

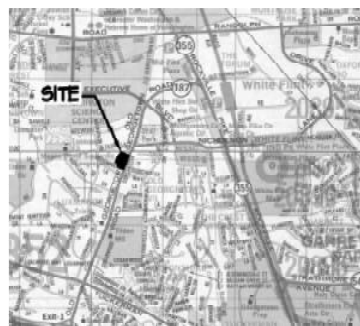
The Maryland-National Capital Park and Planning Commission

# JOSIAH HENSON PARK - FACILITY PLAN

## ARCHITECTURAL / ENGINEERING DESIGN DRAWINGS

11420 OLD GEORGETOWN RD, ROCKVILLE, MARYLAND, 20852

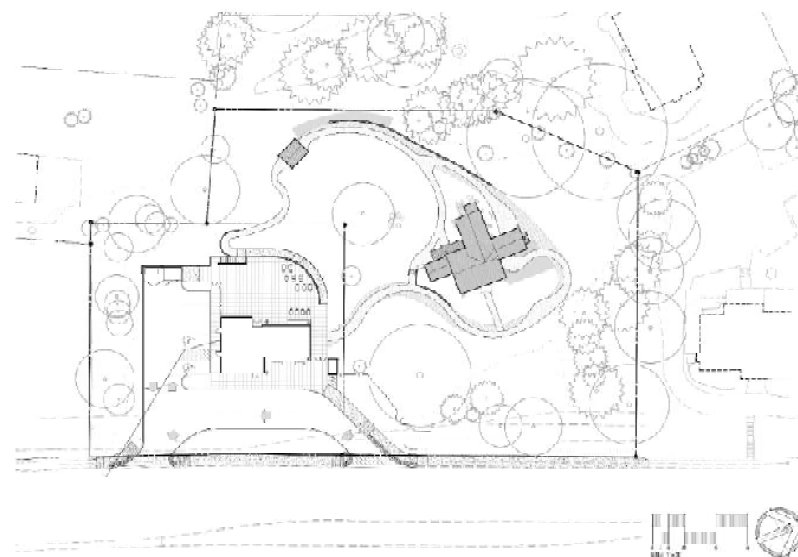
PARK CODE: L17



VICINITY MAP

**GENERAL NOTES**

- CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO GET FAMILIAR WITH THE EXISTING CONDITIONS, DIFFICULTIES AND RESTRICTIONS ASSOCIATED IN PERFORMING THE WORK REQUIRED UNDER THE CONTRACT.
- UNLESS NOTED OTHERWISE ALL WORK SHALL BE NEW AND M-NCPPC WILL NOT PROVIDE ANY EQUIPMENT, MATERIAL, OR LABOR FOR THE WORK.
- ERRORS AND OMISSIONS IN THE BID DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF M-NCPPC PRIOR TO SUBMITTING THE BID. FAILURE TO DO SO WILL NOT BE CONSIDERED AS A REASON FOR ADDITIONAL COMPENSATION.
- ALL NOTES AND DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST APPLICABLE CODES, STANDARDS AND SPECIFICATIONS OF M-NCPPC, MONTGOMERY COUNTY, MARYLAND STATE AND FEDERAL REQUIREMENTS.
- A PRE-CONSTRUCTION MEETING WILL BE SCHEDULED AND CONDUCTED BY THE CONSTRUCTION MANAGER. PRIOR TO THIS MEETING THE CONTRACTOR SHALL NOT PERFORM ANY CONSTRUCTION RELATED ACTIVITY AT THE PROJECT SITE, EXCEPT LIMITED CLEARANCE FOR STAKEOUT AND FLAGGING OF LOD. THE LOD SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND PERMITTING AGENCIES. CONSTRUCTION MANAGER MAY REQUIRE MINOR ADJUSTMENTS TO THE LOD TO REDUCE IMPACTS ON EXISTING INFRASTRUCTURE AND NATURAL RESOURCES THAT ARE TO REMAIN. THIS ADJUSTMENT SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE M-NCPPC.
- CONTRACTOR SHALL VERIFY, IN THE FIELD, ALL DIMENSIONS PROVIDED ON DRAWINGS AND SPECIFICATIONS BEFORE STARTING CONSTRUCTION ACTIVITY. IF THEY ARE DIFFERENT, CONSTRUCTION MANAGER SHALL BE NOTIFIED IN WRITING, BEFORE PROCEEDING FURTHER WITH THE WORK.
- ALL EXISTING CONDITIONS TO REMAIN SHALL BE VERIFIED, PHOTOGRAPHED AND DOCUMENTED PRIOR TO CONSTRUCTION. IF THEY ARE DIFFERENT THE CONSTRUCTION MANAGER SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK. ALL OTHER DAMAGES SHALL BE CORRECTED AND RESTORATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE M-NCPPC REQUIREMENTS AND TO THE SATISFACTION OF THE CONSTRUCTION MANAGER AT NO ADDITIONAL COST.
- PRIOR TO THE START OF CONSTRUCTION, TREE PROTECTION MEASURES SHALL BE INSTALLED AND SHALL BE MAINTAINED DURING CONSTRUCTION.
- IF IT IS DETERMINED THAT THE TREES ARE DAMAGED DURING CONSTRUCTION, A CERTIFIED ARBORIST SHALL INSPECT THEM AND SUBMIT A REPORT RECOMMENDING APPROPRIATE ACTION EITHER TO REPAIR OR REPLACE. IF APPROVED BY THE CONSTRUCTION MANAGER, CORRECTIVE WORK SHALL BE PERFORMED AT NO ADDITIONAL COST.
- LOCATION FOR STABILIZED CONSTRUCTION ENTRANCE AND ACCESS ROUTES SHALL BE IDENTIFIED AND ADJUSTED IN THE FIELD. CONSTRUCTION MANAGER SHALL PROVIDE THE APPROVAL.
- STAGING AND STORAGE AREA SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL BE SECURED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO M-NCPPC.
- ALL THE EXISTING UTILITIES AT THE PROJECT MAY NOT BE SHOWN ON THE DRAWINGS. PRIOR TO THE START OF CONSTRUCTION RELATED ACTIVITY, ALL UTILITIES WITHIN THE LOD SHALL BE LOCATED AND IDENTIFIED USING APPROPRIATE INSTRUMENTS. THE LOCATION SHALL BE STAKED AND FLAGGED.
- THE CONSTRUCTION MANAGER SHALL BE NOTIFIED IMMEDIATELY IF EXISTING UTILITIES ARE FOUND WITHIN THE WORK AREA (DURING UTILITY SURVEY) THAT ARE NOT SHOWN ON THE DRAWINGS AND THE IMPACT THE CONTRACT WORK.
- DAMAGES TO EXISTING UTILITIES SHALL BE CORRECTED IMMEDIATELY IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFFECTED UTILITY. UPON COMPLETION OF THE CORRECTIVE ACTION A COPY OF THE APPROVAL DOCUMENT FROM THE UTILITY SHALL BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL MEET CURRENT MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES STANDARDS AND DIRECTIVES. THESE SHALL BE APPROVED BY THE PERMITTING AUTHORITIES PRIOR TO THE START OF CONSTRUCTION.
- BEFORE START OF CONSTRUCTION, ON SITE REPRESENTATIVE OF THE CONTRACTOR SHALL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION.
- UPON COMPLYING WITH ALL THE APPLICABLE REQUIREMENTS STATED ABOVE, CONSTRUCTION OF THE PROJECT WITHIN THE APPROVED LOD MAY START.
- NO WORK SHALL BE PERFORMED OUTSIDE OF THE LOD. AREAS DISTURBED OUTSIDE APPROVED LOD SHALL BE RESTORED IMMEDIATELY TO THE SATISFACTION OF CONSTRUCTION MANAGER AT NO COST TO M-NCPPC.
- DURING CONSTRUCTION, THE FACILITY SHALL REMAIN OPEN FOR USE BY PARKS STAFF AND THE GENERAL PUBLIC. SAFE ACCESS FOR ALL USERS SHALL BE PROVIDED WITH APPROPRIATE DETOURS, TEMPORARY FACILITIES, SIGNAGE, ETC. AND SHALL BE APPROVED BY CONSTRUCTION MANAGER.
- DURING CONSTRUCTION, IF THE CONTRACTOR FINDS THAT CONFLICTS EXIST AMONG VARIOUS CONTRACT DOCUMENTS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
- GRADING WORK SHALL BE DONE TO PROVIDE POSITIVE DRAINAGE UNLESS OTHERWISE SHOWN.
- SURFACE ROADWAY AND PARKING AREAS SHALL BE MAINTAINED IN A CLEAN CONDITION. APPROPRIATE MEANS SHALL BE PROVIDED TO CLEAN MUD AND DUST FROM THESE AREAS. TRUCKS AND OTHER EQUIPMENT SHALL NOT TRACK MUD INTO NEARBY ROADWAYS.
- ALL PLANTING SUBSTITUTIONS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER. PLANT MATERIALS AND LOCATIONS SHALL BE INSPECTED BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION. CONSTRUCTION MANAGER SHALL BE NOTIFIED AT LEAST THREE (3) WORKING DAYS IN ADVANCE FOR INSPECTION.
- PRIOR TO VEGETATIVE STABILIZATION, TOP SOIL SHALL BE APPLIED FOR ALL DISTURBED AREAS. THIS SHALL BE IN ACCORDANCE WITH THE MONTGOMERY COUNTY "STANDARDS AND SPECIFICATIONS FOR TOPSOIL." IF ON-SITE MATERIALS DO NOT MEET REQUIREMENTS OF TOPSOIL, TILLING-IN OF CERTIFIED COMPOST TO ON-SITE SOILS TO MEET SPECIFICATIONS SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER.
- TOPOGRAPHY INFORMATION IS TAKEN FROM MONTGOMERY COUNTY GIS AND SURVEY DATA PROVIDED BY A. MORTON THOMAS, DATED JUNE, 2011.
- FIELD RUN TOPOGRAPHIC SURVEY PROVIDED BY A. MORTON THOMAS ON JUNE, 2011. SURVEY IS IN STATE PLANE DATUM NAD83/2007. BOUNDARIES SHOWN ARE DERIVED FROM DEED AND PLAT INFORMATION.
- SITE IS LOCATED IN THE CABIN JOHN WATERSHED WITHIN MONTGOMERY COUNTY. RUNOFF FROM THIS SITE DRAINS INTO THE PUBLIC STORM DRAIN SYSTEM.



Convert Historic Riley / Bolten House to Museum Use

**DRAWING INDEX**

NUM	SHEET NAME
GENERAL	
1	TITLE SHEET
SITEWORK	
2	C-SW TOPOGRAPHIC SURVEY
3	C-SW CIVIL / LANDSCAPE COVER SHEET
4	C-SW EXISTING CONDITIONS & DEMO PLAN
5	C-SW SITE PLAN
6	C-SW PLANTING PLAN
7	C-SW EARTHWORK STUDY
8	C-SW SITE DETAILS
9	C-SW SITE DETAILS
10	C-SW PLANTING NOTES AND DETAILS
HISTORIC HOUSE	
11	A-HH CODE CRITERIA - HISTORIC HOUSE
12	A-HH EXISTING BASEMENT PLAN
13	A-HH EXISTING FIRST FLOOR PLAN
14	A-HH EXISTING SECOND FLOOR PLAN
15	A-HH EXISTING ELEVATIONS
16	A-HH EXISTING BUILDING SECTIONS
17	A-HH BASEMENT DEMOLITION PLAN
18	A-HH FIRST FLOOR DEMOLITION PLAN
19	A-HH SECOND FLOOR DEMOLITION PLAN
20	A-HH BASEMENT PLAN
21	A-HH FIRST FLOOR PLAN
22	A-HH SECOND FLOOR PLAN
23	A-HH EXTERIOR ELEVATIONS
24	A-HH FIRST FLOOR REFLECTED CEILING PLAN
25	A-HH SECOND FLOOR REFLECTED CEILING PLAN
26	A-HH INTERIOR ELEVATIONS
27	A-HH BUILDING SECTIONS
28	A-HH LOG KITCHEN - ENLARGED PLAN
29	A-HH SOUTH WING PROGRAM SPACE - ENLARGED PLAN
30	S-HH GENERAL NOTES & DRAWING LIST
31	S-HH BASEMENT PLAN
32	S-HH FIRST FLOOR PLAN
33	S-HH ROOF PLAN
34	S-HH LOG KITCHEN PLAN AND SECTION
35	S-HH SOUTH WING PROGRAM SPACE PLAN AND SECTION
36	M-HH EXISTING CONDITIONS - MECHANICAL
37	M-HH EXISTING CONDITIONS - MECHANICAL
38	M-HH BASEMENT FLOOR PLAN - MECHANICAL
39	M-HH FIRST FLOOR PLAN - MECHANICAL
40	M-HH SECOND FLOOR PLAN - MECHANICAL
41	P-HH EXISTING CONDITIONS - PLUMBING
42	P-HH EXISTING CONDITIONS - PLUMBING
43	P-HH BASEMENT FLOOR PLAN - PLUMBING & FIRE PROTECTION
44	P-HH FIRST FLOOR PLAN - PLUMBING & FIRE PROTECTION
45	P-HH SECOND FLOOR PLAN - PLUMBING & FIRE PROTECTION
46	E-HH ELECTRICAL NOTES, LEGEND & ABBREVIATIONS
47	E-HH BASEMENT, FIRST FLOOR & SECOND FLOOR PLANS - LIGHTING & POWER
VISITOR ORIENTATION BUILDING	
48	A-VOB CODE CRITERIA - VISITOR BUILDING
49	A-VOB FIRST FLOOR PLAN
50	A-VOB ROOF PLAN
51	A-VOB EXTERIOR ELEVATIONS
52	A-VOB SITE SECTIONS

**- SEDIMENT CONTROL/STORMWATER MANAGEMENT CERTIFICATION -**

**OWNER'S/DEVELOPER'S CERTIFICATE**

"I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the cubic yards of excavation, cubic yards of fill and the total area to be disturbed as shown on these plans has been determined to be \_\_\_\_\_ square feet."

Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Printed Name and Title \_\_\_\_\_

**CERTIFICATION OF THE QUANTITIES**

"I hereby certify that the amount of excavation and fill as shown on these plans has been computed to be \_\_\_\_\_ cubic yards of excavation, \_\_\_\_\_ cubic yards of fill and the total area to be disturbed as shown on these plans has been determined to be \_\_\_\_\_ square feet."

Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Printed Name \_\_\_\_\_ Registration Number \_\_\_\_\_

Note: The earthwork cut and fill quantities and the area of disturbance indicated in this certificate are calculated for the purpose of plan Approval and should not be used for contractual obligations.

**DESIGN CERTIFICATION**

"I hereby certify that this plan has been prepared in accordance with the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control", Montgomery County Department of Permitting Services Executive Regulations 5-90, 7-02AM and 35-90, and Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria", dated August 1988."

Design Engineer Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Printed Name \_\_\_\_\_ Registration Number \_\_\_\_\_

**MAINTENANCE CERTIFICATION**

"I hereby certify that the M-NCPPC Montgomery County Department of Parks will assume non-structural maintenance responsibilities for all stormwater management (SWM) structures as listed and shown, hereon, in accordance with the Right of Entry between M-NCPPC and the Department of Environmental Protection dated 05/07/2007. If, for any reason, future improvements on park land are planned that would impact any of the SWM facilities included herein, M-NCPPC will notify the Department of Environmental Protection during the facility planning/preliminary design stages for such improvements."

Montgomery County Department of Parks \_\_\_\_\_ Date \_\_\_\_\_

**ADA COMPLIANCE CERTIFICATION**

The design of this project has incorporated facilities for the elderly and handicapped in compliance with the County, State and Federal Legislation.

Design Engineer \_\_\_\_\_ Date \_\_\_\_\_

**RELATED REQUIRED PERMITS**

IT IS THE RESPONSIBILITY OF PERMITTEE/OWNER OF THIS SITE TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ISSUANCE OF THE APPROVED SEDIMENT CONTROL PERMIT

TYPE OF PERMIT	REQ'D	NOT REQ'D	PERMIT #	EXPIRATION DATE	WORK RESTRICTION DATES
MCDPS Floodplain District					
Waterway/Wetland(s)					
Corps of Engineers					
MDE					
MDE Water Quality Certification					
MDE Dam Safety					
N.P.D.E.S. NOTICE OF INTENT					
Site Access Permit					
Others (list)					

**SYMBOL LEGEND**

VIEW NUMBER: A000 SHEET NUMBER: XXXXXX VIEW NAME: VIEW SCALE: 1/4" = 1' - 0"

BUILDING & PARTIAL SECTION CALLOUT: ROOM NAME, ROOM NUMBER, ROOM NUMBER TAG

WALL SECTION CALLOUT: COLUMN NUMBER, WALL TYPE

DETAIL CALLOUT: DOOR NUMBER, WINDOW NUMBER, REVISION DELTA

EXTERIOR ELEVATION CALLOUT: ELEVATION DESIGNATION

INTERIOR ELEVATION CALLOUT: KEYNOTE, CENTERLINE

LEVEL: LEVEL NAME, DATUM, NORTH ARROW

NOT FOR CONSTRUCTION

**lscdesign**  
architects engineers

1110 East Princess St  
York, Pennsylvania 17403  
t: 717.845.8383  
f: 717.852.0916

DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. \_\_\_\_\_  
 Expiration Date \_\_\_\_\_



The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks  
 9500 Brunnet Avenue  
 Silver Spring, Maryland 20901  
 (301) 495-2535

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

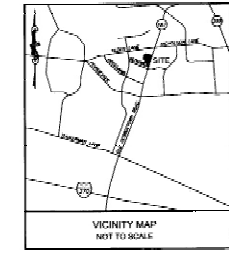
ISSUED FOR PROCUREMENT ON _____		
REVISIONS		
Rev. No.	Date	Description

**Josiah Henson Park - Facility Plan**  
 11420 Old Georgetown Road, Rockville, MD 20852

RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

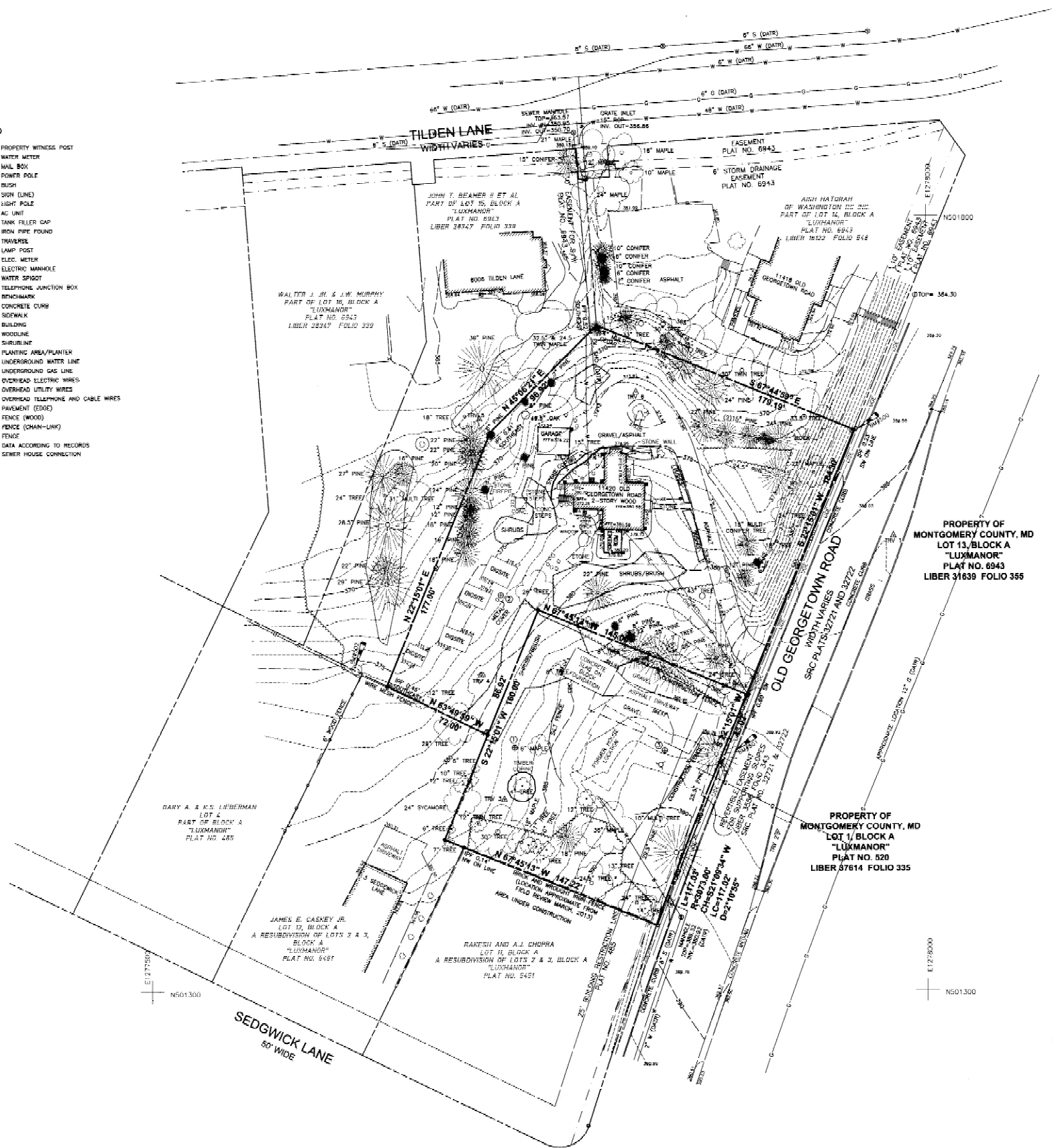
**TITLE SHEET**

SHT. # 1 of 52  
 MAY 28, 2013



**LEGEND**

Symbol	PROPERTY WITNESS POST
Symbol	WATER METER
Symbol	MAIL BOX
Symbol	POWER POLE
Symbol	BUSH
Symbol	SIGN (LINE)
Symbol	LIGHT POLE
Symbol	AC UNIT
Symbol	TANK FILLER CAP
Symbol	IRON PIPE FOUND
Symbol	TRAVELER
Symbol	LAMP POST
Symbol	ELEC. METER
Symbol	ELECTRIC MANHOLE
Symbol	WATER SPIGOT
Symbol	TELEPHONE JUNCTION BOX
Symbol	BENCHMARK
Symbol	CONCRETE CURB
Symbol	SIDEWALK
Symbol	BUILDING
Symbol	WOODLINE
Symbol	SURFLINE
Symbol	PLANTING AREA/PLANTER
Symbol	UNDERGROUND WATER LINE
Symbol	UNDERGROUND GAS LINE
Symbol	DWC
Symbol	OVERHEAD ELECTRIC WIRES
Symbol	OVERHEAD UTILITY WIRES
Symbol	OVERHEAD TELEPHONE AND CABLE WIRES
Symbol	PAVEMENT (EDGE)
Symbol	FENCE (WOOD)
Symbol	FENCE (CHAIN-LINK)
Symbol	FENCE
Symbol	DATA ACCORDING TO RECORDS
Symbol	SEWER HOUSE CONNECTION



- GENERAL NOTES**
- LOT INFORMATION:  
MONTGOMERY COUNTY  
LOT 1, BLOCK A  
"LUXMANOR"  
PLAT NO. 520  
AREA=23,290 SQ. FT.  
PLAT DATE: DECEMBER 8, 1984  
LIBER: 57814 FOLIO: 335  
DISTRICT: 04 ACCOUNT NO.: 0085082  
  
MONTGOMERY COUNTY  
LOT 13, BLOCK A  
"LUXMANOR"  
PLAT NO. 6943  
AREA=44,350 SQ. FT.  
PLAT DATE: APRIL, 1982  
LIBER: 51659 FOLIO: 355  
DISTRICT: 04 ACCOUNT NO.: 0084351
  - ZONING:  
R2000 ONE FAMILY RESIDENTIAL ZONE
  - SETBACKS:  
FRONT: 40' OR ESTABLISHED BUILDING LINE (EOL) WHICHEVER IS GREATER  
REAR: 20'  
SIDEWALK TOTAL 25'; ONE 50C 12' DEVELOPMENT STANDARDS FOR 2-200 ZONE
  - HEARINGS SHOWN HEREON ARE BASED UPON MARYLAND STATE PLANE NAD 83/2007 DATUM
  - HORIZONTAL DATUM: MARYLAND STATE PLANE NAD 83/2007  
VERTICAL DATUM: NAVD 88  
BASED ON RTK GPS OBSERVATIONS
  - UTILITY DESIGNATION WAS PERFORMED BY A. MORTON THOMAS AND ASSOCIATES, INC.
  - GIS AND IMAGING WERE USED TO ESTABLISH THE REMAINING FOOTPRINTS OF THE ADJOINING HOUSES.

