

**Plat Name: Country Club Village**  
**Plat #: 220120350**

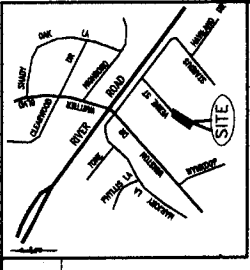
**Location:** Located at the terminus of Verne Street, approximately 600 feet southwest of River Road.

**Master Plan:** Bethesda-Chevy Chase Master Plan

**Plat Details:** R-60 zone; 2 lots  
Community Water, Community Sewer

**Applicant:** Estate of Elizabeth Goodwin

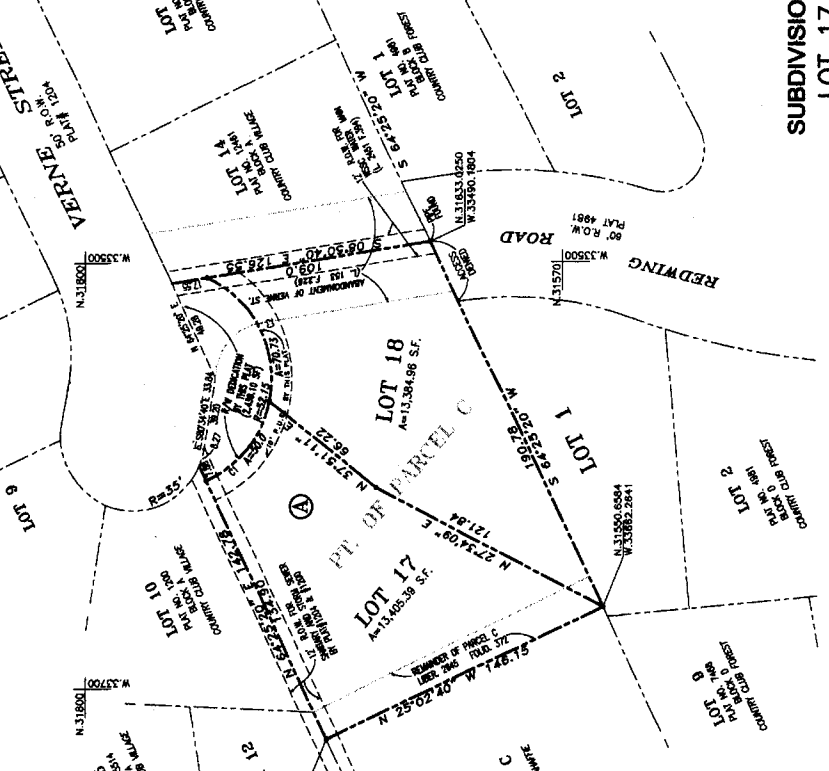
This subdivision plat has been reviewed by M-NCPPC staff as documented on the attached Plat Review Checklist. Staff has determined that the plat complies with Preliminary Plan No. 120080330 (MCPB Resolution No. 10-173), as approved by the Board, and that any minor modifications reflected on the plat do not alter the intent of the Board's previous approval of the aforesaid plans.



VICINITY MAP  
SCALE: 1" = 2000'

PLAT NO: \_\_\_\_\_

CURVE	ARC LENGTH	CHORD	BEARS	CHORD BEARINGS	CHORD
C1	50.00	52.15	S 54°57'14" E	S 50°47'37" E	48.11
C2	70.66	52.15	S 77°42'31" E	N 82°53'01" W	65.43



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF AND THAT IT IS A RESUBDIVISION OF PART OF PARCEL C AND ABANDONED PORTION OF VERNE STREET (EQUITY CASE# 20450) RECORDED IN LIBER 153 AT FOLIO 226, COUNTRY CLUB VILLAGE A.F.E. HORNY'S SUBDIVISION, AS SHOWN ON THE PLAT RECORDED IN PLAT BOOK 19 AT PLAT NO. 7254 AMONG THE RECORDS OF MONTGOMERY COUNTY, MARYLAND, AND THAT THE PLAT SHOWN HEREON IS THE WORK OF THE SURVEYOR AND THAT HAROLD C. GOODWIN BY DEED RECORDED IN LIBER 16439 AT FOLIO 659, AMONG THE LAND RECORDS, AND THAT PROPERTY MARKER SHOWN THUS: "O" ARE SET IN ACCORDANCE WITH SECTION 50-24 OF THE MONTGOMERY COUNTY CODE. TOTAL AREA OF THIS PLAT IS 29,229.45 SQUARE FEET OR 0.6710 ACRES OF WHICH 2,439.10 S.F.T. IS DEDICATED TO PUBLIC USE.

