



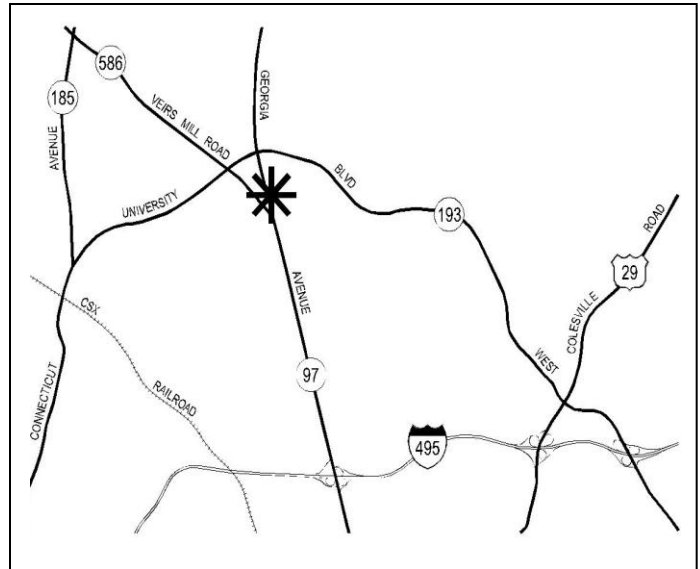
**Preliminary Plan No. 120120230, Site Plan No. 820120170, 11141 Georgia Avenue**

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**Date of Staff Report: 9/6/12**

**description**

- 11141 Georgia Avenue, Silver Spring, approximately 200 feet south of Reddie Drive within the 2011 *Wheaton CBD and Vicinity Sector Plan*;
- 0.614 gross acres (26,760 square feet), zoned CR6 C5.5 R5.5 H200;
- Applicant to consolidate a platted parcel, two lots, a part of a lot, an outlot, and a small section of previously abandoned right-of-way not yet recorded into one new lot and convert an existing 5-story office building into a 145-foot, 12-story mixed-use building. Total development as limited by the Site Plan, to include 148,020 square feet with 840 square feet of non-residential uses and up to 147,180 square feet of residential uses for up to 194 units, including 12.5% MPDUs, with residential amenity space, and structured parking;
- Filing date: 5/9/2012;
- Applicant: ML Wheaton, LLC c/o Lowe Enterprises Real Estate Group East, Inc.



**summary**

- Staff recommends approval of the Preliminary and Site Plans with conditions.
- The Planning Board previously approved Sketch Plan 320120030 on May 10, 2012.
- The Preliminary Plan will consolidate the property into one lot and establish the overall density and dedications for the rights-of-way.
- The Site Plan will allow 148,020 square feet of commercial and residential uses. The Project will be built in one phase and will provide public benefits, including structured parking facilities, cool roof, recycling facility plan, and retaining 75% of the existing building structure that have been analyzed according to the objectives of the Sector Plan and the previously approved Sketch Plan.

## PRELIMINARY PLAN RECOMMENDATION AND CONDITIONS

Staff recommends approval of Preliminary Plan 120120230 subject to the following conditions:

1. Approval is limited to one (1) lot for a maximum density of 160,560 square feet of total development, which includes up to 13,380 square feet of non-residential uses and up to 147,180 square feet of residential uses for up to 200 residential units, including a minimum of 12.5% moderately priced dwelling units (MPDUs).
2. The Applicant must dedicate, and show on the record plat, the Sector Plan recommended 120-foot right-of-way (60 feet from centerline) for Georgia Avenue (MD 97) as shown on the Preliminary Plan.
3. The Applicant must enter into a Traffic Mitigation Agreement with the Montgomery County Department of Transportation ("MCDOT") and the Planning Board to participate in the Wheaton Transportation Management Organization when it is established and if applicable.
4. The Applicant must work with MCDOT's Division of Transit Services, Commuter Services Section to promote non-auto modes of transportation by providing Commuter Services' access to the building management, who will facilitate with Transit Services, the dissemination of information about transportation options – i.e., distribution of brochures, bus schedules, e-newsletters and conduct of periodic information-based events.
5. The Planning Board has accepted the recommendations of the MCDOT in its letter dated August 24, 2012, and hereby incorporates them as conditions of the Preliminary Plan approval. Therefore, the Applicant must comply with each of the recommendations as set forth in the letter, which may be amended by MCDOT provided that the amendments do not conflict with other conditions of the Preliminary Plan approval.
6. The Planning Board has accepted the recommendations of the Maryland State Highway Administration ("MDSHA") in its letter dated June 15, 2012, and hereby incorporates them as conditions of the Preliminary Plan approval. Therefore, the Applicant must comply with each of the recommendations as set forth in the letter, which may be amended by MDSHA provided that the amendments do not conflict with other conditions of the Preliminary Plan approval.
7. Prior to issuance of access permits, the Applicant must satisfy the provisions for access and improvements as required by MDSHA.
8. The Subject Property is located in the Northwood High School Cluster within the Downcounty Consortium. Prior to the issuance of any residential building permit covered by this Preliminary Plan, the Applicant must make a School Facilities Payment at the high school level to the Montgomery County Department of Permitting Services. The Applicant is proposing high/low rise w/parking residential units as defined by the Annual School Test effective July 1, 2012. This amounts to \$941 per residential unit at the high school level.
9. No clearing, grading, or recording of plats prior to certified site plan approval.
10. Final approval of the number and location of buildings, dwelling units, on-site parking, and site circulation will be determined at site plan.
11. In the event that a subsequent site plan approval substantially modifies the subdivision shown on the approved preliminary plan with respect to lot configuration or right-of-way location, width, or alignment, the applicant must obtain approval of a preliminary plan amendment prior to certification of the site plan.

12. The Certified Preliminary Plan must contain the following note: “Unless specifically noted on this plan drawing or in the Planning Board conditions of approval, the building footprints, building heights, on-site parking, site circulation, and sidewalks shown on the Preliminary Plan are illustrative. The final locations of buildings, structures and hardscape will be determined at the time of site plan review. Please refer to the zoning data table for development standards such as setbacks, building restriction lines, building height, and lot coverage for this lot. Other limitations for site development may also be included in the conditions of the Planning Board’s approval.”
  13. All necessary easements must be shown on the Record Plat.
  14. The Adequate Public Facility (APF) review for the Preliminary Plan will remain valid for eighty-five (85) months from the date of mailing of the Planning Board Resolution.
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## SITE PLAN RECOMMENDATION AND CONDITIONS

Staff recommends approval of 148,020 square feet (base density: 13,380 square feet and incentive density: 134,640 square feet) of mixed-use development including up to 840 square feet of non-residential development and up to 147,180 square feet of residential uses for up to 194 units on approximately 0.614 gross acres in the CR6 C5.5 R5.5 H200 Zone. All site development elements as shown on the Site Plan stamped by the M-NCPPC on August 8, 2012, the landscape and lighting plans stamped by the M-NCPPC on July 17, 2012 and the architectural plans stamped by the M-NCPPC on July 17, 2012 and July 31, 2012 are required except as modified by the following conditions:

1. Sketch Plan Conformance

The proposed development must comply with the applicable binding elements and conditions of Sketch Plan 320120030 approved by the Planning Board dated May 10, 2012, as amended by the Site Plan 820120170.

2. Preliminary Plan Conformance

The proposed development must comply with the conditions of the approved Resolution for Preliminary Plan 120120230, including any amendments approved by the Planning Board.

3. Public Benefits

The Applicant must provide the following public benefits and meet the applicable criteria and requirements of the Zoning Ordinance and the CR Zone Incentive Density Implementation Guidelines, as amended, for each one. Each public benefit must be verified by M-NCPPC Staff to be complete as required by the submittals listed for each, prior to issuance of any use-and-occupancy permit for the associated building, except as noted below. Any disagreement regarding the application or interpretation of the Public Benefits may be brought to the Planning Board for resolution.

a. Transit Proximity

b. Minimum Parking

- Submit as-built drawings of parking facilities with tabulation of maximum parking spaces allowed, minimum parking spaces required, and parking spaces provided.

c. Structured Parking

d. BLTs

- Purchase or payment for 0.3366 Building Lot Terminations must be made prior to issuance of any building permit. Documentation to be provided to M-NCPPC staff.

e. Cool Roof

- Provide as-built roof plans showing coverage of cool roof with a minimum solar reflectance index (SRI) of 75 for roofs with a slope at or below a ratio of 2:12, and a minimum SRI of 25 for slopes above 2:12.

f. Recycling Facility

- Provide final layout and documentation of compliance with Montgomery County Executive Regulation 15-04AM or Montgomery County Executive Regulation 18-04 for approval by the Division of Solid Waste Services prior to issuance of use and occupancy permit.

g. Retained Building Category

- Prior to any demolition, the Applicant must use an architectural deconstruction company or organization to remove recyclable materials; and
- Prior to issuance of a building permit, submit documentation to M-NCCPC Staff showing compliance with the Retained Building criteria under Section 59-C-15.857.

4. Transportation  
The Applicant must provide six (6) inverted-U bike racks, to accommodate twelve (12) bikes near the main entrance and 74 bike lockers or bicycle parking spaces in a secured area in the parking garage near an elevator or parking garage's access points and in a well-lit area. Final location and facility details to be determined by Certified Site Plan.
5. Environment  
The Applicant must provide a copy of the Forest Conservation Exemption (No. 42012088E) as part of the Certified Site Plan.
6. Moderately Priced Dwelling Units (MPDUs)
  - a. The Applicant must provide 12.5 percent MPDUs in accordance with an Agreement to Build with the Department of Housing and Community Affairs (DHCA).
  - b. The MPDU Agreement to Build shall be executed prior to the release of any building permits.
7. Recreation Facilities  
The Applicant must provide at least the recreation facilities, conforming to the Recreation Guidelines approved by the Planning Board in September 1992, shown on the Site Plan including:
  - a. Indoor Community Space;
  - b. Pedestrian System;
  - c. Indoor Fitness Facility; and
  - d. Four Picnic/Sitting Areas.
8. Maintenance  
Maintenance of all on-site Public Use Space is the responsibility of the Applicant and subsequent owner(s). This includes maintenance of paving, plantings, lighting, benches, fountains, and artwork. Maintenance may be taken over by a governmental agency by agreement between the owner and applicable agency.
9. Architecture  
The final exterior architectural character, proportion, materials, and articulation must be substantially similar to the schematic elevations shown on the submitted architectural drawings, as determined by Staff.
10. Financial Security and Agreement  
Prior to issuance of first building permit, the Applicant must provide a performance bond(s) or other form of financial surety in accordance with Section 59-D-3.5(d) of the Montgomery County Zoning Ordinance with the following provisions:
  - a. Applicant must provide a cost estimate of the materials and facilities, which, upon staff approval, will establish the initial surety amount.
  - b. The amount of the bond or surety shall include plant material, on-site lighting, recreational facilities, site furniture, and entrance piers.
  - c. Prior to issuance of the first building permit, Applicant must enter into a Site Plan Surety & Maintenance Agreement with the Planning Board in a form approved by the Office of General Counsel that outlines the responsibilities of the Applicant and incorporates the cost estimate.

- d. Bond/surety shall be tied to the development program, and completion of plantings and installation of particular materials and facilities covered by the surety for each phase of development will be followed by inspection and reduction of the surety.

11. Development Program

The Applicant must construct the proposed development in accordance with a development program that will be reviewed and approved prior to the approval of the Certified Site Plan. The development program must include the following items in its phasing schedule:

- a. Street lamps and sidewalks adjacent to each building must be installed prior to release of any use-and-occupancy permit for the respective building. Street tree planting may wait until the next growing season.
- b. On-site amenities including, but not limited to, recreation amenities and public use space amenities adjacent to each building, must be installed prior to release of any use-and-occupancy permit for the respective building.
- c. The development program must provide phasing for installation of on-site landscaping and lighting.
- d. The development program must provide phasing of applicable dedications, stormwater management, sediment and erosion control, afforestation, and other features.

12. Certified Site Plan

Prior to approval of the Certified Site Plan the following revisions must be made and/or information provided subject to Staff review and approval:

- a. Include the Forest Conservation Plan Exemption letter, stormwater management concept exemption letter, development program, inspection schedule, and Site Plan resolution on the approval or cover sheet.
  - b. Remove unnecessary sheets.
  - c. Make corrections and clarifications to details, incentive density calculations, recreation facilities, labeling, data tables, and schedules.
  - d. Ensure consistency of all details and layout between architecture, site, and landscape plans.
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## SECTION 1: CONTEXT AND PROPOSAL

### SITE DESCRIPTION

#### Vicinity and Site Description

The Property is located on Georgia Avenue, on Block B2 in the Price District of the Wheaton Central Business District, and is immediately surrounded by multifamily residential buildings and associated parking facilities. The Property comprises the following lots and parcels: Lot 15, Lot 45, Part of Lot 14, platted Parcel 4, Outlot A, and a portion of alley that was previously abandoned per County Council Resolution No. 14-1150 but has not yet been platted. The 2011 *Wheaton CBD and Vicinity Sector Plan* ("Sector Plan") rezoned all directly adjacent properties to CR zones with densities and heights identical to the Property's CR zoning. The remaining lots and parcels located on the eastern portion of Block B, along Amherst Avenue, are improved with apartment and townhouse uses and have been rezoned to the CRN zone.