- UTILITY ABANDONMENT NOTES**
- NO PHYSICAL EVIDENCE OF THE ABANDONED UTILITIES WERE OBSERVABLE, THE LOCATIONS ARE BASED ON A PLAN PROVIDED TO AMT FROM M-HORPC
- A SEPTIC TANK THAT WAS LOCATED BEHIND THE FORMER HOUSE LOCATION WAS ABANDONED ON MAY 26, 2011
  - THE BELOW CALLOUTS REFER TO 2 ABANDONED WELLS.
    - ⊙ DRY WELL ABANDONED ON MAY 26, 2011
    - ⊙ WELL WAS ABANDONED ON MAY 20, 2010
    - ⊙ WELL WAS ABANDONED ON JULY 21, 2010

**SURVEY CONTROL DATA**

TRaverse	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	501283.229	1277876.773	386.07	REBAR AND CAP
2	501407.880	1277903.240	386.29	REBAR AND CAP
3	501423.952	1277727.331	382.47	REBAR AND CAP
4	501524.081	1277712.517	382.83	REBAR AND CAP
5	501929.484	1277711.842	387.43	REBAR AND CAP
6	501868.082	1277812.840	373.83	REBAR AND CAP

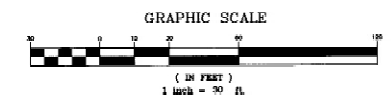
  

BENCHMARK	ELEVATION	DESCRIPTION
500	385.08	RAILROAD SPIKE IN POWER POLE
501	387.78	SQUARE CUT ON BACK OF CURB SOUTH SIDE OF DRIVEWAY ENTRANCE
502	377.71	MAG NAIL SET IN LARGE STUMP

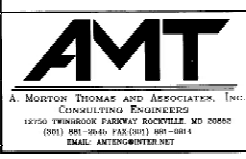
**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THIS BOUNDARY/TOPOGRAPHIC SURVEY WAS ESTABLISHED BY A TOTAL STATION SURVEY ACTUALLY MADE ON THE GROUND AND THAT ALL INFORMATION IS CORRECT; THAT THIS SURVEY CORRECTLY SHOWS THE LOCATION AND ELEVATIONS OF THE BUILDING AND SITE IMPROVEMENTS; THAT THE PROPERTY MONUMENTS WERE FOUND AS NOTED HEREON; AND THAT THE BOUNDARY LINES AND TITLE LINES ARE IN ACCORDANCE WITH THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.

*David B. Shantz*  
DAVID B. SHANTZ  
PROPERTY LINE SURVEYOR  
MONTGOMERY REG. NO. 316  
EXPIRES 9-10-2014



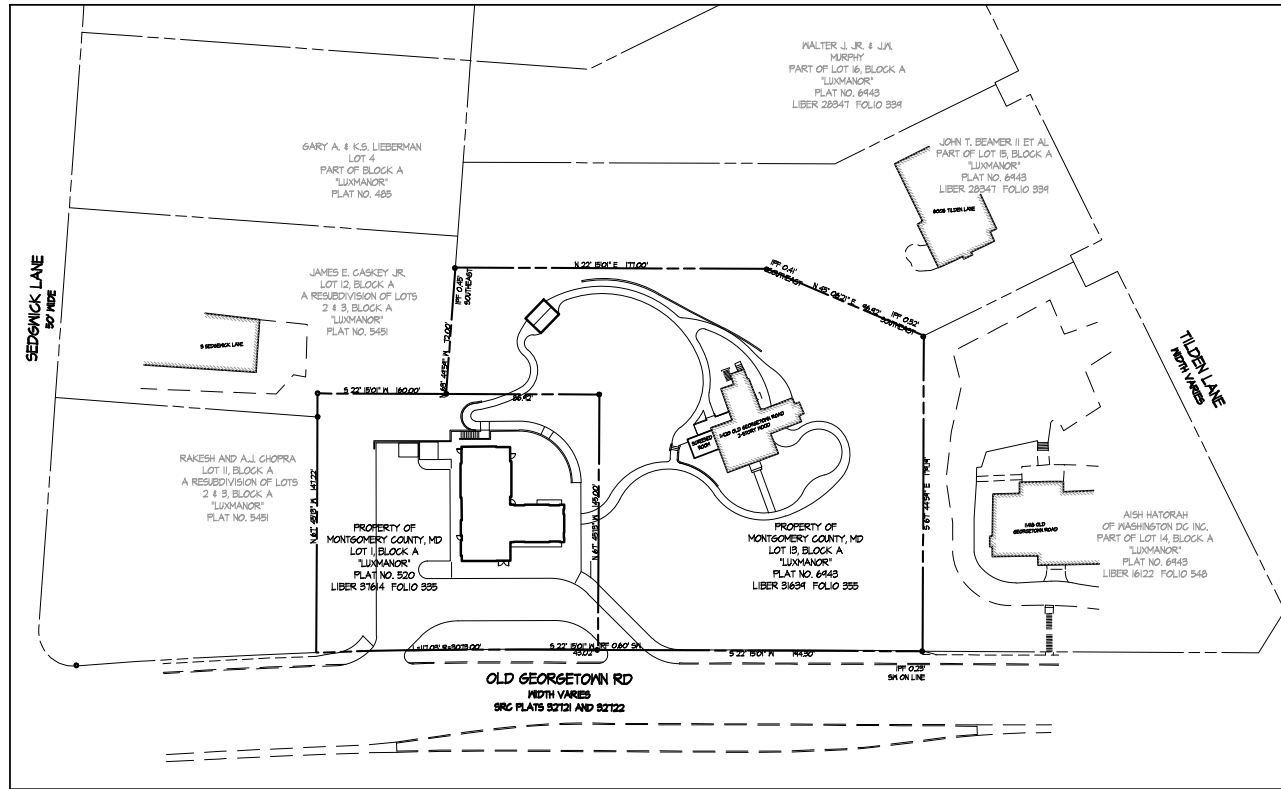
**NOT FOR CONSTRUCTION**



REV.	DATE	BY	DESCRIPTION	APP'D.
RES.	SGL			
SURV.	AMT			
COMP.	SGL			
REV.	N/A	3-26-13	REVISED DRAWING PER PDDO REVIEW COMMENTS	JV DBS
REV.	N/A	4-08-13	REVISED DRAWING PER PDDO REVIEW COMMENTS	SGL DBS
REV.	SGL	9-02-11	ADDED SANITARY SEWER MANHOLE	SGL DBS
REV.	SGL	7-27-11	REVISED TREE SIZES AND ADDED TREES TO SURVEY	SGL DBS
CHK.	DBS	6/25	REVISION	BY APP'D.

TOPOGRAPHIC SURVEY		SCALE	CONTOUR INTERVAL	A.M.T. FILE NO.
<b>RILEY HOUSE / JOSIAH HENSON SITE</b>		1 in. = 30 ft.	1 FOOT	110-046.001
11410 & 11420 OLD GEORGETOWN ROAD		DATE	TAX MAP NO.	SHT.# 2 of 52
4TH ELECTION DISTRICT		JUNE 2011	0051	MAY 28, 2013
MONTGOMERY COUNTY, MARYLAND				

C-SW



**PROJECT SITE**  
SCALE: 1" = 50'

**GENERAL NOTES** (THESE NOTES PERTAIN TO ALL CIVIL DRAWINGS)

- EXISTING INFORMATION AND CONDITIONS NOT GUARANTEED; VERIFY AND TEST PIT EXISTING UTILITIES.** The correctness and completeness of the information showing existing conditions is not guaranteed. Before beginning construction, the Contractor shall perform the following tasks:
  - Notify Miss Utility at 1-800-257-7171, and make sure they complete the marking of utilities within the limits of construction at least 48 hours prior to installing sediment control measures. Maintain all markings throughout construction. The Contractor shall also include in his bid price marking of on-site utilities that might not be marked by MISS Utility; the contractor shall either mark these on-site utilities himself or by subcontracting with a private on-site utility location company.
  - Verify the general accuracy of the existing conditions shown on the site drawings by visual inspection of the surface of the site and all existing structures, paving and utility appurtenances visible thereon;
  - With regard to the structures & appurtenances observed as required per item (b) above, determine the type, size, location and elevation of all those existing utilities (including but not limited to all storm drains, sanitary lines, water lines, gas lines, steam lines, electric lines, telephone lines, and communication ducts, and all manholes, inlets, clean-outs, valves, handholes, etc. related thereto) within the limits of construction in order to: (i) avoid damaging or disrupting service, and (ii) to coordinate and facilitate construction of proposed utilities and other improvements. In addition to the Contractor's visual observation and the utility marking (as required above), the contractor shall schedule and complete Test Pitting of all existing utilities (for the purposes set forth above) and shall do so in a timely manner in order to allow time for analysis and redesign by Site Resources and/or other consultants, without delaying the project schedule.
  - Immediately report to M-NCPPC Construction Manager the results of steps (a), (b) and (c) which might indicate any discrepancy between actual conditions and those shown on the plan, and any potential conflicts between proposed improvements and existing condition.