7-06-12  
DATE

*[Signature]*  
ANDREW HUSBANDS, PROFESSIONAL LAND SURVEYOR 21188  
REGISTRATION EXPIRATION DATE: 01/04/2014

**OWNER'S CERTIFICATION**

I, ROBERT CHRISTOPHER GOODWIN (EXECUTOR OF THE ESTATE OF ELIZABETH GOODWIN) OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON HEREBY ADOPT THIS PLAN OF RESUBDIVISION AND ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE THE STREET TO PUBLIC USE.

WE FURTHER GRANT A 10' PUBLIC UTILITY EASEMENT SHOWN HEREON AS TO THOSE PARTIES NAMED IN THE DOCUMENT ENTITLED: "DECLARATION OF TERMS AND PROVISION OF PUBLIC UTILITY EASEMENT" AS RECORDED IN LIBER 3834 AT FOLIO 457 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.

THERE ARE NO SUITS, ACTIONS AT LAW LEASES, LIENS OR TRUSTS AFFECTING THIS PROPERTY.

*[Signature]*  
THE ESTATE OF ELIZABETH GOODWIN  
PERSONAL REPRESENTATIVE

*[Signature]*  
WITNESS Sharon A. Little

**NOTES:**

- THIS SUBDIVISION RECORD PLAT IS NOT INTENDED TO SHOW EVERY MATTER AFFECTING THE OWNERSHIP AND USE, NOR EVERY MATTER RESTRICTING THE OWNERSHIP AND USE OF THE PROPERTY. THE SUBDIVISION RECORD PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR DEPICT OR NOTE ALL MATTER AFFECTING TITLE.
- ALL EXISTING AND PROPOSED DEVELOPMENT ON THIS PROPERTY IS SUBJECT TO THE STANDARDS UNDER MONTGOMERY COUNTY ZONING ORDINANCE SECTION 59-C-1.32, R-60 ZONE CLASSIFICATION.
- THIS PROPERTY IS SHOWN ON TAX MAP NO. GN 561.
- ALL TERMS, CONDITIONS, AGREEMENTS, LIMITATIONS, AND REQUIREMENTS ASSOCIATED WITH THE DEVELOPMENT OF THIS PROPERTY APPROVED BY THE PLANNING BOARD, INCLUDING DEVELOPMENT OF THIS PROPERTY APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD ARE INTENDED TO SURVIVE AND NOT BE EXTINGUISHED BY THE RECORDATION OF THIS PLAT, UNLESS EXPRESSLY CONTEMPLATED BY THE PLAN AS APPROVED. THE OFFICIAL PUBLIC FILES FOR AND SUCH PLAN ARE MAINTAINED BY THE PLANNING BOARD FOR AND AVAILABLE FOR PUBLIC REVIEW DURING NORMAL BUSINESS HOURS.
- THIS PLAT IS FOR PUBLIC WATER AND SEWER SYSTEMS ONLY.
- THIS PROPERTY IS TO THE USES AND CONDITIONS OF PRELIMINARY PLAN NO. 120080330 ENTITLED "6214 VERNE STREET".
- THIS SUBDIVISION IS EXEMPT FROM FOREST CONSERVATION PLAN CONSERVATION PLAN NUMBER 120080330. THIS SITE IS SUBJECT TO AN APPROVED TREE SAVE PLAN NO. 120080330.

8. THE LOTS SHOWN HEREON ARE SUBJECT TO A PUBLIC IMPROVEMENT AGREEMENT RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY IN LIBER \_\_\_\_\_ AT FOLIO \_\_\_\_\_.