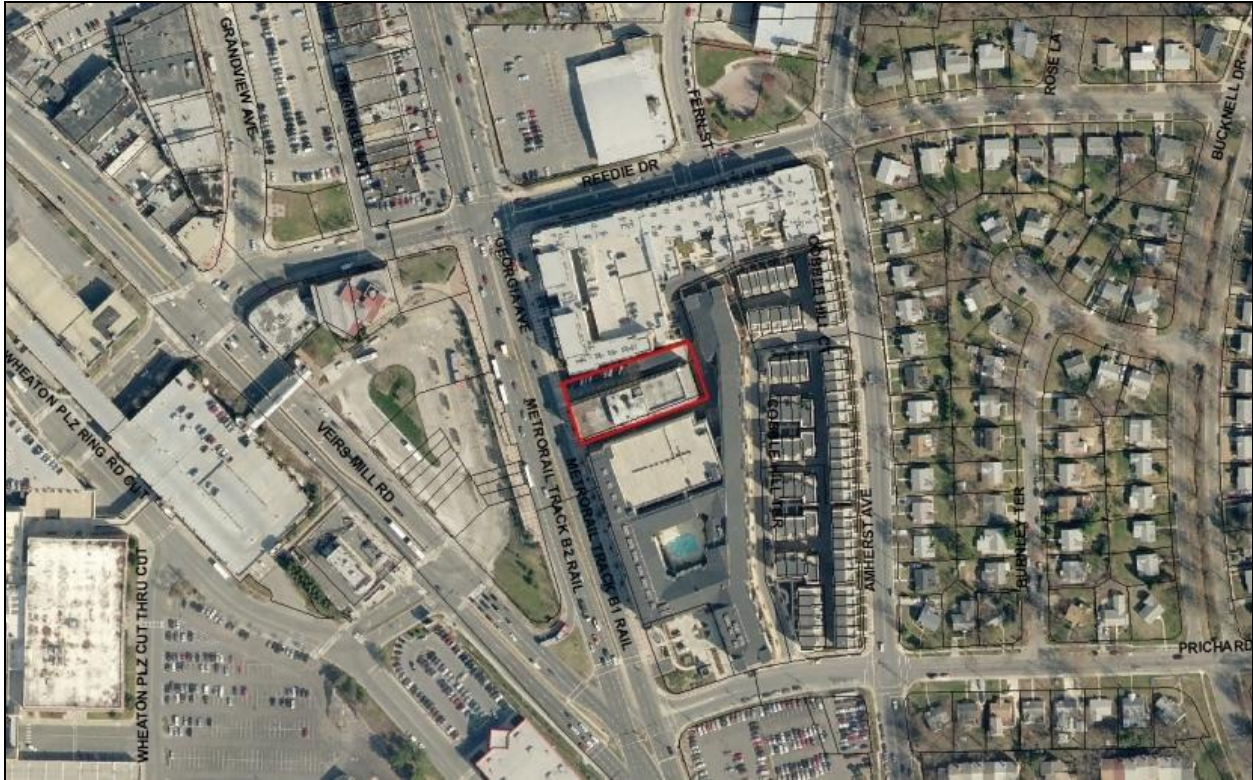
Vicinity Map

Other notable uses in the immediate vicinity of the Property include Westfield Wheaton Mall to the immediate southwest, the Wheaton Safeway project that is currently under construction across Reedie Drive to the north, the Wheaton Metrorail Station entrance across Georgia Avenue, which confronts the site, and various retail uses north of Reedie Drive.



## Site Analysis

The Property comprises 0.614 gross acres (26,760 square feet) and is currently improved with a 5-story office building and surface parking. The existing building on the Property is clad with glazed brick with punched flush windows and provides a storefront facing Georgia Avenue. The site is currently served by public water and sewer.



*Aerial Photo*

There are no known rare, threatened, or endangered species on site; there are no forests, 100-year floodplains, stream buffers, wetlands, or steep slopes on site. There are no known historic properties or features on site.

## PROJECT DESCRIPTION

### Previous Approvals

The Planning Board approved Sketch Plan 320110030 (Resolution – Attachment A) on May 10, 2012, which established several binding elements on the site:

1. Maximum total density of 160,560 square feet, with up to 147,180 square feet of residential uses and up to 13,380 square feet of non-residential development; maximum height of 165 feet in the CR6 C5.5 R5.5 H200 Zone;
2. Approximate location of lots and public right-of-way dedications;

3. General location of vehicular access points;

DRAWING KEY	
	11141 Georgia Ave
	Existing Residential Buildings
	Existing Parking Structures
	Exterior Vehicle Movement
	Interior Vehicle Movement
	Primary Pedestrian Movement
	Secondary Pedestrian Movement



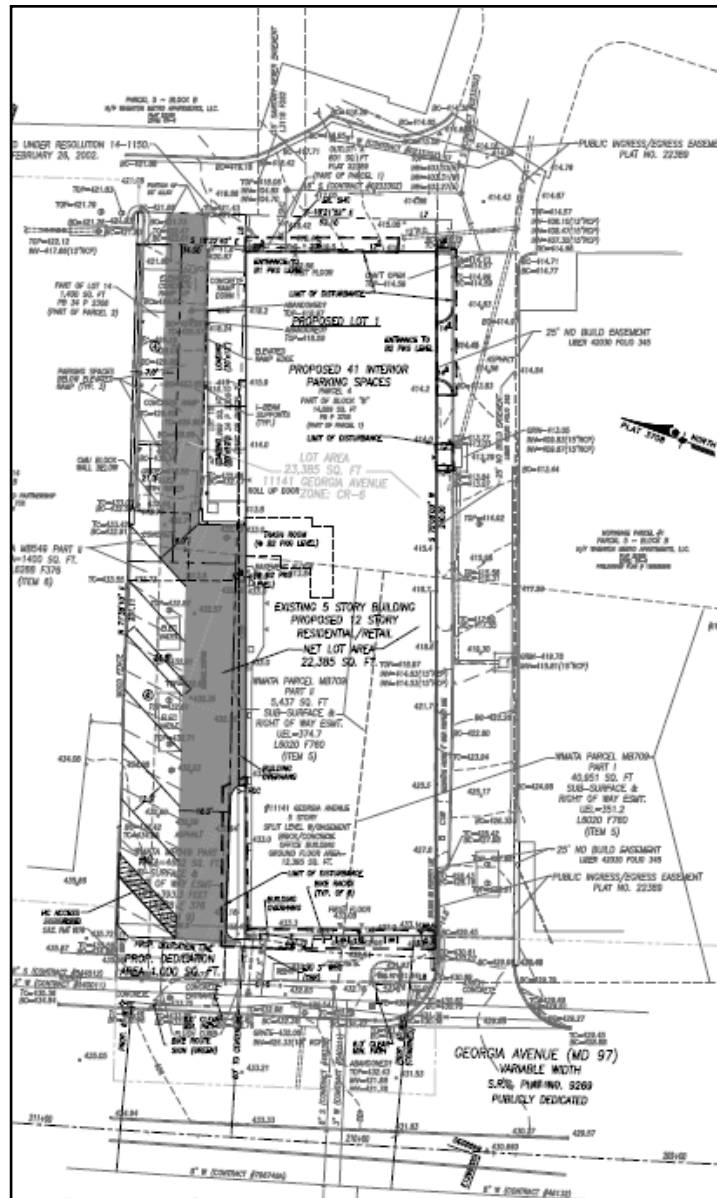
4. The categories for public benefits:

<i>Detailed Public Benefit Table</i>	
<b>Public Benefit</b>	<b>Points Approved</b>
<b>Transit Proximity Category</b>	
Within ¼ mile of Wheaton Metrorail Station	50
<b>Connectivity &amp; Mobility Category</b>	
Minimum Parking	10
Project provides less parking than the required spaces applicable under section 59-C-15.631. Final points established during site plan review.	
<b>Quality Design Category</b>	
Structured Parking	18
Project provides parking within the existing structure, final points established during site plan review.	
Exceptional Design	10*
Provision of site and building design that meets the criteria of the Ordinance as further defined by the Guidelines, to be finalized during site plan review. *Although previously approved at Sketch Plan, this Public Benefit is no longer being claimed by the Applicant. The Project still has sufficient points to support the proposed density and height.	
<b>Environmental Category</b>	
BLTs	5
Under the Ordinance, the square feet equal to 5% of the incentive density must be calculated to determine the BLT purchase requirement: $((147,180\text{sf incentive density} \times 0.05) / 20,000) = 0.3680$ BLTs *The incentive density requested at site plan is 134,640 sq. ft., therefore the BLTs purchase requirement is 0.3366.	
Cool Roof	6
Project will provide 60-85% of roof not covered with vegetation as cool roof with solar reflectance index of 75 (for low slope roofs). Final points established during site plan review.	
Recycling Facility	5
Project will provide a recycling facility plan that complies with Montgomery County Executive Regulation 15-04AM or Montgomery County Executive Regulation 18-04.	
<b>Retained Building Category</b>	
Maintains 75% of structural system of existing building	59
Project must use an architectural deconstruction company or organization company to remove recyclable materials prior to demolition. Project must submit documentation showing compliance with criteria before building permit issued.	
<b>Total</b>	<b>163</b>

# Proposal

## Subdivision

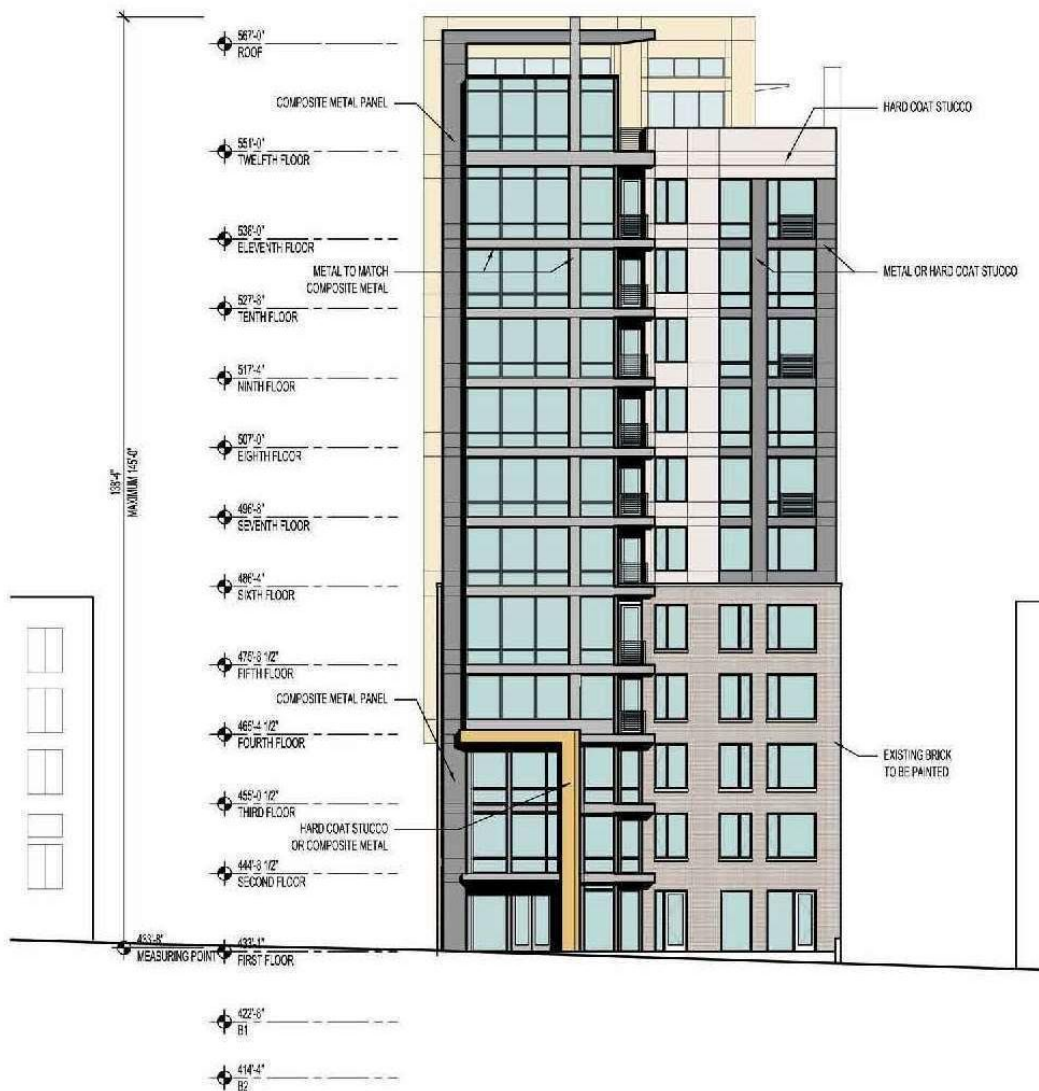
The Preliminary Plan will create one lot for redevelopment of the site including the existing 5-story office building and the proposed addition of seven new stories above, with a maximum total density of 160,560 square feet, including up to 13,380 square feet of commercial uses and up to 147,180 square feet of residential uses. Dedication of 1,000 square feet of right-of-way along Georgia Avenue is required as part of this Preliminary Plan.



Preliminary Plan

## Building

The proposed development differs very little from the approved Sketch Plan that was reviewed by the Board in May 2012. Running perpendicular to Georgia Avenue, the rectangular building is faced primarily by the construction of a slender new contemporary tower clad in composite panels, glass and masonry to blend the existing and new structures together. More specifically, vertical bays and Juliet balconies starting at the fourth floor are proposed to create visual interest in the façade. A vertical element is also envisioned at the northwest corner of the building. The project provides indoor and outdoor rooftop amenity spaces, as well as a lower level fitness center for the residents.



*Building Elevation-Georgia Avenue*



*Building Elevation-North*

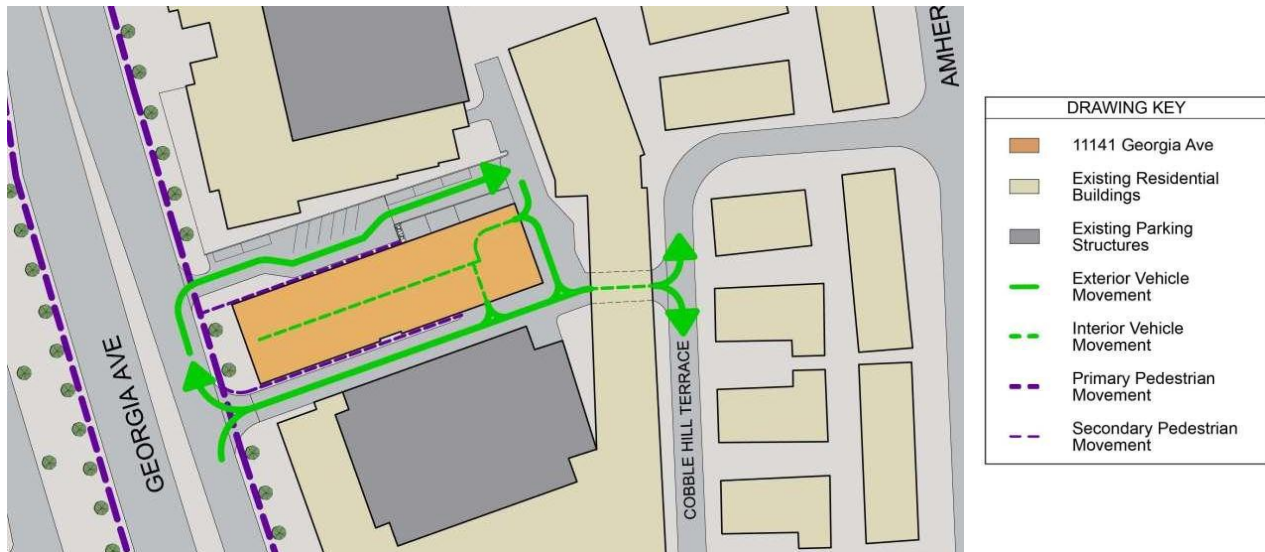


*Building Elevation-South*

### Circulation

Vehicular access to the site is from Georgia Avenue and the parking lot with loading and service areas is accessed from existing internal streets. Pedestrian and bicycle access is provided from the sidewalk along Georgia Avenue to the main lobby entrances. Bicycle parking for residents and visitors will be provided within the existing below grade parking structure. Most vehicular parking will be within the existing parking structures with some surface visitor parking provided in the existing surface lot.