**Test pitting defined:** For the purposes of this contract, excavation of utility trenches does not constitute test pitting. Test pitting is a separate operation completed at least seven days before utility installation is scheduled to begin. Test pitting means excavation to expose existing utilities in two situations: (i) where proposed improvements cross existing utilities (pipes, lines, structures, appurtenances) and; (ii) where proposed utilities are designed to connect to existing utilities. Test pitting includes recording the type, size, location and elevation of the exposed utilities, and faxing and mailing the record to Site Resources, Inc. and the Owner. The record may be a legible hand-written field sketch.
- EXISTING AND PROPOSED GAS LINES, ELECTRIC LINES, TELEPHONE LINES, COMMUNICATION LINES AND OTHER UTILITIES.** Existing and proposed gas lines, steam lines, electric lines, telephone lines, communication ducts and other such utilities are NOT part of the scope of work shown on these site plans and Site Resources, Inc. has no responsibility for design, specification or installation of said utilities. To the extent that some or all of such utilities (whether existing or proposed) appear on the site drawings, the correctness and completeness of the information showing these utilities is not guaranteed.
- COORDINATION BETWEEN PROPOSED UTILITIES:** The contractor shall adjust the location and elevation of proposed gas lines, electric lines, telephone lines, communication lines, and water lines as needed to construct the proposed storm drains and sanitary sewer with minimum clearances. Coordinate with the Mechanical/Electrical Drawings and Specifications and appropriate utility company.
- RELOCATION OF EXISTING UTILITIES:** In the event that the location or elevation of existing minor underground electric lines and phone lines conflict with proposed storm drains, sanitary sewer lines or water lines, the contractor shall, with the permission of the owner and without an extra cost to the project, adjust these lines to permit installation of the new utilities. In the event that any other utility must be relocated to accommodate a new utility, contact the M-NCPPC Construction Manager prior to starting relocation work.
- UTILITIES TO REMAIN OPERATIONAL; ADJUSTMENT FOR FINAL GRADE:** All existing utilities shall be retained unless marked otherwise. Existing utilities not to be removed are to remain operational at all times. Existing utilities to be replaced or relocated shall remain in service until replaced or relocated utilities are operational. All existing utility appurtenances shall be adjusted for final grade.
- UTILITY TRENCHING, BACKFILL AND COMPACTION:** All trenching for sanitary sewer, storm drains and water mains shall be done in accordance with the latest edition of the Montgomery County Specifications for Utility Construction Permit; however, backfill and compaction for sanitary sewer, storm drain and water mains shall be as stated in the contract specifications.
- UTILITY CERTIFICATION:** The Contractor shall have a professional engineer registered in the State of Maryland certify, on a form provided by the Owner, that all proposed storm drains, sanitary sewers and water lines shown hereon were installed in accordance with these plans and Montgomery County specifications. If said Certification is not possible because the utilities were not installed in accordance with these plans and Montgomery County specifications, then the Owner has the option of waiving, in writing, this Certification, in whole or part. If the Owner does not elect to waive the Certification, the Contractor shall adjust and, if necessary, reconstruct the utilities to bring them in conformance with these plans and Montgomery County specifications.
- UTILITY CAPPING AND PROTECTION:** All building connections shall be capped at upstream end 5 feet from proposed buildings, caissons or column footings or as noted, and shall be protected by providing three stakes (the height being a minimum of 18 inches above proposed grade) with high visibility flagging around the capped end of the utility.
- PROPOSED WATER LINES:** Proposed water lines shall have a minimum of 4'-0" cover from finished grade, 1'-0" clearance from storm drains and 1'-0" clearance from sanitary sewers, unless otherwise noted on the plans. All water lines shall be Type K copper tubing meeting the material, chemical, and mechanical requirements of ASTM B-88.
- PROPOSED STORM DRAINS:** All storm drains 12 inches and larger shall be class IV reinforced concrete culvert pipe (RCCP) unless indicated otherwise on these construction drawings.
- PROPOSED SANITARY SEWERS:** All pipe and fittings for sanitary house connection shall be polyvinyl chloride (PVC) meeting material requirements of ASTM D3034, (SDR-35). Joints shall be elastomeric gasketed.
- STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS:** Unless otherwise noted or detailed on the drawings, all construction shall follow the latest edition of the Montgomery County Specifications for Utility Construction Permit or as detailed on the drawings.
- SEDIMENT CONTROL:** The contractor shall coordinate installation of all utilities to avoid construction problems/conflicts with sediment and erosion control measures. Any disturbance to sediment and erosion control measures shall be repaired at the end of each working day. Contractor shall, without extra cost to the project, repair and maintain existing sediment control devices until all areas within limits of construction are stabilized. With the approval of sediment control inspector, all sediment control devices shall be removed and areas restored and stabilized. All sediment control measures referred to on these plans shall be in accordance with the publication entitled 2011 Maryland Standards and Specifications For Soil Erosion and Sediment Control.
- DISTURBED AREAS:** All areas disturbed by the contractor during or prior to construction, not designated to receive paving mulch or solid sod shall be fine graded, seeded and mulched in accordance with the permanent seeding notes and specifications shown on the Sediment Control drawings.
- REPAIR AND REPLACEMENT OF DAMAGE CAUSED BY CONTRACTOR AND SUBCONTRACTORS:** In the event that the contractor or any of his subcontractors damage any existing curb, gutter, paving, utilities, sidewalks, trees, shrubs, lawns, or any other existing conditions (not indicated to be demolished), or any newly installed proposed improvement, the general contractor shall repair and replace said damage to owner's satisfaction, at general contractor's sole cost and expense.
- BENCHMARKS:** See Grading and Sediment Control Plan.
- ELEVATION AND LABELING:** All spot grade elevations in roadways and parking lots are for bottom of curb unless otherwise noted. Elevations on hard surfaces (roads, walks, walls, steps, manholes, inlets, etc.) are labeled to the hundredth of a foot (e.g. 245.45). Elevations on proposed lawn and planting areas are labeled to the tenth of a foot (e.g. 245.5).
- DIMENSIONS:** Unless otherwise noted on the drawings, all dimensions shown on the site drawings follow these conventions:
  - dimensions to a building or retaining wall are to the face of the wall;
  - dimensions to a curb are to the face (not the back) of the curb;
  - dimensions to a fence are to the centerline of the fence;
  - dimensions for sidewalks abutting a curb are from the face of curb to the back edge of the walk;
  - dimensions for other sidewalks or open paving sections are measured to the edge of paving.
- GRADING:** It is the intent of the grading design to achieve positive drainage and smoothly transitioning vertical curves and lines. Transitions between existing and proposed pavement shall be smooth and joints flush. Unless otherwise expressly noted on the plan (by arrow with the percent slope labeled), all proposed bituminous paving shall have a slope of at least 2 percent and all concrete shall have a minimum slope of 1.5 percent in the direction indicated by proposed contours. Unpaved areas shall have a maximum slope of 3:1. Final grading shall achieve positive surface drainage away from buildings and toward drainage facilities (swales, gutters, inlets, etc.).
 

Round top and bottom of slopes.

Correct Method

Incorrect Method

Incorrect Method
- COMPACTION:** All earth fill material under slabs, footings and paved areas shall be placed in 8" loose layers and compacted to 95% of maximum dry density at optimum moisture content as determined by ASTM D 698. All other fill shall be compacted to 90%.
- HEADINGS:** The headings contained in these General Notes are for the convenience of the reader only and shall not limit the responsibility of the Contractor. It shall be distinctly understood that failure to mention specifically any work which would normally be required to complete the project shall not relieve the Contractor from completing such work.
- ABBREVIATIONS:**

AGIP	At-grade Inlet Protection	M or MH	Manhole
NO	Number		
BC	Bottom of Curb	OHN	Overhead Wires
BF	Basement Floor Elevation	PC	Point of Curvature
BIT	Bituminous	PI	Point of Intersection
B5	Bottom of Step	PROP	Proposed*
BM	Bottom of Wall	PS	Parking Space
C&G	Concrete Curb & Gutter	PT	Point of Tangency
CI	Curb Inlet Protection	PVC	Polyvinyl Chloride Pipe
CMP	Corrugated Metal Pipe	RCCP	Reinforced Concrete Pipe
COIP	Combination Inlet Protection	RFS	Removable Paving Station
CONC	Concrete	SAN	Sanitary Sewer
DIP	Ductile Iron Pipe	SCE	Stabilized Construction Entrance
ED	Earth Dike	SD	Storm Drain
EX	Existing	SFD	Super Fence Diversion
FB	Filter Bag	SID	Standard Inlet Protection
FDC	Fire Department Connection	SP	Sump Pit
FF	Finished Floor Elevation	SSF	Super Silt Fence
FH	Fire Hydrant	TC	Top of Curb
HC	Handicapped Parking Space	TS	Top of Step
HDPE	High Density Polyethylene Pipe	TSOS	Temporary Stone Outlet Structure
I	Inlet	TN	Top of Wall
IB	Inlet Blocking	TYP	Typical
INV	Invert Elevation		
IPF	Iron Pin Found		

\*Proposed means work included in the base contract unless accompanied by the phrases "N.G." or "By Others."
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):** It is the contractor's responsibility to implement all the provisions and requirements of the NPDES permit. The permit has been applied for by the Owner, but no land disturbance is permitted until the NPDES permit has been issued.
- All sidewalks, paths and other paved areas shall be finish graded with a maximum longitudinal slope of 4.8% and a maximum cross slope of 1.8% unless otherwise noted.
- It is the contractor's responsibility to ensure that all site elements are constructed in accordance with the ADA 2010 Standards for Accessible Design or most current revision.

**ASPHALT TRAIL REMOVAL WITHIN A TREE'S CRITICAL ROOT ZONE SEQUENCE**

- THE CONTRACTOR SHALL MEET WITH THE PARK URBAN FORESTER AND CONSTRUCTION INSPECTOR PRIOR TO REMOVAL OF THE ASPHALT TRAIL TO DISCUSS METHODS TO BE USED.
- THE EXISTING TOP LAYER OF ASPHALT SHALL BE PEELED AWAY WITHOUT DISTURBING THE GROUND OR MATERIAL BENEATH. IF A BASE COURSE OF ROCK IS BENEATH THE ASPHALT THE ROCK SHALL BE LEFT IN PLACE.
- DURING THE REMOVAL OF THE ASPHALT LAYER GREAT CARE SHALL BE TAKEN TO NOT DISTURB EXISTING TREE ROOTS ALONG OR UNDER EXISTING ASPHALT. EXISTING TREE ROOTS GREATER THAN 1" IN DIAMETER ENCOUNTERED DURING THE REMOVAL PROCESS SHALL NOT BE CUT UNLESS APPROVED BY THE M-NCPPC URBAN FORESTER.
- EQUIPMENT SHALL REMAIN ON EXISTING ASPHALT DURING THE REMOVAL PROCESS. EQUIPMENT SHALL NOT TRAVERSE OVER AREAS WHERE ASPHALT HAS BEEN REMOVED IN ORDER TO PROTECT EXPOSED TREE ROOTS.
- REMOVAL OF THE EXISTING ASPHALT TRAIL SHALL BE DONE UNDER SUPERVISION OF THE M-NCPPC URBAN FORESTER AND THE CONSTRUCTION INSPECTOR.
- PLACE 3" OF AGED HARDWOOD MULCH OVER AREA WHERE TRAIL WAS REMOVED

**SITE RESOURCES**  
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Comprehensive Land Planning & Site Design Services  
14315 Jarrettsville Pike • Phoenix, Maryland 21131  
(410) 683-3388 • fax (410) 683-3389

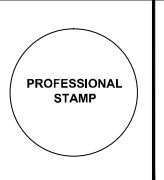
**lscdesign**  
architects engineers  
1110 East Princess St  
York, Pennsylvania 17403  
t: 717.845.8383  
f: 717.852.0916

DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

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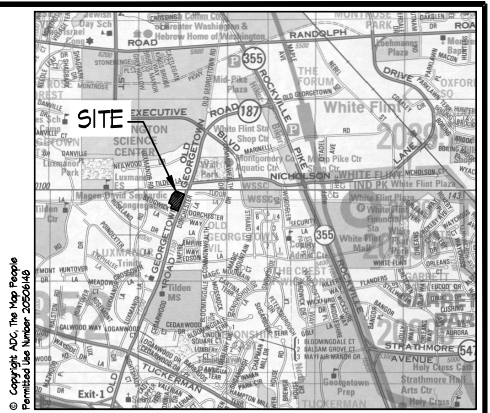
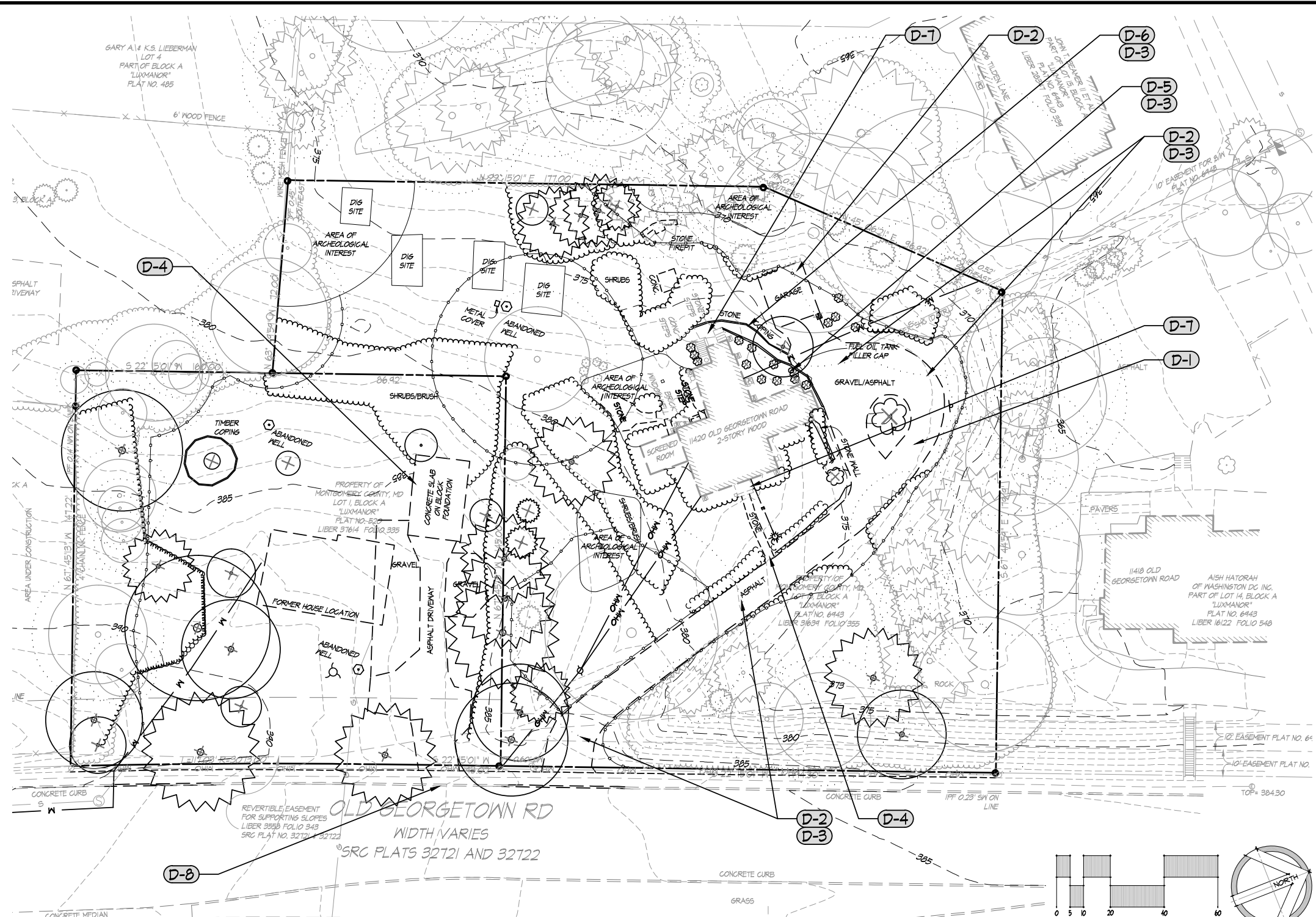
REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REVISIONS		
Rev. No.	Date	Description