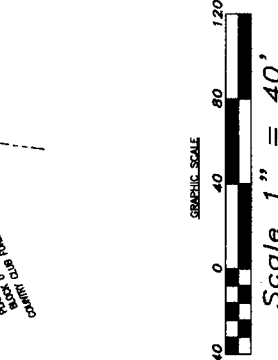
DEPARTMENT OF PERMITTING SERVICES  
MONTGOMERY COUNTY, MARYLAND

APPROVED: \_\_\_\_\_  
DIRECTOR:

CHAIRMAN \_\_\_\_\_ SECRETARY - TREASURER \_\_\_\_\_  
M.N.C.P. & P.C. RECORD FILE NO. \_\_\_\_\_

AAH CONSULTANTS LLC  
ENGINEERS - SURVEYORS - CONSULTANTS  
4800 ROBBERB BLDG. SUITE 803  
LANTHAN, MARYLAND 20706  
C300 492-1750 FAX 492-1757  
C3201VPLS08-3578P

**SUBDIVISION RECORD PLAT**  
**LOT 17 & LOT 18**  
**BLOCK A**  
**COUNTRY CLUB VILLAGE**  
**A.F.E. HORNY'S SUBDIVISION**  
**A RESUBDIVISION OF**  
**PART OF PARCEL C &**  
**AN ABANDONED PORTION OF VERNE STREET**  
7TH ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND  
SCALE: 1" = 40'  
JUNE, 2012



PLAT #1204

# RECORD PLAT REVIEW SHEET

Plat Name: Country Club Village Plat Number: 220120350  
 Plan Name: 6214 VERNE STREET Plan Number: 120080330  
 Plat Submission Date: 9-28-2011  
 DRD Plat Reviewer: S. Smith  
 DRD Prelim Plan Reviewer: N. Braunstein Checked: SS Date 11/29/11

**Background Review:**

Signed Preliminary Plan - Date 6-14-11 Checked: Initial SS Date 11/20/11  
 Planning Board Resolution No. 10-173 Resolution Mailing Date 1-19-2011  
 Site Plan Required? Yes  No  Verified By: SS (initial)  
 Site Plan Name: \_\_\_\_\_ Site Plan Number: \_\_\_\_\_  
 Site Plan Signature Set - Date \_\_\_\_\_ Checked: Initial \_\_\_\_\_ Date \_\_\_\_\_  
 Planning Board Resolution No. \_\_\_\_\_  
 Site Plan Reviewer Check: Initial \_\_\_\_\_ Date \_\_\_\_\_

**Review Items:** Lot # & Layout  Lot Area  Zoning  Bearings & Distances   
 Coordinates OK Plan # OK Road/Alley Widths OK Easements OK Open Space OK  
 Non-standard BRLs N/A Adjoining Land OK Vicinity Map  Septic/Wells N/A  
 TDR note N/A Child Lot note N/A Surveyor Cert  Owner Cert  Tax Map OK

Agency Reviews	Reviewer	Date Sent	Due Date	Date Rec'd	Comments
Environment	Evelyn Gibson	9-29-11	10-14-11	10/12/11	Add Exemption - See note 5 FIX DATUM REF.
Research	Bobby Fleury			10-4-11	
SHA	Corren Giles				
PEPCO	J. Schu				
Parks	Doug Powell				
DRD	Keiona Clark				

**Final DRD Review:**

Consultant Notified (Final Mark-up): Initial SS Date 6-11-12  
 Final Mylar & DXF/DWG Received: Initial SS Date 7-6-12  
 Final Mylar Review Complete: Initial SS Date 7-11-12

**Board Approval of Plat:**

Plat Agenda: Initial SS Date 7/19/12  
 Planning Board Approval: \_\_\_\_\_  
 Chairman's Signature: \_\_\_\_\_