There are currently 16 spaces in the below grade parking structure and the project proposes to increase the below grade parking structure to 41 total spaces (an additional 25 spaces) with 10 spaces located in the surface parking lot. For the purposes of determining public benefits and ad valorem tax rate, meeting the minimum number of spaces is required. In this case, the minimum required is 117 spaces. The project will provide 51 parking spaces on site and has the right to utilize approximately 53 parking spaces off-site in the adjacent Archstone Building parking garage through a shared parking agreement. The remaining 13 spaces required to meet the 117 parking space minimum will be met through participating in a parking lot district. This Project is located in the Wheaton Parking Lot District. In a Parking Lot District, property owners may pay an ad valorem tax in lieu of providing at least the minimum required number of spaces.



*Circulation Plan*

### Public Benefits

The Sketch Plan for this site was approved with various public benefits listed above. Staff has recommended changes to these public benefits based on the details of the preliminary and site plans as discussed in the Findings. As stated in the conditions of approval and findings, the proposed development will provide at least the following public benefits:

- Transit Proximity
- Minimum Parking
- Structured Parking
- BLTs
- Cool Roof
- Recycling Facility
- Retained Building

These public benefits will provide well over the minimum required 100 points and meet the necessary category requirement under Section 59-C-15.15, as detailed below. Staff and the Applicant have agreed to remove the exceptional design public benefits per the Applicant's request. Even with this change, the project continues to meet the necessary findings regarding public benefits that support the requested incentive density and are in keeping with the priorities of the Sector Plan.

## **COMMUNITY OUTREACH**

The Applicant has met all proper signage, noticing, and submission meeting requirements. As of the date of this report, staff has not received any correspondence on this Application.

## SECTION 2: PRELIMINARY PLAN

### ADEQUATE PUBLIC FACILITIES

#### Site Location and Vehicular Access Points

Vehicular access to the site is from Georgia Avenue and the parking lot with loading and service areas accessed from existing internal streets.

#### Sector Plan Roadways and Bikeways

Georgia Avenue is designated as a master planned roadway in the 2011 *Wheaton CBD and Vicinity Sector Plan*. It is a major highway, with a 120-foot wide right-of-way with six lanes. The Sector Plan recommends a signed shared roadway (on road bikeway), SR-19, along Georgia Avenue.

#### Available Transit Service

The site is located approximately 160 feet from the nearest bus stop located at the Wheaton Bus Station, and within approximately 350 feet from the Wheaton Metrorail Station.

#### Pedestrian Facilities

The Project will retain the footprint of the existing building on the Property, and the pedestrian circulation along Georgia Avenue will remain in its current configuration. The existing sidewalk along Georgia Avenue is approximately 26 feet wide. The existing streetscape within this area matches the enhanced streetscape to the north and south of the Subject Property, and includes special paving, street trees and street lighting.

#### Local Area Transportation Review and Policy Area Mobility Review (LATR/PAMR)

The proposed uses generate fewer weekday peak-hour trips (57 fewer AM trips and 24 fewer PM trips) than what are generated by the current uses onsite. Since the proposed uses generate fewer than 30 new peak-hour trips, a traffic study was not required to satisfy the LATR test and no transportation improvements are needed for the development.

The PAMR test is not required because the proposed uses will generate fewer than three new AM and PM peak-hour trips above the trips currently generated by the existing office space. Therefore, staff finds the PAMR test does not apply.

#### Other Public Facilities and Services

The Project will be served by public water and sewer systems. The application has been reviewed by the Montgomery County Fire and Rescue Service which has determined that the Subject Property has appropriate access for fire and rescue vehicles. Other public facilities and services including police stations, firehouses and health care are currently operating in accordance with the Subdivision Staging Policy and will continue to be sufficient following the construction of the Project. Electric, gas and telecommunications services will also be available and adequate. The Project is located in the Northwood Cluster within the Downcounty Consortium, which requires a School Facilities Payment at the high school level. Therefore, the Applicant is required to pay \$941.00 per unit to the Department of Permitting Services prior to issuance of any building permit.



## ENVIRONMENT

### Environmental Guidelines

Staff approved a Natural Resource Inventory/Forest Stand Delineation (NRI/FSD #42012088E) on January 11, 2012. The 0.614-acre site contains no streams, wetlands, or other environmental features and is within the Sligo Creek watershed – a Use I watershed. The Property is in compliance with the Environmental Guidelines because there are no known rare, threatened, or endangered species; and no 100-year floodplains, stream buffers, or wetlands on site. There are no known historic properties or features on the Subject Property.

### Forest Conservation

The Property is subject to the Chapter 22A, Montgomery County Forest Conservation Law. However, it is exempt from the requirements of submitting a Forest Conservation Plan per 42012088E, approved on January 11, 2012 (Attachment B), because it covers an activity occurring on a tract of land less than 1.5 acres in size with no existing forest, or existing specimen or champion trees, and the afforestation requirements would not exceed 10,000 square feet. Any changes from the approved exemption request may constitute grounds to rescind or amend any approval actions taken and to take appropriate enforcement actions. If there are any subsequent modifications planned to the approved plan, a separate amendment must be submitted to M-NCPPC for review and approval prior to those activities occurring.

Staff finds that the plan meets the Environmental Guidelines and Forest Conservation Law.

### Stormwater Management

The Department of Permitting Services Stormwater Management Section has determined that the proposed project is exempt from the requirement to file a sediment and erosion control plan or stormwater management concept plan because the Project will disturb less than 5,000 square feet of land (Attachment C).

## MASTER PLAN

### General Goals

The proposed project is consistent with the Approved and Adopted 2011 *Wheaton Central Business District and Vicinity Sector Plan* because it supports the four overarching principles of the Sector Plan (pages 9, 10: all Sector Plan referenced pages are from the Planning Board Draft – Attachment D):

Diversity – The proposed project achieves this goal by delivering much needed residential units as a mixed-use development that will provide new customers to support the retail and service sector, the current mainstay of Wheaton’s economy.

Connectivity – The existing office building has been in use for quite some time and the facilities are outdated. The Project will retain the footprint of the existing building on the Property and the overall pedestrian and vehicular circulation in and through the site will remain in its current and adequate configuration. The existing upgraded sidewalk along Georgia Avenue enhances connectivity in the Sector Plan area.

Design – The proposed 12-story residential building, with large glass windows, creates a strong and active presence on Georgia Avenue. This new residential building will aide in establishing Wheaton’s sense of place while adding value to the neighborhood.

Environment – The proposed building provides a cool roof and a recycling facility plan, along with planting three additional ornamental trees on site. By retrofitting the existing building, the Project will provide a more energy efficient building, which is consistent with the overarching environmental goals of the Sector Plan.

### Revitalization Strategy

Part of the revitalization strategy for the Wheaton CBD is aimed at reuse of existing buildings and bringing more residents and workers into downtown to support retail and other businesses, and encouraging street level activity (page 21). Although the proposed project will remove some existing non-residential uses from this location, it will expand the existing building by adding new floors and bring new residents to Wheaton downtown, which will help off-set the loss of existing businesses onsite. Although the Applicant is requesting 840 square feet of non-residential uses at this time as part of the Site Plan approval, the Preliminary Plan will allow for up to 13,380 square feet of non-residential uses to allow the flexibility to provide additional commercial space if there is demand in the future.

### Density and Building Height

The Sector Plan recommended CR6 C5.5 R5.5 H200 Zone for the Subject Property and recommended the highest density and building height near the Metro station in the center of downtown along Georgia Avenue (which this property confronts) and Veirs Mill Road with density and building heights stepping down from downtown toward the established single-family residential neighborhoods on the edges (page 33).

More specifically, the Property is located on Georgia Avenue on Block B2 in the Price District of the Sector Plan area (pages 42-44). The Sector Plan has specific guidance for this block, which states that, “Higher densities are more appropriate closer to the Metro station along Reedy Drive, and heights should transition from 200 feet along Georgia Avenue to 45 feet at the residential edge along Amherst Avenue.” The proposed 145-foot tall building is consistent with this guidance.

### Street Network

The relevant Sector Plan recommendations regarding the street network include (page 60):

- Redesigning Georgia Avenue, University Boulevard, and Veirs Mill Road as urban boulevards with enhanced medians and crosswalks, street trees, and street-oriented retail where appropriate.
- Designate Georgia Avenue, Veirs Mill Road, and University Boulevard west of Amherst Avenue as 120-foot rights-of-way each with six lanes. These rights-of-ways are intended to accommodate the expected development of a network of express bus routes in designated lanes, an important element of the County’s transportation planning.
- Reduce target speeds to 30 miles per hour on the major highways and 25 miles per hour for all other Plan area roadways to improve pedestrian safety and enhance walkability in the downtown.

The Applicant is providing a street tree and non-residential uses on the first floor of the proposed development and dedicating necessary right-of-way for MD 97, Georgia Avenue. It provides a residential lobby and leasing office that will encourage street level activity. Although this particular segment of Georgia Avenue is not a designated as a "priority retail street“, the inclusion of a small amount of possible retail or other commercial space could further the Sector Plan’s goal of creating street level activity envisioned by the plan, which will further the objective of the Sector Plan by creating walkable boulevards along the major roads surrounding the core, and achieving improved connectivity through

pedestrian friendly streets. The remaining goals will be achieved through the eventual redesign of Georgia Avenue as a whole and not on a case-by-case basis.

#### Parking Management

One of the strategies to boost Non-Auto Driver Mode Share (NADMS) in the Sector Plan Area is to discourage the use of land for parking. Specifically, the Sector Plan states:

“The Plan discourages land dedicated to parking. Development plans should reflect shared parking strategies—preferably using structured parking compatible in size and design with both the associated uses and the adjacent area (page 70).

The project proposes to meet its parking needs through a combination of on-site, shared parking agreements with adjacent garages, and by participating in the Wheaton Parking Lot District program.

#### Environment

The Sector Plan environmental goals for the site are (page 71):

- Connect the built and natural environments;
- Increase tree canopy cover;
- Minimize and mitigate impervious surfaces;
- Raise awareness of water flow through increased visibility.

Since the Subject Property is relatively small, is completely built out as is, is surrounded by land that is built out with no existing “natural” environments, and there are no streams on the site and no stormwater management facilities are proposed or required, staff believes these Sector Plan goals do not apply to the proposed project. However, the Applicant is replacing one missing street tree and providing additional landscaping for the site, which, although at a minimum, will increase vegetation cover on the site.

The Sector Plan also places an emphasis on energy efficiency with regard to new and existing buildings in the Sector Plan area. The Plan states:

“Land use can reduce energy consumption through energy efficient design and multi-modal transportation options. Mixed-use areas reduce vehicle miles travelled by combining destinations in a walkable area. Infill development increases the efficiency of existing infrastructure, making better use of limited resources. Auto use is further reduced by options to walk, cycle, or use transit. In addition, energy use can be minimized by upgrading older buildings to be more energy efficient and requiring new buildings to meet high efficiency standards.... This (Sector) Plan will minimize per capita energy use through its compact, mixed-use development pattern and opportunities for infill development” (page 72).

The Sector Plan encourages energy efficiency through site and building design, more daylighting through building orientation, light shelves, baffles, clerestories, windows, and skylights, and local energy production through solar, wind, and other techniques and fuels.

The Applicant is reducing energy use by providing a large amount of natural lighting through windows and integrating a passive solar system through the use of a cool roof. The applicant proposes to incorporate design elements that could enable the renovated building to meet energy efficient standards of 10.5 percent less than the calculated baseline performance, or meet the appropriate ASHRAE advanced energy design guidelines.

The Proposed Project meets the Plans general goals of minimizing per capita energy use through its compact, mixed-use development pattern and provisions for retained buildings.

#### Conclusion

Based on the analysis above, the proposed project meets the applicable goals and recommendations of the Sector Plan with respect to the general goals, revitalization strategy, density and building height, street network, environment, and energy. Therefore, staff finds the Preliminary Plan to be in substantial conformance with the Approved and Adopted 2011 *Wheaton CBD and Vicinity Sector Plan*.

#### **COMPLIANCE WITH ZONING ORDINANCE AND SUBDIVISION REGULATIONS**

The application meets the requirements and standards of all applicable sections of Chapter 50 of the Montgomery County Code, the Subdivision Regulations. With the improvements proposed, access and public facilities will be adequate to support the proposed lot, density, and use. The proposed lot size, width, shape, and orientation are appropriate for this type of subdivision. The proposed development meets all dimensional requirements of the CR6 C5.5 R5.5 H200 Zone as specified in the Zoning Ordinance, and as detailed in Section 3: Site Plan Review of this report. Finally, the application has been reviewed by other applicable County agencies, all of whom have recommended approval of the Preliminary Plan (Attachment E).

## SECTION 3: SITE PLAN REVIEW

### ENVIRONMENT & MASTER PLAN

These subsections are covered by Section 2: Preliminary Plan, above.

### DEVELOPMENT STANDARDS

The proposed Project is on 26,760 square feet of gross tract area zoned CR6 C5.5 R5.5 H200 Zone. The following tables show the application's conformance to the development standards of the zone and the approved Sketch Plan; minimum setbacks are not applicable on this site.

1. Density of Development (square feet per gross tract)			
	Total (CR)	Non-Residential (C)	Residential (R)
Max Allowed by the Zone	160,560	147,180	147,180
Max Approved with Sketch Plan	160,560	13,380	147,180
Max Proposed	148,020	840	147,180

2. Height (feet)	
	CR6.0 C5.5 R5.5 H200
Max Allowed by the Zone	200
Approved with Sketch Plan	200
Proposed	145

3. Public Use Space (% of 22,385sf net lot)	
Min Required by the Zone	0
Min Approved with Sketch Plan	0
Min Proposed	0

4. Residential Amenity Space (square feet per market rate unit <sup>1</sup> )			
	Rate	Required	Proposed
Minimum Indoor Amenity Space	20	3,380 (169 units)	4,937
Minimum Outdoor Amenity Space	20	3,380 (169 units)	3,920

5. Minimum Bicycle Parking Spaces & Shower/Change Facilities				
Use	Required		Proposed <sup>2</sup>	
	Minimum Publicly Accessible	Minimum Private & Secure	Public	Private
194 Residential Units	12	74	12	74

<sup>1</sup> Amenity space is not required to be calculated for MPDUs within a Metro Station Policy Area.

<sup>2</sup> As conditioned.