**Josiah Henson Park - Facility Plan**  
11420 Old Georgetown Road, Rockville, MD 20852  
RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN  
**CIVIL / LANDSCAPE COVER SHEET**

**C-SW**  
SHT. # 3 of 52  
MAY 28, 2013

NOT FOR CONSTRUCTION



VICINITY MAP 1"=2000'

**SURVEY REFERENCE NOTES:**

- PLAN INFORMATION REFLECTED ON THIS PLAN WAS TAKEN FROM THE FOLLOWING SOURCES:
- TOPOGRAPHIC AND BOUNDARY SURVEY DATA ARE TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY RILEY HOUSE / JOSIAH HENSON SITE" PREPARED BY AMT, INC., DATED JUNE 2011 AND REVISED THROUGH JULY 21, 2011.
  - LOT INFORMATION: MONTGOMERY COUNTY LOT 1, BLOCK A "LUXMANOR" PLAT NO. 5320 AREA=29,294 SQ. FT. PLAT DATE, DECEMBER 6, 1964 LIBER. 37614 FOLIO: 335 DISTRICT: 04 ACCOUNT NO. 0085082  
MONTGOMERY COUNTY LOT 19, BLOCK A "LUXMANOR" PLAT NO. 6943 AREA=44,350 SQ. FT. PLAT DATE, APRIL, 1962 LIBER. 31634 FOLIO: 355 DISTRICT: 04 ACCOUNT NO. 0084351
  - ZONING: R200 ONE FAMILY RESIDENTIAL ZONE
  - SETBACKS: FRONT: 40' OR ESTABLISHED BUILDING LINE (EBL) WHICHEVER IS GREATER REAR: 30' SIDEYARD: TOTAL 25'; ONE SIDE 12' DEVELOPMENT STANDARDS FOR 2-200 ZONE
  - BEARINGS SHOWN HEREON ARE BASED UPON MARYLAND STATE PLANE NAD 83/2007 DATUM
  - HORIZONTAL DATUM, MARYLAND STATE PLANE NAD 83/2007 BASED ON RTK GPS OBSERVATIONS VERTICAL DATUM: NAVD 88 BASED ON RTK GPS OBSERVATIONS

**SURVEY CONTROL DATA:**

TRaverse	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	50193.354	127178.715	386.07	REBAR AND CAP
2	50140.260	1271703.240	388.24	REBAR AND CAP
3	501423.852	1271121.231	382.41	REBAR AND CAP
4	501504.051	1271121.511	380.63	REBAR AND CAP
5	501664.484	1271111.842	367.43	REBAR AND CAP
6	501686.582	1271812.840	373.93	REBAR AND CAP

BENCHMARK	ELEVATION	DESCRIPTION
500	385.08	RAILROAD SPIKE IN POWER POLE
501	387.16	SQUARE CUT ON BACK OF CURB SOUTH SIDE OF DRIVEWAY ENTRANCE
502	371.71	MA6 NAIL SET IN LARGE STUMP

**GENERAL NOTE:**

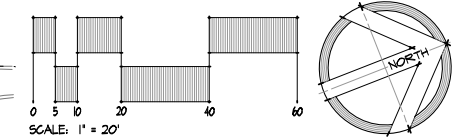
REFER TO DRAWING C-0-01 FOR INSTRUCTION ON ASPHALT TRAIL REMOVAL WITHIN A TREE'S CRITICAL ROOT ZONE.

**DEMOLITION NOTES:**

- (D-1)** REMOVE ASPHALT AND HULL OFF
- (D-2)** REMOVE ALL ITEMS INCLUDING ASPHALT PAVING AND CONCRETE PAD BY HAND UNDER CRITICAL ROOT ZONE AND HULL OFF
- (D-3)** COORDINATE ALL WORK IN CRITICAL ROOT ZONE WITH OWNER & ARBORIST.
- (D-4)** REMOVE CONCRETE AND HULL OFF
- (D-5)** REMOVE EXISTING OIL TANK AND DISPOSE OF PER CURRENT REGULATIONS
- (D-6)** REMOVE STONE AND LANDSCAPE TIMBERS. STORE STONES ON SITE PER OWNER'S INSTRUCTION. DISPOSE OF TIMBERS.
- (D-7)** PRESERVE EXISTING STOOP, STEPS, AREAWAY. SEE ARCHITECTURAL DWGS FOR ADDITIONAL INFORMATION.
- (D-8)** SAW CUT AND REMOVE EXISTING CONCRETE CURB & GUTTER AND SIDEWALK.

**LEGEND:**

	PROPERTY LINE		EXISTING TREES TO BE REMOVED		EXISTING GAS TO BE REMOVED		EXISTING FENCE TO BE REMOVED
	EXISTING CONTOURS		EXISTING SHRUBS TO BE REMOVED		EXISTING GAS TO REMAIN		EXISTING FENCE TO REMAIN
	EXISTING TREELINE TO REMAIN		EXISTING SHRUBS TO REMAIN		EXISTING ELECTRIC TO BE REMOVED		EXISTING BUILDING TO REMAIN
	EXISTING TREELINE TO BE REMOVED		EXISTING WALK TO REMAIN		EXISTING ELECTRIC TO REMAIN		EXISTING BUILDING TO BE REMOVED
	CRITICAL ROOT ZONE		EXISTING ROAD TO REMAIN		EXISTING OVERHEAD ELECTRIC TO BE REMOVED		TREE PRESERVATION AREA
	EXISTING TREES TO REMAIN		EXISTING CURB TO REMAIN		EXISTING OVERHEAD ELECTRIC TO REMAIN		EXISTING LIGHTING TO BE REMOVED
	EXISTING STORM DRAIN TO REMAIN		EXISTING CURB TO BE REMOVED		EXISTING LIGHTING TO REMAIN		
	EXISTING STORM DRAIN TO BE REMOVED						
	EXISTING WATER TO REMAIN						
	EXISTING WATER TO BE REMOVED						
	EXISTING SANITARY SEWER TO REMAIN						
	EXISTING SANITARY SEWER TO BE REMOVED						



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DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

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The Maryland-National Capital Park and Planning Commission  
 Montgomery County Department of Parks  
 9500 Brunnet Avenue  
 Silver Spring, Maryland 20901  
 (301) 495-2535

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REVISIONS		
Rev. No.	Date	Description

**Josiah Henson Park - Facility Plan**  
 11420 Old Georgetown Road, Rockville, MD 20852  
 RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

**EXISTING CONDITIONS & DEMOLITION PLAN**

C-SW  
 SHT. # 4 of 52  
 MAY 28, 2013

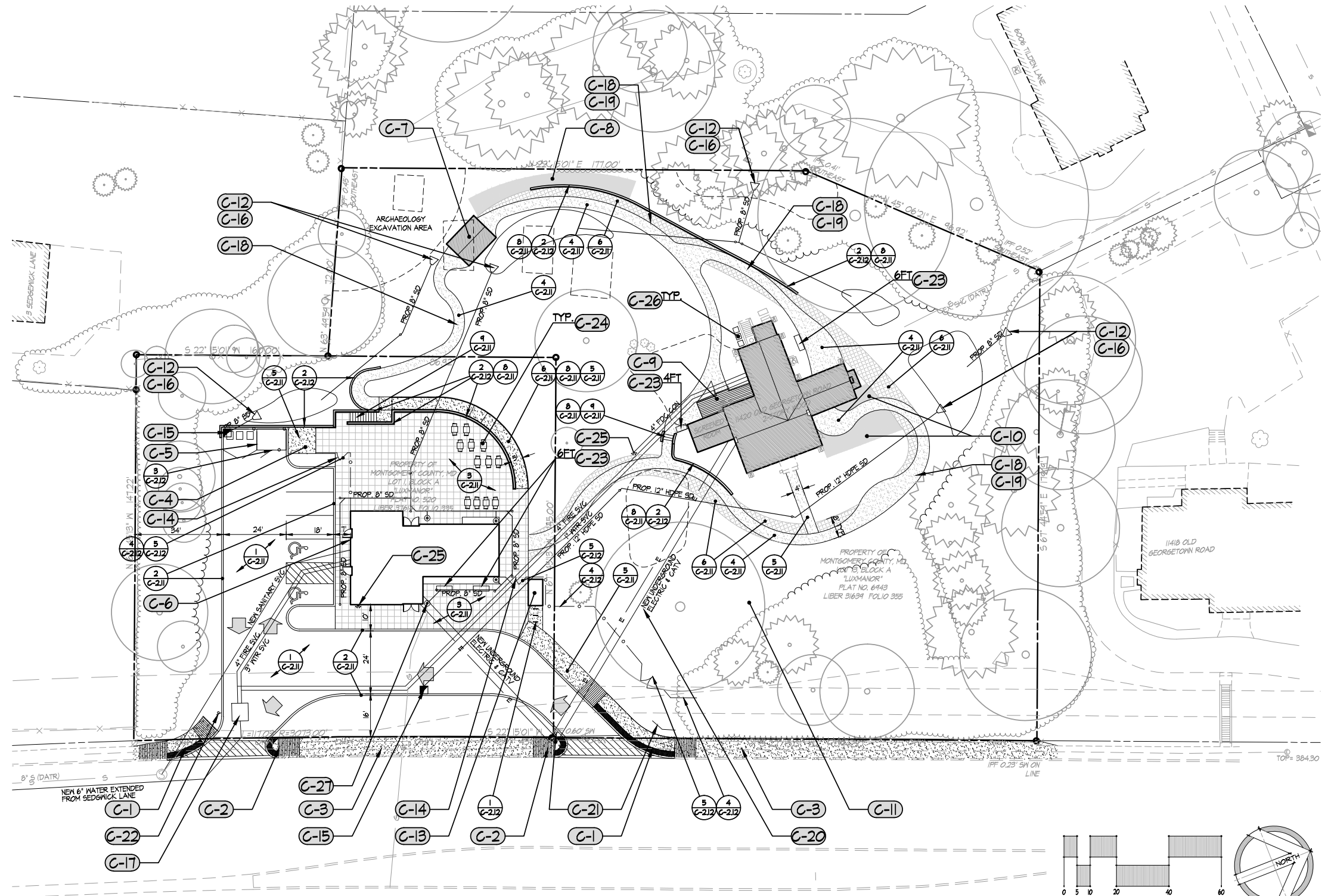
NOT FOR CONSTRUCTION

GENERAL NOTE:

REFER TO EXHIBIT DESIGN DRAWINGS FOR ALL OUTDOOR MUSEUM INTERPRETIVE GRAPHIC SIGNS AND OTHER OUTDOOR EXHIBIT DETAILS.