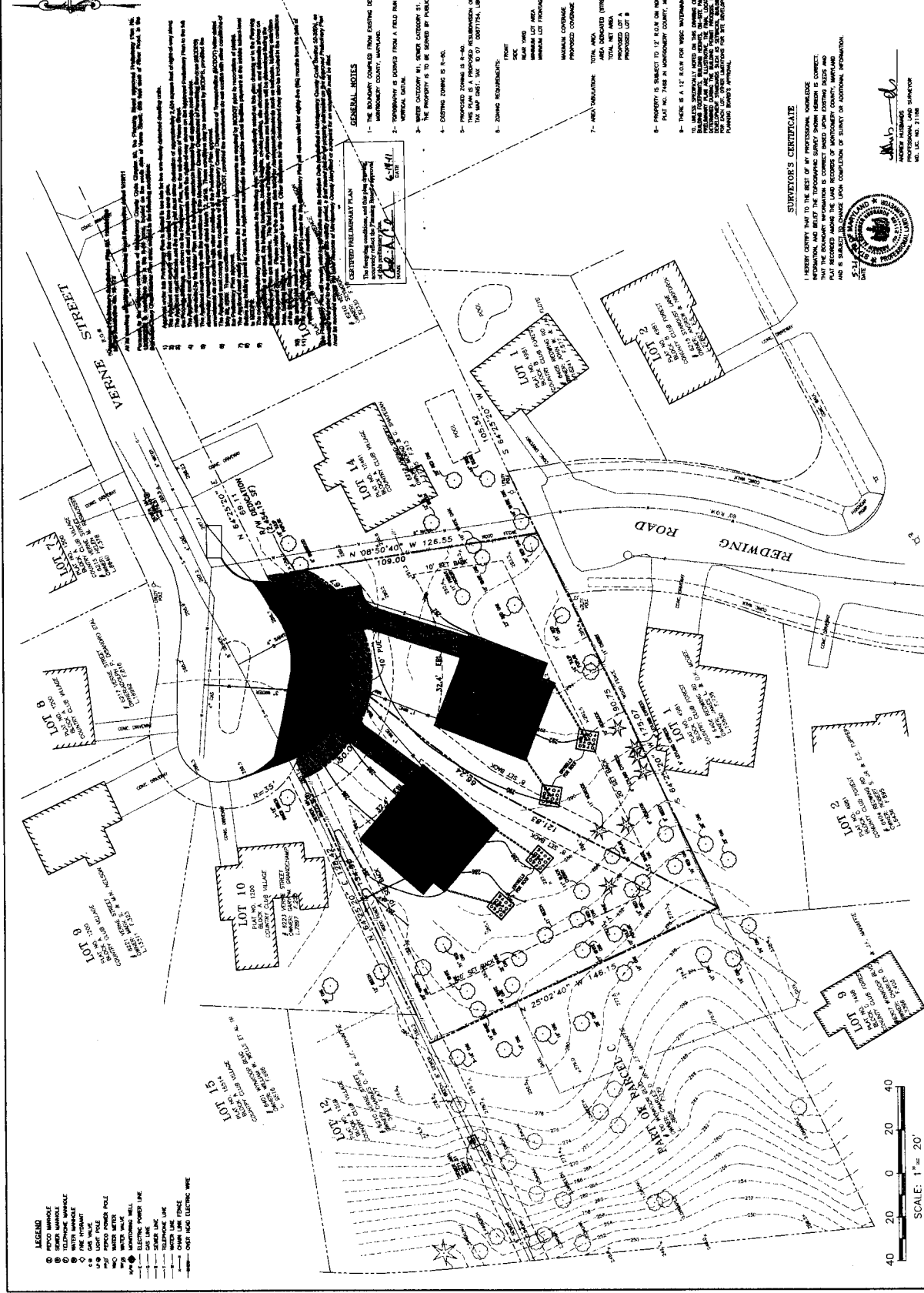
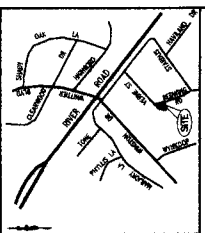
**MCDPS Approval of Plat:**

Consultant Pick-up for DPS Signature: \_\_\_\_\_  
 Final Mylar for Reproduction Rec'd: \_\_\_\_\_

**Plat Reproduction:**

Addressing: \_\_\_\_\_  
 File Card Update: \_\_\_\_\_  
 Final Zoning Book Check: \_\_\_\_\_  
 Update Address Books with Plat #: \_\_\_\_\_  
 Update Plat Books for Resubdivision: \_\_\_\_\_  
 Complete Reproduction: \_\_\_\_\_  
 Notify Consultant to Seal Plats: \_\_\_\_\_  
 Surveyor's Seal Complete: \_\_\_\_\_  
 Sent to Courthouse for Recordation: \_\_\_\_\_  
 Recordation Info Entered into Hansen \_\_\_\_\_