6. Parking					
	Minimum Required	Maximum Allowed	Proposed Onsite	Proposed Offsite	Proposed Total
Estimate at Sketch Plan	117	189	Up to 60	53	Up to 113
Site Plan Requirement	117	189	51	53	104

## FINDINGS

1. *The site plan conforms to all non-illustrative elements of a development plan or diagrammatic plan, and all binding elements of a schematic development plan, certified by the Hearing Examiner under Section 59-D-1.64, or is consistent with an approved project plan for the optional method of development, if required, unless the Planning Board expressly modifies any element of the project plan.*

The Site Plan is not subject to a development plan, diagrammatic plan, schematic development plan, or project plan. It is, however, subject to the binding elements and conditions of Sketch Plan 320120030, which may be modified at the time of site plan review under Section 59-C-15.43(d):

*During site plan review, the Planning Board may approve amendments to the binding elements of an approved sketch plan.*

- (1) *Amendments to the binding elements may be approved, if such amendments are:
 
  - (A) *requested by the applicant;*
  - (B) *recommended by the Planning Board staff and agreed to by the applicant; or*
  - (C) *made by the Planning Board, based on a staff recommendation or on its own initiative, if the Board finds that a change in the relevant facts and circumstances since sketch plan approval demonstrates that the binding element either is not consistent with the applicable master or sector plan or does not meet the requirements of the zone.**
- (2) *Notice of proposed amendments to the binding elements must be identified in the site plan application if requested by the applicant or in the final notice of the site plan hearing recommended by Planning Board staff and agreed to by the applicant.*
- (3) *For any amendments to the binding elements, the Planning Board must make the applicable findings under Section 59-C-15.43(c) in addition to the findings necessary to approve a site plan under Section 59-D-3.*

There is one modification to the binding elements with this Site Plan. One public benefit under the Quality Design category, Exceptional Design, originally approved by the Sketch Plan has been removed per the Applicant's request. Even with this change, the Project continues to meet the necessary findings regarding public benefits that must support the requested incentive density and are in keeping with the priorities of the Sector Plan.

Staff finds the removal of the Exceptional Design public benefit does not alter the Sketch Plan findings under Section 59-C-15.43(c):

- The Project continues to meet the objectives, general requirements, and standards of Division 59-C-15 through compliance with the CR Zone.
- The Project furthers the recommendations and objectives of the *Wheaton CBD and Vicinity Sector Plan* and is in general conformance with the recommendations of the Sector Plan as discussed in the Master Plan section of this report and furthers its objectives and goals by providing housing near a Metrorail station, revitalizing an existing structure, and encouraging mixed-use development in high-density areas.
- The Project achieves compatible internal and external relationships between existing and proposed nearby buildings, open spaces and uses. The proposed development achieves compatibility through similar massing envelopes, although with more articulation and diversity of materials and the building has been designed at an appropriate scale and building height, comparable to other built and allowed development which may build up to 200 feet in the applicable CR Zone on adjacent properties along Georgia Avenue.
- The Project achieves satisfactory general, vehicular, pedestrian, and bicyclist access, circulation, parking and loading. The building is located on an existing street grid for cars, pedestrians, and bicyclists. The project is conveniently located near various public transportation resources including the Wheaton Metrorail Station, various bus lines, public parking garages, and numerous public and private facilities and commercial establishments within walking and biking distance. The Project also provides off-street loading areas for the residents on the internal streets limit conflicts on Georgia Avenue, increased parking for bicycles, existing upgraded sidewalks for pedestrians and bicyclists, and sufficient parking within existing structures for residents.
- The Project proposes an outline of public benefits that supports the requested incentive density and includes public benefits that address the general incentive and density considerations required by Section 59-C-15.83 by providing the diversity of housing, general sustainability measures, and connectivity improvements; the proper calculations and criteria for each public benefit and concentrating on transit proximity, connectivity between uses, and retaining the existing building and incorporating it into the new design; taking advantage of the existing site to create a desirable infill development with a residential emphasis; and designing the building at an appropriate scale for the surroundings with heights that establish a proper relationship with other structures in the vicinity of Georgia Avenue and providing a visually pleasing, modern building.
- The Project will be developed in a single phase and therefore establishes feasible and appropriate provisional phasing plan for all structures, uses, rights-of-way, sidewalks, dedications, public benefits, and preliminary and site plan applications.

2. *The site plan meets all of the requirements of the zone in which it is located, and where applicable conforms to an urban renewal plan approved under Chapter 56.*

The Application must meet the following requirements of the CR Zone:

- Uses;
- General Requirements;
- Development Standards; and

- Special Regulations for the Optional Method of Development (Public Benefits).

a) Uses

The proposed uses – residential and office – are permitted uses in the zone.

b) General Requirements

The Project is substantially consistent with the 2011 *Wheaton CBD and Vicinity Sector Plan* and *Wheaton CBD & Vicinity Sector Plan Design Guidelines*:

- The Property is within the Price District as described in the 2011 *Wheaton CBD & Vicinity Sector Plan*. In accordance with the recommendations of the Sector Plan, the Project will provide multi-family, transit-oriented housing near the Wheaton Metrorail Station that will increase housing choices in Wheaton and provide more customers for the local services and businesses.
- The proposed building height of up to 145 feet is within the maximum building height of 200 feet allowed by the zone.
- The proposed building will be located along Georgia Avenue as allowed by the zone and envisioned by the Sector Plan.
- The Sector Plan states in the Urban Design Elements that, “Wheaton’s buildings will continue to be an eclectic mix, and infill redevelopment will create an increasingly compact and street-oriented pattern. A variety of heights and densities will ensure that new developments are compatible with the surrounding neighborhoods.” (Page 27, Sector Plan.)  
The proposed project is an infill development that reinforces the existing compact development pattern and continues the street wall along Georgia Avenue. It adds to the variety of building heights in the CBD through an appropriate scale and building height. It places a tall structure along the Georgia Avenue frontage of the block consistent with the Sector Plan’s guidance of placing the greatest densities and heights at and near the Metro station along Georgia Avenue and Veirs Mill Road.
- This project provides a residential lobby and leasing office with entrances on the ground floor along Georgia Avenue that will encourage street level activity. Although this particular segment of Georgia Avenue is not designated as a “priority retail street”(page 20, Sector Plan), the inclusion of the rental leasing office, considered commercial space, will further the plan’s goal of creating street level activity envisioned by the plan. This will further the objective of both the plan and the design guidelines of creating walkable boulevards along the major roads surrounding the core, and achieving improved connectivity through pedestrian friendly streets, meeting the Sector Plan recommendations.
- The Sector Plan envisions Georgia Avenue as an urban boulevard with enhanced medians and crosswalks, street trees, and street-oriented retail, where appropriate. The Project will retain the footprint of the existing building on the Property, and the pedestrian circulation along Georgia Avenue will remain in its current configuration. The existing streetscape within this area matches the enhanced streetscape to the north and south of the Subject Property, and includes special paving, street trees and street lighting.



- The *Wheaton CBD & Vicinity Sector Plan Design Guidelines* provide specific recommendations for urban boulevards, building design and public open space. The guidelines state: “Many existing buildings are in need of upgrading and the area lacks quality spaces for public use.” (Page 7, Design Guidelines.)

Public open space is not required at this site and the constraints of the site do not allow for new public open space. The project proposes to retain the existing five-story building and upgrade it with an additional seven stories, as described in Section 2, PRELIMINARY PLAN, of this report.

- The Design Guidelines suggest street walls along Georgia Avenue “should be between 2 and 5 stories; this will vary depending on property size and location (to be reviewed on a case by case basis).” About that height, the Design Guidelines state “minimum suggested tower setback is 15’-0””; may vary depending on size of development. More is preferred in larger projects, but less could be considered depending on project constraints (to be reviewed on a case by case basis).” (Page 12, Design Guidelines.) This project does not propose a building setback, but it proposes to cantilever, starting at the fourth floor, vertical bays and Juliet balconies over the sidewalk. Staff believes that cantilevered feature of the proposed façade serves the same purpose of articulation as recommended in the design guidelines of breaking up a sheer wall rising from the ground to the full height of the building. It is also acceptable since the proposed project is trying to maximize the allowable floor area by adding additional floors on top of an existing five-story building on a site that has a narrow frontage along Georgia Avenue. The proposed vertical bays and Juliet balconies serve as architectural elements to blend the existing building with the additional floors above.

- The Sector Plan “discourages land dedicated to parking. Development plans should reflect shared parking strategies—preferably using structured parking compatible in size and design with both the associated uses and the adjacent area.” (Page 70, Sector Plan.)

The project proposes to meet its parking needs through a combination of on-site parking, shared parking agreements with adjacent garages, and by participating in the Wheaton Parking Lot District program.

- The Sector Plan establishes several recommendations to create an environmentally sustainable district. The Plan encourages “all new building construction to incorporate environmental features such as green roofs, green walls, and innovative urban stormwater management. Encourage retrofits of existing development to maximize environmental features.” (Page 75, Sector Plan.)

The project provides sustainability through reuse of the existing structure, “green” features including a Cool Roof and by retrofitting the existing development to maximize environmental features with a more energy efficient building.

c) Development Standards

The proposed development will comply with all development standards as shown in the data tables and discussion above.

d) Public Benefits

The proposed development will provide numerous public benefits in addition to Transit Proximity with proportional incentive density points. Staff has considered these public benefits according to:

- The recommendations, objectives, and priorities of the Sector Plan;
- The CR Zone Incentive Density Implementation Guidelines and the Wheaton Urban Design Guidelines;
- The size and configuration of the tract;
- The relationship of the site to adjacent properties;
- The presence or lack of similar public benefits nearby; and
- Enhancements beyond the elements listed in the individual public benefit descriptions or criteria that increase public access to or enjoyment of the benefit.

In accordance with the Zoning Ordinance, Section 59-C-15.82, the site plan proposes the following public benefits in addition to Transit Proximity to satisfy the requirements:

Connectivity between uses, activities and mobility options; Quality building and site design; Protection and enhancement of the natural environment; and Retained Building.

Transit Proximity

This project is eligible for 50 points because it is adjacent to the Wheaton Metrorail Station (level 1 transit) and 100 percent of the tract area is within ¼ mile of the Metrorail station. Staff recommends granting the full 50 points because development near transit facilities encourages greater use of transit, controls sprawl, and reduces vehicle miles traveled, congestion, and carbon emissions.

Minimum Parking

Up to 10 points may be granted for providing less than the maximum allowed number of parking spaces, per Section 59-C-15.631. Staff recommends granting the full 10 points because the project provides less parking than the required spaces under section 59-C-15.631, which will encourage non-automotive travel. Proposed points are determined as follows:

A = Maximum Allowed Spaces = 189

R = Minimum Required Spaces = 117

P = Proposed Spaces = 51

$$((A/P) / (A/R)) * 10 = ((189/51) / (189/117)) * 10 = 23 \text{ points}$$

Structured Parking

Up to 20 points may be granted for placing parking within an above – or below - grade structure. A formula dividing the parking provided within an above-grade structure divided by the total parking provided and multiplying the result by 10 has been approved in the guidelines (below-grade parking spaces are eligible for double the points because of the greater cost). In this case, the majority of the parking is within the below-grade structure and Staff recommends granting 18 points. Proposed points are determined as follows:

A = Above Grade Spaces = 10

B = Below Grade Spaces = 41

T = Proposed Spaces = 51

$$((A/T) * 10) + ((B/T) * 20) = ((10/51) * 10) + ((41/51) * 20) = 18 \text{ points}$$

BLTs

All optional method developments in CR zones must achieve at least five points through purchase of BLTs as calculated by a formula established in the Ordinance, under Section 59-C-15.856(a). The Applicant will purchase 0.3366 BLTs as required and Staff recommends granting the 5 points for this public benefit.

In the CR Zones, an applicant must purchase BLT easements, or make payments to the Agricultural Land Preservation Fund (ALPF), in an amount equal to 5% of the incentive density floor area under the following parameter:

(a) One BLT for every 20,000 square feet of gross floor area to qualify for the first 5% incentive density floor area.

Proposed points determined as follows:

$$5\% * \text{Incentive Density Floor Area} = .05 * 134,640\text{sq.ft.} = 6,732\text{sq.ft.}$$

$$6,732\text{sq.ft.} / 20,000\text{sq.ft.} = 0.3366 \text{ BLTs}$$

Cool Roof

Up to 10 points for sites one acre or less, may be granted for constructing any roof area that is not covered by a vegetated roof with a minimum solar reflectance index (SRI) of 75 for roofs with a slope at or below a ratio of 2:12, and a minimum of 25 for slopes above 2:12. Cool roofs keep energy costs down and decrease the heat island effect. The Applicant proposes to meet the minimum SRI for a flat roof with a minimum cool roof of 40% of the total available roof area, based on a prorated calculation (.40 x 10 points = 4 points). Staff recommends granting 4 points for this benefit.

Recycling Facility

Up to 10 points may be granted for providing a recycling facility plan to be approved as part of the site plan and must comply with the Montgomery County Executive Regulation 15-04AM or Montgomery County Executive Regulation 18-04. Staff recommends granting 5 points per the criteria: 5 points are appropriate for development that meets the requirements of the Zoning Ordinance and submits the recycling facilities plan as part of the certified site plan.

Retained Building

Up to 100 points may be granted to development that:

- (a) maintains 75% of the structural system of the existing building;
- (b) uses an architectural deconstruction company or organization to remove recyclable materials prior to any demolition; and
- (c) submits documentation showing compliance with these criteria before the County issues a building permit for a new development.

A project may receive public density points according to the Zoning Ordinance’s requirements and the following formula:

R = Retained Gross Floor Area = 86,820sq.ft.

I = Incentive Density Gross Floor Area = 134,640sq.ft.

$$(R/I) * 100 = (86,820\text{sq.ft.} / 134,640\text{sq.ft.}) * 100 = 64 \text{ points}$$

Staff recommends granting 64 points for incorporating the existing building into the new construction.

Staff finds that the proposed public benefits fulfill the priority recommendations of the Sector Plan, meet the criteria of both the Implementation and Design Guidelines; are appropriate for the size and configuration of the tract and enhance the site’s relationship to adjacent properties. The individual benefits did not provide enhancements beyond the basic criteria for extra points established by the Zoning Ordinance or the Implementation Guidelines. The Applicant will provide public benefits from at least 4 categories equal to greater than 100 points, the final numbers to be determined prior to approval of the certified site plan.

Public Benefit	Maximum Points Permitted	Proposed Points [Sketch Plan]	Criteria	Points Approved & Binding on Applicant
<b>Transit Proximity Category</b>				
Transit Proximity	50	50 [50]	Site within 350 feet of Level 1 transit-Wheaton Metrorail Station.	50
<b>Connectivity Between Uses, Activities, and Mobility Category</b>				
Minimum Parking	10	10 [10]	51 proposed spaces out of 189 allowed.	10
<b>Quality of Building &amp; Site Design Category</b>				
Structured Parking	20	18 [18]	41 spaces below grade; 10 spaces above grade.	18
<b>Protection &amp; Enhancement of the Natural Environment Category</b>				
BLTs	30	5 [5]	1 BLT per 20,000sf of 5% of incentive density.	5
Cool Roof	10	4 [6]	Providing a minimum of 40% cool roof of total available roof area.	4
Recycling Facility	5	5 [5]	Provides recycling facility plan.	5
<b>Retained Buildings Category</b>				
Retained Building	100	64 [59]	Project will maintain 75% of the structural system of the existing building.	64
<b>Total Points</b>				<b>156.00</b>

3. *The locations of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

a. Locations of Buildings and Structures

The project is an adaptive reuse conversion of an existing building and will not change the physical location of the building footprint. The Site Plan has otherwise been designed to ensure that the location of buildings and structures are adequate, safe and efficient.

b. Open Spaces

Public open space is not required at this site.

c. Landscaping and Lighting

Landscaping and lighting, as well as other site amenities, will be provided to ensure that landscaping, lighting, and site amenities will be safe, adequate, and efficient for year-round use and enjoyment by patrons, employees, and residents. Site furnishings will be integrated within the site to create a unique and interesting place and ensure accessibility and comfort.

d. Recreation Facilities

The proposed development meets the active and passive recreation space required by the zone as shown in the data tables above. The proposed development will provide the following on-site recreation facilities:

- 6 picnic/sitting areas (Rooftop Amenity);
- 1 indoor fitness facility (Health Center); and
- 3 indoor community spaces (Residential Amenity).

