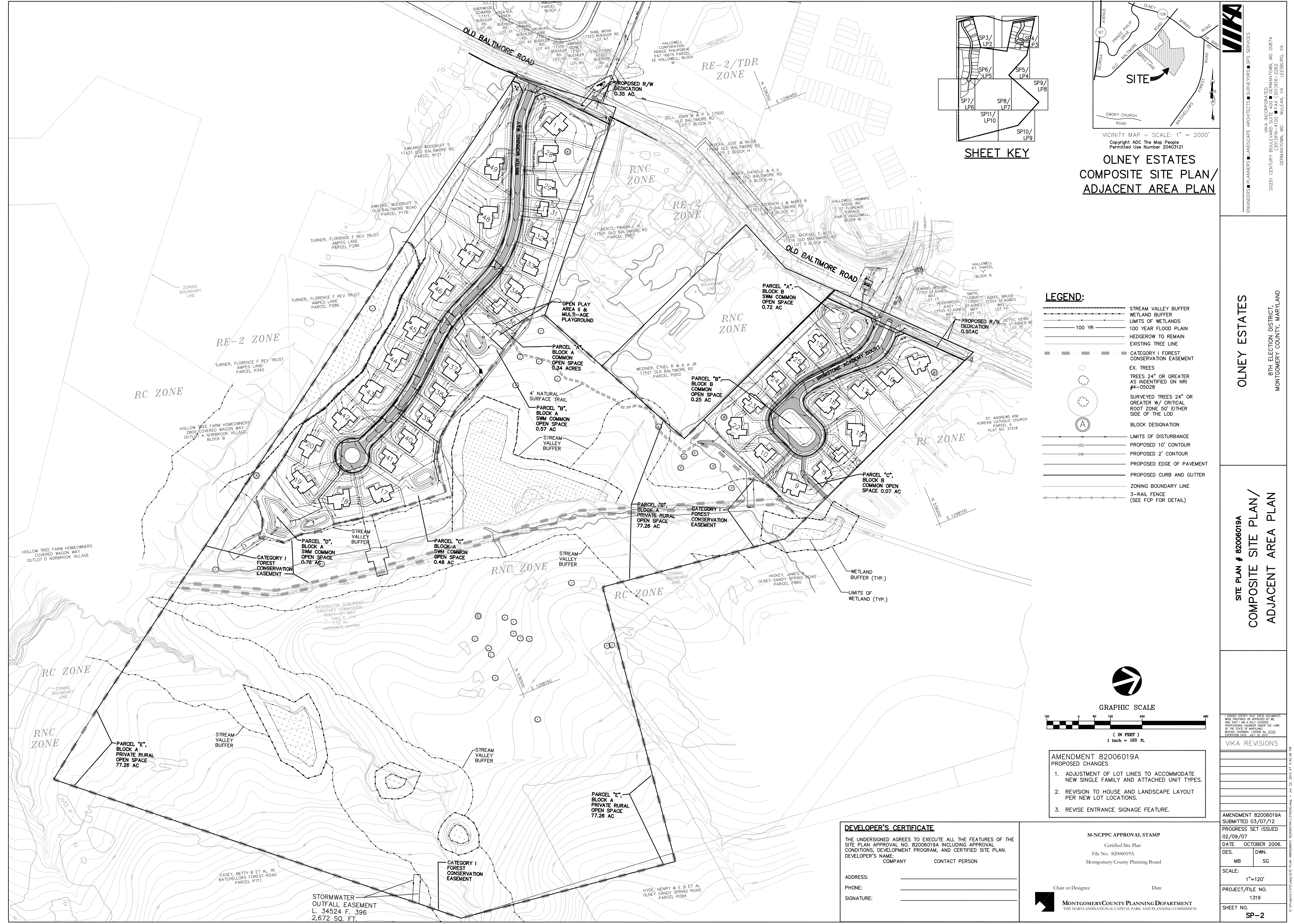
	PERMITTED/REQUIRED PER RNC ZONE	PERMITTED/REQUIRED PER MASTER PLAN	PROPOSED
Development Method Used	Optional or Standard	Optional (59-c-9.574)	Optional
Minimum Area of Development	10 acres	---	107.35 acres
Proposed Development:			
Lot Area	---	---	Gross tract area = 107.35 acres Net tract area = 103.30 acres
Density (dwelling per acre)	1.22 DU per gross acre or 130	0.33 to 0.4 with MPDU's	42 or 0.4 du/acre including 6 MPDU's w/ open space provided per Master Plan
Dwelling Units	one-family detached*	15% @ 0.40 du/ac or 7	6**
Diversity of Lot Sizes	Required for Developments of 70 acres or more	---	5-15,000 sf - 6 15-20,000 sf - 8 20-25,000 sf - 13 25-30,000 sf - 8 30-35,000 sf - 1 35-40,000 sf - 3 > 40,000 sf - 3
Development Standards:			
Minimum Lot Area	4,000 sf for one-family detached	---	16,463 sf
Setback from street	3,500 sf for one-family semi-detached	---	5,305 sf
Rear Yard Setback	15' minimum	---	28' minimum
Side Yard Setback	8' ***	---	8'
Lot Width @ prop. Street Line	25' for one-family detached	---	28'
Building Height	35' maximum	---	35'
Maximum Building Coverage	not specified for single-family attached	---	60%
Accessory Structure Setbacks	35% maximum for single-family detached minimum 5' rear & side yard	---	35%
Common Open Space ****	Required for all dev. of 10 du or more	---	3.49 acres (+/-) or 3%
Rural Open Space ****	65-85%	---	77.35 acres (+/-) or 71.92%
Imperviousness	---	---	8.82 acres (+/-) or 8.5%
Parking Requirements	minimum 2 spaces/du or 84	---	84

- * SEE HOUSE TEMPLATES ON SHEET # 1A FOR DIVERSITY OF HOUSE SIZES.
- ** PER CHAPTER 25A -SECTION 5 (D) (2), THE ACTUAL NUMBER OF MPDU'S REQUIRED MAY BE REDUCED BY ONE (1), IF THE BONUS ALLOWANCE DOES NOT GENERATE AT LEAST ONE (1) MARKET RATE UNIT. THIS, & MPDU'S WILL BE PROVIDED.
- *** FOR A SIDE OR REAR YARD THAT ABUTS A LOT THAT IS NOT DEVELOPED UNDER THE OPTIONAL METHOD OF THIS SECTION, THE SETBACK MUST BE AT LEAST EQUAL TO THAT REQUIRED FOR THE ABUTTING LOT PROVIDED THAT NO REAR YARD IS LESS THAN 30 FEET. THE SIDE YARD SETBACK FOR ABUTTING ZONE RC IS 20' AND THE REAR YARD SETBACK IS 35'. THE SIDE YARD SETBACK FOR ABUTTING ZONES RE-2/TDR AND RE-2 IS 15' AND THE REAR YARD SETBACK IS 35'. THIS APPLIES TO LOTS 1-9, BLOCK A AND 25-27, BLOCK B.
- ****SEE DEVELOPMENT SUMMARY TABLE ON SHEET #1A.

INSPECTION SCHEDULE

M-NCPPC/DPS APPROVAL SIGNATURE	PRE-CONSTRUCTION	PRIOR TO ISSUANCE OF 1ST BUILDING PERMIT	PRIOR TO ISSUANCE OF 36TH BUILDING PERMIT	FINAL	TASK PERFORMED
					PRE-CONSTRUCTION MEETING WITH M-NCPPC STAFF BEFORE CLEARING & GRADING.
					EXECUTION OF MPDU AGREEMENT.
					INSTALLATION OF OPEN PLAY AREA II, MULTI-AGE PLAYGROUND, ASPHALT PATH & NATURAL SURFACE TRAIL
					CONSTRUCTION OF BIKE PATH
					INSTALLATION OF CROSSWALK ACROSS OLD BALTIMORE RD. @ PUBLIC STREET "B" / BRIMSTONE ACADEMY DRIVE
					CONSTRUCTION OF FIVE-FOOT SIDEWALK ALONG OLD BALTIMORE ROAD FRONTAGE
					INSTALLATION OF STREET TREES, ON-SITE SIDEWALKS & STREET LIGHTING
					BUILDING INSPECTION PRIOR TO OCCUPANCY.
					POST-CONSTRUCTION PROTECTION PRIOR TO PLANTING (REFORESTATION).
					AFTER REFORESTATION - BEGINNING OF TWO YEAR MAINTENANCE PERIOD.
					AFTER TWO YEAR MAINTENANCE PERIOD MUST MEET SURVIVABILITY.

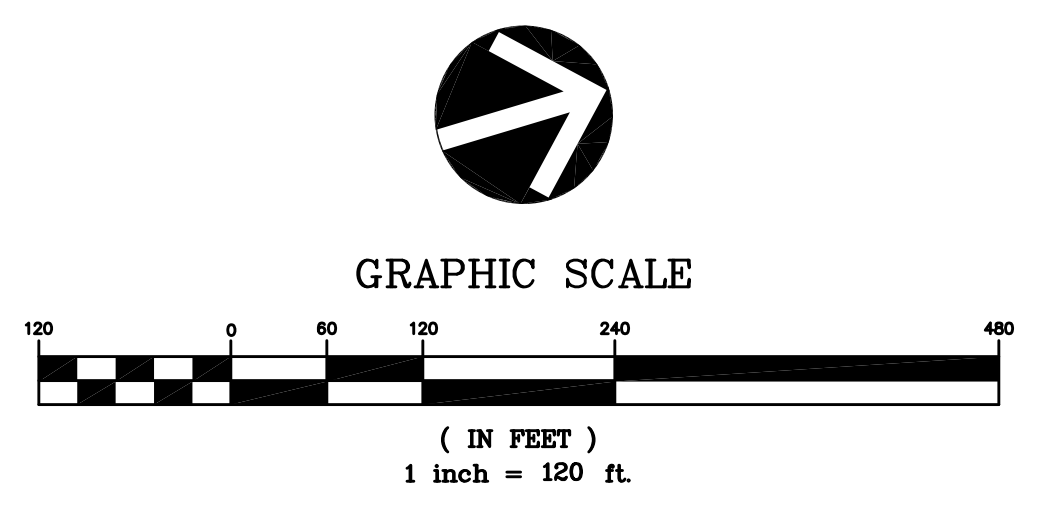
OLNEY ESTATES
 8TH ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
 VIKA, INCORPORATED
 20251 CENTURY BOULEVARD, GERMANTOWN, MD 20874
 (301) 916-4100 ■ FAX (301) 916-2262
 McLEAN, VA
 LEESBURG, VA
 SITE PLAN # 82006019A
 COVER SHEET
 VIKI REVISIONS
 AMENDMENT 82006019A
 SUBMITTED 03/07/12
 PROGRESS SET ISSUED
 02/09/07
 DATE: OCTOBER, 2006.
 DES. MB DW. SG
 SCALE: AS SHOWN
 PROJECT/FILE NO. 1319
 SHEET NO. SP-1



**OLNEY ESTATES
COMPOSITE SITE PLAN/
ADJACENT AREA PLAN**

LEGEND:

	STREAM VALLEY BUFFER
	WETLAND BUFFER
	LIMITS OF WETLANDS
	100 YEAR FLOOD PLAIN
	HEDGEROW TO REMAIN
	EXISTING TREE LINE
	CATEGORY I FOREST CONSERVATION EASEMENT
	EX. TREES
	TREES 24" OR GREATER AS IDENTIFIED ON NRI #4-05028
	SURVEYED TREES 24" OR GREATER W/ CRITICAL ROOT ZONE 50' EITHER SIDE OF THE LOD
	BLOCK DESIGNATION
	LIMITS OF DISTURBANCE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB AND GUTTER
	ZONING BOUNDARY LINE
	3-RAIL FENCE (SEE FCP FOR DETAIL)



- AMENDMENT 82006019A
PROPOSED CHANGES**
- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
 - REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
 - REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: _____ COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____

PHONE: _____

SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
File No. 82006019A
Montgomery County Planning Board

Chair or Designer: _____ Date: _____

MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

VKA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES

VKA INCORPORATED
20251 CENTURY BULLETS RD #400
GERMANTOWN, MD 20874
(301)916-4100 ■ FAX (301)916-2952
MCLEAN, VA ■ LEESBURG, VA

OLNEY ESTATES

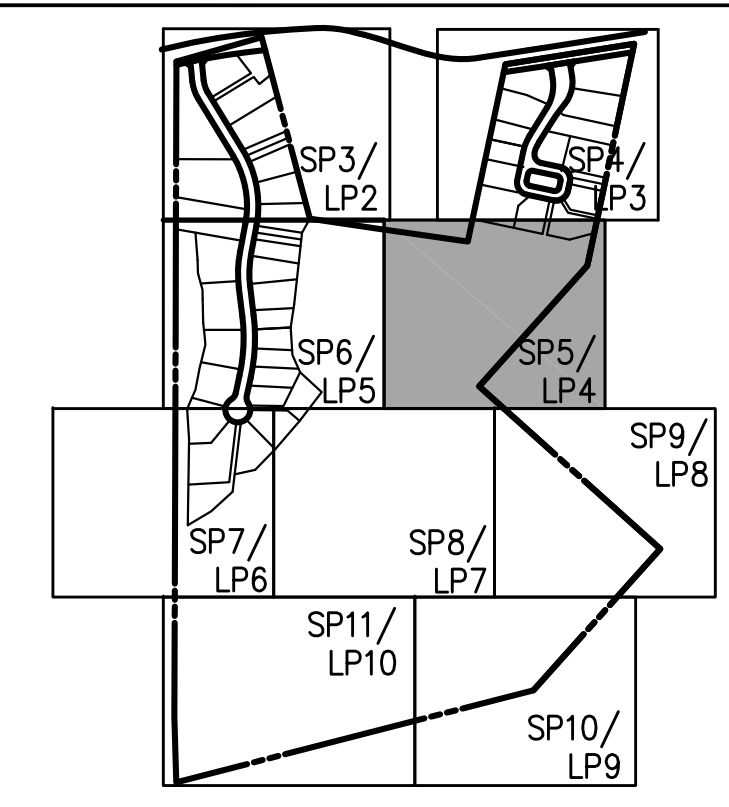
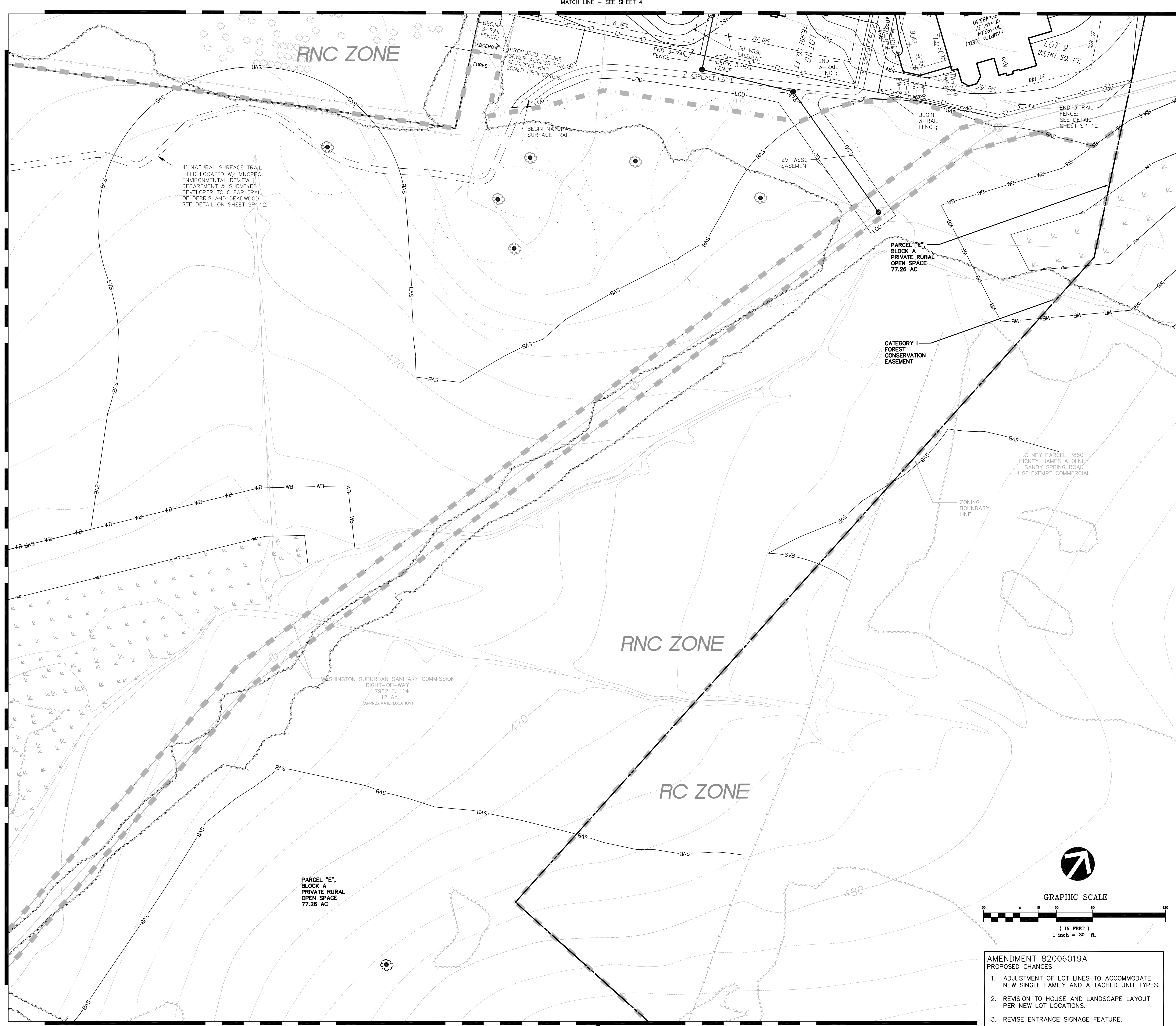
8TH ELECTION DISTRICT,
MONTGOMERY COUNTY, MARYLAND

**SITE PLAN # 82006019A
COMPOSITE SITE PLAN/
ADJACENT AREA PLAN**

VKA REVISIONS

NO.	DATE	DESCRIPTION

AMENDMENT 82006019A
SUBMITTED 03/07/12
PROGRESS SET ISSUED
02/09/07
DATE: OCTOBER 2006.
DES. MB DWN. SG
SCALE: 1"=120'
PROJECT/FILE NO. 1319
SHEET NO. SP-2



SHEET KEY
OLNEY ESTATES
SITE PLAN

LIGHTING LEGEND

- EX. STREET LIGHT
- ★ PROPOSED STREET LIGHT
- ✱ IN-GROUND LIGHTS

LEGEND:

- SVB- STREAM VALLEY BUFFER
- WB- WETLAND BUFFER
- LIMITS OF WETLANDS
- 100 YR. LIMITS OF WETLANDS
- HEDGEROW TO REMAIN
- EXISTING TREE LINE
- CATEGORY I FOREST CONSERVATION EASEMENT
- EX. TREES
- TREES 24" OR GREATER AS IDENTIFIED ON NRI #4-05028
- SURVEYED TREES 24" OR GREATER W/ CRITICAL ROOT ZONE 50' EITHER SIDE OF THE LOD
- BLOCK DESIGNATION
- LIMITS OF DISTURBANCE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER WITH STRUCTURE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- FFE FINISHED FLOOR ELEVATION
- ZONING BOUNDARY LINE
- 3-RAIL FENCE (SEE FCP FOR DETAIL)

SURVEY LEGEND

- BUILDING
- CABLE TELEVISION CONDUIT
- ELECTRICAL CONDUIT
- EDGE OF PAVEMENT
- FENCE LINE
- NATURAL GAS CONDUIT
- OVERHEAD WIRES
- PHONE/COMMUNICATIONS CONDUIT
- PROPERTY LINES
- PUBLIC UTILITIES EASEMENTS
- SANITARY SEWER CONDUIT
- STORM DRAIN CONDUIT
- WATER CONDUIT
- SANITARY CLEANOUT
- STORM DRAIN MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL MANHOLE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GAS MANHOLE
- GUY POLE
- GAS VALVE
- LIGHT POLE
- PHONE PEDESTAL
- PHONE MANHOLE
- UTILITY POLE
- SANITARY MANHOLE
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL POLE
- TREE
- CABLE TELEVISION PEDESTAL
- UNKNOWN UTILITY MANHOLE
- WATER METER
- WATER MANHOLE
- WATER VALVE
- BOLLARD
- SIGN POST
- WOOD POST
- INLETS
- CURB INLET
- CONCRETE CURB AND GUTTER
- CONCRETE CURB AND GUTTER
- BLDG. BUILDING
- STY. STORY
- TRV. ELECTRICAL TRANSFORMER
- ASPH. ASPHALT
- ESMT. EASEMENT
- RCP. REINFORCED CONCRETE PIPE
- CMP. CORRUGATED METAL PIPE
- BRL. BUILDING RESTRICTION LINE
- R/W. RIGHT-OF-WAY

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.
 DEVELOPER'S NAME: _____ COMPANY: _____ CONTACT PERSON: _____

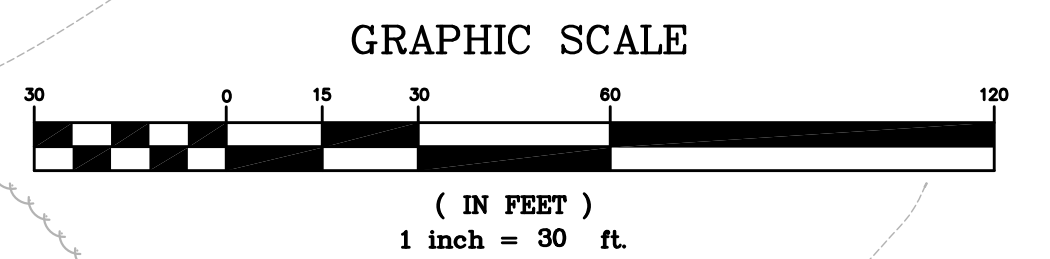
ADDRESS: _____
 PHONE: _____
 SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
 File No. 82006019A
 Montgomery County Planning Board

Chair or Designer _____ Date _____

MONTGOMERY COUNTY PLANNING DEPARTMENT
 THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION



- AMENDMENT 82006019A**
PROPOSED CHANGES
1. ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
 2. REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
 3. REVISE ENTRANCE SIGNAGE FEATURE.