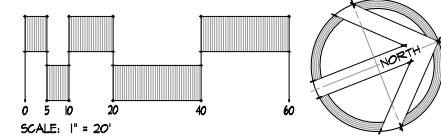
CONSTRUCTION NOTES:

- C-1 INSTALL CURB RAMP PER MSHA DETAIL MD 655.12 SIDEWALK RAMP PARALLEL.
- C-2 INSTALL CURB RAMP PER MSHA DETAIL MD 655.11 SIDEWALK RAMP PERPENDICULAR.
- C-3 INSTALL CONCRETE SIDEWALK PER MSHA
- C-4 CONCRETE PAD FOR SHED
- C-5 FENCE AND GATE ENCLOSURE FOR TEMPORARY PORTABLE TOILETS, AND TRASH AND RECYCLING RECEPTACLES (M-NCPPC SHALL FURNISH THESE ITEMS)
- C-6 PARKING SIGNAGE MOUNTED TO BUILDING
- C-7 PORTAL - REFER TO EXHIBIT DRAWINGS.
- C-8 FARMING EXHIBIT
- C-9 WOOD DECKING - REFER TO ARCHITECTURAL DRAWINGS
- C-10 KITCHEN GARDEN EXHIBIT
- C-11 FORMER DRIVEWAY CONVERTED TO LAWN
- C-12 6'x6' EROSION CONTROL / STABILIZATION MATTING
- C-13 PROPOSED KIOSK (SEE ARCH DWGS)
- C-14 PROPOSED AFTER-HOURS ACCESS GATE
- C-15 MSHA PRECAST STANDARD TYPE 5 INLET SINGLE GRATE, MD 314.13
- C-16 HOPE FLARED END SECTION
- C-17 WATER METER.
- C-18 WALKWAY WIDTH FLUCTUATES, MINIMUM 4' WIDE
- C-19 WALKWAY AND STABILIZED TURF COMBINED TO BE MINIMUM 8' WIDE
- C-20 INSTALL ELECTRIC AND CATV CONNECTION VIA DIRECTIONAL BORING.
- C-21 PARK ENTRY SIGN
- C-22 "EXIT ONLY" SIGN
- C-23 BENCH - VICTOR STANLEY, MODEL GR-140, BLACK POWDER COAT, OR APPROVED EQUAL (1- 4FT BENCH, 3- 6FT BENCHES)
- C-24 TABLE AND CHAIRS SET - COMMERCIAL OUTDOOR, WOODYARD AVERY BISTRO SET (ITEM CODE: WRAVEDS), TEXTURED BLACK FINISH, OR APPROVED EQUAL (12 SETS TOTAL)
- C-25 FIRE DEPARTMENT CONNECTION (FDC) SEE MEP DRAWINGS FOR MORE INFORMATION.
- C-26 CONDENSER UNITS (SEE MEP DRAWINGS FOR MORE INFORMATION)
- C-27 RAIN BARRELS (SEE ARCH. DRAWINGS FOR MORE INFORMATION)



LEGEND:

	PROPERTY LINE		EXISTING CURB		EXISTING FENCE		PROPOSED WOOD WALKWAY/DECKING
	EXISTING TREELINE		EXISTING STORM DRAIN		EXISTING BUILDING		PROPOSED CURBING
	EXISTING TREES		EXISTING WATER		AREAS OF ARCHAEOLOGICAL INTEREST		PROPOSED FENCE
	EXISTING SHRUBS		EXISTING SANITARY SEWER		PROPOSED WOODLINE		PROPOSED RETAINING WALL
	EXISTING WALK		EXISTING GAS		PROPOSED WALK TAR & CHIP / CONCRETE		PROPOSED BUILDING
	EXISTING ROAD		EXISTING ELECTRIC		PROPOSED STABILIZED TURF		PROPOSED ELECTRIC CABLE
			EXISTING OVERHEAD ELECTRIC				PROPOSED 6" WATER
			EXISTING LIGHTING				PROPOSED 8" SANITARY SEWER
							DETAIL REFERENCE



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DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

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 (301) 495-2535

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REVISIONS		
Rev. No.	Date	Description

**Josiah Henson Park - Facility Plan**  
 11420 Old Georgetown Road, Rockville, MD 20852  
 RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

**SITE PLAN**

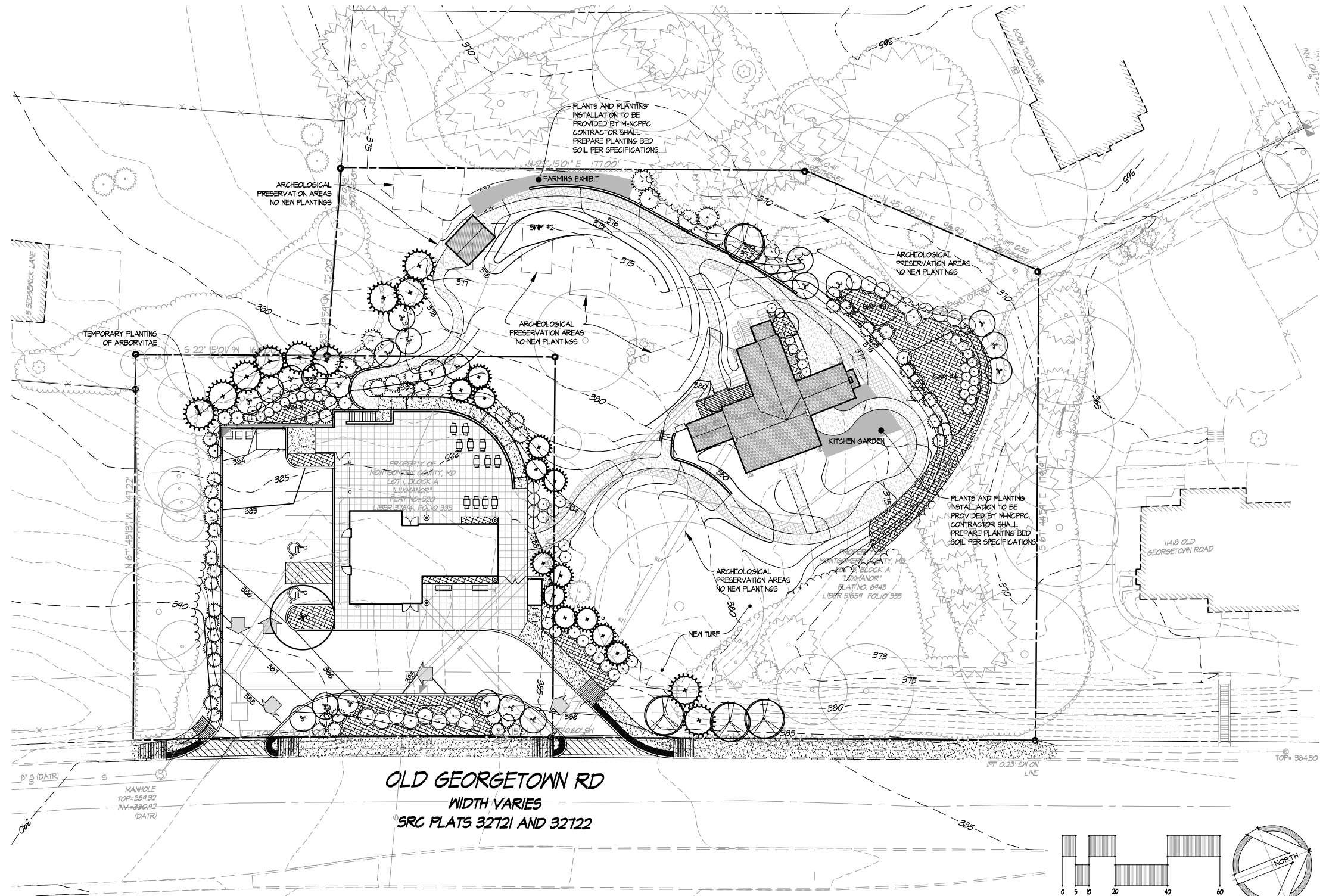
**C-SW**

SHT. # 5 of 52  
 MAY 28, 2013

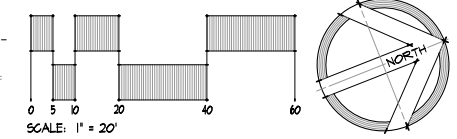
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SUGGESTED PLANT PALETTE

Table with 2 columns: BOTANICAL NAME and COMMON NAME. Lists various plant species such as Tulip Tree, Willow Oak, American Holly, etc.



OLD GEORGETOWN RD  
WIDTH VARIES  
SRC PLATS 32721 AND 32722



LEGEND:

Legend table defining symbols for property lines, trees, buildings, curbing, fences, and various utilities.

NOT FOR CONSTRUCTION

SITE RESOURCES incorporated logo and contact information for land planning and site design services.

lscdesign architects engineers logo and contact information.

DESIGN table with columns for Landscape Architect, Architect, Engineer, and Drawn by, including Date and Checked By fields.

Professional Certification text: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.



The Maryland-National Capital Park and Planning Commission logo and address information.

REVIEW AND APPROVAL table with columns for Project Manager, Construction Manager, and Park Manager, including Date fields.

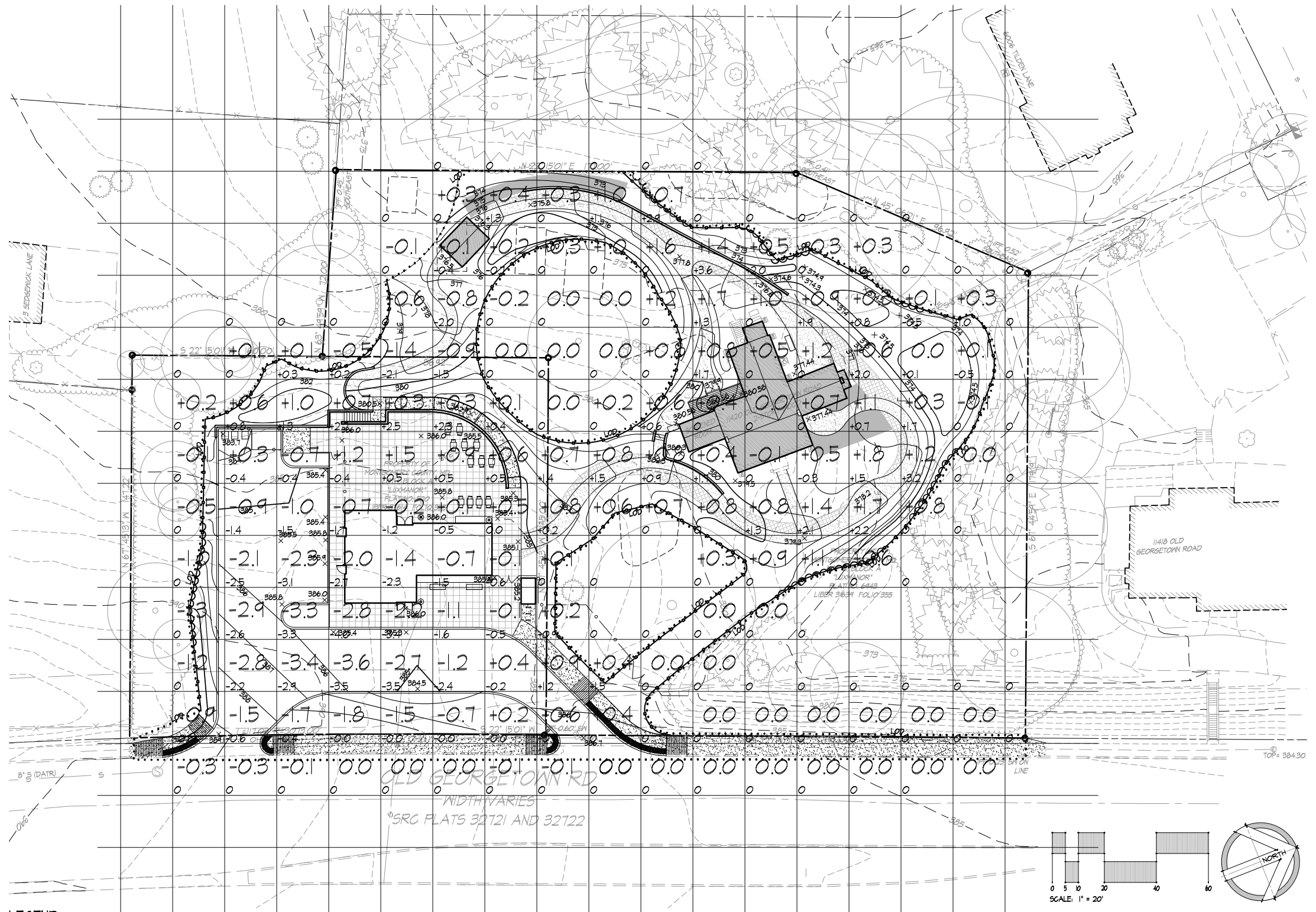
ISSUED FOR PROCUREMENT ON table with columns for Revisions, Rev. No., Date, and Description.