No. \_\_\_\_\_



- LEGEND**
- 12" WATER MAIN
  - 8" WATER MAIN
  - 6" TELEPHONE MAINLINE
  - 4" TELEPHONE MAINLINE
  - 4" FIRE HYDRANT
  - 4" GAS MAIN
  - 2" GAS MAIN
  - 1" GAS MAIN
  - 1" AIR CONDITIONING UNIT
  - 1" WATER METER
  - 1" SEWER
  - 1" ELECTRIC POWER POLE
  - 1" ELECTRIC POWER POLE
  - 1" ELECTRIC POWER POLE
  - 1" ELECTRIC POWER POLE
  - 1" TELEPHONE LINE
  - 1" TELEPHONE LINE
  - 1" CHAIN LINK FENCE
  - 1" CHAIN LINK FENCE
  - 1" CHAIN LINK FENCE

**QUANTIFIED PRELIMINARY PLAN**  
 The foregoing conditions and data have been prepared by the Surveyor and are subject to the provisions of the Professional Fee Schedule of the Surveyors Association of Maryland, Inc. (P.F.S.) and the provisions of the Professional Fee Schedule of the Surveyors Association of Maryland, Inc. (P.F.S.).

**GENERAL NOTES**

- 1- THE SURVEYOR HAS REVIEWED THE RECORDS AND PLATS RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.
- 2- THE PROPERTY IS SHOWN AS A FIELD FROM SURVEY RECORDS AND SHOWN AS TWO TROTS BASED ON RECORDS.
- 3- THE PROPERTY IS TO BE SAVED BY PUBLIC WATER AND SEWER.
- 4- THE PROPERTY IS TO BE SAVED BY PUBLIC WATER AND SEWER.
- 5- THE PROPERTY IS TO BE SAVED BY PUBLIC WATER AND SEWER.
- 6- THE PROPERTY IS TO BE SAVED BY PUBLIC WATER AND SEWER.
- 7- THE PROPERTY IS TO BE SAVED BY PUBLIC WATER AND SEWER.
- 8- THE PROPERTY IS TO BE SAVED BY PUBLIC WATER AND SEWER.

**PROPOSED ZONING** R-40  
 THE PROPERTY IS TO BE SAVED BY PUBLIC WATER AND SEWER.

**AREA VOLUMES**

TOTAL AREA	98,228.64 SQUARE FEET (COMMUTED)
TOTAL NET AREA	24,771.48 SQUARE FEET
TOTAL LOT AREA	13,200.43 SQUARE FEET
TOTAL LOT AREA	13,200.43 SQUARE FEET
TOTAL LOT AREA	13,200.43 SQUARE FEET

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE TOPOGRAPHIC SURVEY SHOWN HEREON IS CORRECT, ACCORDING TO THE PROVISIONS OF THE PROFESSIONAL FEE SCHEDULE OF THE SURVEYORS ASSOCIATION OF MARYLAND, INC. (P.F.S.) AND THE PROVISIONS OF THE PROFESSIONAL FEE SCHEDULE OF THE SURVEYORS ASSOCIATION OF MARYLAND, INC. (P.F.S.).

**ESTATE OF ELIZABETH B. GOODWIN**  
**OWNERS/CONTACT PERSON:**  
**MITCHELL HERMAN**  
 #4598 LUTE OAK DRIVE  
 PALVER SPRING, MD 20706  
 TEL: (301) 479-8808  
 FAX: (301) 479-8808

<b>AAH CONSULTANTS LLC</b> ENGINEERS - SURVEYORS - CONSULTANTS 4200 FORBES BLVD, SUITE 203 LANHAM, MARYLAND 20706 428-1750 (PH) 428-1757 (FAX)		<b>PRELIMINARY PLAN</b> PART OF PARCEL C COUNTRY CLUB VILLAGE MONTGOMERY COUNTY, MARYLAND & A SUBDIVISION OF VERNE ROAD MONTGOMERY COUNTY, MARYLAND	
DATE: 11-24-2008	SHEET: 1 OF 1	JOB NO.: 06-357	DATE: 11-24-2008
DESIGNED: _____	CHECKED: _____	SCALE: 1" = 20'	DATE: _____
DESCRIPTION: _____	REVISIONS: _____	NAME: _____	DATE: _____