VKA
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
 VIKI A. KOSKOROFF, P.E.
 20251 CENTURY BULLEVADE, SUITE 400 ■ GERMANTOWN, MD 20874
 (301)916-4100 ■ FAX (301)916-2252
 GERMANTOWN, MD ■ MCLEAN, VA ■ LEESBURG, VA

OLNEY ESTATES
 8TH ELECTION DISTRICT,
 MONTGOMERY COUNTY, MARYLAND

SITE PLAN # 82006019A
SITE PLAN

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A SOLE LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 MICHAEL GOODMAN LICENSE NO. 22722
 EXPIRES DATE: JULY 28, 2022

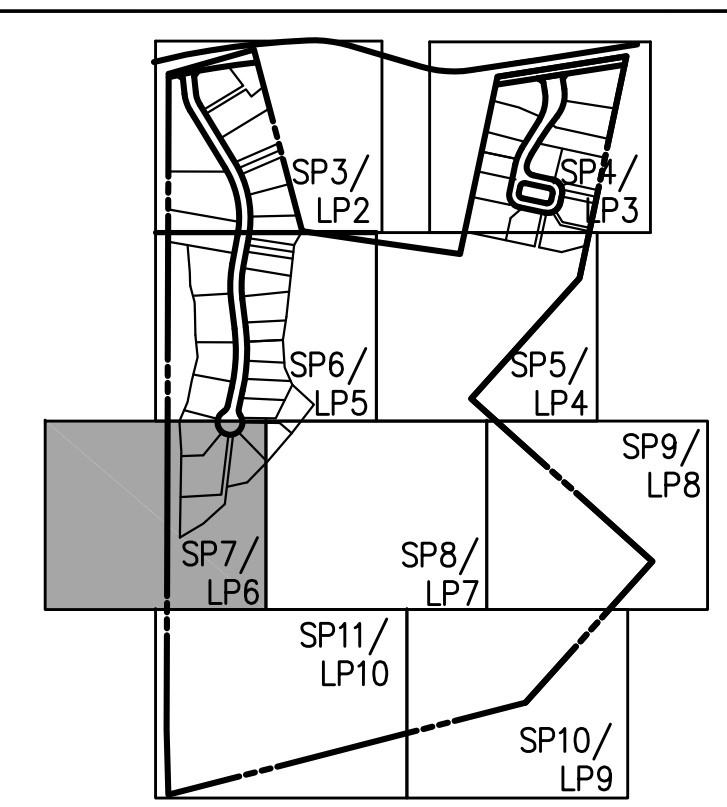
VKA REVISIONS

NO.	DATE	DESCRIPTION

AMENDMENT 82006019A	DATE	OCTOBER 2006.
SUBMITTED 03/07/12	DES.	DWN.
PROGRESS SET ISSUED 02/09/07	MB	SG
SCALE:	1"=30'	
PROJECT/FILE NO.	1319	
SHEET NO.	SP-5	

RE-2 ZONE
RC ZONE

MATCH LINE - SEE SHEET 6



SHEET KEY
OLNEY ESTATES
SITE PLAN

LIGHTING LEGEND

- EX. STREET LIGHT
- ★ PROPOSED STREET LIGHT
- * IN-GROUND LIGHTS

LEGEND:

- SVB- STREAM VALLEY BUFFER
- WB- WETLAND BUFFER
- WET- LIMITS OF WETLANDS
- 100 YR- 100 YEAR FLOOD PLAIN
- HEDG- HEDGEROW TO REMAIN
- ETL- EXISTING TREE LINE
- C1- CATEGORY I FOREST CONSERVATION EASEMENT
- EX. TREES
- TREES 24" OR GREATER AS IDENTIFIED ON NRI #4-05028
- SURVEYED TREES 24" OR GREATER W/ CRITICAL ROOT ZONE 50' EITHER SIDE OF THE LOG
- BLOCK DESIGNATION
- LIM- LIMITS OF DISTURBANCE
- 10'- PROPOSED 10' CONTOUR
- 2'- PROPOSED 2' CONTOUR
- W- PROPOSED WATER LINE
- SS- PROPOSED SANITARY SEWER WITH STRUCTURE
- EOP- PROPOSED EDGE OF PAVEMENT
- C&G- PROPOSED CURB AND GUTTER
- SDP- PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- FFE- FINISHED FLOOR ELEVATION
- ZBL- ZONING BOUNDARY LINE
- R/W- 3-RAIL FENCE (SEE FOP FOR DETAIL)

SURVEY LEGEND

- CTV- BUILDING
- E- CABLE TELEVISION CONDUIT
- E- ELECTRICAL CONDUIT
- E- EDGE OF PAVEMENT
- X- FENCE LINE
- X- NATURAL GAS CONDUIT
- X- OVERHEAD WIRES
- P- PHONE/COMMUNICATIONS CONDUIT
- P- PROPERTY LINES
- P- PUBLIC UTILITIES EASEMENTS
- P- SANITARY SEWER CONDUIT
- P- STORM DRAIN CONDUIT
- P- WATER CONDUIT
- P- SANITARY CLEANOUT
- P- STORM DRAIN MANHOLE
- P- ELECTRICAL JUNCTION BOX
- P- ELECTRICAL MANHOLE
- P- FIRE DEPARTMENT CONNECTION
- P- FIRE HYDRANT
- P- GAS MANHOLE
- P- GUY POLE
- P- GAS VALVE
- P- LIGHT POLE
- P- PHONE PEDESTAL
- P- PHONE MANHOLE
- P- UTILITY POLE
- P- SANITARY MANHOLE
- P- TRAFFIC CONTROL BOX
- P- TRAFFIC SIGNAL POLE
- P- TREE
- P- CABLE TELEVISION PEDESTAL
- P- UNKNOWN UTILITY MANHOLE
- P- WATER METER
- P- WATER MANHOLE
- P- WATER VALVE
- P- BOLLARD
- P- SIGN POST
- P- WOOD POST
- P- INLETS
- P- CURB INLET
- P- CONCRETE
- P- C&G CURB AND GUTTER
- P- BLDG. BUILDING
- P- STY. STORY
- P- TRV. ELECTRICAL TRANSFORMER
- P- ASPH. ASPHALT
- P- ESMT. EASEMENT
- P- RCP. REINFORCED CONCRETE PIPE
- P- CMP. CORRUGATED METAL PIPE
- P- BRL. BUILDING RESTRICTION LINE
- P- R/W. RIGHT-OF-WAY

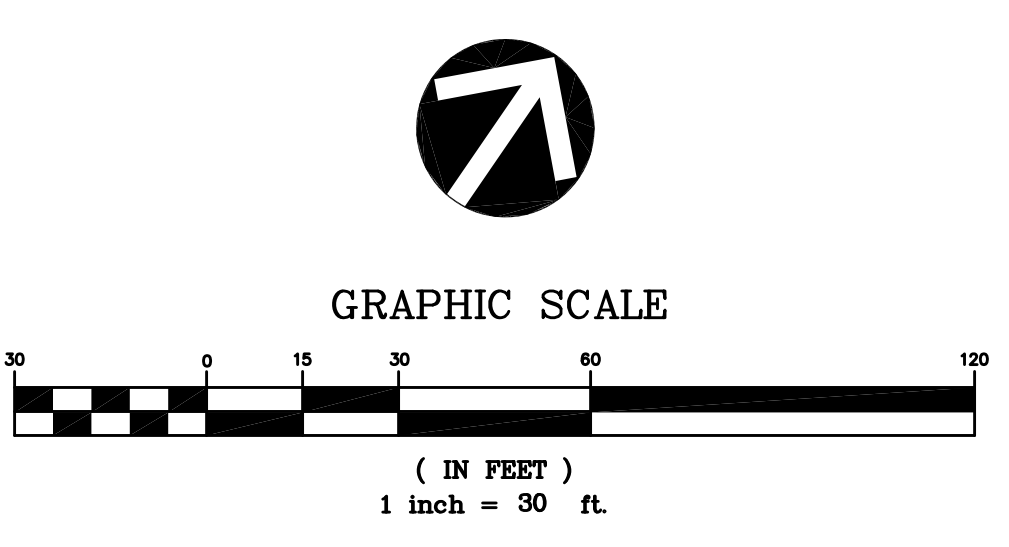
OLNEY
2809 COVERED WAGON WAY
HOLLOW TREE FARM
HOMEOWNERS OUTLOT A
NORBROOK VILLAGE,
BLOCK B

PARCEL "E",
BLOCK A
PRIVATE RURAL
OPEN SPACE
77.26 AC

PARCEL "E",
BLOCK A
PRIVATE RURAL
OPEN SPACE
77.26 AC

PARCEL "D",
BLOCK A
PRIVATE RURAL
OPEN SPACE
0.76 AC

RNC ZONE



- AMENDMENT 82006019A**
PROPOSED CHANGES
- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
 - REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
 - REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: _____
COMPANY: _____ CONTACT PERSON: _____
ADDRESS: _____
PHONE: _____
SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
File No. 82006019A
Montgomery County Planning Board

Chair or Designer: _____ Date: _____
MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

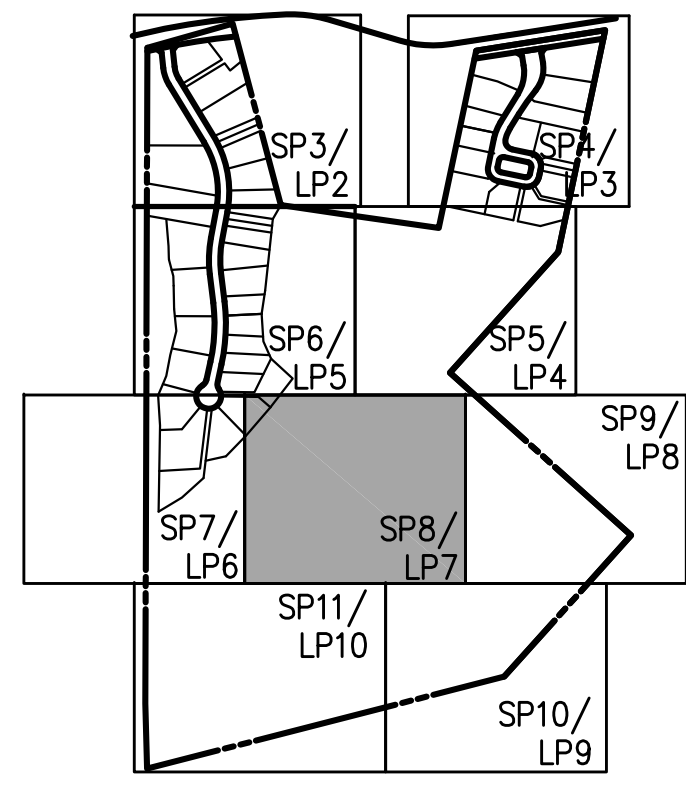
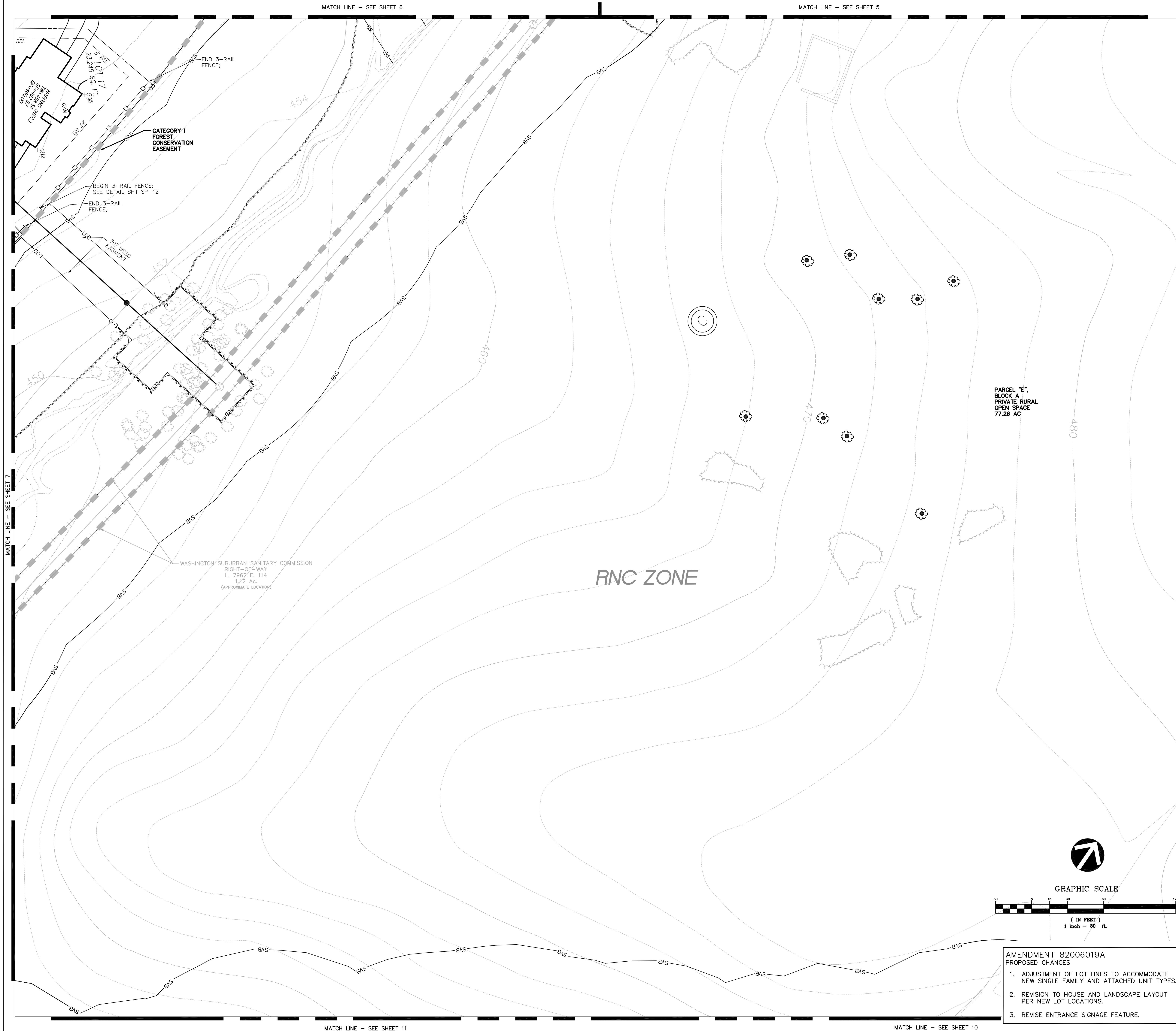
VKA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
VKA INCORPORATED
20251 CENTURY BOULEVARD SUITE 400 ■ GERMANTOWN, MD 20874
(301)916-4100 ■ FAX (301)916-2262
GERMANTOWN, MD ■ McLEAN, VA ■ LEESBURG, VA

OLNEY ESTATES
8TH ELECTION DISTRICT,
MONTGOMERY COUNTY, MARYLAND

SITE PLAN # 82006019A
SITE PLAN

VKA REVISIONS

AMENDMENT 82006019A
SUBMITTED 03/07/12
PROGRESS SET ISSUED
02/09/07
DATE OCTOBER 2006.
DES. MB DWN. SG
SCALE: 1"=30'
PROJECT/FILE NO.
1319
SHEET NO.
SP-7



SHEET KEY
OLNEY ESTATES
SITE PLAN

LIGHTING LEGEND

- EX. STREET LIGHT
- ★ PROPOSED STREET LIGHT
- * IN-GROUND LIGHTS

LEGEND:

- S-VB- STREAM VALLEY BUFFER
- WB- WETLAND BUFFER
- WET- LIMITS OF WETLANDS
- 100 YR- 100 YEAR FLOOD PLAN
- HEDG- HEDGEROW TO REMAIN
- ETL- EXISTING TREE LINE
- C- CATEGORY I FOREST CONSERVATION EASEMENT
- EX. TREES
- TREES 24" OR GREATER AS IDENTIFIED ON NRI #4-05028
- SURVEYED TREES 24" OR GREATER W/ CRITICAL ROOT ZONE 50' EITHER SIDE OF THE LOG
- BLOCK DESIGNATION
- 500- LIMITS OF DISTURBANCE
- 548- PROPOSED 10' CONTOUR
- 548- PROPOSED 2' CONTOUR
- 6" W- PROPOSED WATER LINE
- 8" S- PROPOSED SANITARY SEWER WITH STRUCTURE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB AND GUTTER
- 12" RCP- PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- FFE- FINISHED FLOOR ELEVATION
- ZONING- ZONING BOUNDARY LINE
- 3-RAIL FENCE (SEE FOP FOR DETAIL)

SURVEY LEGEND

- CTV- BUILDING
- E- CABLE TELEVISION CONDUIT
- E- ELECTRICAL CONDUIT
- E- EDGE OF PAVEMENT
- X- FENCE LINE
- X- NATURAL GAS CONDUIT
- X- OVERHEAD WIRES
- P- PHONE/COMMUNICATIONS CONDUIT
- P- PROPERTY LINES
- P- PUBLIC UTILITIES EASEMENTS
- P- SANITARY SEWER CONDUIT
- P- STORM DRAIN CONDUIT
- P- WATER CONDUIT
- P- SANITARY CLEANOUT
- P- STORM DRAIN MANHOLE
- P- ELECTRICAL JUNCTION BOX
- P- ELECTRICAL MANHOLE
- P- FIRE DEPARTMENT CONNECTION
- P- FIRE HYDRANT
- P- GAS MANHOLE
- P- GUY POLE
- P- GAS VALVE
- P- LIGHT POLE
- P- PHONE PEDESTAL
- P- PHONE MANHOLE
- P- UTILITY POLE
- P- SANITARY MANHOLE
- P- TRAFFIC CONTROL BOX
- P- TRAFFIC SIGNAL POLE
- P- TREE
- P- CABLE TELEVISION PEDESTAL
- P- UNKNOWN UTILITY MANHOLE
- P- WATER METER
- P- WATER MANHOLE
- P- WATER VALVE
- P- BOLLARD
- P- SIGN POST
- P- WOOD POST
- P- INLETS
- P- CURB INLET
- P- CONCRETE
- P- C&G- CURB AND GUTTER
- P- BLDG- BUILDING
- P- STY- STORY
- P- TRV- ELECTRICAL TRANSFORMER
- P- ASPH- ASPHALT
- P- ESM- EASEMENT
- P- RCP- REINFORCED CONCRETE PIPE
- P- CMP- CORRUGATED METAL PIPE
- P- BRL- BUILDING RESTRICTION LINE
- P- R/W- RIGHT-OF-WAY

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

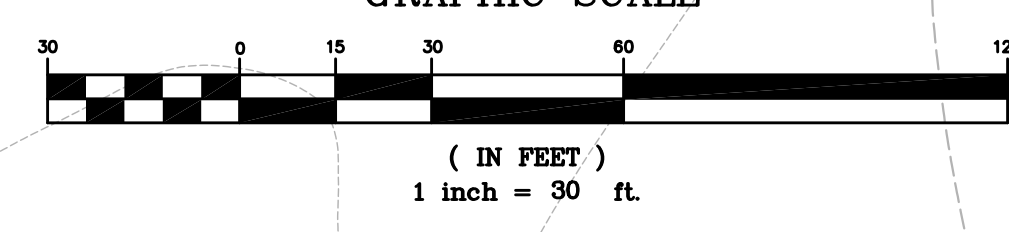
DEVELOPER'S NAME: _____
 COMPANY: _____ CONTACT PERSON: _____
 ADDRESS: _____
 PHONE: _____
 SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
 File No. 82006019A
 Montgomery County Planning Board

Chair or Designer: _____ Date: _____
MONTGOMERY COUNTY PLANNING DEPARTMENT
 THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

- AMENDMENT 82006019A**
PROPOSED CHANGES
- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
 - REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
 - REVISE ENTRANCE SIGNAGE FEATURE.