The development can also take advantage of the nearby recreational facilities at Wheaton Veterans Urban Park and Wheaton Forest Local Park including:

- 1 pedestrian system (sidewalks);
- 1 open play area (Wheaton Veterans Urban Park);
- 1 bike system (existing bikeways);
- 1 play lot (Wheaton Forest Local Park);
- 2 multipurpose courts (Wheaton Forest Local Park);
- 2 tennis courts (Wheaton Forest Local Park);
- 1 soccer field- regulation (Wheaton Forest Local Park); and
- 1 softball field-junior (Wheaton Forest Local Park).

The proposed development meets the required supply of recreation facilities based on the calculation methods in the M-NCPPC Recreation Guidelines. As reflected in the outline and data tables above, the proposed development will provide adequate, safe, and efficient recreation facilities to allow residents to lead an active and healthy life.

e. Pedestrian and Vehicular Circulation Systems

The project has been carefully planned and designed to promote the safe and efficient movement of vehicles and, as a result of the Property's proximity to various public transportation resources, including the Wheaton Metro Station, bus lines, and public parking garages, will promote more efficient pedestrian utilization of the Georgia Avenue corridor.

Vehicular circulation will not change on the site. Access to and through the site will continue to be from Georgia Avenue. Revised surface parking spaces will be provided and garage and loading access points will continue to be located off internal streets. These circulation routes, access points, and loading movements have been reviewed to ensure minimal conflicts with pedestrians and that full build-out will be in accordance with the Sector Plan and code requirements.

Pedestrian circulation will continue to be provided along the street frontage and within the site. Pedestrian and bicycle access is provided from the sidewalk along Georgia Avenue to the main lobby entrance. Bicycle parking for visitors and residents will be provided in front of the main entrance along Georgia Avenue and within the existing below grade parking structure. This network will continue to provide adequate, safe, and efficient pedestrian and vehicular circulation systems.

4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.*

The building is compatible with existing uses regarding scale, massing, and height as reflected in the urban design and zoning recommendations of the Sector Plan and Design Guidelines.

5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation, Chapter 19 regarding water resource protection, and any other applicable law.*

- a. Forest Conservation

This development is subject to the Chapter 22A, Montgomery County Forest Conservation Law, but is exempt from the requirement to submit a Forest Conservation Plan under Section 22A-5(s)(1) because the proposed activity occurs on a tract of land less than 1.5 acres with no existing forest, or existing specimen or champion tree, and the afforestation requirements are not in excess of 10,000 square feet.

- b. Stormwater Management

This development has an approved Stormwater Exemption Request from the Department of Permitting Services (DPS).

PB:SD:ha: N:\Area2 Division\11141 Georgia Avenue – staff report - FINAL

## **ATTACHMENTS**

- A. Sketch Plan Resolution
- B. Forest Conservation Exemption Letter
- C. Stormwater Exemption Letter
- D. Applicable Master Plan and Design Guideline Sections (Planning Board Draft)
- E. Agency Approval Letters



**MONTGOMERY COUNTY PLANNING BOARD**  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MCPB No. 12-52  
Sketch Plan No. 320120030  
11141 Georgia Avenue  
Date of Hearing: May 10, 2012

**RESOLUTION**

WHEREAS, pursuant to Section 59-C-15.42 of the Montgomery County Code<sup>1</sup> the Montgomery County Planning Board ("Planning Board" or "Board") is authorized to review sketch plan applications; and

WHEREAS, on January 24, 2012, ML Wheaton, LLC c/o Lowe Enterprises Real Estate Group East, Inc. ("Applicant"), filed an application for approval of a sketch plan for construction of up to 160,560 square feet in one building including up to 200 residential units and up to 13,380 square feet of non-residential uses, on 0.614 gross acres (26,760 square feet) of CR6 C5.5 R5.5 H200-zoned land, located at 11141 Georgia Avenue approximately 200 feet south of the intersection of Georgia Avenue with Reddie Drive ("Property") in the Wheaton CBD and Vicinity Sector Plan ("Sector Plan") area; and

WHEREAS, Applicant's sketch plan application was designated Sketch Plan No. 320120030, 11141 Georgia Avenue (the "Application"); and

WHEREAS, following review and analysis of the Application by Planning Board staff ("Staff") and the staff of other governmental agencies, Staff issued a memorandum to the Planning Board, dated April 13, 2012, setting forth its analysis of, and recommendation for approval of the Application subject to certain conditions ("Staff Report"); and

WHEREAS, on May 10, 2012, the Planning Board held a public hearing on the Application (the "Hearing"), and at the Hearing, the Planning Board heard testimony and received evidence submitted for the record on the Application; and

WHEREAS, at the Hearing, the Planning Board approved the Application subject to certain conditions, in accordance with the vote as certified below.

<sup>1</sup> All Section references are to the Montgomery County Code.

Approved as to  
Legal Sufficiency:

*[Signature]* 4/27/12  
M-NCPPC Legal Department

8787 Georgia Avenue, Silver Spring, Maryland 20910 Chairman's Office: 301.495.4605 Fax: 301.495.1320

[www.MCParkandPlanning.org](http://www.MCParkandPlanning.org) E-Mail: [mcp-chairman@mncppc.org](mailto:mcp-chairman@mncppc.org)

NOW, THEREFORE, BE IT RESOLVED that, pursuant to the relevant provisions of Montgomery County Code Chapter 59, the Montgomery County Planning Board approved Sketch Plan No. 320120030 for construction of up to 160,560 square feet in one building including up to 200 residential units and up to 13,380 square feet of non-residential uses on the Property, subject to the following binding elements and conditions:

A. Binding Elements. The following site development elements are binding under Section 59-C-15.43(b)(4):

1. Maximum density and height;
2. Approximate location of lots and public dedications;
3. General location of vehicular access points; and
4. Public benefit schedule.

All other elements are illustrative.

B. Conditions. This approval is subject to the following conditions:

▪ Density

The proposed development is limited to a maximum total density of 160,560 square feet of development with up to 147,180 square feet for residential uses and up to 13,380 square feet for non-residential uses. The final number of dwelling units will be determined at site plan.

▪ Height

The development is limited to a maximum height of 165 feet.

▪ Incentive Density

The development must be constructed with the public benefits listed below, unless modifications are made under Section 59-C-15.43(d). Total points must equal at least 100 and be chosen from at least 4 categories as required by Section 59-C-15.82(a); the requirements of Division 59-C-15 and the Implementation Guidelines must be fulfilled for each public benefit proposed.

a. Transit proximity

The Planning Board approves up to 50 points for proximity to Level 1 transit, Metrorail station.

b. Connectivity and Mobility

The Planning Board approves up to 10 points for minimum parking provided. Final points will be established at site plan approval.

c. Quality Building and Site Design



The Planning Board approves up to 28 points from the Quality Building and Site Design category, which is achieved through provision of structured parking (18 points) and exceptional design (10 points). Final points will be established at site plan approval.

d. Protection and Enhancement of the Natural Environment

The Planning Board approves up to 16 points from the Protection and Enhancement of the Natural Environment category, which is achieved through the purchase of Building Lot Terminations (BLTs) (5 points), a cool roof (6 points) and a recycling facility plan (5 points). Final points will be established at site plan approval.

e. Retained Building

The Planning Board approves up to 59 points from the Retained Building category, which is achieved through maintaining 75% of the structural system of the existing building.

▪ Building Lot Terminations (BLTs)

Prior to release of a building permit, the Applicant must provide proof of purchase and/or payment for the required BLTs.

▪ Moderately Priced Dwelling Units (MPDUs)

The development must provide MPDUs in accordance with Chapter 25A.

▪ Retained Building

To receive incentive density for the Retained Building public benefit,

- a. Prior to any demolition, the Applicant must use an architectural deconstruction company or organization to remove recyclable materials; and
- b. Prior to issuance of a building permit, the Applicant must submit documentation to Staff showing compliance with the Retained Building criteria under Section 59-C-15.857.

▪ Future Coordination for Preliminary and Site Plan

In addition to any other requirements for preliminary plans under Chapter 50 and site plans under Chapter 59, the following must be addressed when filing a preliminary or site plan:

- a. Utility relocation.
- b. Fire and Rescue access and facility details.
- c. Streetscape details.
- d. Demonstration of how each public benefit satisfies the Zoning Ordinance and Incentive Density Implementation Guideline requirements.
- e. Implementation of transportation improvements.

- f. Consideration of building-to-street interface to maximize activation and safety.
- g. Focus on energy efficiency in building design features.
- h. Dedication along Georgia Avenue (MD 97).
- i. Traffic Mitigation Agreement.

BE IT FURTHER RESOLVED that, having given full consideration to the recommendations and findings of its Staff as set forth in the Staff Report, which the Planning Board hereby adopts and incorporates by reference (except as modified herein), and upon consideration of the entire record and all applicable elements of § 59-C-15.42, the Montgomery County Planning Board finds that as conditioned herein the elements of the sketch plan specified in Section 59-C-15.42(c) of the zoning ordinance are appropriate in concept and appropriate for further review at site plan. Specifically, the Planning Board FINDS the Sketch Plan:

*1. meets the objectives, general requirements, and standards of Division 59-C-15;*

- The Sketch Plan meets the objectives of Section 59-C-15.2 quoted below; specifically, the development as approved will:
  - *“Implement the policy recommendations of applicable master and sector plans.”* The project will provide the residential uses near transit facilities, and public benefits encouraged by the Sector Plan;
  - *“Target opportunities for redevelopment of single-use areas and surface parking lots with a mix of uses.”* The project will reuse an existing building and parking facilities for residential and non-residential uses;
  - *“Reduce dependence on the automobile by encouraging development that integrates a combination of housing types, mobility options, commercial services, and public facilities and amenities.”* The project will provide additional affordable housing, a mix of multifamily unit types, density within 200 feet of the Wheaton Metrorail Station entrance, and ground floor retail commercial services;
  - *“Allow a mix of uses, densities, and building heights appropriate to various contexts to ensure compatible relationships with adjoining neighbors.”* The project will be within the maximum building height envelope of 200 feet established by the CR zone for the Property at a scale of development similar to existing and allowed buildings adjacent to the site. For Block B2 of the Price District, the Sector Plan states that “higher densities are more appropriate closer to the Metro station along Reedy Drive and along Georgia Avenue, and heights should transition from 200 feet along Georgia Avenue to 45 feet at the residential edge along Amherst Avenue”, which is implemented through the zoning applied to the Property, which complies with the Sector Plan recommendation;

- *“Allow an appropriate balance of employment and housing opportunities.”* The project will provide the mixed-use development encouraged by the Sector Plan implementing the recommended housing-to-jobs balance; and
- *“Standardize optional method development by establishing minimum requirements for the provision of public benefits that will support and accommodate density above the standard method limit.”* The approved Sketch Plan meets the standards and requirements of optional method development through the approved public benefits.
  
- The Sketch Plan meets the general requirements of Section 59-C-15.6 as follows:
  - Section 15-C-15.61 - Master Plan and Design Guidelines Conformance  
The project will be substantially consistent with the 2011 *Wheaton CBD and Vicinity Sector Plan*, as detailed in Finding #2 below, and substantially conform to the Draft *Wheaton CBD and Vicinity Sector Plan Design Guidelines*, which encourages new development fronting along the boulevards to:
    - **Create boulevards around the Core** through continuous street walls along the highways surrounding the Wheaton Core. The project retains, and reinforces the existing street wall along the eastern side of Georgia Avenue, between Prichard Road and Reddie Drive;
    - **Enhance existing structures** - The project incorporates and rehabilitates an existing office building into a mixed-use building;
    - **Improve the public realm** – The project provides uses to activate the street through proposed commercial space on the ground floor.
  - Section 59-C-15.62 - Bicycle Parking Spaces and Commuter Shower/Change Facility  
The project will provide at least the minimum required number of bicycle parking spaces for residents and visitors, as determined by the final unit count and commercial space approved with the site plan.
  - Section 59-C-15.63 - Parking  
The project will provide parking spaces between the minimum required and maximum allowed, as determined by the final unit count and commercial space approved with the site plan.
  - Section 59-C-15.7 - Development Standards  
The sketch plan meets the development standards of Section 59-C-15.7, as shown in the Data Table below:

<i>Development Table for the CR6.0 C5.5 R5.5 H200 Zone</i>		
<b>Development Standard</b>	<b>Required/Allowed</b>	<b>Approved</b>
<b>Max. Density (FAR)</b>		
Total	6.0	6.0
Residential	5.5	Up to 5.5
Commercial	5.5	Up to 0.5
<b>Max. Height (feet)</b>		
	200	165
<b>Setbacks</b>		
	n/a	n/a
<b>Parking Spaces</b>		
	0	Up to 60
<b>Public Use Space</b>		
	0	0

2. *furtheres the recommendations and objectives of the Wheaton CBD and Vicinity Sector Plan;*

The Sector Plan specifically provides: "Wheaton is envisioned as a major mixed-use center for the Georgia Avenue corridor and eastern Montgomery County. It will have regional shopping, culturally diverse retail and entertainment, business and government services, and transit-oriented residential and office uses that serve a population with a broad range of incomes." (Sector Plan, Page 7)

"More employees and more residential development will provide customers for local services and businesses." (Page 9, 4<sup>th</sup> paragraph)

"The Plan seeks to capitalize on this diversity by zoning for mixed-use development that will provide new customers to support the retail and service sector, the current mainstay of Wheaton's economy." (Page 9, Diversity)

The Sketch Plan provides multi-family, transit-oriented housing near Metro that will increase housing choices in Wheaton and provide more customers for the local retail and service establishments.

The Sector Plan further states: "Wheaton's buildings will continue to be an eclectic mix, and infill redevelopment will create an increasingly compact and street-oriented pattern. A variety of heights and densities will ensure that new developments are compatible with the surrounding neighborhoods." (Page 27, Urban Design Elements)

The Sketch Plan creates infill development on the Subject Property that reinforces the existing compact development pattern and adds to the variety of building heights in the CBD through an appropriate scale and building height. It places a tall structure along the Georgia Avenue frontage of the block consistent

with the Sector Plan's guidance of placing higher densities "closer to the Metro station along Reddie Drive and along Georgia Avenue."