Josiah Henson Park - Facility Plan information, including address, RFP #, and scale.

C-SW

PLANTING PLAN

SHT. # 6 of 52  
MAY 28, 2013



EARTHWORK CALCULATIONS\*

SURFACE COMPARISON	
CUT	1,078 CY
FILL	135 CY
SURFACE SUBTOTAL 933 CY CUT	
MATERIAL ADJUSTMENTS	
PAVING SLABS AND BASE MATERIALS (assume 1" depth)	695 CY (cut)
SWM FILTER/PLANTING MEDIA (depth per SWM Concept computations)	241 CY (cut)
MATERIALS SUBTOTAL 936 CY CUT	
TOTAL TO BE HAULED OFF SITE +/-269 CY CUT	

\* BASED ON LARGER VISITOR CENTER BUILDING

LEGEND:

	PROPERTY LINE		EXISTING CURB		EXISTING FENCE		PROPOSED STABILIZED TURF		PROPOSED BUILDING
	EXISTING TREELINE		EX. 15" SD		EXISTING STORM DRAIN		PROPOSED WOOD WALKWAY/DECKING		PROPOSED CONTOURS
	EXISTING TREES		EX. 6" WATER		EXISTING WATER		PROPOSED ROAD		SPOT ELEVATIONS
	EXISTING SHRUBS		EX. 8" SAN		EXISTING SANITARY SEWER		PROPOSED WOODLINE		LIMIT OF DISTURBANCE
	EXISTING WALK		EX. 2" GAS		EXISTING GAS		PROPOSED CURBING		PROPOSED FENCE
	EXISTING ROAD		EX. ELEG		EXISTING ELECTRIC		PROPOSED FENCE		PROPOSED RETAINING WALL
			EX. ELEG OHW		EXISTING OVERHEAD ELECTRIC		PROPOSED WALK TAR & CHIP / CONCRETE		
			EXISTING LIGHTING		PROPOSED WOODLINE				

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Drawn by	Date	Checked By:

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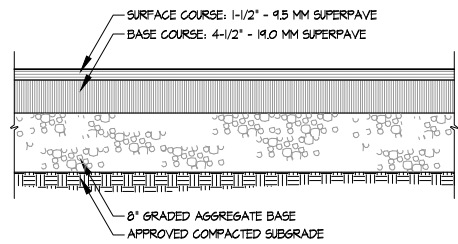
**Josiah Henson Park - Facility Plan**  
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 RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

**EARTHWORK STUDY**

**C-SW**

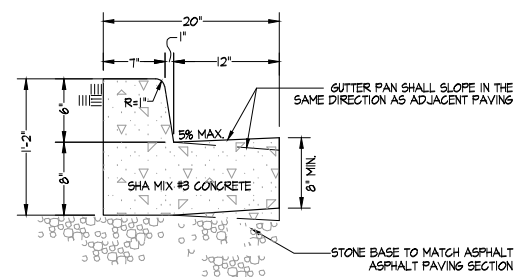
SHT. # 7 of 52  
 MAY 28, 2013

NOT FOR CONSTRUCTION

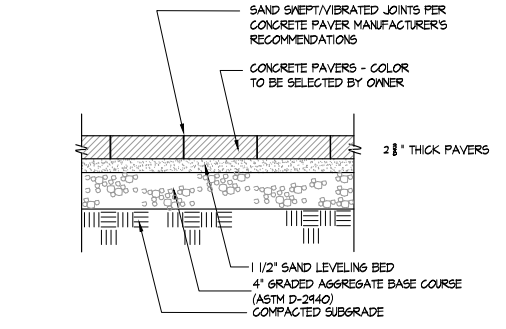


NOTES:  
1. A REPRESENTATIVE FROM THE ON-SITE GEO-TECHNICAL ENGINEER SHALL OBSERVE AND TEST ANY COMPACTED FILL TO BE USED FOR PAVEMENT SUPPORT, AND OBSERVE ANY PROOFROLLING OPERATIONS OF PAVEMENT SUBGRADES.

**1 ASPHALT PAVING VEHICULAR SECTION** NOT TO SCALE

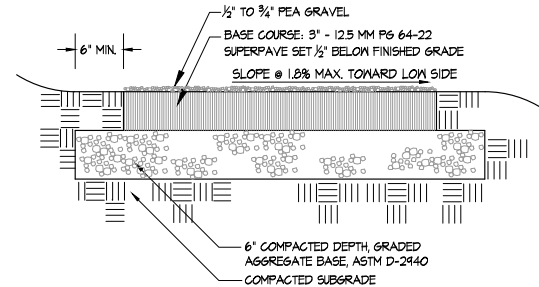


**2 CONCRETE CURB & GUTTER** NOT TO SCALE

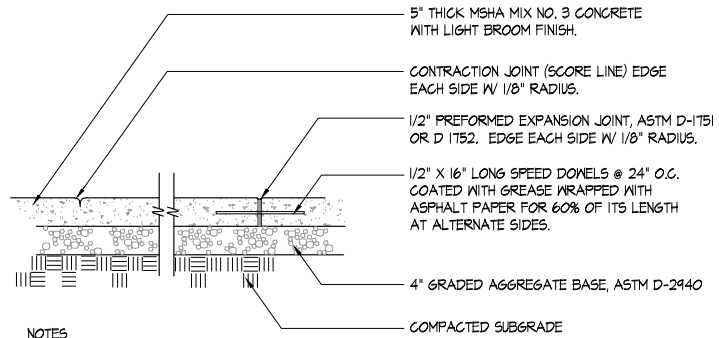


**3 CONCRETE PAVERS** NOT TO SCALE

PAVERS SHALL BE APFIAN SYSTEM COBBLED PAVERS BY HANOVER ARCHITECTURAL PRODUCTS (PHONE: 717-694-0500) OR APPROVED EQUAL. THE PAVERS SHALL BE LAID IN A MIXED PATTERN OF BLENDED COLORED PAVERS (COLOR TO BE SELECTED BY OWNER), BORDERED BY SINGLE SOLDIER COURSES.

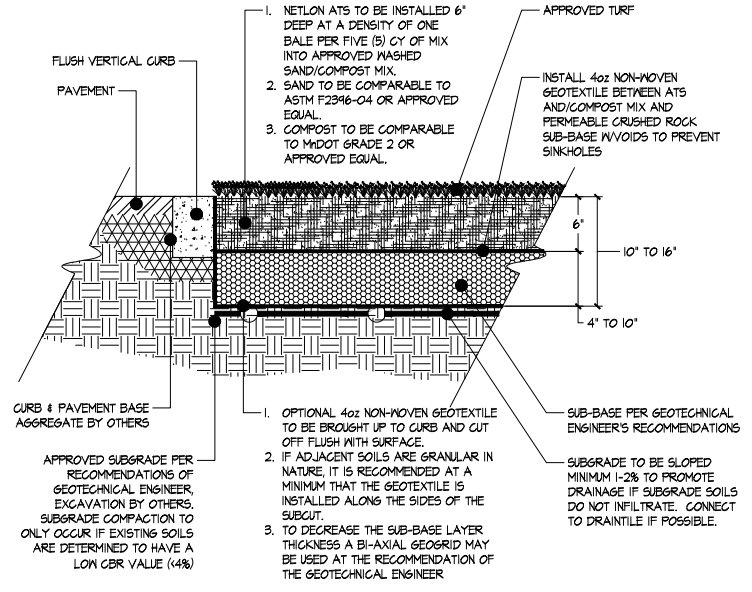


**4 TAR & CHIP ASPHALT PEDESTRIAN SECTION** NOT TO SCALE



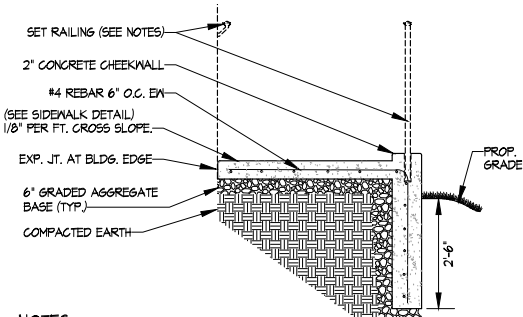
NOTES:  
1. Place expansion joints not more than 20'-25' apart and at the end of each contiguous pour.  
2. Place contraction joints at interval matching width of sidewalk but not more than 6' apart.  
3. Provide expansion joints where pour meets existing concrete paving or curb.  
4. Expansion joints to be recessed 1/4" below surface of sidewalk.  
5. When sidewalk abuts back of street curb, walk shall be 1/4" above top of curb.  
6. When sidewalk abuts existing concrete walk, core drill and install donels per detail.  
7. Match score pattern of adjacent sidewalk where practical.  
8. Unless otherwise shown on plan, contractor to submit layout of proposed contraction expansion joints for approval prior to pouring concrete.  
9. Concrete shall be tinted "Lamp Black." Coordinate color with M-NCPPC construction manager.

**5 CONCRETE SIDEWALK** NOT TO SCALE



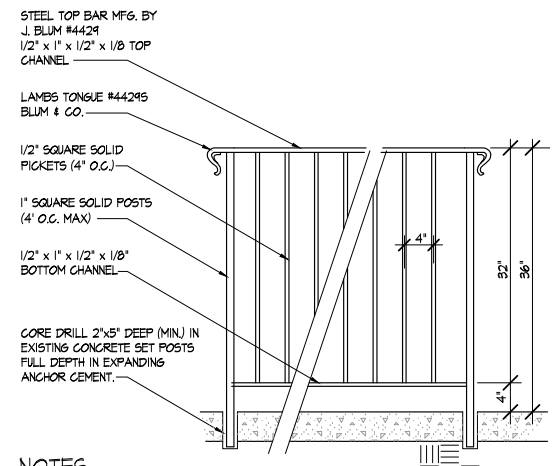
NOTES:  
SEE SOIL TYPE AND ASSOCIATED STRENGTH FOR NETLON ADVANCED TURF SYSTEM SUB-BASE DESIGN GUIDELINES.  
SUB-BASE MAY BE:  
1. WASHED SAND MEETING ASTM F2396-04  
2. PERMEABLE & WASHED OR SCREENED 3/4" TO 1 1/2" DIA. CRUSHED ROCK MEETING ASTM C33-03 NO. 4  
3. OTHER DOT ROAD BASE MATERIAL APPROVED BY GEOTECHNICAL ENGINEER.

**6 REINFORCED TURF DETAIL NETLON ATS (OR APPRVD. EQUAL)** NOT TO SCALE



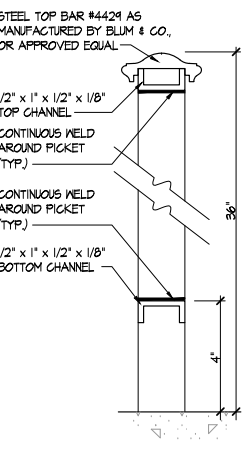
NOTES:  
1. ALL CONCRETE TO BE SHA MIX NO. 3.  
2. ALL EXPOSED CONCRETE EDGE RADI SHALL BE 1/2".  
3. WALKING SURFACE TO RECEIVE LIGHT BRUSHED NON-SLIP FINISH THAT IS PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL. (SEE SPECS) UNLESS OTHERWISE SHOWN ON PLAN, ALL REBAR SHALL HAVE A MINIMUM CLEARANCE OF 3" FROM SURFACE.  
4. EXPANSION AND CONTRACTION JOINTS SHALL BE SPACED IN ACCORDANCE WITH CONCRETE SIDEWALK DETAIL.  
5. ALL EXPANSION JOINTS ON RAMP SHALL BE DOWELED AS SHOWN.  
6. CONCRETE SHALL BE TINTED "LAMP BLACK". COORDINATE COLOR WITH M-NCPPC.