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 MICHAEL GOODMAN LICENSE NO. 82221
 EXPIRES 06/30/2012

VKA REVISIONS

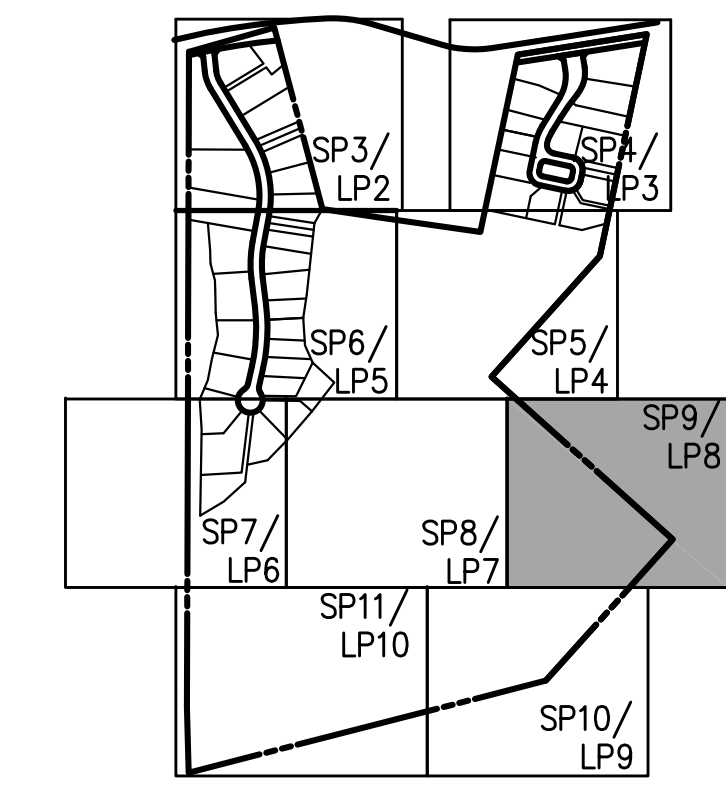
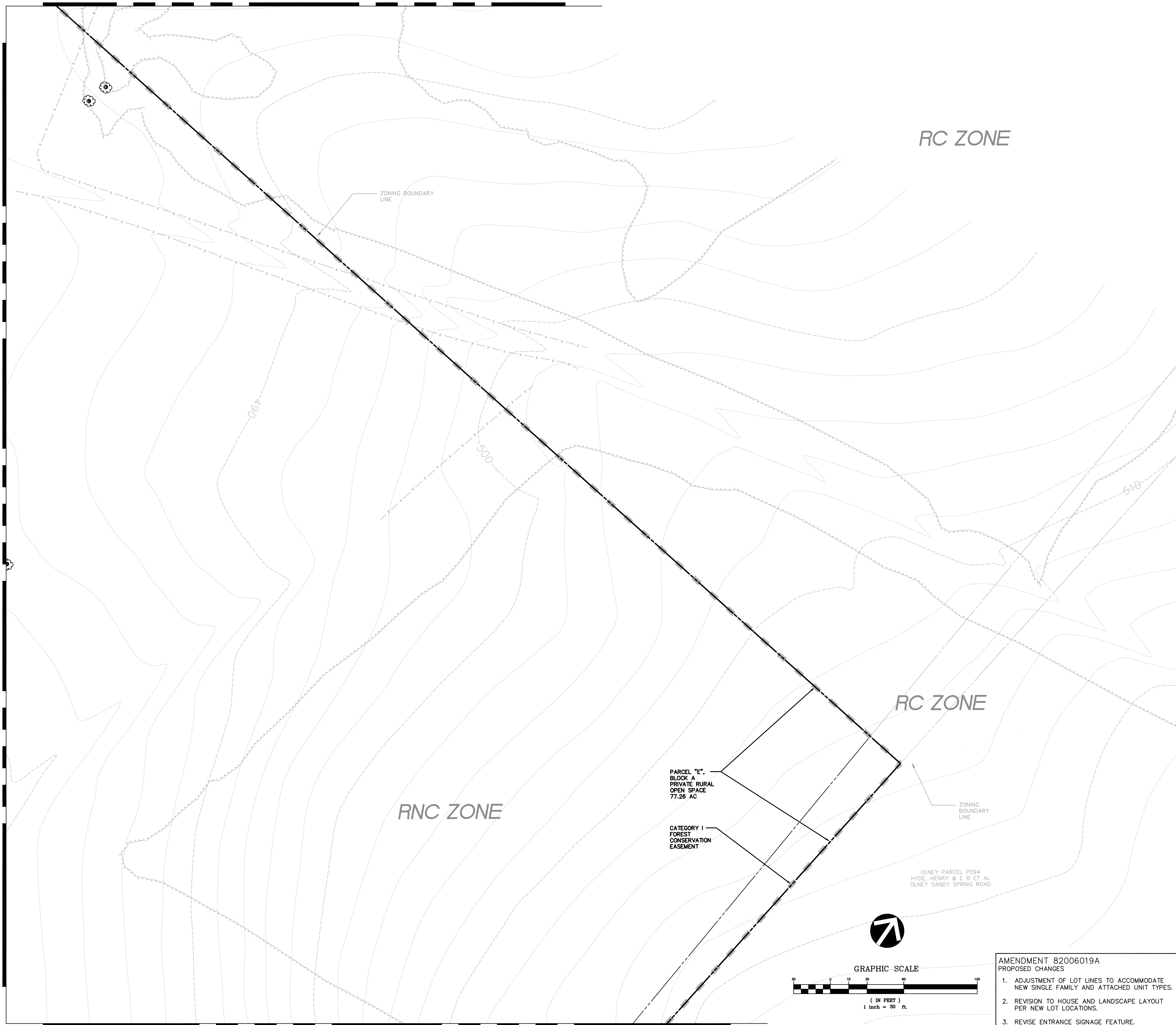
NO.	DATE	DESCRIPTION

AMENDMENT 82006019A	DATE	OCTOBER 2006.
SUBMITTED 03/07/12	DES.	DWN.
PROGRESS SET ISSUED	MB	SG
02/09/07	SCALE:	1"=30'
PROJECT/FILE NO.		1319
SHEET NO.		SP-8

MATCH LINE - SEE SHEET 5

MATCH LINE - SEE SHEET 8

MATCH LINE - SEE SHEET 10



SHEET KEY
OLNEY ESTATES
SITE PLAN

LIGHTING LEGEND

- EX. STREET LIGHT
- ⊛ PROPOSED STREET LIGHT
- * IN-GROUND LIGHTS

LEGEND:

- SVB- STREAM VALLEY BUFFER
- WB- WETLAND BUFFER
- WET- LIMITS OF WETLANDS
- 100 YR- 100 YEAR FLOOD PLAN
- HEDGEROW TO REMAIN
- EXISTING TREE LINE
- CATEGORY I FOREST CONSERVATION EASEMENT
- EX. TREES
- ⊛ TREES 24" OR GREATER AS IDENTIFIED ON NRI #4-05028
- ⊙ SURVEYED TREES 24" OR GREATER W/ CRITICAL ROOT ZONE 50' EITHER SIDE OF THE LOG
- (A) BLOCK DESIGNATION
- LIMITS OF DISTURBANCE
- 550--- PROPOSED 10' CONTOUR
- 548--- PROPOSED 2' CONTOUR
- 8"W PROPOSED WATER LINE
- 8"S PROPOSED SANITARY SEWER WITH STRUCTURE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB AND GUTTER
- 12"ROP PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- FFE FINISHED FLOOR ELEVATION
- ZONING BOUNDARY LINE
- 3-RAIL FENCE (SEE FCP FOR DETAIL)

SURVEY LEGEND

- CTV BUILDING
- ELECTRICAL CONDUIT
- EDGE OF PAVEMENT
- FENCE LINE
- NATURAL GAS CONDUIT
- OVERHEAD WIRES
- PHONE/COMMUNICATIONS CONDUIT
- PROPERTY LINES
- PUBLIC UTILITIES EASEMENTS
- SANITARY SEWER CONDUIT
- STORM DRAIN CONDUIT
- WATER CONDUIT
- SANITARY CLEANOUT
- STORM DRAIN MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL MANHOLE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GAS MANHOLE
- GUY POLE
- GAS VALVE
- LIGHT POLE
- PHONE PEDESTAL
- PHONE MANHOLE
- UTILITY POLE
- SANITARY MANHOLE
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL POLE
- TREE
- CABLE TELEVISION PEDESTAL
- UNKNOWN UTILITY MANHOLE
- WATER METER
- WATER MANHOLE
- WATER VALVE
- BOLLARD
- SIGN POST
- WOOD POST
- INLETS
- CURB INLET
- CONCRETE CURB AND GUTTER
- BLDG. BUILDING
- STY. STORY
- TRV. ELECTRICAL TRANSFORMER
- ASPH. ASPHALT
- ESMT. EASEMENT
- RCP. REINFORCED CONCRETE PIPE
- CMP. CORRUGATED METAL PIPE
- BRL. BUILDING RESTRICTION LINE
- R/W. RIGHT-OF-WAY

DEVELOPER'S CERTIFICATE

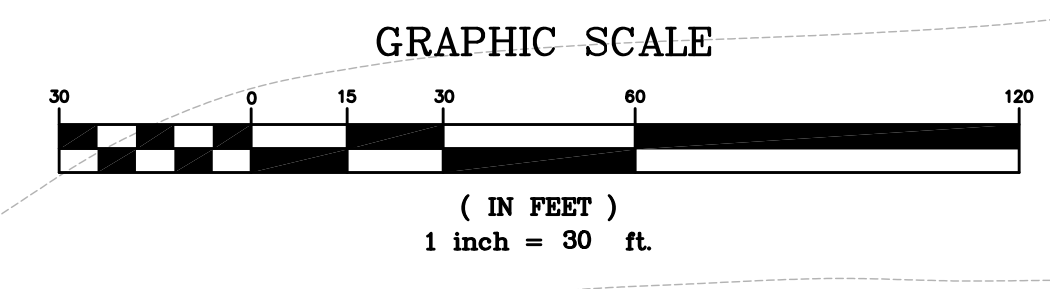
THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: _____
 COMPANY: _____ CONTACT PERSON: _____
 ADDRESS: _____
 PHONE: _____
 SIGNATURE: _____

M-NCPPC APPROVAL STAMP
 Certified Site Plan
 File No. 82006019A
 Montgomery County Planning Board

Chair or Designer: _____ Date: _____
MONTGOMERY COUNTY PLANNING DEPARTMENT
 THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

- AMENDMENT 82006019A**
PROPOSED CHANGES
- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
 - REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
 - REVISE ENTRANCE SIGNAGE FEATURE.



VKA REVISIONS

NO.	DATE	DESCRIPTION

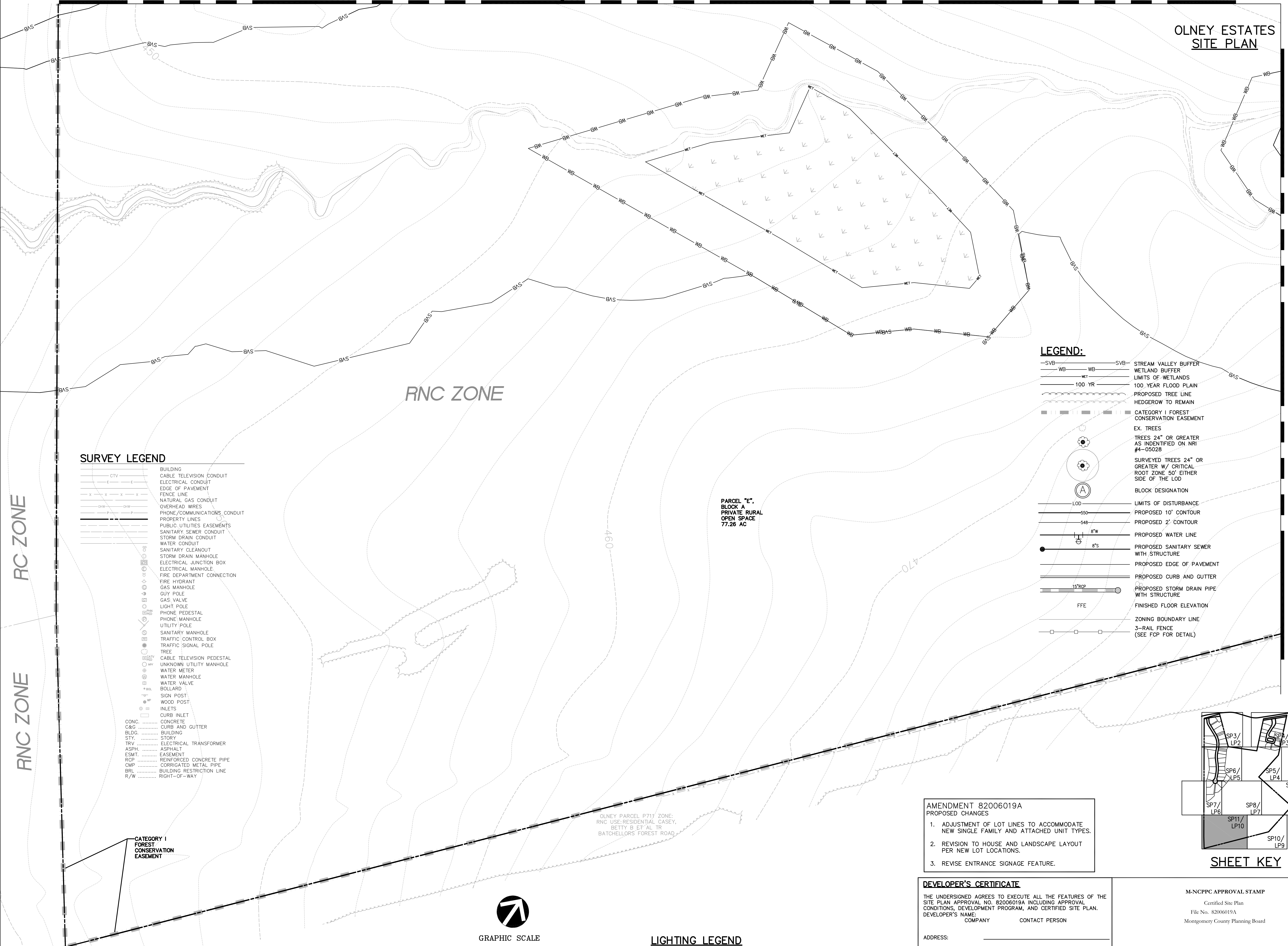
AMENDMENT 82006019A	SUBMITTED 03/07/12
PROGRESS SET ISSUED	02/09/07
DATE	OCTOBER 2006.
DES.	DWN.
MB	SG
SCALE:	1"=30'
PROJECT/FILE NO.	1319
SHEET NO.	SP-9

**OLNEY ESTATES
SITE PLAN**

VIA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
VIA, INCORPORATED
20251 CENTURY BOULEVARD SUITE 400 ■ GERMANTOWN, MD 20874
(301)916-4100 ■ FAX: (301)916-2262
MCLEAN, VA ■ LEBANON, VA

OLNEY ESTATES
8TH ELECTION DISTRICT,
MONTGOMERY COUNTY, MARYLAND

SITE PLAN # 82006019A
SITE PLAN



SURVEY LEGEND

- | | |
|-----------|------------------------------|
| —CIV— | BUILDING |
| —E—E— | CABLE TELEVISION CONDUIT |
| —E—E— | ELECTRICAL CONDUIT |
| —X—X—X—X— | EDGE OF PAVEMENT |
| —F—F— | FENCE LINE |
| —GAS— | NATURAL GAS CONDUIT |
| —P—P— | OVERHEAD WIRES |
| —P—P— | PHONE/COMMUNICATIONS CONDUIT |
| —P—P— | PROPERTY LINES |
| —P—P— | PUBLIC UTILITIES EASEMENTS |
| —S—S— | SANITARY SEWER CONDUIT |
| —SD—SD— | STORM DRAIN CONDUIT |
| —W—W— | WATER CONDUIT |
| ○ | SANITARY CLEANOUT |
| ○ | STORM DRAIN MANHOLE |
| ○ | ELECTRICAL JUNCTION BOX |
| ○ | ELECTRICAL MANHOLE |
| ○ | FIRE DEPARTMENT CONNECTION |
| ○ | FIRE HYDRANT |
| ○ | GAS MANHOLE |
| ○ | GUY POLE |
| ○ | GAS VALVE |
| ○ | LIGHT POLE |
| ○ | PHONE PEDESTAL |
| ○ | PHONE MANHOLE |
| ○ | UTILITY POLE |
| ○ | SANITARY MANHOLE |
| ○ | TRAFFIC CONTROL BOX |
| ○ | TRAFFIC SIGNAL POLE |
| ○ | TREE |
| ○ | CABLE TELEVISION PEDESTAL |
| ○ | UNKNOWN UTILITY MANHOLE |
| ○ | WATER METER |
| ○ | WATER MANHOLE |
| ○ | WATER VALVE |
| ○ | BOLLARD |
| ○ | SIGN POST |
| ○ | WOOD POST |
| ○ | INLETS |
| ○ | CURB INLET |
| CONC. | CONCRETE |
| C&G | CURB AND GUTTER |
| BLDG. | BUILDING |
| STY. | STORY |
| TRV | ELECTRICAL TRANSFORMER |
| ASPH. | ASPHALT |
| ESMT. | EASEMENT |
| RCP | REINFORCED CONCRETE PIPE |
| CMP | CORRUGATED METAL PIPE |
| BRL | BUILDING RESTRICTION LINE |
| R/W | RIGHT-OF-WAY |

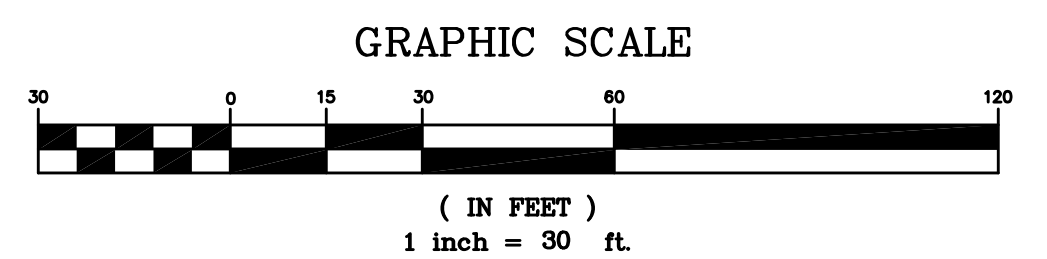
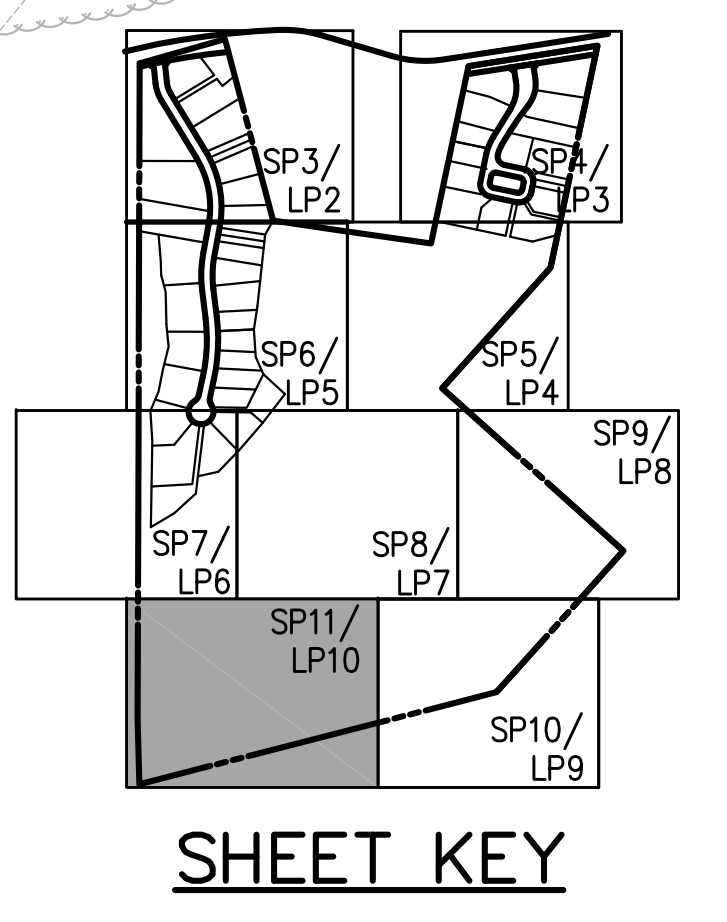
LEGEND:

- | | |
|----------|--|
| —SVB— | STREAM VALLEY BUFFER |
| —WB—WB— | WETLAND BUFFER |
| —WET— | LIMITS OF WETLANDS |
| —100 YR— | 100 YEAR FLOOD PLAIN |
| —HEDG— | PROPOSED TREE LINE HEDGEROW TO REMAIN |
| —C1— | CATEGORY I FOREST CONSERVATION EASEMENT |
| ○ | EX. TREES |
| ○ | TREES 24" OR GREATER AS IDENTIFIED ON NRI #4-05028 |
| ○ | SURVEYED TREES 24" OR GREATER W/ CRITICAL ROOT ZONE 50' EITHER SIDE OF THE LOD |
| ○ | BLOCK DESIGNATION |
| —LOD— | LIMITS OF DISTURBANCE |
| —550— | PROPOSED 10' CONTOUR |
| —548— | PROPOSED 2' CONTOUR |
| —8"W— | PROPOSED WATER LINE |
| —8"S— | PROPOSED SANITARY SEWER WITH STRUCTURE |
| — | PROPOSED EDGE OF PAVEMENT |
| — | PROPOSED CURB AND GUTTER |
| —15"RCP— | PROPOSED STORM DRAIN PIPE WITH STRUCTURE |
| —FFE— | FINISHED FLOOR ELEVATION |
| — | ZONING BOUNDARY LINE |
| — | 3-RAIL FENCE (SEE FCP FOR DETAIL) |

PARCEL "E",
BLOCK "A"
PRIVATE RURAL
OPEN SPACE
77.26 AC

OLNEY PARCEL P711 ZONE:
RNC USE/RESIDENTIAL CASEY,
BETTY B ET AL TR
BACHELLORS FOREST ROAD

- AMENDMENT 82006019A
PROPOSED CHANGES**
- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
 - REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
 - REVISE ENTRANCE SIGNAGE FEATURE.