The Sector Plan discourages land dedicated to parking. Development plans should reflect shared parking strategies—preferably using structured parking compatible in size and design with both the associated uses and the adjacent area." (Page 70, Parking Management)

The project will meet its parking needs through a combination of on-site structured and surface parking, shared parking agreements with adjacent garages, and by participating in the Wheaton Parking Lot District program.

The Sector Plan encourages "all new building construction to incorporate environmental features such as green roofs, green walls, and innovative urban stormwater management. It also encourages "retrofits of existing development to maximize environmental features." (Page 75, Health)

The Sketch Plan provides sustainability through reuse of the existing structure, "green" features such as a Cool Roof, the purchase of BLTs, and by retrofitting the existing development to maximize environmental features.

3. *achieves compatible internal and external relationships between existing and proposed nearby buildings, open space, and uses;*

This compatibility is achieved through:

- Similar massing envelopes, although with more articulation and diversity of materials;
- An appropriate scale and building height, comparable to other built and allowed development which may build up to 200 feet in the CR Zone on adjacent properties along Georgia Avenue. For Block B2 of the Price District, the Sector Plan states that "higher densities are more appropriate closer to the Metro station along Reddie Drive and along Georgia Avenue, and heights should transition from 200 feet along Georgia Avenue to 45 feet at the residential edge along Amherst Avenue", which is implemented through the zoning applied to the property. The proposed development complies with the Sector Plan recommendation; and
- Use of existing parking structures retaining a strong relationship between buildings, sidewalks, and streets.

4. *provides satisfactory general vehicular, pedestrian, and bicyclist access, circulation, parking, and loading;*

Circulation, parking, and loading for cars, trucks, pedestrians, and bicyclists are all satisfactory within the proposed development. Specifically, the Sketch Plan provides:

- A building located on an existing street grid for cars, pedestrians, and bicyclists;
- Conveniently located residential uses near various public transportation resources including the Wheaton Metrorail Station, various bus lines, public parking garages, and numerous public and private facilities and commercial establishments within walking and biking distance;
- Off-street loading areas for the residents on the internal streets that limit conflicts on Georgia Avenue;
- Increased parking for bicycles;
- Improved sidewalks for pedestrians and bicyclists; and
- Sufficient parking within existing structures for residents.

*5. includes public benefits that support the approved incentive density;*

The Application includes public benefits that address the general incentive and density considerations required by Section 59-C-15.83. The public benefits:

- Take into consideration “the recommendations, objectives, and priorities of the applicable master or sector plan” by providing the diversity of housing, general sustainability measures, and connectivity improvements; The Sector Plan lists certain public benefits as priorities for the CR Zone optional method projects in Wheaton. It states that this list is “not mandatory, and it does not preclude consideration of other benefits as listed in the CR Zone to achieve the maximum permitted FAR.” The Sketch Plan is providing structures parking as included in the Sector Plan list of priority public benefits under the category “Quality buildings and site design.”
- Meet “the CR Zone Incentive Density Implementation Guidelines and any design guidelines adopted for the applicable master plan area” by providing the proper calculations and criteria for each public benefit and concentrating on transit proximity, connectivity between uses, and retaining the existing building and incorporating it into the new design achieving design excellence;
- Are appropriate for “the size and configuration of the tract” by taking advantage of the existing site to create a desirable infill development with a residential emphasis;
- Adequately address “the relationship of the site to adjacent properties” by designing the building at an appropriate scale for the surroundings with heights that establish a proper relationship with other structures in the

vicinity of Georgia Avenue and providing a visually pleasing, modern building;

- Consider “the presence or lack of similar public benefits nearby” through provision of diverse housing, retaining an existing building, using existing structured parking, and providing environmental benefits that are lacking in this area; and
- Provide “enhancements beyond the elements listed in the individual public benefit descriptions or criteria that increase public access to or enjoyment of the benefit” which will be developed and assessed during preliminary and site plan reviews.

<i>Detailed Public Benefit Table</i>	
<b>Public Benefit</b>	<b>Maximum Points Approved</b>
<b>Transit Proximity Category</b>	
Within ¼ mile of Wheaton Metrorail Station	50
<b>Connectivity &amp; Mobility Category</b>	
Minimum Parking	10
Project provides less parking than the required spaces applicable under section 59-C-15.631. Final points established during site plan review.	
<b>Quality Design Category</b>	
Structured Parking	18
Project provides parking within the existing structure, final points established during site plan review.	
Exceptional Design	10
Provision of site and building design that meets the criteria of the Ordinance as further defined by the Guidelines, to be finalized during site plan review.	
<b>Environmental Category</b>	
BLTs	5
Under the ordinance, the square feet equal to 5% of the incentive density must be calculated to determine the BLT purchase requirement: $((147,180\text{sf incentive density} \times 0.05) / 20,000) = 0.3680$ BLTs	
Cool Roof	6
Project will provide 60-85% of roof not covered with vegetation as cool roof with solar reflectance index of 75 (for low slope roofs). Final points established during site plan review.	
Recycling Facility	5
Project will provide a recycling facility plan that complies with Montgomery County Executive Regulation 15-04AM or Montgomery County Executive Regulation 18-04.	
<b>Retained Building Category</b>	
Maintains 75% of structural system of existing building	59
Project must use an architectural deconstruction company or organization company to remove recyclable materials prior to demolition. Project must submit documentation showing compliance with criteria before building permit issued.	
<b>Total</b>	<b>163</b>

6. *establishes a feasible and appropriate provisional phasing plan for all structures, uses, rights-of-way, sidewalks, dedications, public benefits, and future preliminary and site plan applications.*

The development will be developed in a single phase.

**BE IT FURTHER RESOLVED** that at the time of site plan, the Planning Board may approve changes to this sketch plan under certain circumstances. If the Applicant proposes to change a condition of approval or binding element, or agrees to a change proposed by another party, the proposed change must satisfy the requirements for approval of a sketch plan and site plan, including Section 59-C-15, Section 59-D-3.4, and the Sector Plan. If Planning Staff proposes to change a condition of approval or binding element, however, the Board may approve the change if necessary to ensure conformance with Section 59-C-15, Section 59-D-3.4, or the Sector Plan. In other words, for the Board to approve an Applicant-proposed change of a binding element it must find consistency with applicable standards; for the Board to approve a modification to a Staff-proposed binding element that the Applicant has not agreed to, the Board must find that the proposed change is necessary to meet the site plan approval standards, including conformance with zoning and Sector Plan requirements.

Alternatively, based on detailed review of a site plan, the Board may find that any element of the approved Sketch Plan, including a binding element, does not meet the requirements of the zone, Sector Plan, or other findings necessary to approve a site plan, and deny the site plan application.

The Board's review of sketch plans is governed by Section 59-C-15.43, which provides that "in approving a sketch plan" the Board must find that certain elements of the plan are "appropriate in concept and appropriate for further detailed review at site plan." Because the Board's approval of a sketch plan is in concept only and subject to further detailed review at site plan, it necessarily follows that the Board may find, based on detailed review of a site plan, that any element of a sketch plan does not meet the requirements of the zone, master plan, or other requirements for site plan approval. The Board does not have the authority at the time of sketch plan to predetermine that any element of the sketch plan will satisfy all applicable requirements for site plan approval. As a practical matter it would be unwise for it to do so, due to the limited detail contained in a sketch plan and the sketch plan's unlimited validity period. If the Board were unable to require changes to binding elements at the time of site plan to ensure compliance with all code and sector plan requirements, the Board might have decided to approve fewer elements of this plan as binding.

Although the Board does not have the authority to provide complete certainty about the conditions of approval or binding elements of a sketch plan, this does not mean that the Board should or will require changes to an approved sketch plan without good reason. To do so would be inefficient and unfair to Applicants and community members whose expectations about the future shape of development will be formed by what the Board approves in a sketch plan; and



BE IT FURTHER RESOLVED that all elements of the plans for Sketch Plan No. 320120030, 11141 Georgia Avenue, stamped received by M-NCPPC on March 21, 2012, are required except as modified herein; and

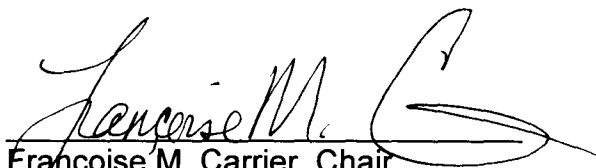
BE IT FURTHER RESOLVED that the date of this Resolution is MAY 21 2012  
(which is the date that this Resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this Resolution, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

\* \* \* \* \*

#### CERTIFICATION

This is to certify that the foregoing is a true and correct copy of a resolution adopted by the Montgomery County Planning Board of The Maryland-National Capital Park and Planning Commission on motion of Commissioner Presley, seconded by Commissioner Dreyfuss, with Chair Carrier, Vice Chair Wells-Harley, and Commissioners Dreyfuss and Presley voting in favor of the motion, and with Commissioner Anderson absent, at its regular meeting held on Thursday, May 10, 2012, in Silver Spring, Maryland.

  
Françoise M. Carrier, Chair  
Montgomery County Planning Board

MR. RICHARD BRUSH, MANAGER  
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MS. SUSAN SCALA-DEMBY  
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**MONTGOMERY COUNTY PLANNING DEPARTMENT**  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

January 11, 2012

Mr. Mark Rivers  
ML Wheaton, LLC  
c/o Lowe Enterprises Real Estate Group East, Inc.  
1101 Connecticut Ave. NW, Suite 250  
Washington, DC. 20036

Re: 11141 Georgia Ave.; Parcel 4, Part of Block "B"; Wheaton Forest;  
Forest Conservation Exemption No. 42012088E

Dear Mr. Rivers;

Based on the review by Development Applications and Regulatory Coordination Division staff of the Montgomery County Planning Department, the request for a Forest Conservation Exemption submitted on January 3, 2012 for the plan identified above, is confirmed.

The project site is exempt from Article II of the Montgomery County Code, Chapter 22A (Forest Conservation Law), Section 22A-5(s)(1); an activity occurring on a tract of land less than 1.5 acres with no existing forest, or existing specimen or champion tree, and the afforestation requirements would not exceed 10,000 square feet.

Any changes from the approved forest conservation exemption or tree save plan may constitute grounds to rescind or amend any approval actions taken and to take appropriate enforcement actions. If there are any subsequent modifications planned to the approved plans, a separate amendment must be submitted to M-NCPPC for review and approval prior to those activities occurring.

If you have any questions regarding these actions, please feel free to contact me at 301-495-4581 or [david.wigglesworth@montgomeryplanning.org](mailto:david.wigglesworth@montgomeryplanning.org) .

Sincerely,

David Wigglesworth  
Sr. Planner  
Development Applications & Regulatory Coordination Division

Cc: 42012088E  
Caroline Latimer, consultant



**Johnson ♦ Bernat ♦ Associates, Inc.**

March 15, 2012

Mr. Rick Brush  
Land Development Division  
Montgomery County  
255 Rockville Pike, 2<sup>nd</sup> Floor  
Rockville, MD 20852

Re: 11141 Georgia Ave.  
Stormwater Exemption Request

Dear Mr. Brush:

In accordance with Montgomery County Executive Regulation 5-90, we request an exemption to the Stormwater Management Requirements for the referenced project. The exemption is based upon the proposed project will disturb less than 5,000 square feet.

The property is currently improved with a 5-story commercial office building containing approximately 86,820 square feet of floor area. The project is currently in the Sketch Plan process (#320120030) with MNCPPC, and is proposing to convert the existing building into a new multi-family residential development with additional stories up to 14 stories (up to 165 feet) containing up to 200 units. There is no change proposed to the existing footprint. Parking will be provided below grade and the existing surface parking lot will be restriped to provide up to 60 parking spaces onsite. Please note that this project is located in the Wheaton Parking District and therefore, no parking spaces are required onsite.

The proposed limit of disturbance will consist only of the addition of landscape planters in the existing surface parking lot, upgrade to utility connections, and repaving of entrances to the below grade parking along the East and South sides of the buildings. In total, the disturbed area will be less than 5,000 square feet of the 23,385 square foot property area.

We previously reviewed this exemption request in a meeting with Dave Kuykendall of the Water Resources Division on December 12, 2011. The meeting explained the scope of work related to the Stormwater Exemption request. This exemption is in anticipation of an upcoming Preliminary Plan/ Site Plan submission and the requirement of having a proposed Stormwater Management Concept Plan along with a completed Stormwater Management Concept Application.

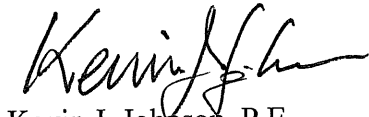
**Engineering ♦ Surveying ♦ Planning**

1395 Piccard Drive, Suite 350 ♦ Rockville, MD 20850 ♦ (301) 963-1133 ♦ (301) 963-6306 Fax  
www.jba-inc.net

We appreciate your acceptance of this Stormwater Exemption to support us as we continue through the Development Process.

Sincerely,

**Johnson ♦ Bernat ♦ Associates, Inc.**



Kevin J. Johnson, P.E.  
President

Accepted By:



Richard R. Bensch  
Name

Manager  
Title

3/26/12  
Date

Wheaton is a specialized urban center, serving local and regional retail demand. Its small, post-World War II housing makes it a draw for newcomers to the community. It is a transit hub and crossroads.

Wheaton is located at the intersection of three roads: University Boulevard West, a major east-west road; Georgia Avenue, a major north-south corridor; and Veirs Mill Road, which connects Wheaton to Rockville and MD 355. A significant amount of traffic moves west through Wheaton to I-270, one of the County's employment corridors. Wheaton can capture work trips by providing more employment opportunities east of I-270. When Wheaton develops more fully it will provide, in conjunction with Silver Spring and future development along the Route 29 Corridor, a full set of services, employment, and housing opportunities for the eastern half of the County.

By creating a more diverse local economy and building on the existing diverse uses, Wheaton can enhance its role as a shopping destination that includes independent and national retailers, ethnic restaurants, and unique local small business offerings. By providing opportunities for increased density and expanding the connections between the CBD, the regional mall and surrounding residential communities, Wheaton is positioned to become a future growth area for the County.

To ensure a sustainable economy in Wheaton, new land uses must be balanced with the existing, predominantly retail uses to increase daytime population. New office space would attract different kinds of businesses and jobs. More employees and more residential development will provide customers for local services and businesses. Redevelopment may displace some specialty retail, particularly the smaller businesses. This Plan encourages preservation of space for small businesses.

This Plan makes recommendations based on four overarching principles.

- Wheaton's **diversity** is unique among County business centers. Its housing stock, businesses, and people reflect diverse incomes and cultures. The Plan seeks to capitalize on this diversity by zoning for mixed-use development that will provide new customers to support the retail and service sector, the current mainstay of Wheaton's economy.