- LIGHTING LEGEND**
- EX. STREET LIGHT
 - ★ PROPOSED STREET LIGHT
 - * IN-GROUND LIGHTS

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: _____ COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____

PHONE: _____

SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
File No. 82006019A
Montgomery County Planning Board

Chair of Designee: _____ Date: _____

MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
MICHAEL GOODMAN LICENSE NO. 82222
EXPIRES DATE: 04/01/2015

VIA REVISIONS

NO.	DESCRIPTION

AMENDMENT 82006019A
SUBMITTED 03/07/12

PROGRESS SET ISSUED
02/09/07

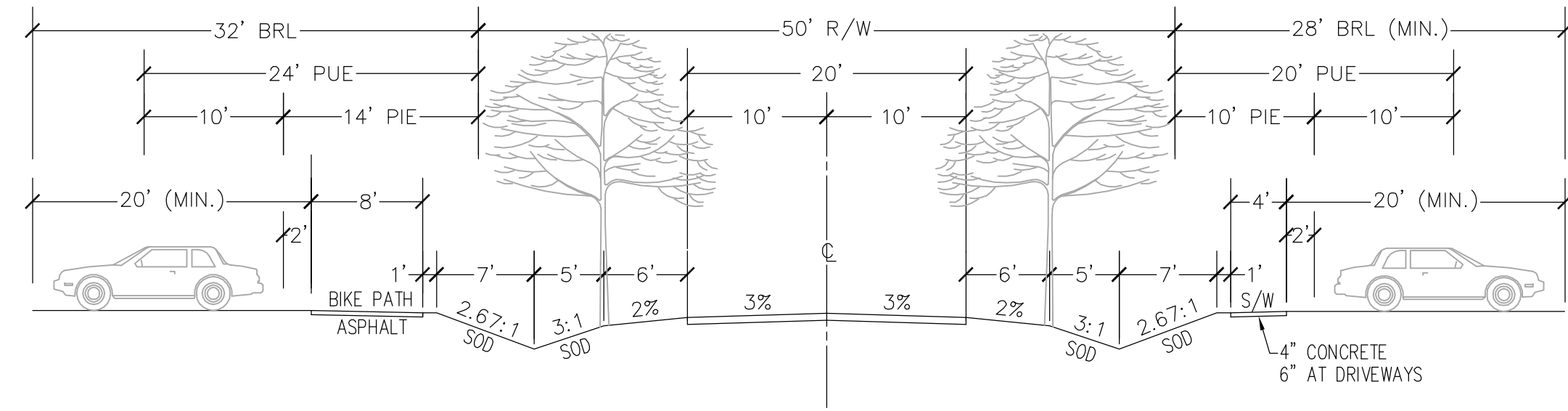
DATE OCTOBER 2006.

DES.	DWN.
MB	SG

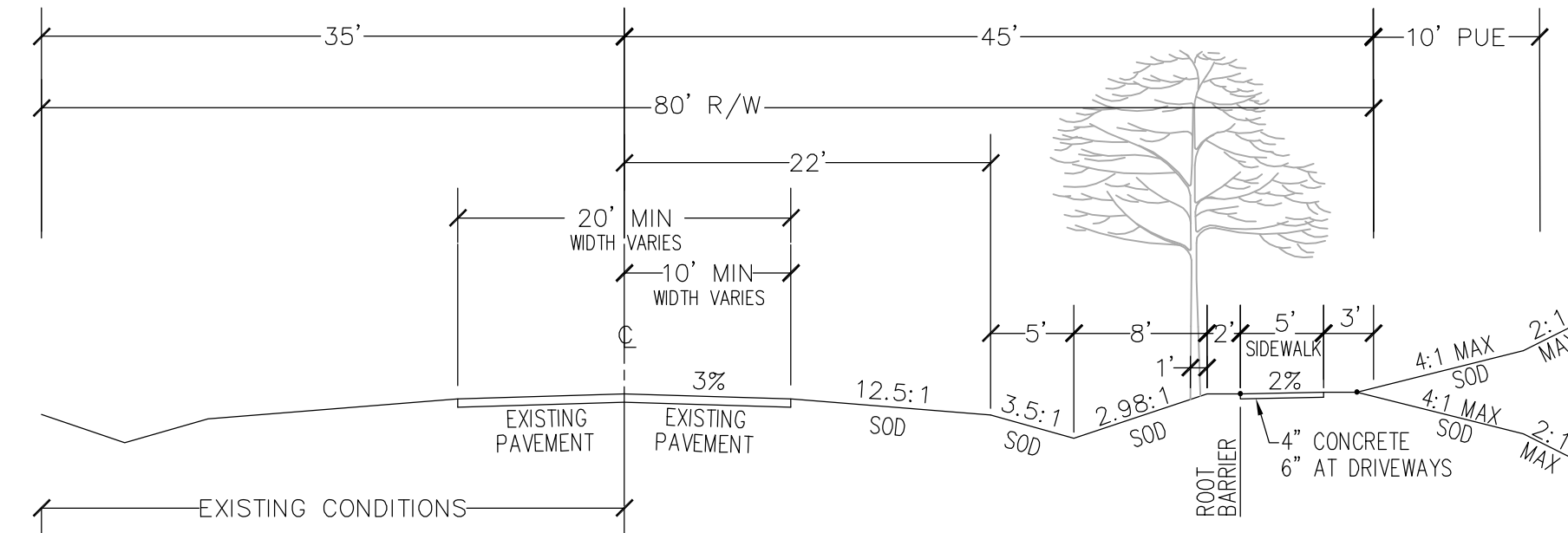
SCALE: 1"=30'

PROJECT/FILE NO.
1319

SHEET NO.
SP-11

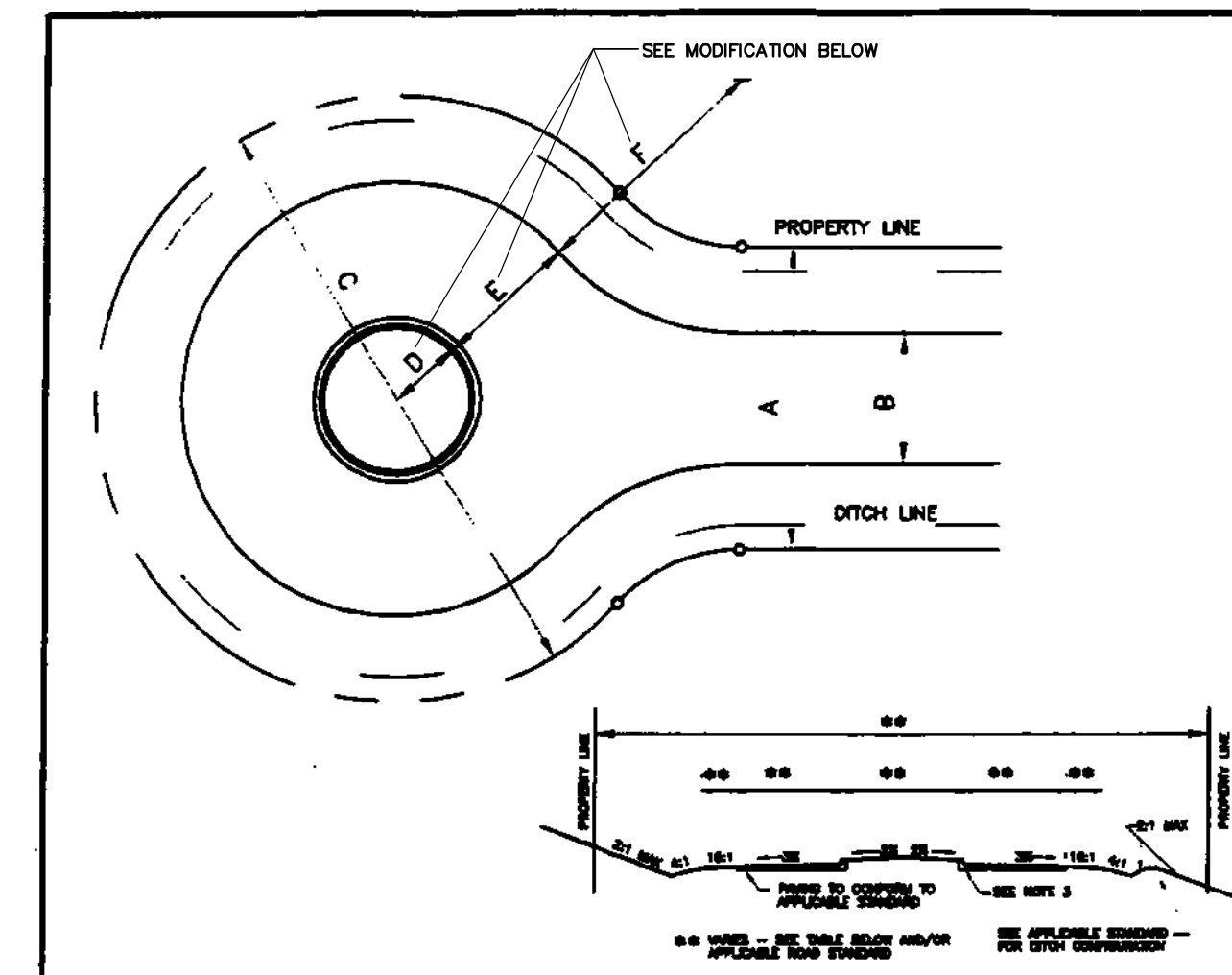


TERTIARY RESIDENTIAL STREET OPEN SECTION WITH SIDEWALKS & STREET TREES
STANDARD NO. MC-210.05
MODIFIED FOR 8' ASPHALT BIKE PATH ON BLOCK "B"
 SCALE: 1" = 10'



NOTE: PER THE OLNEY MASTER PLAN, THIS SECTION OF OLD BALTIMORE ROAD IS NOT DESIGNATED FOR A BIKE PATH.

MASTER PLAN PRIMARY ROAD OPEN SECTION WITH SIDEWALK, BIKEPATH AND STREET TREES (STANDARD NO. MC-212.05)
MODIFIED PER DPW&T LETTER OF 5/25/06
 SCALE: 1" = 10'

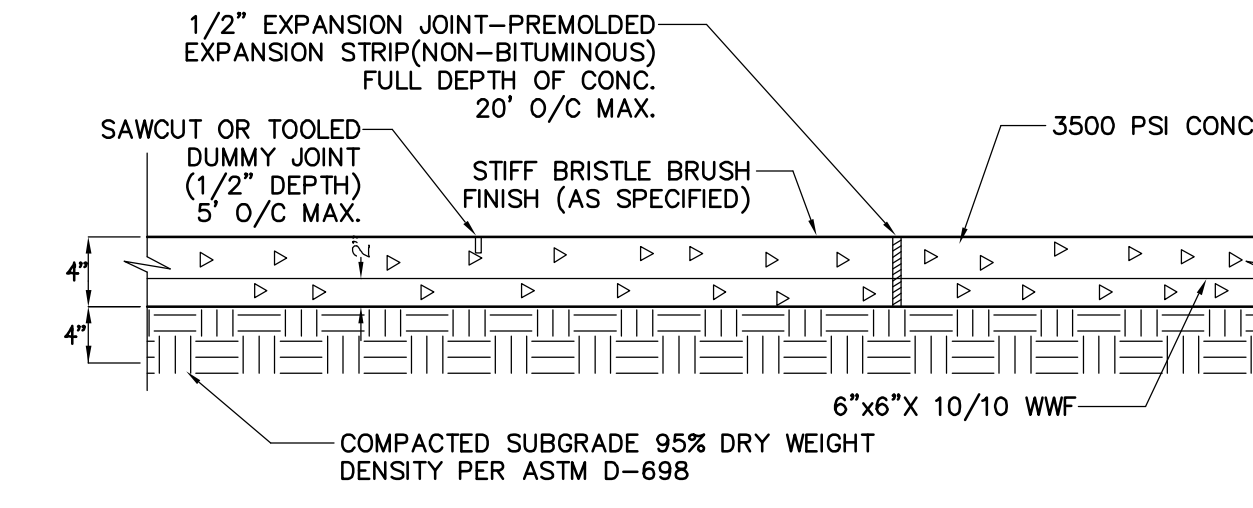


ROADWAY CLASSIFICATION	A	B	C	D	E	F
PRIMARY	70'-0"	50'-0"	24'-0"	13'-0"	24'-0"	53'-0"
SECONDARY	60'-0"	50'-0"	20'-0"	18'-0"	24'-0"	53'-0"
TERTIARY	50'-0"	50'-0"	20'-0"	16'-0"	24'-0"	53'-0"

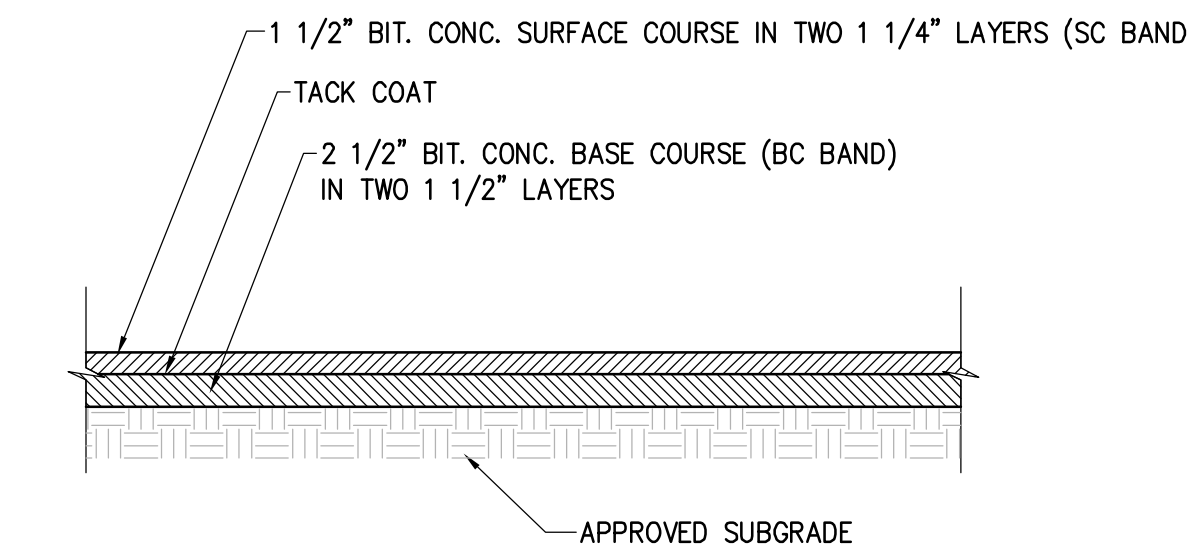
- GENERAL NOTES**
1. PROVIDE 2% MINIMUM DITCH GRADE. EDGE OF PAVEMENT AND DITCH ELEVATIONS ARE REQUIRED ON PLANS AT INTERVALS NOT TO EXCEED 50 FEET.
 2. THE CENTER ISLAND IS OPTIONAL. WHERE ISLAND IS NOT USED, THE CENTER AREA SHALL BE PAVED TO PROVIDE A SMOOTH GRADE AND POSITIVE DRAINAGE.
 3. CURB AND CUTTER AROUND ISLAND MAY BE EITHER MC-100.01 OR MC-101.01 WITH SPILL CUTTER.

APPROVED <u>JAN 5/06</u> DATE	REVISED	MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION
<i>[Signature]</i> DIRECTOR, DEPT. OF TRANS.		CUL-DE-SAC OPEN SECTION ROAD
<i>[Signature]</i> CHIEF OF ENG. SERVICES		STANDARD NO. MC-222.02

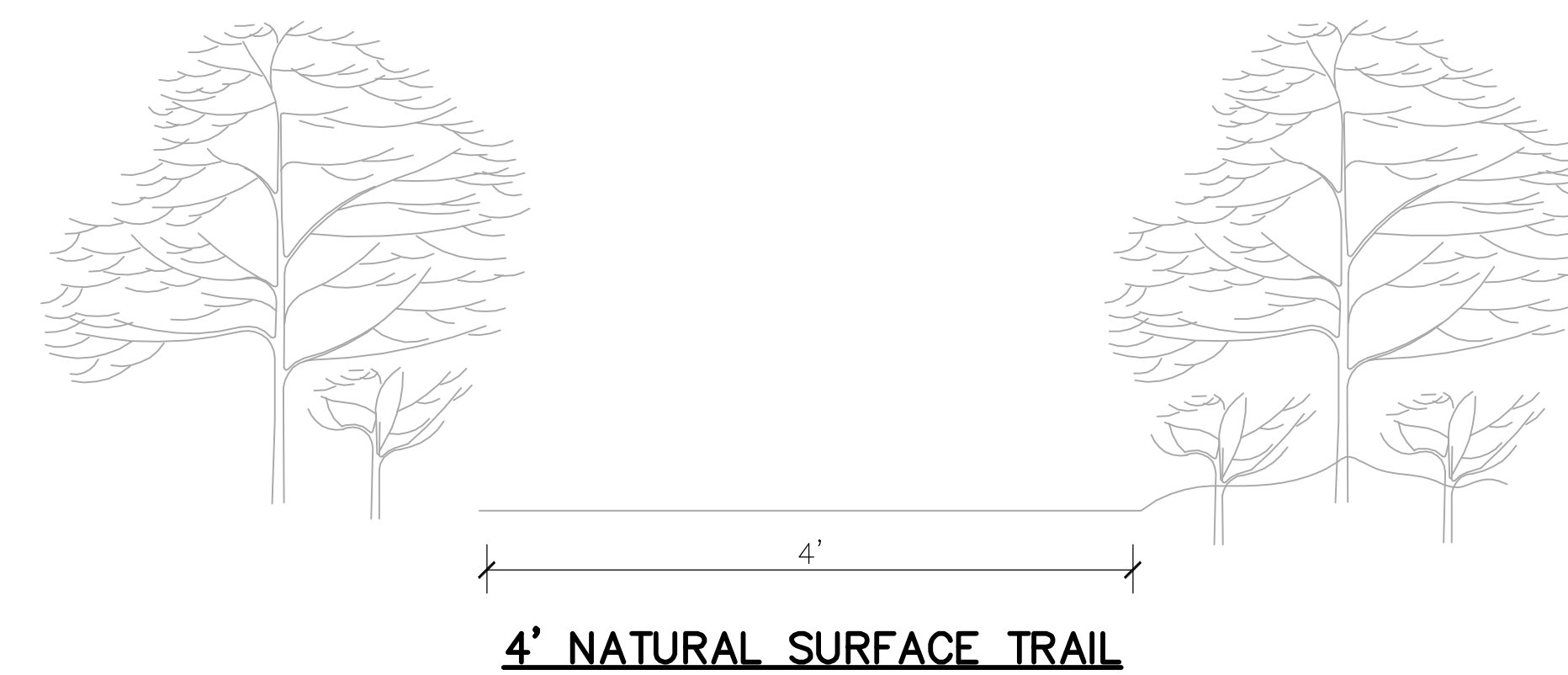
MODIFIED FOR FIRE CODE COMPLIANCE CUL-DE-SAC OPEN SECTION ROAD
 NOT TO SCALE



CONCRETE WALK SECTION



ASPHALT PATH SECTION
 NOT TO SCALE



PATH HAS BEEN FIELD LOCATED WITH M-NCPPC ENVIRONMENTAL REVIEW DEPARTMENT AND SURVEYED. DEVELOPER TO CLEAR TRAIL OF DEBRIS AND DEADWOOD.

- AMENDMENT 82006019A**
PROPOSED CHANGES
1. ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
 2. REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
 3. REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

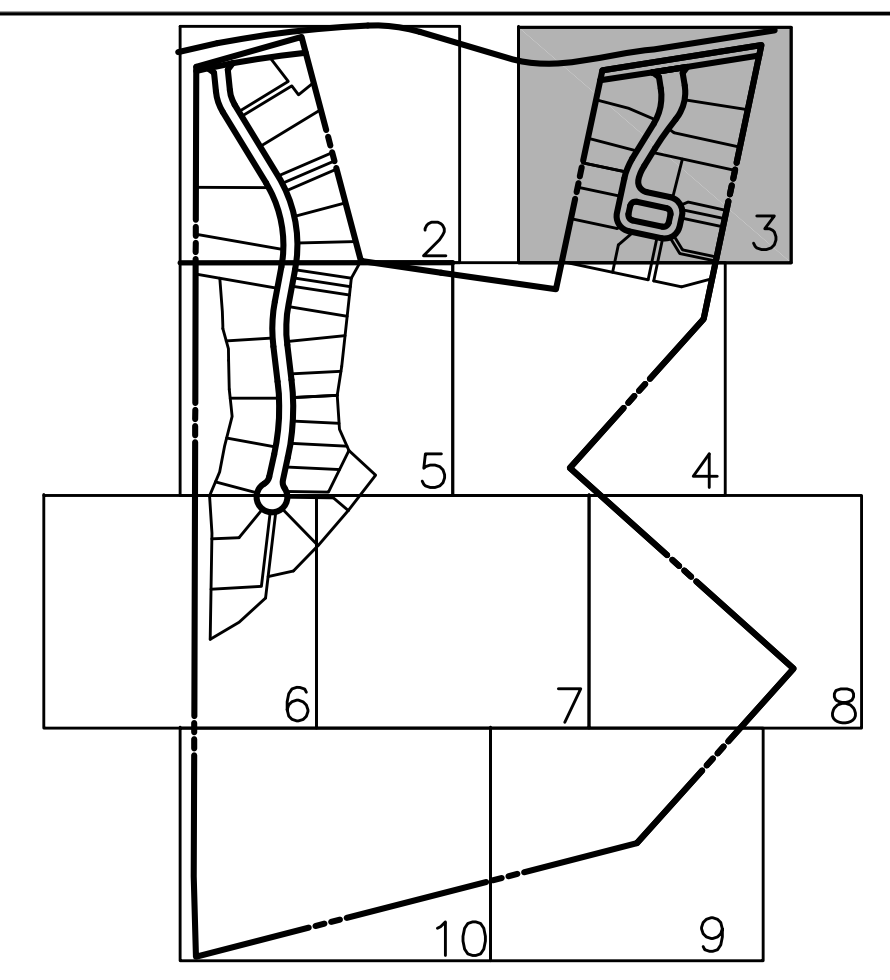
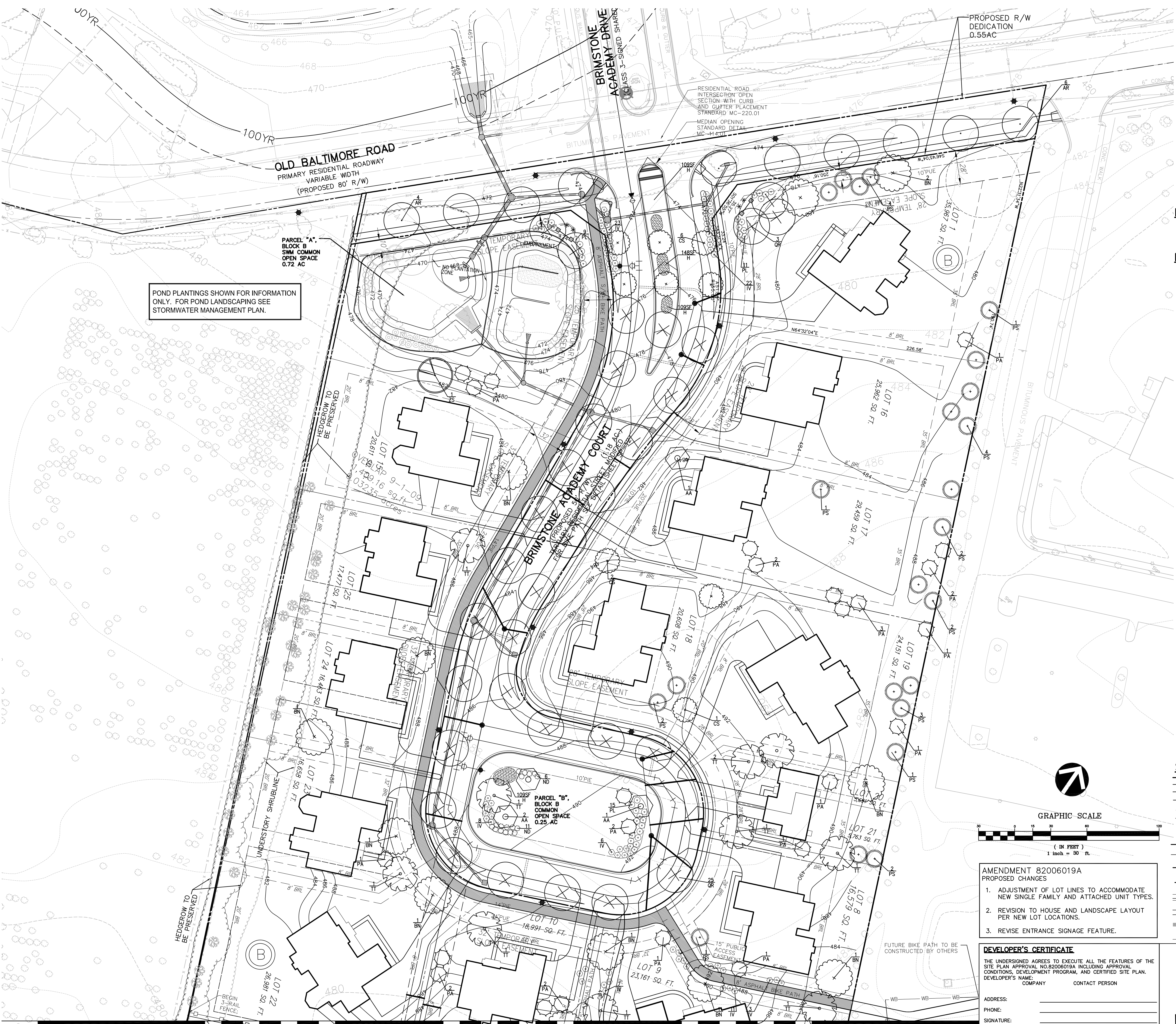
DEVELOPER'S NAME: _____
 COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____
 PHONE: _____
 SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Chair of Designee _____ Date _____

MONTGOMERY COUNTY PLANNING DEPARTMENT
 THE MARYLAND NATIONAL CAPITAL PARKS AND PLANNING COMMISSION



SHEET KEY

LIGHTING LEGEND:

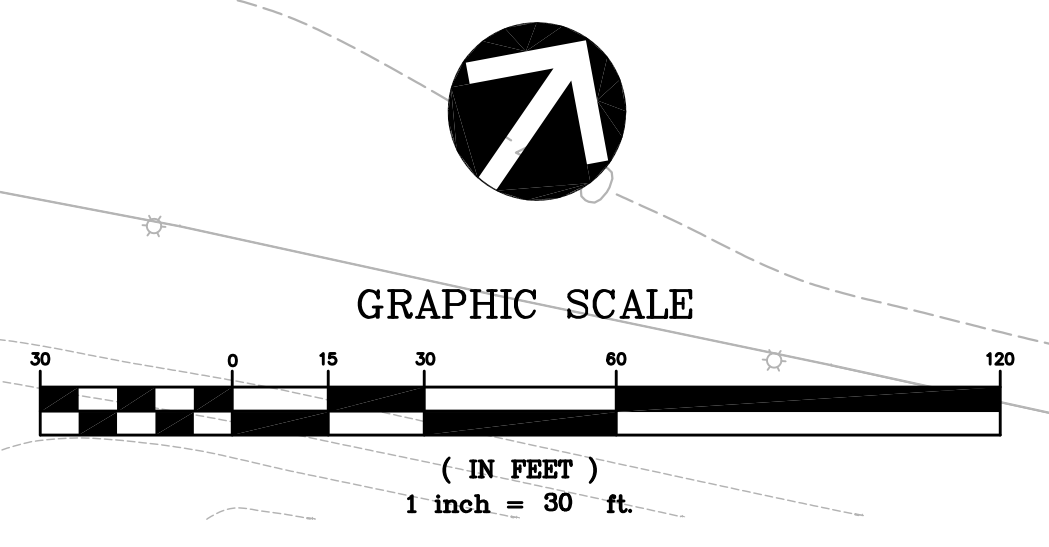
- EX. STREET LIGHT
- PROPOSED STREET LIGHT
- IN-GROUND LIGHTS

LANDSCAPE LEGEND:

- EX. TREES
- TREES 24" OR GREATER DBH AS IDENTIFIED ON NRI #4-05208
- SURVEYED TREES 24" OR GREATER 50' EITHER SIDE OF THE LOD
- EXISTING TREES TO REMAIN
- PROPOSED SHADE TREES
- RED MAPLE (AR)
- RIVER BIRCH (BN)
- NORTHERN RED OAK (OR)
- SILVER LINDEN (TT)
- VILLAGE GREEN ZELKOVA (ZS)
- PROPOSED FLOWERING TREES
- AUTUMN BRILLIANCE SERVICEBERRY (AA)
- STELLAR PINK DOGWOOD (CS)
- PROPOSED EVERGREEN TREES
- NORWAY SPRUCE (PA)
- EASTERN WHITE PINE (PS)
- PROPOSED SHRUBS
- HETZ JUNIPER (JC)
- VIRGINIA SWEETSPIRE (IV)
- NANDINA (ND)
- SKIP LAUREL (PL)
- PROPOSED GROUNDCOVER
- DAYLILY (H)

SITE PLAN LEGEND:

- STREAM VALLEY BUFFER
- WETLAND BUFFER
- WET
- 100 YR FLOOD PLAIN
- EXISTING TREE LINE
- HEDGEROW TO REMAIN
- BLOCK DESIGNATION
- 550 PROPOSED 10' CONTOUR
- 548 PROPOSED 2' CONTOUR
- 8"W PROPOSED WATER LINE
- 8"S PROPOSED SANITARY SEWER WITH STRUCTURE
- PROPOSED CURB AND GUTTER
- 15"RCP PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- CATEGORY I FOREST CONSERVATION EASEMENT
- 3-RAIL FENCE



AMENDMENT 82006019A PROPOSED CHANGES

- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
- REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
- REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: _____ COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____
 PHONE: _____
 SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
 File No. 82006019A
 Montgomery County Planning Board

Chair or Designer: _____ Date: _____
MONTGOMERY COUNTY PLANNING DEPARTMENT
 THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

POND PLANTINGS SHOWN FOR INFORMATION ONLY. FOR POND LANDSCAPING SEE STORMWATER MANAGEMENT PLAN.

HEDGEROW TO BE PRESERVED

PARCEL "A", BLOCK B SWM COMMON OPEN SPACE 0.72 AC

PARCEL "B", BLOCK B COMMON OPEN SPACE 0.25 AC

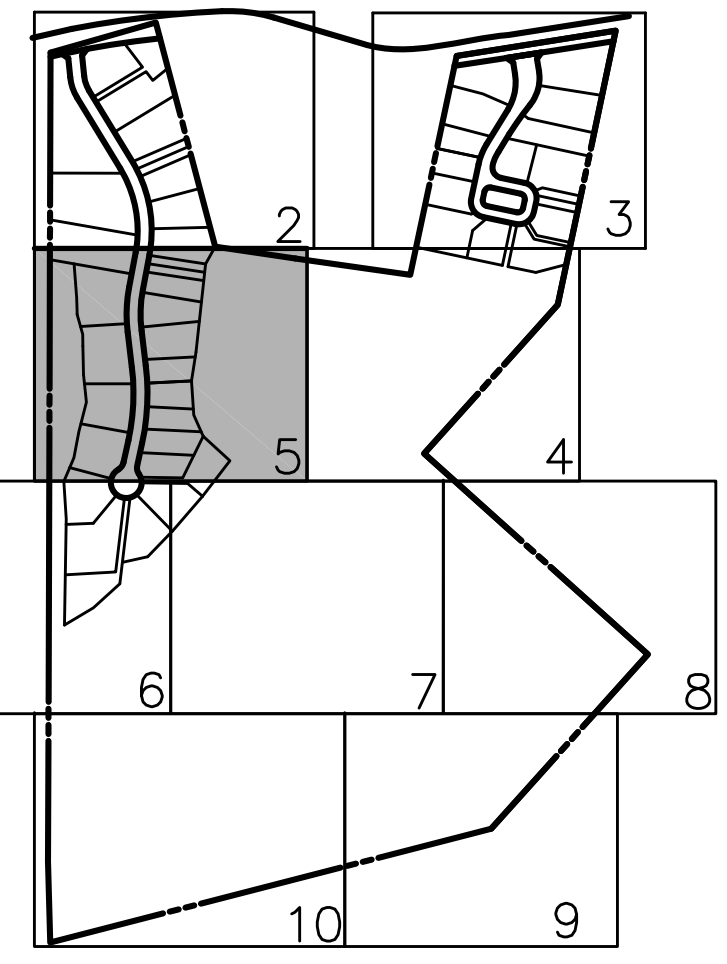
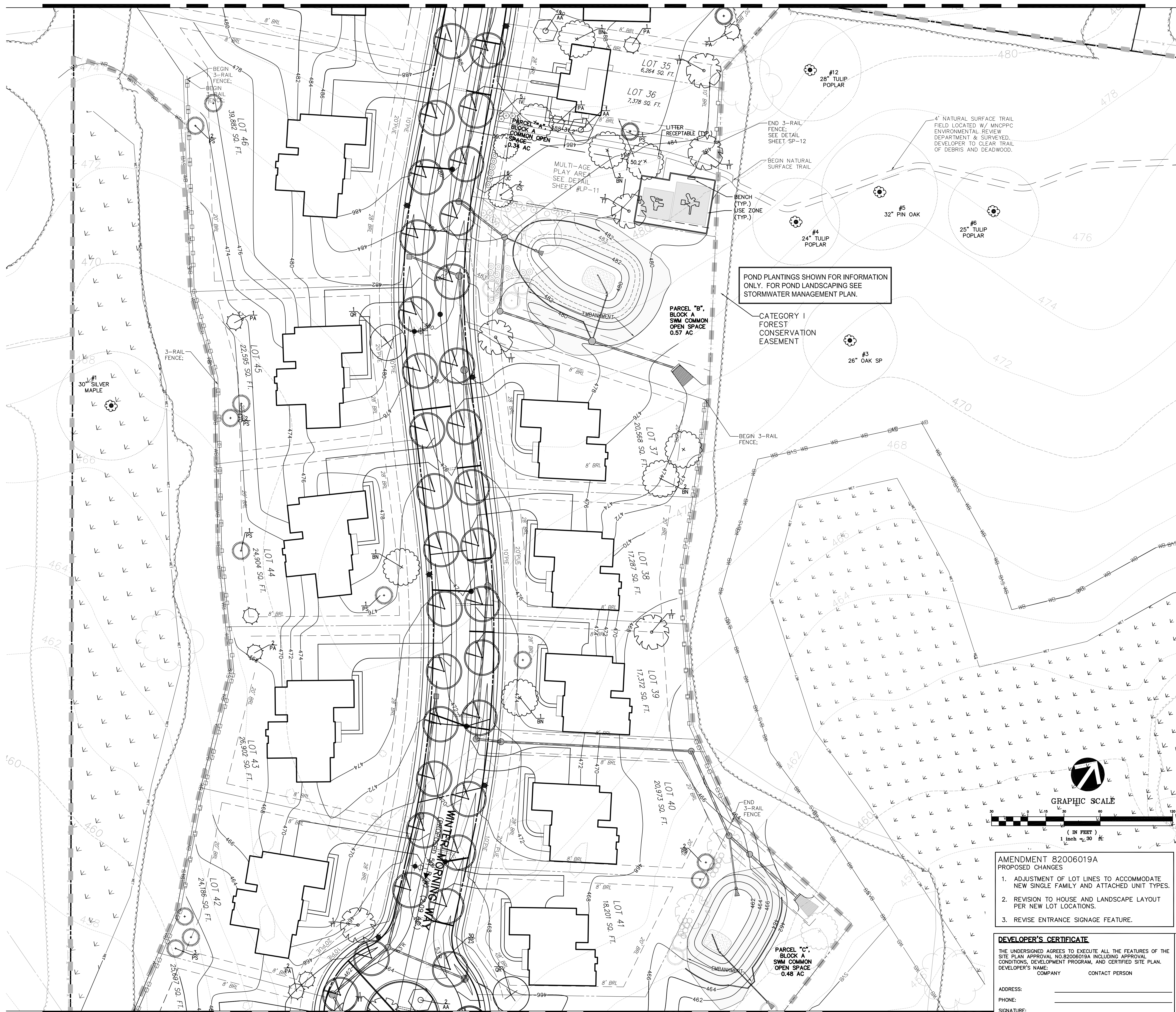
PROPOSED R/W DEDICATION 0.55AC

MATCH LINE - SEE SHEET 4

VIVA REVISIONS

NO.	DESCRIPTION	DATE

MATCH LINE - SEE SHEET 2



SHEET KEY

LIGHTING LEGEND

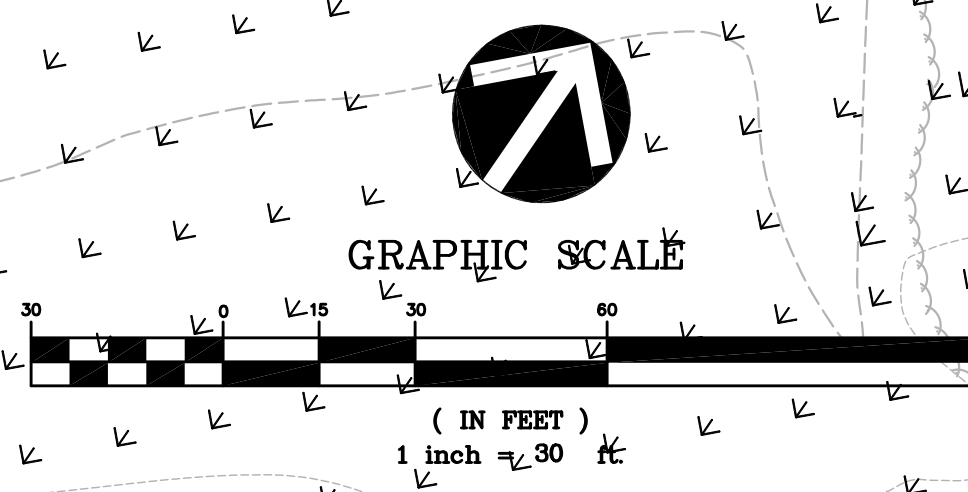
- EX. STREET LIGHT
- PROPOSED STREET LIGHT
- IN-GROUND LIGHTS

LANDSCAPE LEGEND:

- EX. TREES
- TREES 24" OR GREATER DBH AS IDENTIFIED ON NRI #4-05208
- SURVEYED TREES 24" OR GREATER 50' EITHER SIDE OF THE LOD
- EXISTING TREES TO REMAIN
- PROPOSED SHADE TREES
 - RED MAPLE (AR)
 - RIVER BIRCH (BN)
 - NORTHERN RED OAK (OR)
 - SILVER LINDEN (TT)
 - VILLAGE GREEN ZELKOVA (ZS)
- PROPOSED FLOWERING TREES
 - AUTUMN BRILLIANCE SERVICEBERRY (AA)
 - STELLAR PINK DOGWOOD (CS)
- PROPOSED EVERGREEN TREES
 - NORWAY SPRUCE (PA)
 - EASTERN WHITE PINE (PS)
- PROPOSED SHRUBS
 - HETZ JUNIPER (JC)
 - VIRGINIA SWEETSPICE (IV)
 - NANDINA (ND)
 - SKIP LAUREL (PL)
- PROPOSED GROUNDCOVER
 - DAYLILY (H)

SITE PLAN LEGEND:

- STREAM VALLEY BUFFER
- WETLAND BUFFER
- LIMITS OF WETLANDS
- 100 YEAR FLOOD PLAIN
- EXISTING TREE LINE
- HEDGROW TO REMAIN
- BLOCK DESIGNATION
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER WITH STRUCTURE
- PROPOSED CURB AND GUTTER
- PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- CATEGORY I FOREST CONSERVATION EASEMENT
- 3-RAIL FENCE



AMENDMENT 82006019A
 PROPOSED CHANGES

- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
- REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
- REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER'S NAME: _____ COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____

PHONE: _____

SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
 File No. 82006019A
 Montgomery County Planning Board

Chair or Designer: _____ Date: _____

MONTGOMERY COUNTY PLANNING DEPARTMENT
 THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

VIVA
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES

VIVA INCORPORATED
 20251 CENTURY BOULEVARD SUITE 400 ■ GERMANTOWN, MD 20874
 (301)916-4100 ■ FAX (301)916-2265
 GERMANTOWN, MD ■ WILKIN, VA ■ LEESBURG, VA

OLNEY ESTATES
 8TH ELECTION DISTRICT,
 MONTGOMERY COUNTY, MARYLAND

SITE PLAN # 82006019A
LANDSCAPE AND
LIGHTING PLAN

VIVA REVISIONS

PROGRESS SET ISSUED
 02/09/07

DATE: OCTOBER 2006.