- Improving **connectivity** within and beyond the Plan area with expanded pedestrian connections, a better street grid, and a bikeway network will allow Wheaton to maximize its potential as a downtown. They will link the Plan’s proposed network of flexible “activity-generating-people-places,” created in the short-term on publicly owned land and in the longer term through the development process. Better links will also connect the CBD with adjoining neighborhoods and the larger market area.
- **Design** is critical to create active and safe public spaces, including streets, to enhance Wheaton’s sense of place while adding value to the surrounding neighborhoods.
- The natural and built **environments** can be improved through development that reduces energy consumption, and that provides better stormwater management, greater tree canopy, and walkable streets.

**Redevelopment potential**

<b>Table 1 Estimated Development and Jobs-Housing Ratio</b>				
	Existing (2008)	Existing plus Pipeline	1990 Plan estimate	Total estimated for the 2011 Draft Plan
Jobs	10,200	10,210	13,490	13,200
Housing	2,000	2,588	3,165	6,600
J-H Ratio	5.1:1	3.9:1	4.2:1	2.0:1

The 10,200 existing jobs and 2,000 housing units in Wheaton demonstrate that the 1990 Plan was overly optimistic about both jobs and housing. This Plan’s estimate of likely development reflects the market’s view of Wheaton’s potential to attract new development. This estimate does not limit the potential for additional jobs if conditions change and public or private property owners find more Class A office development to be feasible.

## revitalization strategy

Both short- and long-term public strategies will be needed to reawaken interest in redevelopment and pave the way for investment. The County and WMATA own a significant amount of land in the Wheaton CBD, which should be used to spur redevelopment activity.

### Public Use Space as a Catalyst

An important element in creating the perception of desirability, which is essential to expand an office or residential market, is to have active public use spaces in the right locations. Wheaton is fortunate to have parking lots and other publicly owned land that can provide short-term, low-cost space for outdoor community activity. Inexpensive improvements could establish interim open spaces on publicly owned land to enliven Wheaton for public gatherings and other active uses until permanent open spaces are created through redevelopment and public/private partnerships.

- Use public properties in the Core, Blueridge, and Price Districts (Parking Lots 13, 14, and 17) to create temporary spaces for festivals, art exhibitions, outdoor movie theaters, outdoor cafes and eating areas, dances, and musical performances.

### Encouraging Street Level Activity

Street level retail activates sidewalks and promotes community interaction. The Plan recommends that if new mixed-use development occurs along designated Priority Retail Streets, the street level uses should be a variety of retail types to create active streets. The County's Wheaton Redevelopment Office and Office of Economic Development should work with property owners to attract a variety of retailers to the CBD and the Westfield Wheaton Mall.



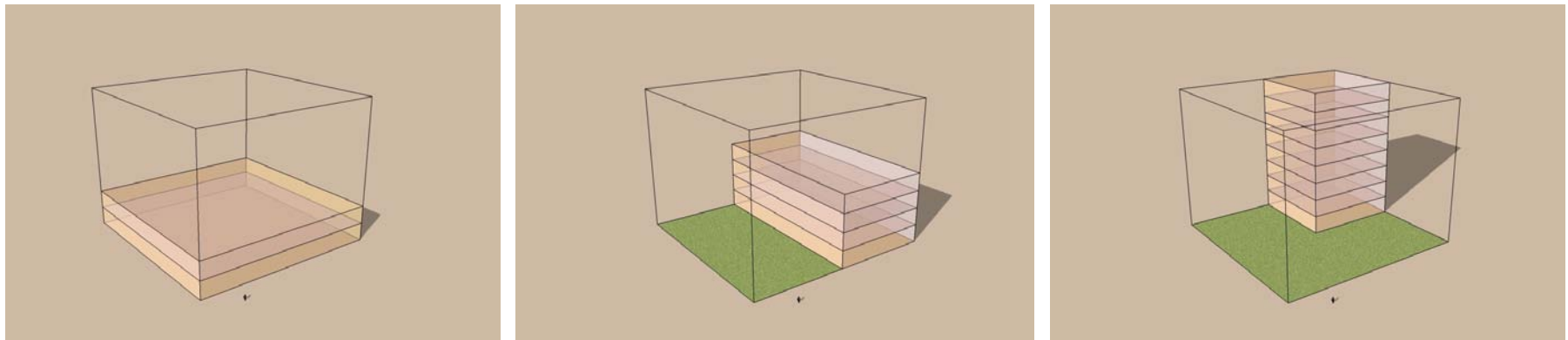


## Density and Building Height

The density and height of buildings shape the built environment and define the skyline. The Plan places the greatest densities and heights at and near the Metro station in the center of downtown, along Georgia Avenue and Veirs Mill Road. The tallest development is recommended on the WMATA Triangle site at the convergence of Veirs Mill Road and Georgia Avenue, to encourage the development of an iconic building at the southern gateway to Wheaton. Taller buildings are also allowed at the two other important nodes in Wheaton: the intersections of University Boulevard and Georgia Avenue, and of University Boulevard and Veirs Mill Road, which serve as the northeast and northwest gateways to the downtown.

The heights and densities decrease closer to the single-family residential communities surrounding Wheaton's commercial areas.

Density is measured as Floor Area Ratio (FAR). The greater the FAR, the higher the amount of maximum allowed development. But higher density doesn't always create taller buildings. A shorter, wider building may have more FAR than a taller, narrower building.





### **Price District**

The northern part of the Price District contains housing, neighborhood restaurants, and entertainment venues clustered around County Parking Lot 17. It has potential for a public use space through public/private redevelopment. This district could have high-density housing and some office along Georgia Avenue. Redevelopment with expanded neighborhood-serving businesses will serve those who live in the new mid-rise and highrise housing and in the surrounding neighborhoods. A Safeway grocery store and 500 residential units are currently proposed at the northeast corner of Georgia Avenue and Reddie Drive, adjacent to the Metro station entrance. Pedestrian connections will link the Price District to the rest of the Plan area. The interior of the district will likely remain low-scale development.

### **Blocks A and C/D (west of Fern Street)**

These blocks contain a variety of small businesses including a laundromat, car wash, restaurants, bakery, and Parking Lot 17. Block C contains the proposed Safeway project. The ownership pattern and small parcel sizes make it unlikely that blocks A and D will assemble for large projects.

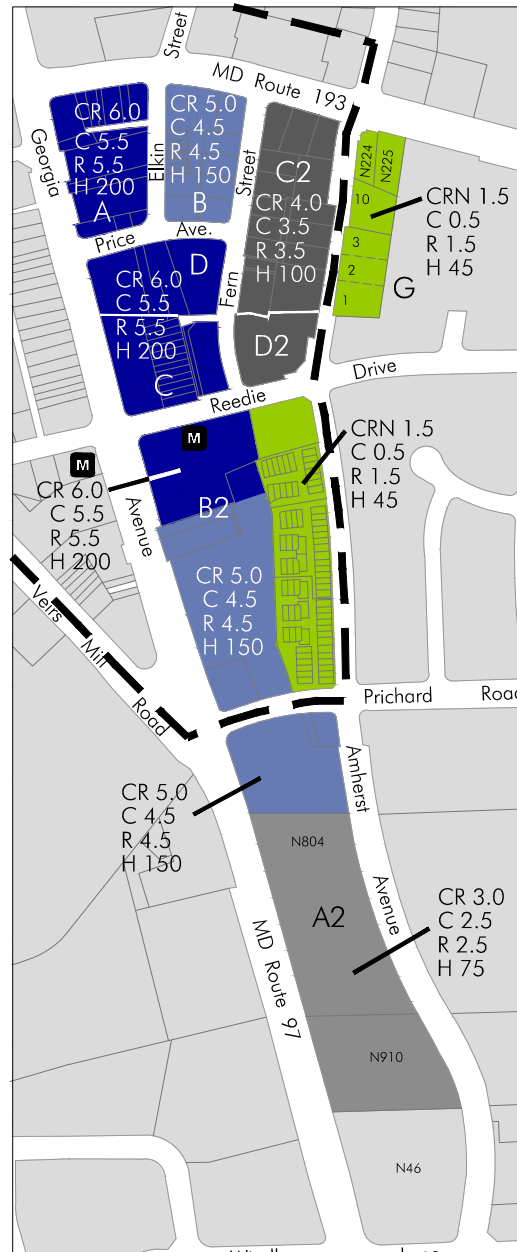
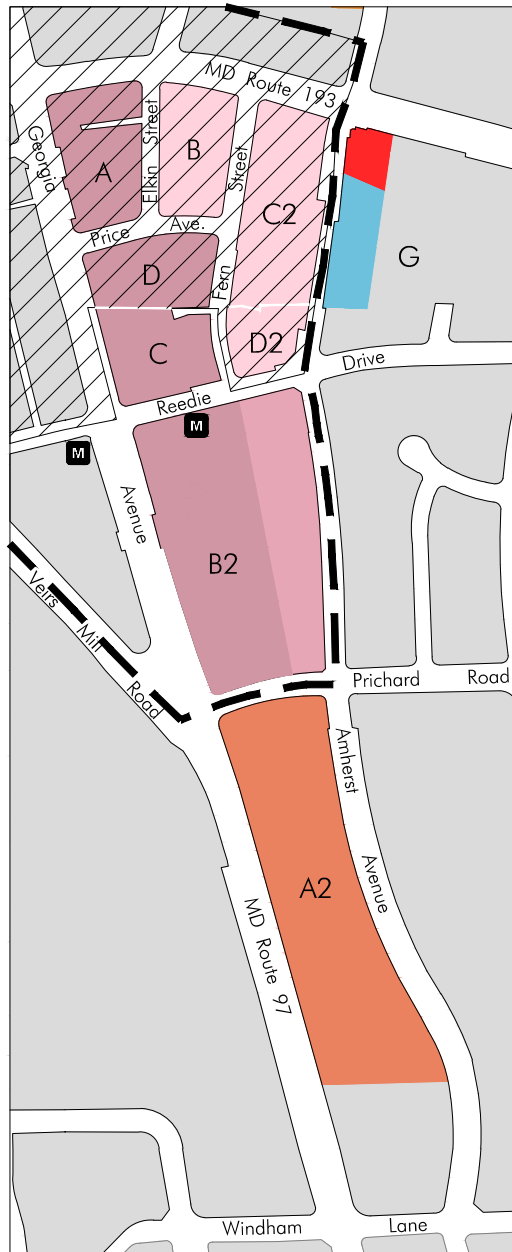
- Rezone Blocks A and C/D from CBD-3 to CR 6.0, C 5.5, R 5.5, H 200. The height and density of new development should reinforce the importance of Georgia Avenue as Wheaton's main boulevard and allow taller signature buildings at the intersection of Georgia Avenue and University Boulevard.

### **Block A2**

Block A2 contains a car dealership, big box retail, self storage units, and multifamily housing. The existing zoning is R-20 and C-2. Rezone the C-2 portion of the block to support mixed-use development.

- Confirm R-20 zoning on Parcel N46 on the southern end of the block along Windham Lane.
- Rezone the northern portion of the block from C-2 to CR 5.0, C 4.5, R 4.5, H 150. Any new development on these parcels should be no more than 45 feet high along the Amherst Avenue frontage to be compatible with single-family houses across the street.
- Rezone Parcels N804 and N910 in the middle of the block from C-2 to CR 3.0, C 2.5, R 2.5, H 75. Provide appropriate transition in building heights to existing development across Amherst Avenue.

**Figure 2 Price District – Existing and Proposed Zoning**



- Wheaton Metro Station
- Central Business District
- Wheaton Retail Preservation Overlay Zone
- C-T (Maximum FAR of 0.5, maximum building height 35 feet)
- C-1 (No FAR limit, maximum building height 45-60 feet)
- C-2 (Maximum FAR of 2.5, maximum building height 75 feet)
- CBD-R1 (Maximum FAR of 3.0, maximum building height 143 feet)
- CBD-2 (Maximum FAR of 5.0, maximum building height 200 feet)
- CBD-3 (Maximum FAR of 8.0, maximum building height 200 feet)

**Block B**

This block on the south side of University Boulevard between Elkin and Fern Streets contains small businesses, restaurants, office space, and car repair. Because of the land ownership and small parcel sizes, it is unlikely that the area will assemble.

- Rezone Block B from CBD-2 to CR 5.0, C 4.5, R 4.5, H 150 to encourage mixed-use development and to transition between the proposed 6.0 FAR to the west of the block and the proposed 4.0 FAR to the east. An FAR of 5.0 is also consistent with the existing CBD-2 Zone, which allows up to 5.0 FAR.

**Block B2**

This block was developed in the early 2000s with new housing at less than the maximum allowed density. One existing parcel remains along Georgia Avenue as office use. Higher densities are more appropriate closer to the Metro station along Reddie Drive, and heights should transition from 150 feet along Georgia Avenue to 45 feet at the residential edge along Amherst Avenue.

- Rezone the western portion of the Housing Opportunities Commission (HOC) apartments along the northern end of the block from CBD-3 to CR 6.0, C 5.5, R 5.5, H 200 to be consistent with the recommended rezoning on other blocks surrounding the WMATA Triangle.
- Rezone the townhouses on the eastern side of the block and the eastern part of the HOC apartment site from CBD-R1 to CRN 1.5: C 0.5, R 1.5, H 45, to provide an appropriate transition to the single-family houses across the street.
- Rezone the offices and apartments on the southern portion of the block along Georgia Avenue (Parcels 4, 5, and 1) from CBD-3 to CR 5.0, C 4.5, R 4.5, H 150.

**Block C2/D2 (east of Fern Street)**

This block contains restaurants, small offices, Wheaton Veterans Urban Park, and a County parking garage. Assembly of the entire block is unlikely. However, the parking garage and Wheaton Veterans Urban Park are included in the County's RFQ and could be assembled.

If the Wheaton Veterans Urban Park site is incorporated into a redevelopment project, the Veteran's memorial should be relocated elsewhere in downtown. A green transition should be provided (identified through development review) along Amherst Avenue on the Veterans Park site to compensate for the loss of transition and green space that the existing park provides.

- Rezone Block C2/D2 from CBD-2 to CR 4.0, C 3.5, R 3.5, H 100 to encourage reinvestment on small-scale parcels and on publicly owned land.

## **Parking Management**

The Plan discourages land dedicated to parking. Development plans should reflect shared parking strategies—preferably using structured parking compatible in size and design with both the associated uses and the adjacent area.

The Plan proposes leveraging the County’s ownership of properties currently used for public parking lots to attract mixed-use development that will include public parking structures. The proposed CR Zones facilitate the provision of publicly available parking, and the County is investigating alternative parking management schemes to promote the most effective use of Parking Lot District resources.