DES. MB DWN. SG

SCALE: 1"=30'

PROJECT/FILE NO.
 1319

SHEET NO.
 LP-5

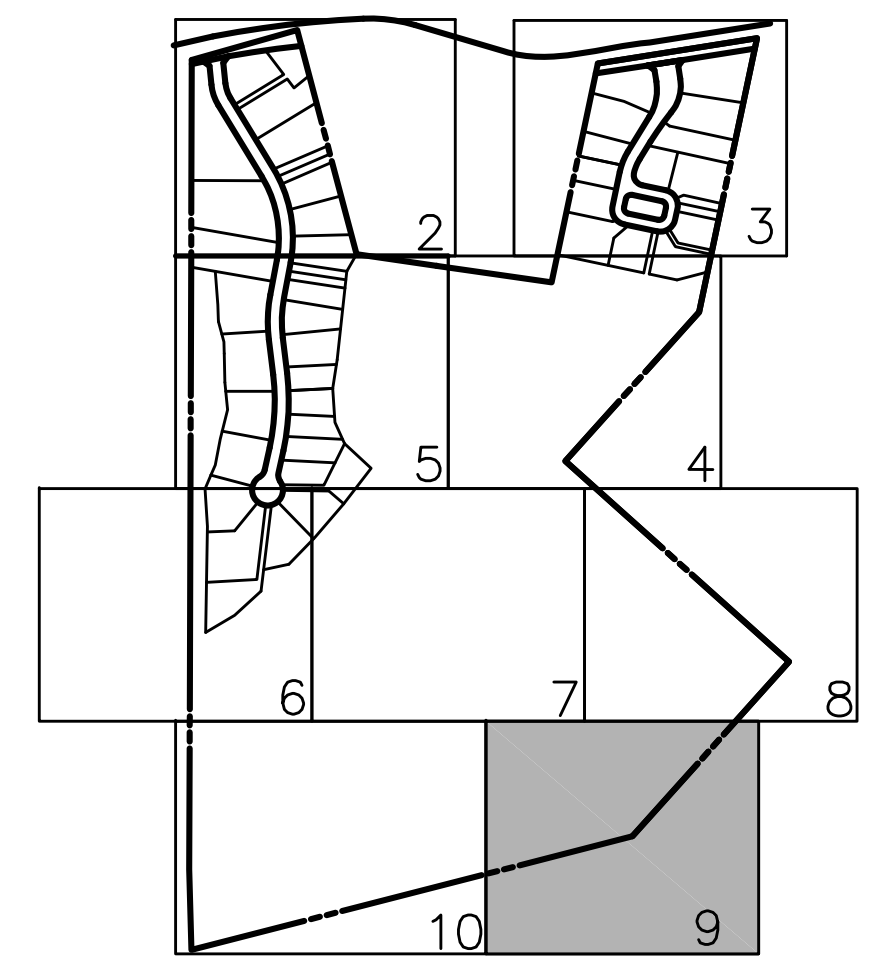
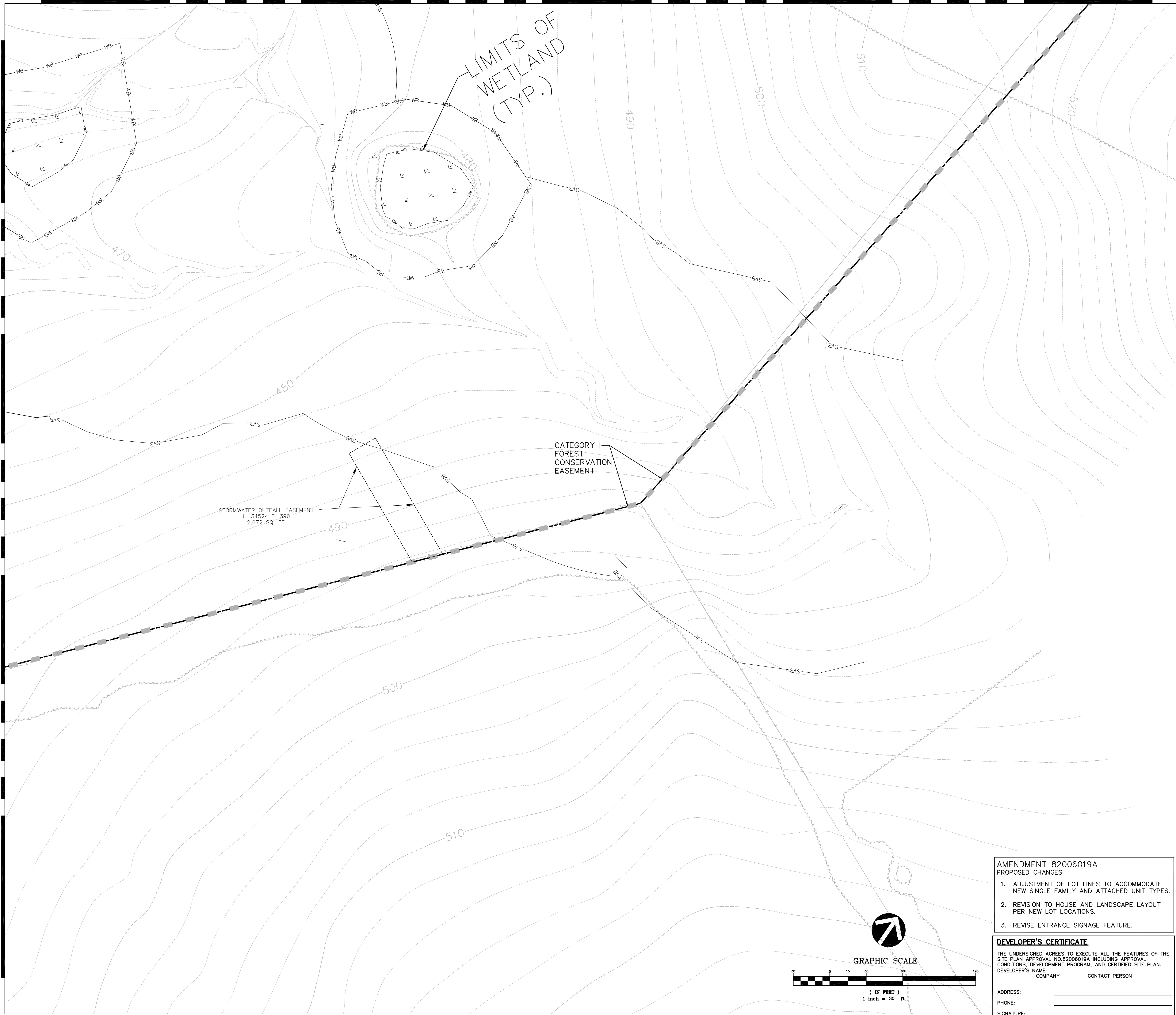
MATCH LINE - SEE SHEET 6

MATCH LINE - SEE SHEET 7

MATCH LINE - SEE SHEET 7

MATCH LINE - SEE SHEET 8

MATCH LINE - SEE SHEET 10



SHEET KEY

LIGHTING LEGEND

- ☉ EX. STREET LIGHT
- ★ PROPOSED STREET LIGHT
- * IN-GROUND LIGHTS

LANDSCAPE LEGEND:

- ☉ EX. TREES
- ☉ TREES 24" OR GREATER DBH AS IDENTIFIED ON NRI #4-05208
- ☉ SURVEYED TREES 24" OR GREATER 50' EITHER SIDE OF THE LOD
- ☉ EXISTING TREES TO REMAIN
- PROPOSED SHADE TREES
 - ☉ RED MAPLE (AR)
 - ☉ RIVER BIRCH (BN)
 - ☉ NORTHERN RED OAK (OR)
 - ☉ SILVER LINDEN (TT)
 - ☉ VILLAGE GREEN ZELKOVA (ZS)
- PROPOSED FLOWERING TREES
 - ☉ AUTUMN BRILLIANCE SERVICEBERRY (AA)
 - ☉ STELLAR PINK DOGWOOD (CS)
- PROPOSED EVERGREEN TREES
 - ☉ NORWAY SPRUCE (PA)
 - ☉ EASTERN WHITE PINE (PS)
- PROPOSED SHRUBS
 - ☉ HETZ JUNIPER (JC)
 - ☉ VIRGINIA SWEETSPICE (IV)
 - ☉ NANDINA (ND)
 - ☉ SKIP LAUREL (PL)
- PROPOSED GROUNDCOVER
 - ☉ DAYLILY (H)

SITE PLAN LEGEND:

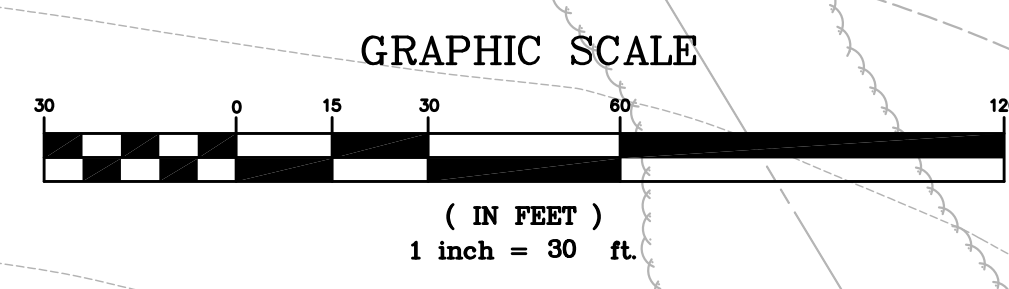
- STREAM VALLEY BUFFER
- WETLAND BUFFER
- LIMITS OF WETLANDS
- 100 YR FLOOD PLAIN
- EXISTING TREE LINE
- HEDGEROW TO REMAIN
- BLOCK DESIGNATION
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER WITH STRUCTURE
- PROPOSED CURB AND GUTTER
- PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- CATEGORY I FOREST CONSERVATION EASEMENT
- 3-RAIL FENCE

AMENDMENT 82006019A
PROPOSED CHANGES

- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
- REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
- REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE
 THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.
 DEVELOPER'S NAME: _____
 COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____
 PHONE: _____
 SIGNATURE: _____



M-NCPPC APPROVAL STAMP
 Certified Site Plan
 File No. 82006019A
 Montgomery County Planning Board

Chair or Designer: _____ Date: _____
MONTGOMERY COUNTY PLANNING DEPARTMENT
 THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

VKA
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
 VKA INCORPORATED
 20251 CENTURY BOULEVARD SUITE 400 ■ GERMANTOWN, MD 20874
 (301)916-4100 ■ FAX (301)916-2265
 GERMANTOWN, MD ■ WILCAN, VA ■ LEESBURG, VA

OLNEY ESTATES
 8TH ELECTION DISTRICT,
 MONTGOMERY COUNTY, MARYLAND

SITE PLAN # 82006019A
LANDSCAPE AND
LIGHTING PLAN

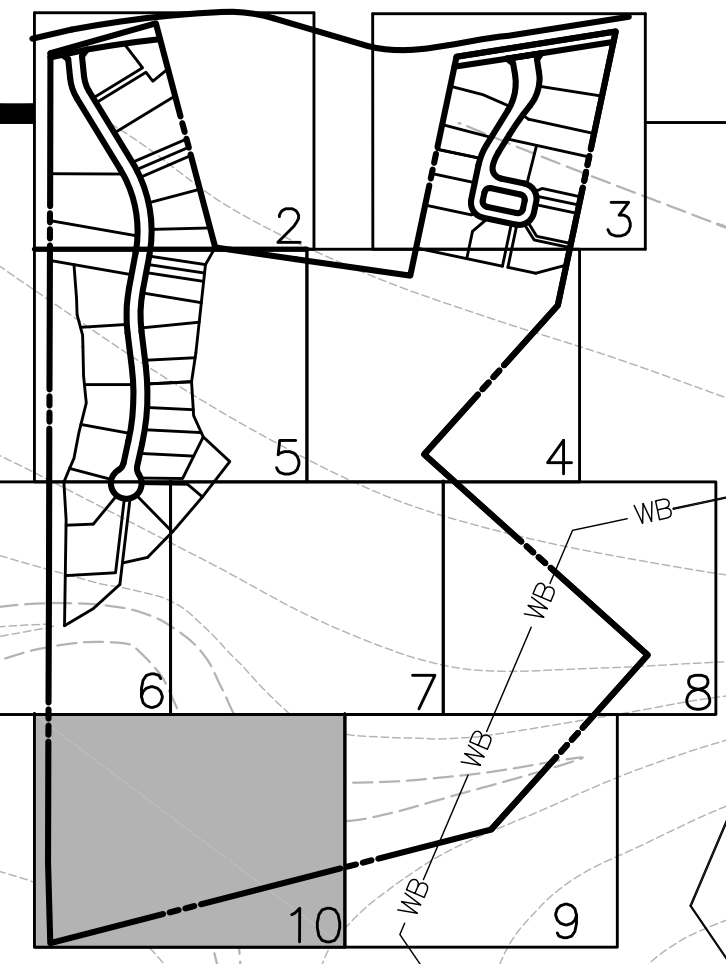
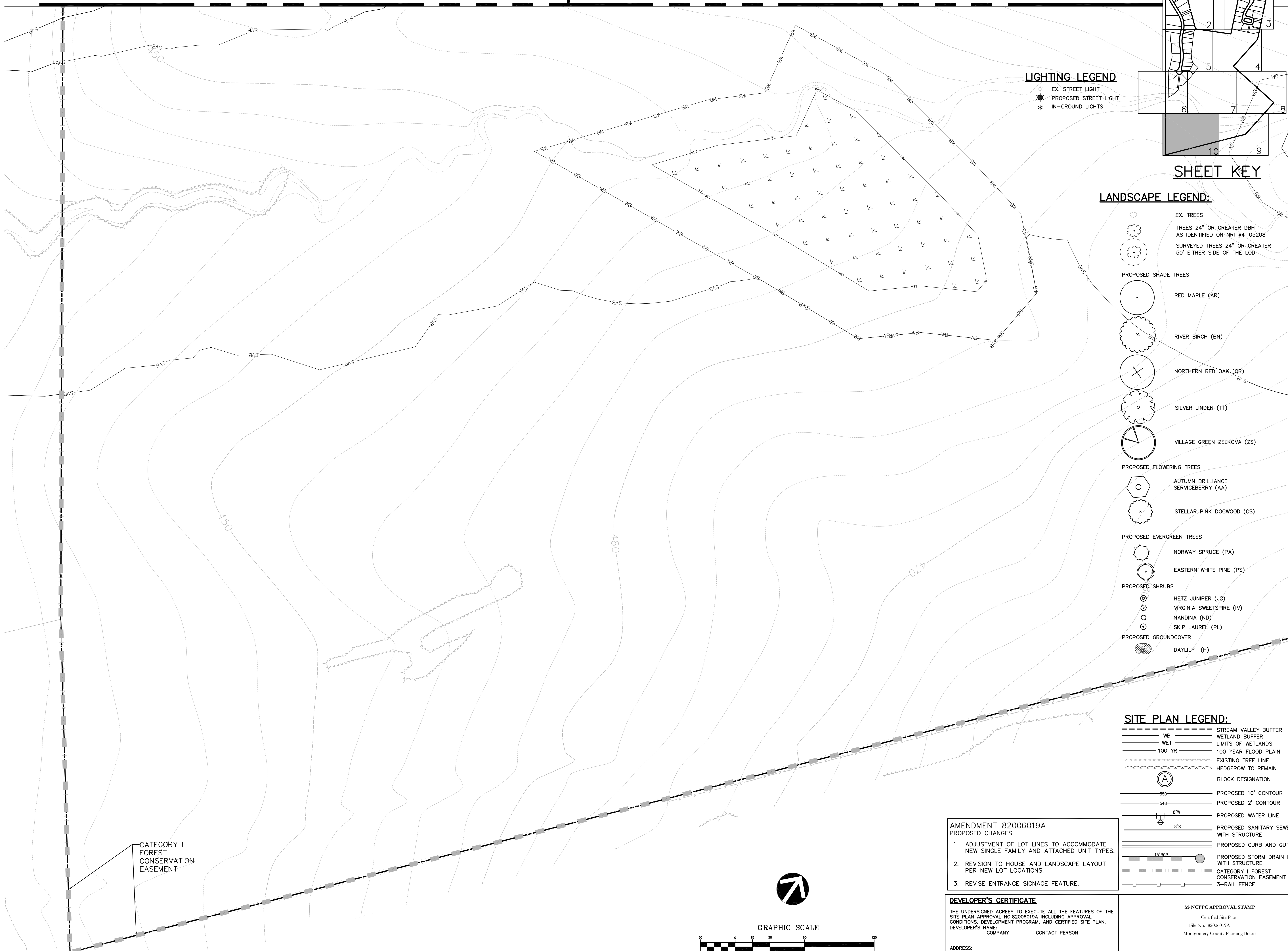
VKA REVISIONS

NO.	DATE	DESCRIPTION

PROGRESS SET ISSUED	02/09/07
DATE	OCTOBER 2006.
MB	DWN.
SG	
SCALE:	1"=30'
PROJECT/FILE NO.	1319
SHEET NO.	LP-9

MATCH LINE - SEE SHEET 6

MATCH LINE - SEE SHEET 7



SHEET KEY

LIGHTING LEGEND

- EX. STREET LIGHT
- PROPOSED STREET LIGHT
- * IN-GROUND LIGHTS

LANDSCAPE LEGEND:

- EX. TREES
- TREES 24" OR GREATER DBH AS IDENTIFIED ON NRI #4-05208
- SURVEYED TREES 24" OR GREATER 50' EITHER SIDE OF THE LOD
- PROPOSED SHADE TREES
 - RED MAPLE (AR)
 - RIVER BIRCH (BN)
 - NORTHERN RED OAK (OR)
 - SILVER LINDEN (TT)
 - VILLAGE GREEN ZELKOVA (ZS)
- PROPOSED FLOWERING TREES
 - AUTUMN BRILLIANCE SERVICEBERRY (AA)
 - STELLAR PINK DOGWOOD (CS)
- PROPOSED EVERGREEN TREES
 - NORWAY SPRUCE (PA)
 - EASTERN WHITE PINE (PS)
- PROPOSED SHRUBS
 - HETZ JUNIPER (JC)
 - VIRGINIA SWEETSPIRE (IV)
 - NANDINA (ND)
 - SKIP LAUREL (PL)
- PROPOSED GROUNDCOVER
 - DAYLILY (H)

SITE PLAN LEGEND:

- WB STREAM VALLEY BUFFER
- WET WETLAND BUFFER
- 100 YR LIMITS OF WETLANDS
- 100 YR 100 YEAR FLOOD PLAIN
- EXISTING TREE LINE
- HEDGEROW TO REMAIN
- (A) BLOCK DESIGNATION
- 550 PROPOSED 10' CONTOUR
- 548 PROPOSED 2' CONTOUR
- 8"W PROPOSED WATER LINE
- 8"S PROPOSED SANITARY SEWER WITH STRUCTURE
- 15"SCP PROPOSED CURB AND GUTTER
- 15"SCP PROPOSED STORM DRAIN PIPE WITH STRUCTURE
- 3-RAIL FENCE CATEGORY I FOREST CONSERVATION EASEMENT

AMENDMENT 82006019A
PROPOSED CHANGES

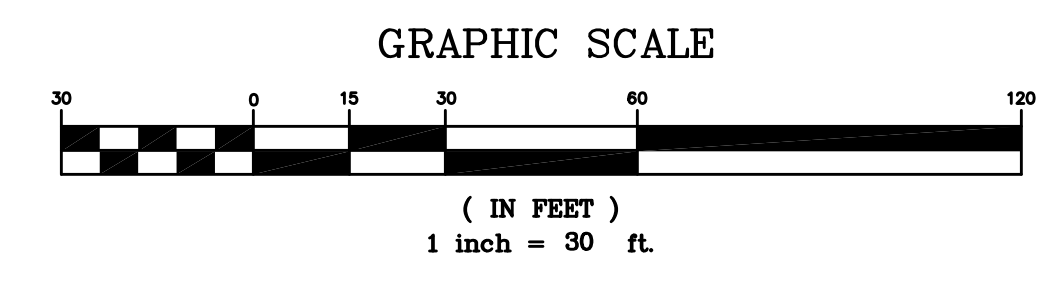
- ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
- REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
- REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE
THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.
DEVELOPER'S NAME: _____
COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____
PHONE: _____
SIGNATURE: _____

M-NCPPC APPROVAL STAMP
Certified Site Plan
File No. 82006019A
Montgomery County Planning Board

Chair or Designer: _____ Date: _____
MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION



CATEGORY I
FOREST
CONSERVATION
EASEMENT

VKA REVISIONS

NO.	DESCRIPTION	DATE

PROGRESS SET ISSUED
02/09/07
DATE OCTOBER 2006.

DES.	DWN.
MB	SG

SCALE: 1" = 30'
PROJECT/FILE NO. 1319
SHEET NO. LP-10

PLANT SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT BALL	COMMENT
CANOPY TREES						
	17	Acer rubrum 'October Glory' (AR)	Red Maple	2.5-3" caliper	B&B	single leader, full crown, symmetrical, matched
	27	Betula nigra (BN)	River Birch	8-10' ht.	B&B	multi-stem, heavy, symmetrical, full crown
	41	Quercus rubra (QR)	Northern Red Oak	2.5-3" caliper	B&B	single leader, full crown, symmetrical, matched
	21	Tilia tomentosa (TT)	Silver Linden	2.5-3" caliper	B&B	single leader, full crown, symmetrical, matched
	62	Zelkova serrata 'Village Green' (ZS)	Village Green Zelkova	2.5-3" caliper	B&B	single leader, full crown, symmetrical, matched

EVERGREEN TREES						
	53	Picea abies (PA)	Norway Spruce	8-10' ht.	B&B	heavy, symmetrical, branched to ground
	59	Pinus strobus (PS)	Eastern White Pine	8-10' ht.	B&B	heavy, symmetrical, branched to ground

ORNAMENTAL TREES						
	20	Amelanchier arborea 'Autumn Brilliance' (AA)	Autumn Brilliance Serviceberry	2-2.5" caliper	B&B	heavy branching, single leader
	15	Cornus 'Rutgan' Stellar Pink (CS)	Stellar Pink Dogwood	2-2.5" caliper	B&B	heavy, full-branching, matched, symmetrical

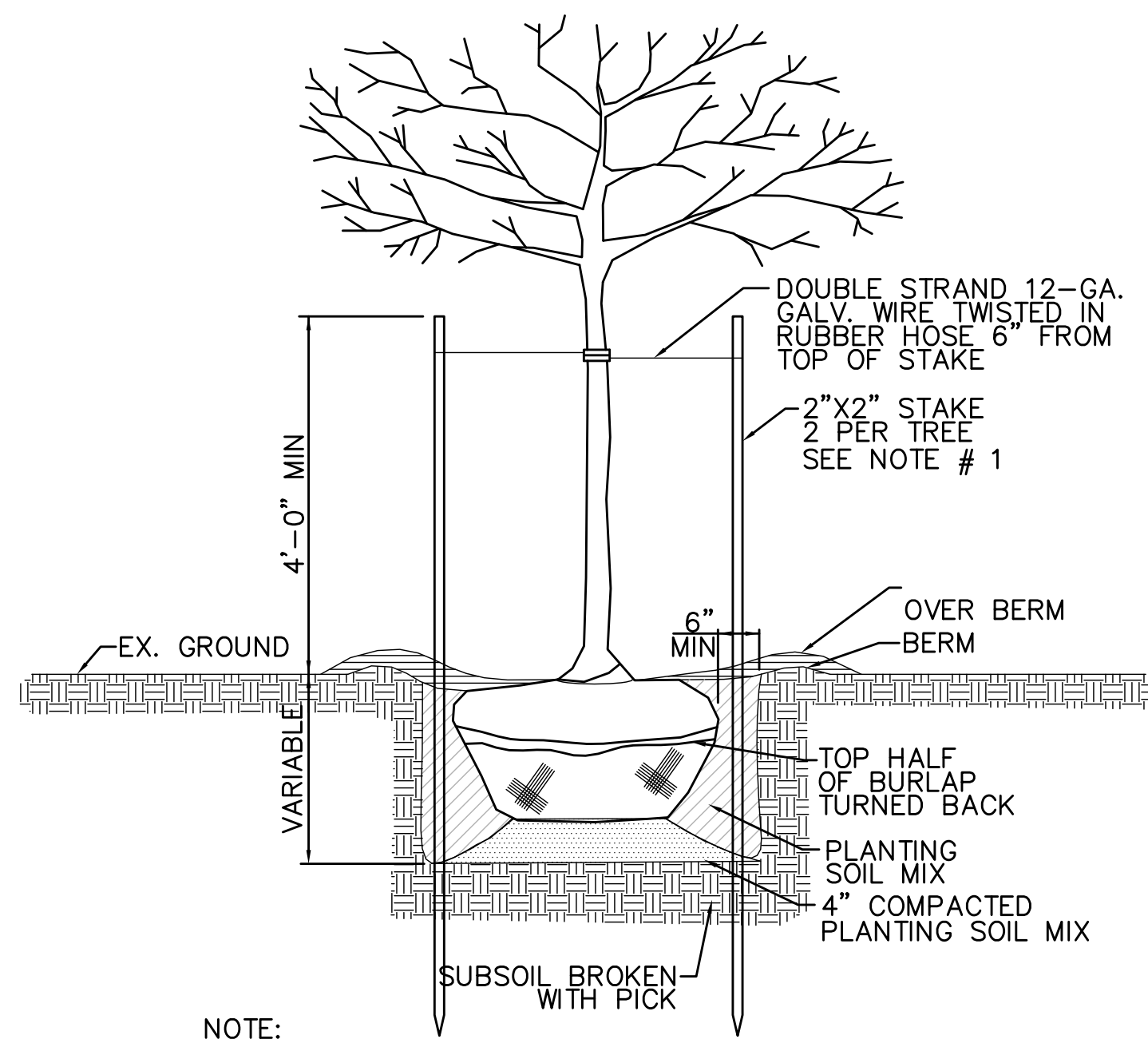
SHRUBS						
	6	Juniperus chinensis 'Hetzi' (JC)	Hetz Juniper	30"-36" ht.	container	Heavy, full to ground
	48	Itea virginica (IV)	Virginia Sweetspire	30"-36" ht.	container	Heavy, full branching
	17	Nandina domestica (ND)	Nandina	30"-36" ht.	container	Heavy, full to ground
	150	Prunus laurocerasus 'Shipkaensis' (PL)	Skip Laurel	30"-36" ht.	container	Heavy, full to ground

GROUNDCOVERS/GRASSES						
		Hemerocallis sp.	Daylily	1 gallon	container	12" o.c. spacing - maroon & yellow mixed

SWM PLANT SCHEDULE

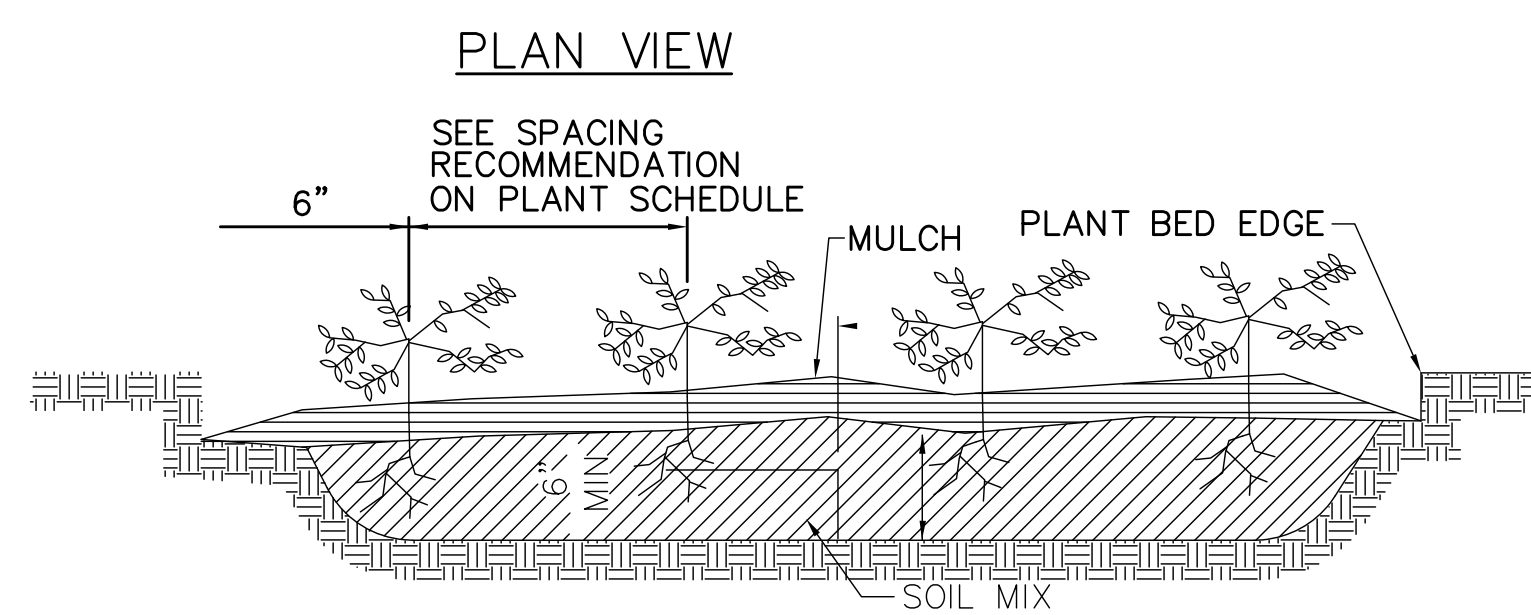
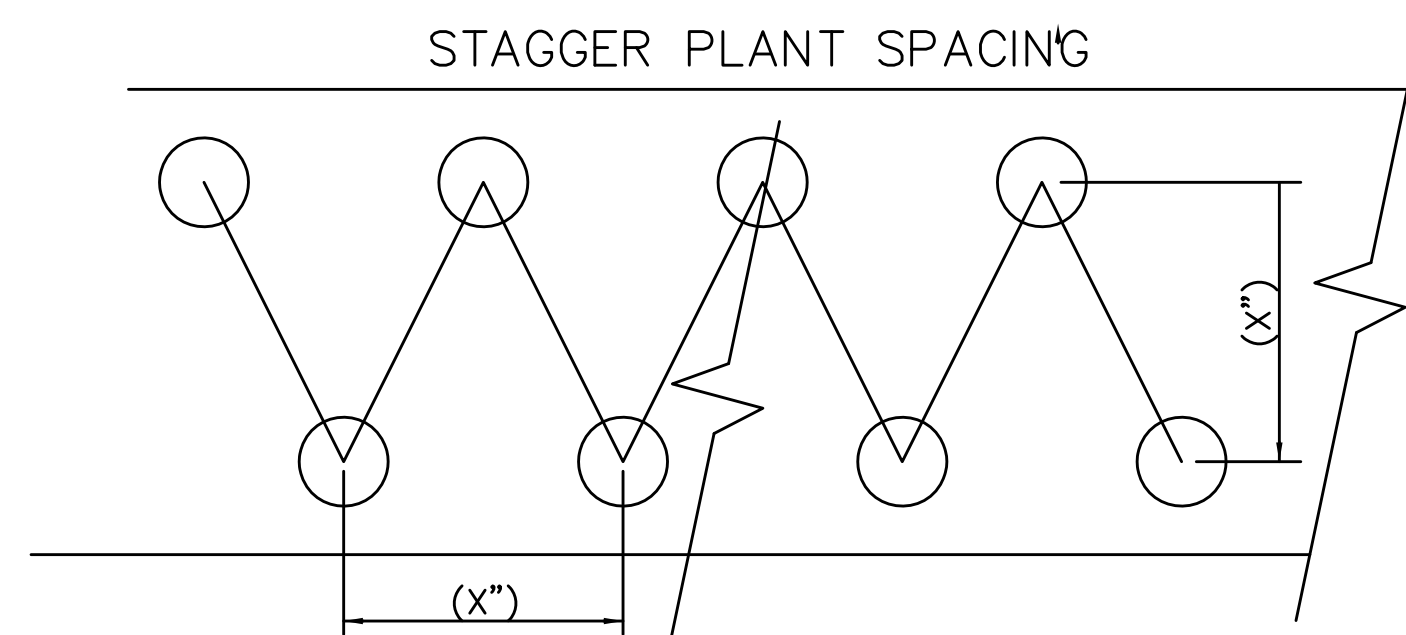
NOTE: REFER TO FINAL STORMWATER MANAGEMENT PLAN FOR MORE DETAILS

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT BALL	COMMENT
4	Betula nigra (BN)	River Birch	8-10' ht.	B&B	multi-stem, heavy, symmetrical, full crown
7	Quercus rubra (QR)	Northern Red Oak	2.5-3" caliper	B&B	single leader, full crown, symmetrical, matched
5	Tilia tomentosa (TT)	Silver Linden	2.5-3" caliper	B&B	single leader, full crown, symmetrical, matched
2	Picea abies (PA)	Norway Spruce	8-10' ht.	B&B	heavy, symmetrical, branched to ground
18	Pinus strobus (PS)	Eastern White Pine	8-10' ht.	B&B	heavy, symmetrical, branched to ground
5	Amelanchier arborea 'Autumn Brilliance' (AA)	Autumn Brilliance Serviceberry	2-2.5" caliper	B&B	heavy branching, single leader
30	Juniperus chinensis 'Hetzi' (JC)	Hetz Juniper	30"-36" ht.	container	Heavy, full to ground
42	Nandina domestica (ND)	Nandina	30"-36" ht.	container	Heavy, full to ground
60	Prunus laurocerasus 'Shipkaensis' (PL)	Skip Laurel	30"-36" ht.	container	Heavy, full to ground



NOTE:
1. STAKING SHOWN ON THIS DETAIL IS FOR DECIDUOUS AND EVERGREEN TREES UNDER 4" CALIPER AND 6" OR MORE IN HEIGHT. STAKE TREES ONLY IN AREAS OF HIGH WIND. REMOVE AFTER FIRST GROWING SEASON.
2. NO STAKING REQUIRED FOR STREET TREES. CONTRACTOR RESPONSIBLE FOR KEEPING STREET TREES STRAIGHT.

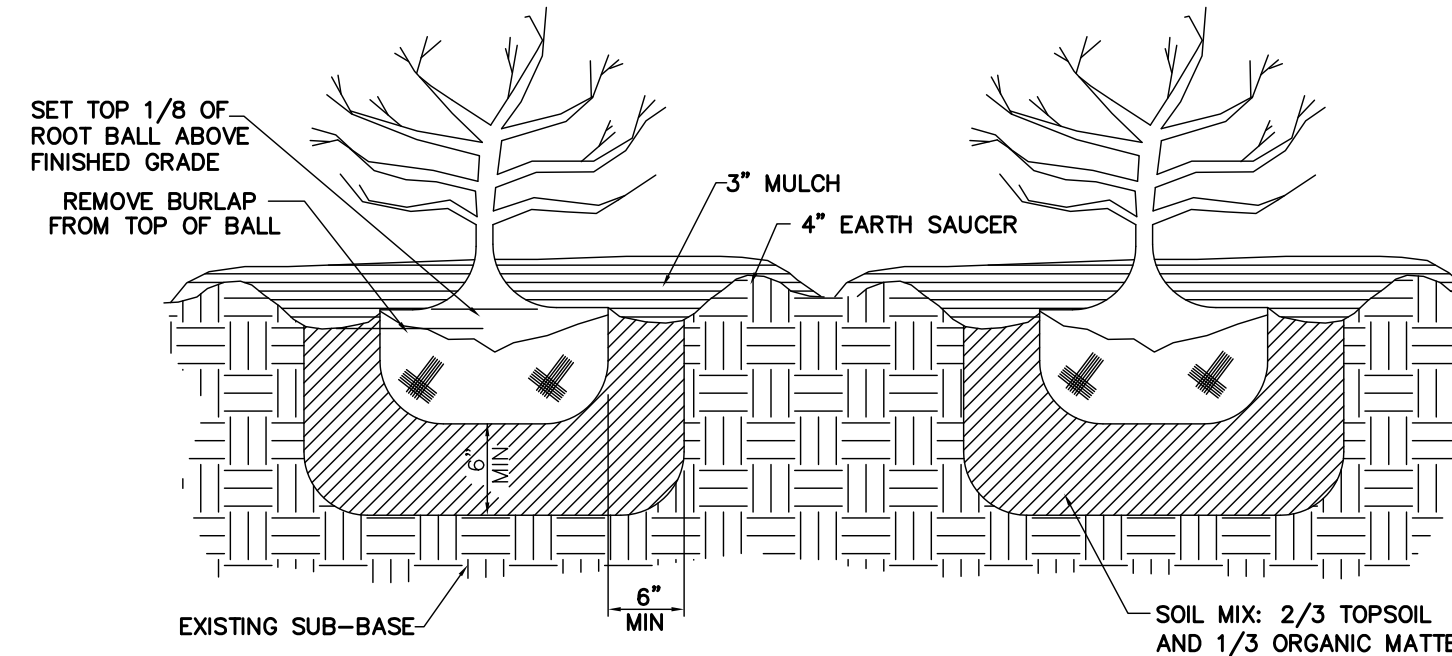
PLANTING AND STAKING DETAIL
NOT TO SCALE



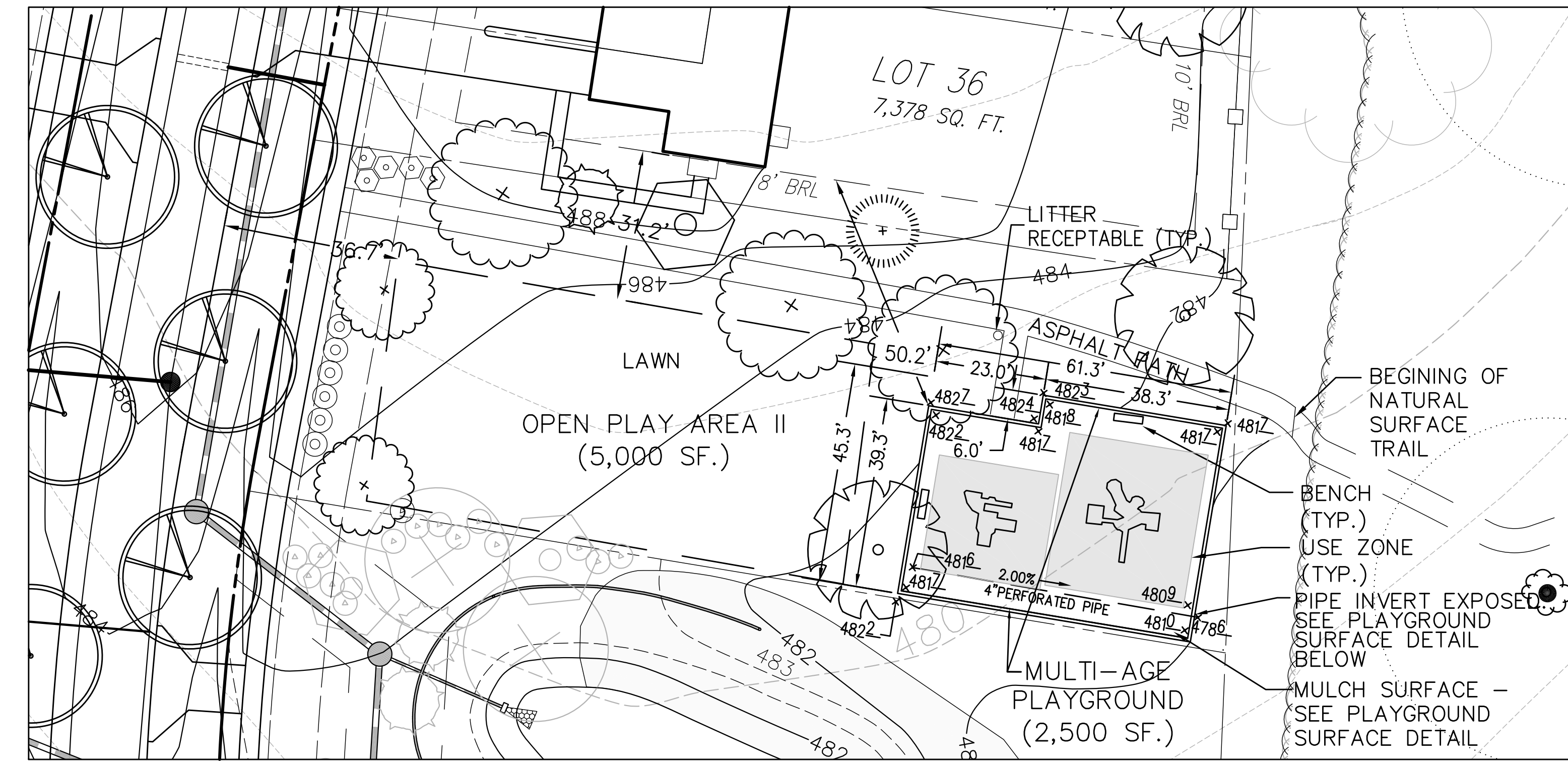
GROUND COVER PLANTING DETAIL
NOT TO SCALE

QUALITY ASSURANCE NOTES

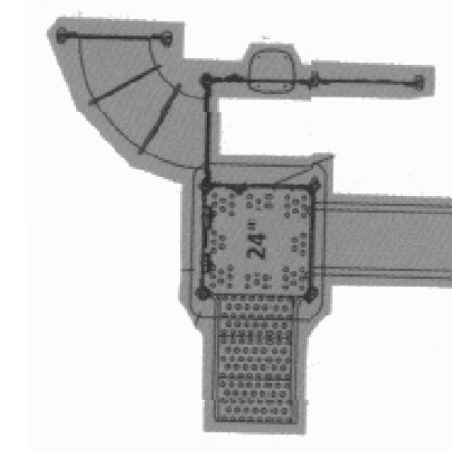
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK NO. Z60.1-1986, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE WHOLESOME, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES, INSECT PESTS AND THEIR EGGS, AND SHALL HAVE HEALTHY, NORMAL TOP AND ROOT SYSTEMS. PLANTS SHALL BE NURSERY-GROWN STOCK AND FRESHLY DUG.
- NO SHADE TREES OR EVERGREEN TREES WITH MULTIPLE LEADERS WILL BE ACCEPTED. NO SHEARED EVERGREENS WILL BE ACCEPTED.
- SUBSTITUTIONS ARE NOT PERMITTED WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.