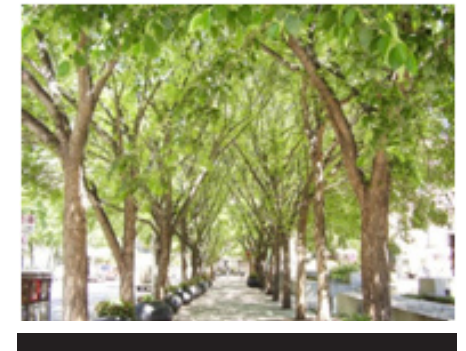
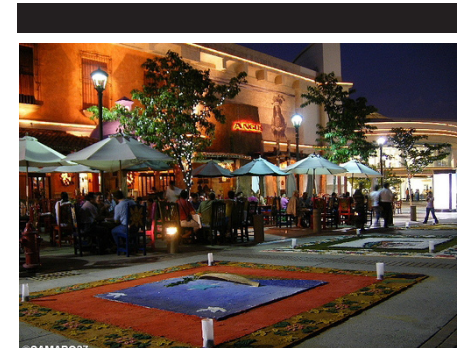
- Encourage a balance of short- and long-term on-street parking within the CBD.
- Retain some convenient parking for the Metro station, but devote primary efforts to increasing the percentage of Metrorail passengers walking, using the bus, or riding bicycles to and from the station.

## environment

### Natural Systems

Wheaton will grow greener through redevelopment by creating a sustainable community that conserves energy and uses roofs and green spaces to filter stormwater and purify air. The following recommendations focus on increasing livability by integrating natural features into the built environment, while optimizing land use within the existing development footprint. These techniques will be partially implemented through the environmental incentives in the CR Zones. Sensitive environmental areas are protected through the Planning Board's Guidelines for Environmental Management of Development in Montgomery County.

- Connect the built and natural environments by:
  - reinforcing relationships to local natural resources through visual and functional connections
  - creating green links, through plantings and signage, along Windham Lane to Sligo Creek Park and along Blueridge Avenue to Wheaton Regional Park
  - using native plants and creating habitat for appropriate urban wildlife in parks and open spaces.
- Increase tree canopy cover by:
  - identifying unused right-of-way and publicly owned land for increased plantings by the County
  - using advanced planting techniques such as constructed soil and interconnected tree pits to increase the soil area for tree roots along new streets and sidewalks
  - incorporating trees into stormwater management and roof and terrace plantings
  - establishing a minimum of 30 percent tree canopy cover for any new surface parking in the CR Zones during the development review process
  - retaining the existing green buffer between the Mall Ring Road and adjacent properties to reduce the impact of new development.
- Minimize and mitigate impervious surfaces by:
  - using Environmental Site Design to reduce runoff from all impervious surfaces, including roofs, terraces, and paving
  - building new streets and retrofitting existing roads as green streets, with urban stormwater management facilities in the right-of-way
  - encouraging small properties to share stormwater management facilities
  - protecting existing remnant streams.
- Raise awareness of water flow through increased visibility by:
  - referencing the streams that historically flowed through Wheaton in public art and water features
  - creating visible, interactive, and educational stormwater management facilities.





## Energy

Land use can reduce energy consumption through energy efficient design and multi-modal transportation options. Mixed-use areas reduce vehicle miles travelled by combining destinations in a walkable area. Infill development increases the efficiency of existing infrastructure, making better use of limited resources. Auto use is further reduced by options to walk, cycle, or use transit. In addition, energy use can be minimized by upgrading older buildings to be more energy efficient and requiring new buildings to meet high efficiency standards.

Carbon emissions are directly related to carbon-based energy production and consumption. Increased carbon emissions have been tied to the human contribution to climate change, thus increasing the importance of minimizing the use of non-renewable energy.

This Plan will minimize per capita energy use through its compact, mixed-use development pattern and opportunities for infill development.

- Reduce energy consumption through site and building design techniques that:
  - meet the minimum energy efficiency standards of 17.5 percent less than the calculated baseline performance, or meet the appropriate American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE) advanced energy design guidelines for new buildings
  - allow renovated buildings to meet energy efficiency standards of 10.5 percent less than the calculated baseline performance, or meet the appropriate ASHRAE advanced energy design guidelines.
- Reduce energy use by:
  - Providing more daylighting through building orientation, light shelves, baffles, clerestories, windows, and skylights
  - integrating geothermal and passive solar systems to reduce energy consumption.
- Encourage local energy production through solar, wind, or other techniques and fuels

## Water and Sewer

The Washington Suburban Sanitary Commission (WSSC) provides public water and sewer service to the Wheaton Plan area. Wheaton is served by the Rock Creek and Sligo Creek sewer systems. The Water Resources Functional Plan demonstrates that water supply and sewer service are generally adequate, although WSSC has identified some weak points.



## DEPARTMENT OF TRANSPORTATION

Isiah Leggett  
*County Executive*

Arthur Holmes, Jr.  
*Director*

August 24, 2012

Mr. Patrick Butler, Planner  
Area 2 Planning Division  
The Maryland-National Capital  
Park & Planning Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

RE: Preliminary Plan No. 120120230  
11141 Georgia Avenue

Dear Mr. Butler:

We have completed our review of the preliminary plan dated May 9, 2012 and the applicant's subsequent responses. This plan was reviewed by the Development Review Committee at its meeting on June 11, 2012. We recommend approval of the plan subject to the following comments:

All Planning Board Opinions relating to this plan or any subsequent revision, project plans or site plans should be submitted to the Department of Permitting Services in the package for record plats, storm drain, grading or paving plans, or application for access permit. Include this letter and all other correspondence from this department.

1. Necessary dedication across the Georgia Avenue (MD 97) site frontage in accordance with the master plan.
2. Access and improvements along Georgia Avenue (MD 97) as required by the Maryland State Highway Administration.
3. Record plat to reflect the deed references for the existing and any proposed reciprocal access and utilities easements.
4. Private common driveways and private streets shall be determined through the subdivision process as part of the Planning Board's approval of a preliminary plan. The composition, typical section, horizontal alignment, profile, and drainage characteristics of private common driveways and private streets, beyond the public right-of-way, shall be approved by the Planning Board during their review of the preliminary plan.

**Division of Traffic Engineering and Operations**

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100 Edison Park Drive, 4th Floor • Gaithersburg, Maryland 20878  
Main Office 240-777-2190 • TTY 240-777-6013 • FAX 240-777-2080  
trafficops@montgomerycountymd.gov



5. We have completed our review of the storm drain study that was submitted with the preliminary plan package. We do not see where the study distinguishes any difference between the pre-and post-development runoffs nor pipe capacity and inlet efficiency computations of the existing downstream public storm drain system (in the Prichard Road right-of-way) have been analyzed. This information should be submitted to the Department of Permitting Services prior to submission of the record plat, to determine if improvements are needed to the downstream public storm drain system.

This comment can be voided if the applicant demonstrates the project will reduce the existing runoff in the post-development runoff condition.

6. The applicant's consultants have satisfied our concern regarding their on-street truck loading space requirements.
7. The owner will be required to submit a recorded covenant for the operation and maintenance of private streets, storm drain systems, and/or open space areas prior to MCDPS approval of the record plat. The deed reference for this document is to be provided on the record plat.
8. Relocation of utilities along existing roads to accommodate the required roadway improvements shall be the responsibility of the applicant.
9. If the proposed development will alter any existing street lights, signing, and/or pavement markings, please contact Mr. Dan Sanayi of our Traffic Engineering Design and Operations Section at (240) 777-2190 for proper executing procedures. All costs associated with such relocations shall be the responsibility of the applicant.
10. If the proposed development will alter or impact any existing County maintained transportation system management component (i.e., traffic signals, signal poles, handboxes, surveillance cameras, etc.) or communication component (i.e., traffic signal interconnect, fiber optic lines, etc.), please contact Mr. Bruce Mangum of our Transportation Systems Engineering Team at (240) 777-2190 for proper executing procedures. All costs associated with such relocations shall be the responsibility of the applicant.
11. Prior to approval of the record plat by MCDPS, the applicant will enter into a voluntary Traffic Mitigation Agreement with this Department to promote non-auto modes of transportation by facilitating the MCDOT Division of Transit Services/Commuter Services Section's access to residents, with building management assistance, for the dissemination of information about transportation options – i.e., distribution of brochures, bus schedules, e-newsletters and conduct of periodic information-based events. Within MCDOT, the applicant should coordinate with Ms. Sandra Brecher, Chief of the Division of Transit Services/Commuter Services Section. Ms. Brecher may be contacted at 240-777-8383.

Mr. Patrick Butler  
Preliminary Plan No. 120120230  
August 24, 2012  
Page 3

12. Permit and bond will be required as a prerequisite to DPS approval of the record plat. The permit will include, but not necessarily be limited to, the following improvements:

A. Improvements to the public storm drain system, if necessitated per comment no. 5.

Thank you for the opportunity to review this preliminary plan. If you have any questions or comments regarding this letter, please contact Mr. David Adams, our Development Review Area Engineer for this project at david.adams@montgomerycountymd.gov or (240) 777-2197.

Sincerely,



Gregory M. Leck, Manager  
Development Review Team

m:/subd/gml/docs/PP/120120230, 11141 Georgia Ave.doc

Enclosure

cc: Mark Muller; M L Wheaton, LLC  
Stacy Silber; Lerch, Early, & Brewer, Chartered  
Kevin Johnson; Johnson Bernat Associates, Inc.  
Scott Newill; MSHA AMD  
Stephanie Marsnick Dickel; M-NCPPC Area 2  
Marc Lewis-DeGrace; M-NCPPC Area 2  
Catherine Conlon; M-NCPPC DARC  
Preliminary Plan folder  
Preliminary Plan letters notebook

cc-e: Atiq Panjshiri; MCDPS RWPR  
Sam Farhadi; MCDPS RWPR  
Henry Emery; MCDPS RWPR  
Sande Brecher; MCDOT DTS  
Dan Sanayi; MCDOT DTEO  
Bruce Mangum; MCDOT DTEO  
David Adams; MCDOT DTEO



Martin O'Malley, *Governor*  
Anthony G. Brown, *Lt. Governor*

Beverley K. Swaim-Staley, *Secretary*  
Melinda B. Peters, *Administrator*

June 15, 2012

Ms. Catherine Conlon, Chairwoman  
Development Review Committee (DRC)  
Maryland National Capital Park & Planning  
Commission  
8787 Georgia Ave,  
Silver Spring, Maryland 20910-3760

RE: **Montgomery County**  
**MD 97**  
**11141 Georgia Avenue**  
**SHA Tracking No: 12APMO003XX**  
**County File No: 320120030**  
**Mile Post: 3.20**

Dear Ms. Conlon:

Thank you for the opportunity to review Preliminary Plan submittal, dated May 15, 2012, for the proposed 11141 Georgia Ave sub-division in Montgomery County. The State Highway Administration (SHA) has completed the review of the submittal and offers the following comments:

1. The SHA has no objection to approval of the proposed 11141 Georgia Avenue Sub-division in Montgomery County.
2. Please note **Hydraulic Approval has been granted** in the form of a Hydraulic Waiver. No further hydraulic review is required.
3. Please provide an estimate for review for all work being done in SHA right-of-way. Once the estimate has been approved, the SHA will be in a position to determine the Surety amount (150% of base construction estimate) and Inspection and Materials Testing Reimbursement costs (if applicable).
  - *Once the surety has been determined, it will be required in the form of a Performance bond, Letter of Credit, or Certified Check (including Federal ID number or social security number on certified checks only). These must be made payable to the State of Maryland (Please note that it takes 6-8 weeks for a certified check to be returned after project completion and SHA final inspection).*
  - *Inspection and materials testing costs will be required if the cost estimate is calculated to total \$50,000.00 or more. This reimbursement cost is 15% of the base construction cost for the project. If required, payment must be in the form of a certified check made payable to the State of Maryland and include the federal ID number (or the social security number) of the account holder as well as the AMD tracking number.*
4. The SHA requires that any right-of-way or easement donation (dedication) be platted to SHA standards. These standards may be found at <http://www.marylandroads.com/etc>. Please contact Ms. Renee Rymer, Records & Research Supervisor, Office of Real Estate at 410-545-2829 or [rrymer@sha.state.md.us](mailto:rrymer@sha.state.md.us) for existing right-of-way information. Please note that any plats produced for the SHA shall be on NAD83/91 datum. Please contact Mr. Dan Sain, Assistant Division Chief, Plats and Surveys Division at 410-545-8961 or [dsain@sha.state.md.us](mailto:dsain@sha.state.md.us) for GPS control location and information. The plats must be submitted in hard copy format for review, checking and final issuance. The first plat submission shall come through the Access Management Division directly to Mr. Steven Foster attention of Mr. Kwesi Woodroffe. Subsequent plat submissions should be made directly to the Plats and Surveys Division.

My telephone number/toll-free number is \_\_\_\_\_

Maryland Relay Service for Impaired Hearing or Speech: 1.800.735.2258 Statewide Toll Free  
Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • [www.roads.maryland.gov](http://www.roads.maryland.gov)

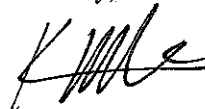
Please contact Ms. Pattianne Smith, Assistant Division Chief, Plats and Surveys Division at 410-545-8860 or [psmith11@sha.state.md.us](mailto:psmith11@sha.state.md.us) for additional information about the Donation Plat review process. Additionally, please contact Mr. Paul Lednak, Chief, District 3 Right of Way at 301-513-7466 or [PLednak@sha.state.md.us](mailto:PLednak@sha.state.md.us) for information about the Donation Deed requirements and procedures.

Once the right-of-way plat for the dedication has been approved by the state, please submit the following to this office:

- a. Fourteen (14) copies of the approved improvement plan, signing & pavement marking plan and MOT plan showing the SHA requirements.
- b. Completed application. **(The latest version of the application can be found online at <http://www.roads.maryland.gov/ohd2/Final-Permit-Application.pdf>)** c.
- c. An engineering fee check in the amount of \$50.00 for each point of access, made payable to the State of Maryland.

Please reference the SHA tracking number on future submissions. Future submissions should be made directly to Mr. Steven Foster attention of Mr. Kwesi Woodroffe. Please keep in mind that you can view the reviewer and project status via SHA Access Management Division web page at <http://www.roads.maryland.gov/pages/amd.aspx>. If you have any questions, or require additional information, please don't hesitate to contact Mr. Woodroffe at 410-545-8771, by using our toll free number in Maryland only at 1-800-876-4742 (x8771) or via email at [KWoodroffe@sha.state.md.us](mailto:KWoodroffe@sha.state.md.us).

Sincerely,



for Steven Foster, Chief  
Access Management Division

SDF/JWR/KSW

cc: Mr. K. Mark Muller, ML Wheaton, LLC, c/o Lowe Enterprise Real Estate Group East, Inc. – 1101 Connecticut Ave., NW Suite 250, Washington, DC 20036  
Ms. Stacy Silber, Lerch, Early, Brewer, Chtd. – 3 Bethesda Metro Center, Suite 460, Bethesda, MD 20814  
Ms. Jennifer March, Bonstra Haresign Architects – 1710 Connecticut Ave., NW Suite 400, Washington, DC 20009  
Mr. Paul Lednak, SHA – District 3 Right of Way  
Ms. Renee Rymer, SHA – ORE  
Mr. Dan Sain, SHA – P&SD  
Ms. Pattianne Smith, SHA – P&SD  
Mr. Scott Newill, SHA – AMD  
Mr. Mark McKenzie, SHA – AMD