SHRUB PLANTING DETAIL
NOT TO SCALE



OPEN PLAY AREA II AND MULTI-AGE PLAYGROUND DETAIL
SCALE: 1"=20'



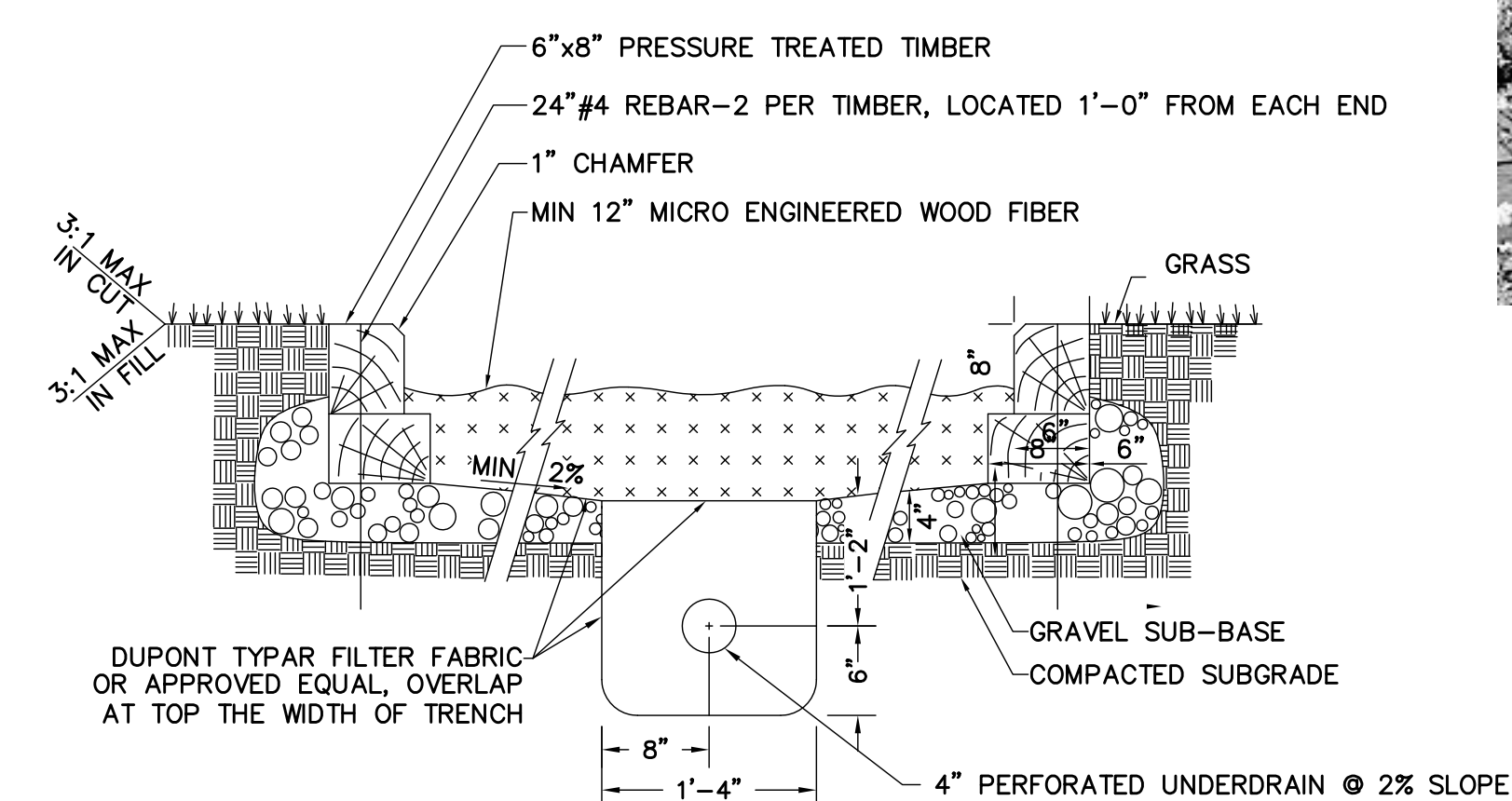
PLAY STRUCTURE FOR 2-5 YEAR OLDS
PLAYWORLD SYSTEMS
MODEL TODDLER TOWNHOUSE ZSPD HOUSE OR EQUAL
SIZE: 11' x 12' x 9'
USE ZONE: 24' x 25' AS SHOWN ON PLAY GROUND DETAIL ABOVE.
ACTIVITIES: CLIMBING, SLIDING, CRAWLING, HIDING, BALANCING, CREATIVE PLAY.
WWW.PLAYWORLD SYSTEMS.COM



PLAY STRUCTURE FOR 5-12 YEAR OLDS
PLAYWORLD SYSTEMS
MODEL # 350-0301 CHALLENGERS OR EQUAL
SIZE: 19' x 13' x 13'
USE ZONE: 32' x 29' AS SHOWN ON PLAYGROUND DETAIL ABOVE.
ACTIVITIES: CLIMBING, SLIDING, BALANCING, SWINGING, CRAWLING HANGING, CREATIVE PLAY.
WWW.PLAYWORLD SYSTEMS.COM

PLAY STRUCTURE DETAILS

SCALE: NTS



* NOTE:
AT EXPOSED PIPE OUTFALL, AS SHOWN IN THE MULTI-AGE PLAYGROUND DETAIL ABOVE, DROP GRADE AND ADD TIMBERS AS NECESSARY

PLAYGROUND EQUIPMENT SURFACE

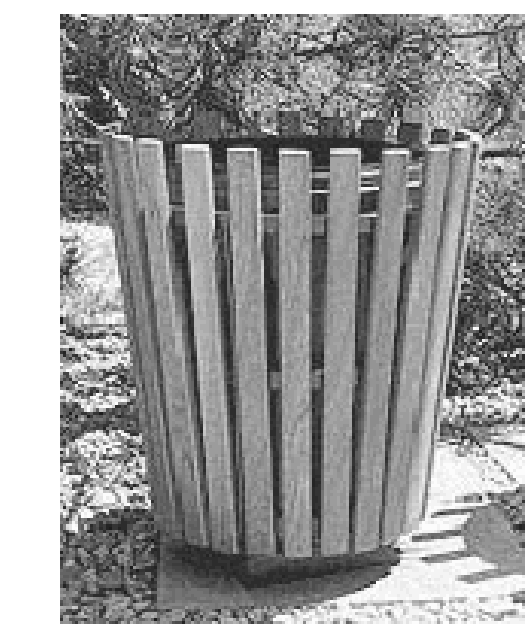
NOT TO SCALE



VICTOR STANLEY UNISLAT SERIES
MODEL UB-66 - 6' WOODEN BENCH (MAHOGANY) OR EQUAL
WWW.VICTORSTANLEY.COM

BENCH DETAIL

SCALE: NOT TO SCALE



VICTOR STANLEY LITTER KING SERIES
MODEL F-24 - 24GALLON WOODEN LITTER RECEPTACLE (MAHOGANY) OR EQUAL
WWW.VICTORSTANLEY.COM

LITTER RECEPTACLE DETAIL

SCALE: NOT TO SCALE

AMENDMENT 82006019A
PROPOSED CHANGES
1. ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
2. REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.
3. REVISE ENTRANCE SIGNAGE FEATURE.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO. 82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.
DEVELOPER'S NAME: _____
COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____
PHONE: _____
SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
File No. 82006019A
Montgomery County Planning Board

Chair or Designer: _____ Date: _____
MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

SPECIFICATIONS FOR STREETLIGHT HARDWARE
MONTGOMERY COUNTY
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
DIVISION OF OPERATIONS

November 2003

RESIDENTIAL, COLONIAL POST-TOP,
SEMI CUT-OFF, TYPE III DISTRIBUTION, STYLE LUMINAIRE

1) PURPOSE

The purpose of these specifications is to prescribe the minimum requirements for the design, manufacture, fabrication, finishing and delivery of colonial post-top, semi cut-off, type III distribution, style luminaire. This luminaire is intended for use on or with the black fiberglass pole. These colonial post-top, semi cut-off, type III distribution, style luminaires are intended for use along residential roadways, walkways, and tunnels throughout Montgomery County. Any manufacturer, distributor or vendor who submits a bid shall agree to comply with these specifications and attached drawings.

2) DESCRIPTION

The residential, colonial post-top, type III distribution, style luminaire is made of a cast aluminum base with an aluminum reflector installed in the canopy.

Each streetlight luminaire shall include the following:

- a) Cast aluminum housing and hinged top canopy;
- b) 120 volt ballast;
- c) Lamp with Mogul style base socket;
- d) NEMA standard photoelectric control receptacle on the top cover of the luminaire;
- e) NEMA multi-volt standard photocell;
- f) Acrylic or Polycarbonate resin refractor side panels (lens);
- g) Internal aluminum reflector (Type III);
- h) All necessary hardware required for mounting on fiberglass poles, as specified.

3) DESIGN CRITERIA

3.1) AASHTO Standards

The luminaire shall meet the requirements of American Association of State Highway and Transportation Officials (AASHTO) Standard, "Specification for Structural supports for Highway Signs, Luminaires and Traffic Signals," latest edition.

3.2) Shape and Minimum Size

- a) The luminaire shall be of a trapezoidal shape. The minimum size for the luminaire shall 40.0 inches (sum of the length plus height), when viewed from the side.
- b) The luminaire shall be suitable to accommodate either 70 watt, 100 watt, or 150 watt, High Pressure Sodium Vapor (HPSV) ballast and lamp.

3.3) Effective Projected Area (EPA)

The luminaire shall have a maximum estimated allowable EPA for the luminaire of three (3) +/- square feet.

3.4) Finish

The luminaire shall have a black polyester powder coat finish. During the finishing process, all critical openings shall be plugged to prevent contamination of the threads or reduction of other critical openings.

4) MATERIALS

4.1) Housing

The luminaire shall consist of a water tight housing fabricated from die-cast aluminum with a gasketed die-cast aluminum canopy. The canopy shall be hinged on one side and secured on the opposite side with a captive stainless steel screw. All castings used to fabricate the luminaire housing shall be clean and smooth with details defined and true to pattern. The housing shall be suitable to accommodate 70 watt, 100 watt, or 150 watt High Pressure Sodium Vapor (HPSV) ballast and lamp.

4.2) Ballast

The ballast shall be mounted to facilitate easy removal for maintenance or conversion to a different ballast. All electrical connections shall be polarized and of plug-in design. The ballast shall be wired to receive 120 volt AC current. The ballast shall reliably start and operate the lamp in ambient temperatures down to minus 30 degrees.

4.3) Lamp

The luminaire may be used with any of three (3) lamp wattages as follows:
ANSI Code - 70 watt (HPSV), with Mogul base socket;
ANSI Code - 100 watt (HPSV), with Mogul base socket;
ANSI Code - 150 watt (HPSV), with Mogul base socket; or as specified.

4.4) Photoelectric Cell

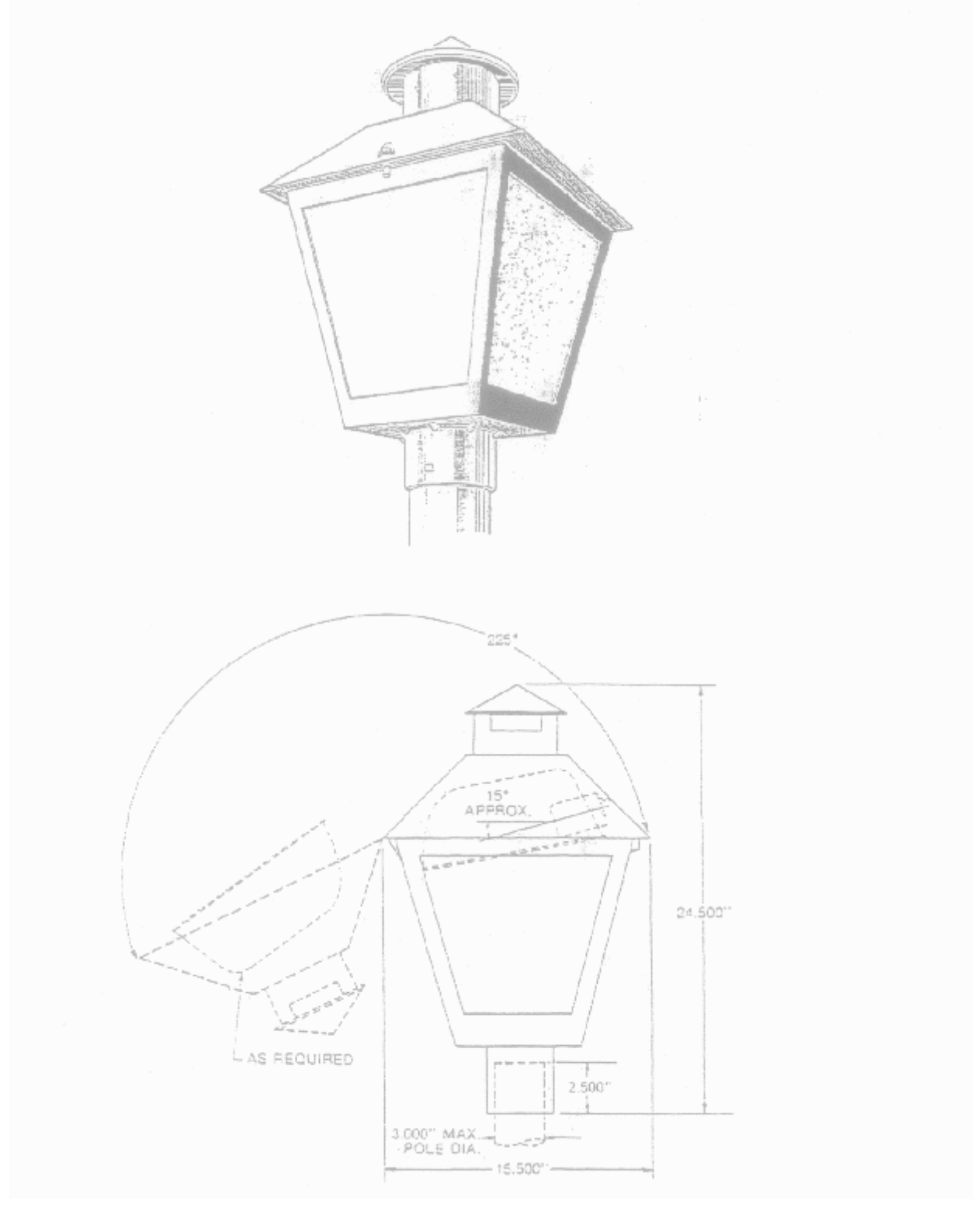
The photocell receptacle shall be mounted on the top of the hinged canopy. The photocell shall be of the NEMA twist-lock type and shall include a cover for the photocell.

4.5) Side refractor panels

The luminaire shall be equipped with acrylic or polycarbonate resin refractor panels, with spring loaded retainer clips to hold refractor panels.

4.6) Reflector

The luminaire shall contain a one-piece aluminum sheet reflector, mounted in the canopy. The reflector shall have a type III distribution pattern, with a anodized process finish ("Akzak" or equivalent type anodic process).



LUMINAIRE SPECIFICATIONS AND DETAIL

NOT TO SCALE

SPECIFICATIONS FOR STREETLIGHT HARDWARE
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
DIVISION OF OPERATIONS

November 2003

RESIDENTIAL, ROUND, TAPERED, POST-TOP
DIRECT BURIAL FIBERGLASS POLE
GRAY OR BLACK

1) DESCRIPTION

The residential, round, tapered, direct burial fiberglass pole shall be made of a fiberglass reinforced composite (fiberglass filament and color pigmented resin), with a polyurethane and UV inhibitor coating, with a natural finish. This fiberglass pole is intended for use on residential roadways, walkways, and tunnels throughout Montgomery County. Any manufacturer, distributor or vendor who submits a bid shall agree to comply with these specifications and the attached drawings.

2) DESIGN CRITERIA

2.1 AASHTO Standards

The residential, round, tapered, direct burial fiberglass pole shall meet the requirements of the American Association of State Highway and Transportation Officials (AASHTO) Standard, "Specification for Structural supports for Highway Signs, Luminaires and Traffic Signals," latest edition.

2.2 Wind Load

The residential, round, tapered, direct burial fiberglass pole shall be designed to resist (at yield strength of the material without permanent deflection or destruction) test loads equivalent to the calculated wind loads developed by the velocity pressures of an 80 MPH wind with a 30% gust factor. A minimum safety factor of 1.82 on the yield strength shall be maintained.

2.3 Effective Projected Area (EPA)

The residential, round, tapered, direct burial fiberglass pole shall be designed using the following assumptions:

- a) The streetlight luminaire shall be mounted at a height of 12 feet above the level of the surrounding ground (EPA of 3 Sq. Ft. +/-).

- b) One (24" x 36") traffic sign may be mounted with the sign's bottom edge 7 feet above the ground. (EPA of 6 Sq. Ft. +/-).

3) MATERIALS

- a) The residential, round, tapered, direct burial fiberglass pole shall be constructed by a winding filament process with color pigmented polyester resin impregnated into the filaments. The filament winding shall be continuously applied with uniform tension.
- b) The resin used will be color pigmented and shall be ultraviolet resistant. A highly weather resistant pigmented polyurethane coating shall be applied to the pole at a minimum thickness of 1.5 mils.

4) FINISH

The residential, round, tapered, direct burial fiberglass pole shall be of a natural finish for the entire length of the pole.

5) TENONS

The residential, round, tapered, direct burial fiberglass pole shall have a permanently bonded, hot-dipped galvanized steel or aluminum, 3 inch tenon.

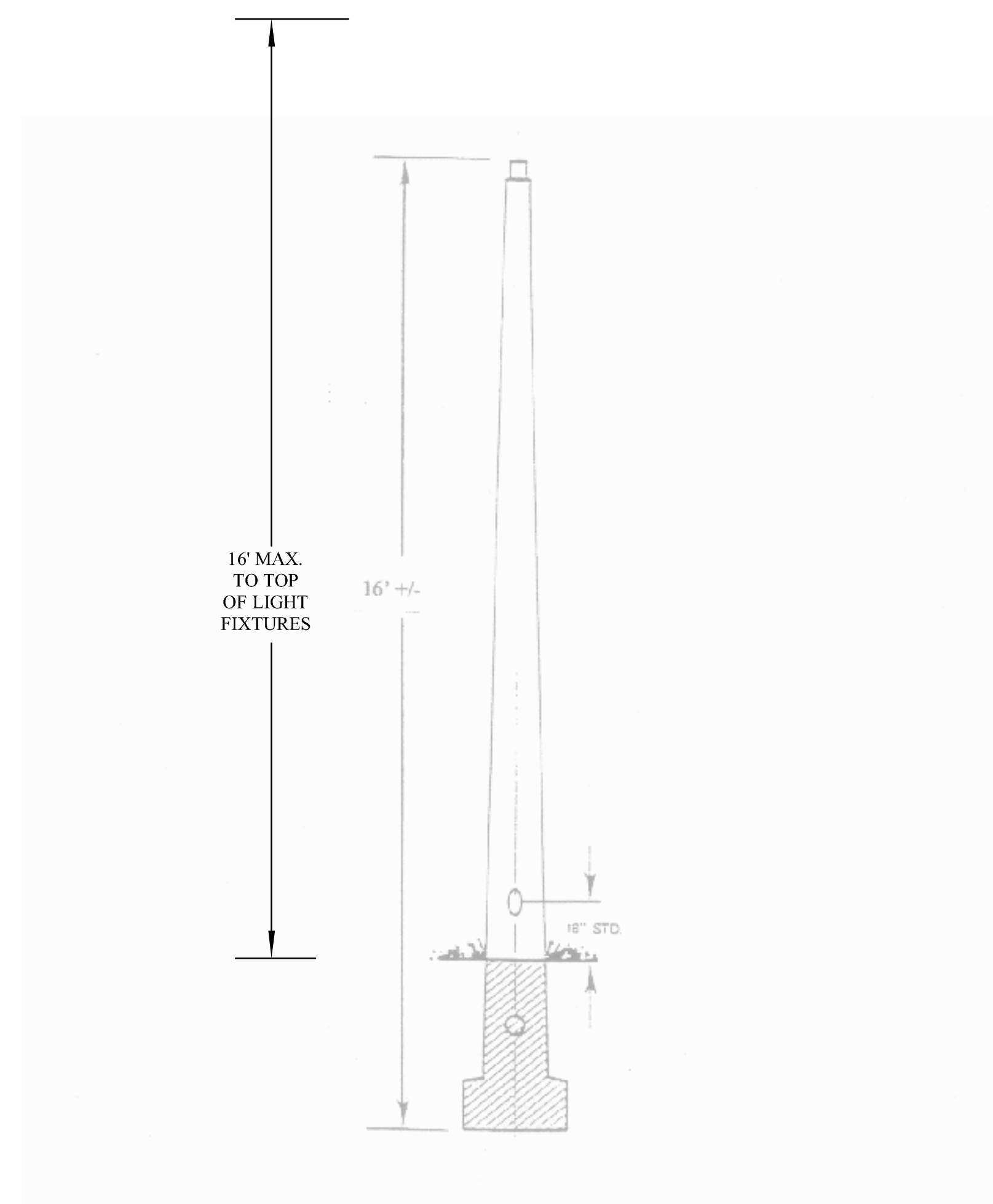
6) HAND-HOLES

The residential, round, tapered, direct burial fiberglass pole shall have one 2 1/2 inch x 5 inch hand-hole, with a non-metallic cover secured with a vandal-resistant, stainless steel screws.

7) POLE

7.1 Shaft

The residential, round, tapered, direct burial fiberglass pole shaft shall have a bottom pole diameter of 5.5 inches (+/- 0.1 inches), and a top pole diameter of 2.9 inches (+/- 0.1 inches)



BLACK FIBERGLASS RESIDENTIAL
LAMP POST SPECIFICATION AND DETAIL

STREET LIGHT DETAILS

STREET LIGHT DETAILS AND LOCATIONS
ARE PROVIDED FOR INFORMATIONAL
PURPOSES ONLY. FOR FINAL LOCATION
OF STREET LIGHTS SEE STORM DRAIN &
PAVING PLANS.



12 COMPOSITE INGROUND LIGHT
MODEL# 12G-H BRONZE
HADCO NIGHTLIFE OR EQUAL
120 VOLT
75 WATT
www.hadcolighting.com
717-359-7131

INGROUND LIGHTING FOR
ENTRY WALL SIGNAGE

NOT TO SCALE

AMENDMENT 82006019A
PROPOSED CHANGES
1. ADJUSTMENT OF LOT LINES TO ACCOMMODATE NEW SINGLE FAMILY AND ATTACHED UNIT TYPES.
2. REVISION TO HOUSE AND LANDSCAPE LAYOUT PER NEW LOT LOCATIONS.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF THE SITE PLAN APPROVAL NO.82006019A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.
DEVELOPER'S NAME: _____
COMPANY: _____ CONTACT PERSON: _____

ADDRESS: _____
PHONE: _____
SIGNATURE: _____

M-NCPPC APPROVAL STAMP

Certified Site Plan
File No. 82006019A
Montgomery County Planning Board

Chair or Designer: _____ Date: _____

MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

SITE PLAN # 82006019A
LIGHTING SPECIFICATIONS
& DETAILS

VIKA REVISIONS

ADDRESSED COMMENTS FROM RESOLUTION 5/18/07
PROGRESS SET ISSUED 02/09/07
DATE OCTOBER 2006.

DES. MB DW. SG

SCALE: 1"=30'

PROJECT/FILE NO. 1319
SHEET NO. LP-12

VIKA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
VIKA INCORPORATED
20251 CENTURY BOULEVARD SUITE 400 ■ GERMANTOWN, MD 20874
(301)916-4100 ■ FAX (301)916-2266
MCLEAN, VA ■ LEESBURG, VA

OLNEY ESTATES
8TH ELECTION DISTRICT,
MONTGOMERY COUNTY, MARYLAND