**7 CONCRETE RAMP & RAILING** NOT TO SCALE

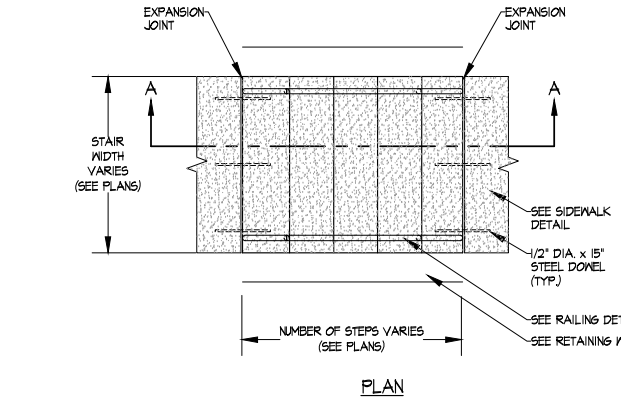


NOTES:  
1. PROVIDE HORIZONTAL RAILINGS AT LANDINGS.  
2. SLOPE ANCHOR CEMENT AWAY FROM POST AND CONTAIN CLEANLY WITHIN 2" HOLE.  
3. ALLOW 1" CLEARANCE BETWEEN LAMBS TONGUE AND END POST.  
4. ALL METAL FOR HANDRAILS (EXCLUSIVE OF ALUMINUM TOP RAILS) SHALL BE SHOP FABRICATED PAINTED STEEL. ALL WELDS TO BE GRIND SMOOTH. PAINT TO BE ZINC PRIMER WITH 2 TOP COATS OF GLOSS BLACK RUSTOLEUM.

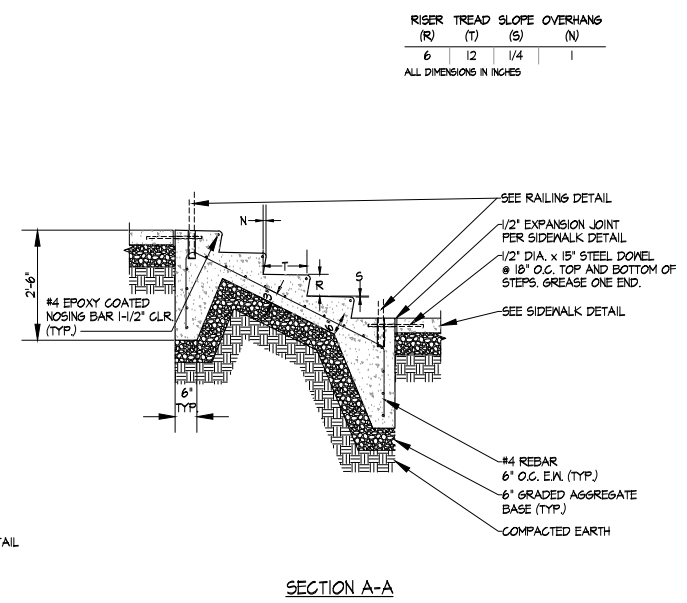
**8 DECORATIVE RAILING** NOT TO SCALE



NOTES:  
I. SEE DETAIL THIS SHEET FOR RAILINGS & POST.  
2. TOP OF RAILING TO BE 36" ABOVE WALKING SURFACE AND STAIR NOSE.  
3. RAILING TO EXTEND A MINIMUM OF 12" BEYOND BOTTOM AND TOP RISER.  
4. ALL CONCRETE TO BE SHA MIX NO. 3.  
5. ALL CHEEK WALL AND STAIR NOSE RADI SHALL BE 1/2".  
6. CHEEK WALL SHALL BE 8" ABOVE STAIR NOSE AND WALKING SURFACE.  
7. ALL RAILING EXTERIOR RADI SHALL BE 4".  
8. RAILING POSTS SHALL BE INSTALLED AT A DEPTH OF 8" INTO CHEEK WALL. CHEEK WALL SHALL BE CORE DRILLED AND POST SET WITH NON-SHRINK GROUT.  
9. STAIR TREADS TO RECEIVE LIGHT BRUSHED NON-SLIP FINISH. (SEE SPECS) UNLESS OTHERWISE SHOWN ON PLAN, ALL REBAR SHALL HAVE A CLEARANCE OF 3" FROM SURFACE.  
II. CONCRETE SHALL BE TINTED "LAMP BLACK". COORDINATE COLOR WITH M-NCPPC.



**9 CONCRETE STAIRS & RAILING** NOT TO SCALE



**SITE RESOURCES**  
Incorporated  
Comprehensive Land Planning & Site Design Services  
14315 Jarrettsville Pike • Phoenix, Maryland 21131  
(410) 683-3388 • fax (410) 683-3389

**lscdesign**  
architects engineers  
1110 East Princess St  
York, Pennsylvania 17403  
t: 717.845.8383  
f: 717.852.0916

DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. \_\_\_\_\_  
Expiration Date \_\_\_\_\_



The Maryland-National Capital Park and Planning Commission  
Montgomery County Department of Parks  
9500 Brunnet Avenue  
Silver Spring, Maryland 20901  
(301) 495-2535

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REVISIONS		
Rev. No.	Date	Description

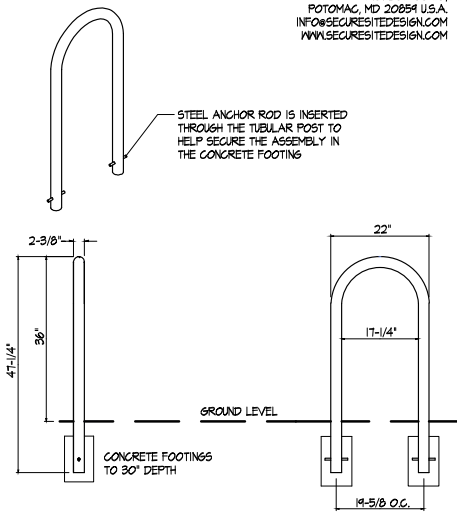
Josiah Henson Park - Facility Plan  
11420 Old Georgetown Road, Rockville, MD 20852  
RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN  
**SITE DETAILS**

C-SW  
SHT. # 8 of 52  
MAY 28, 2013

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TOLL FREE (USA & CANADA): 1-888-ANTI-RAM (888-268-4726)  
410-286-3375 : FAX 410-474-0175  
P.O. BOX 60910  
POTOMAC, MD 20854 U.S.A.  
INFO@SECURESITEDESIGN.COM  
WWW.SECURESITEDESIGN.COM

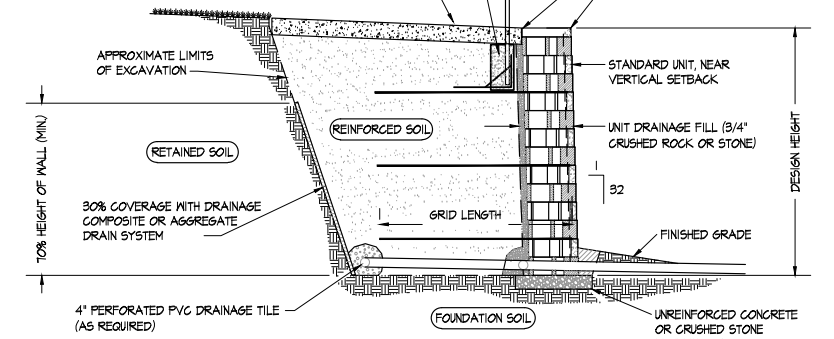


- NOTES:
1. SECURE SITE DESIGN LLC CYCLE ENTRY SERIES BRV6-101 OR APPROVED EQUAL
  2. FINISH: BLACK POWDER COATING
  3. INSTALL SET IN CONCRETE FOOTING

### 1 BIKE RACK

NOT TO SCALE

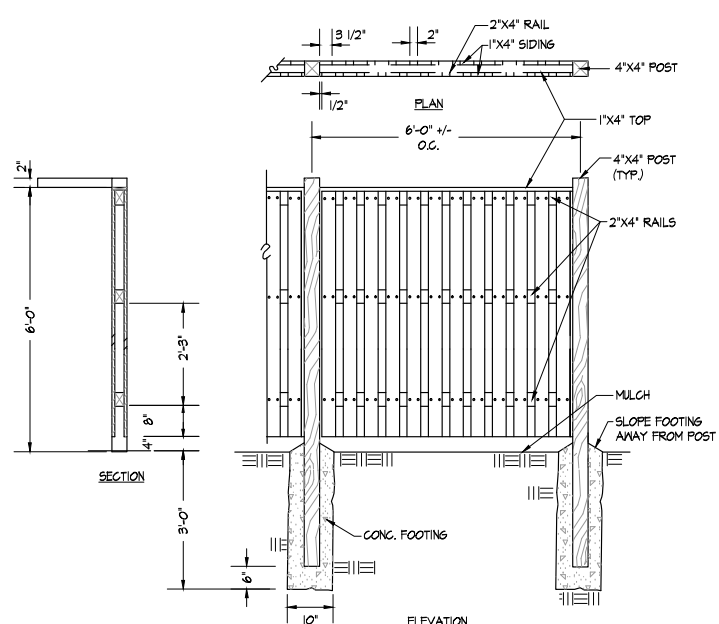
WHERE WALKWAY EXISTS AT TOP OF WALL:  
USE SLEEVE-IT™ 1224R  
(12"X24") DEEP  
SET POSITION OF SLEEVE IMMEDIATELY  
BEHIND TOPMOST STANDARD WALL UNIT.  
FILL SLEEVE WITH CONCRETE & SET POST.  
SEE CONCRETE SIDEWALK DETAIL  
OR 2" MIN. LOW PERMEABLE SOIL.



NOTE:  
THIS DETAIL IS GENERAL IN NATURE & NOT MEANT TO DICTATE THE DESIGN OR EXACT DIMENSIONS OF THE SEGMENTAL BLOCK RETAINING WALL. SPECIFIC DESIGN & DETAILING OF THE WALL SHALL BE DETERMINED & IS THE RESPONSIBILITY OF THE WALL UNIT SUPPLIER IN CONJUNCTION WITH THE INSTALLING CONTRACTOR. COMPLETE DESIGN & DETAIL SHOP DRAWINGS SIGNED & SEALED BY A MARYLAND P.E. SHALL BE SUBMITTED TO & APPROVED BY M-NCPPC CONSTRUCTION MANAGER PRIOR TO WALL CONSTRUCTION.

### 2 SEGMENTAL BLOCK RETAINING WALL

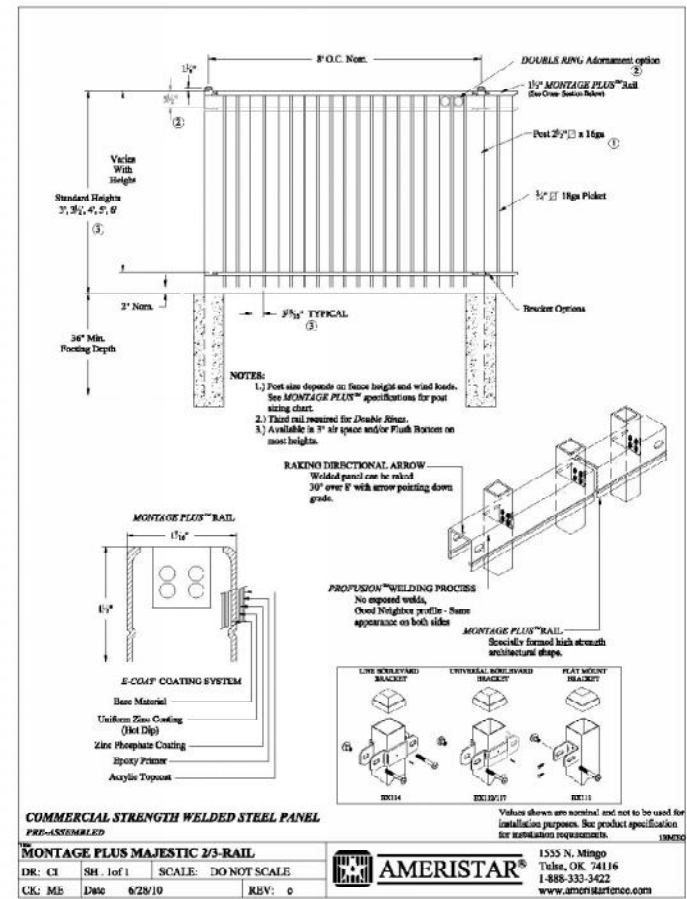
NOT TO SCALE



- NOTES:
1. ALL WOOD TO BE PRESSURE TREATED
  2. SEE SPECIFICATIONS FOR WOOD TYPE AND FINISH.

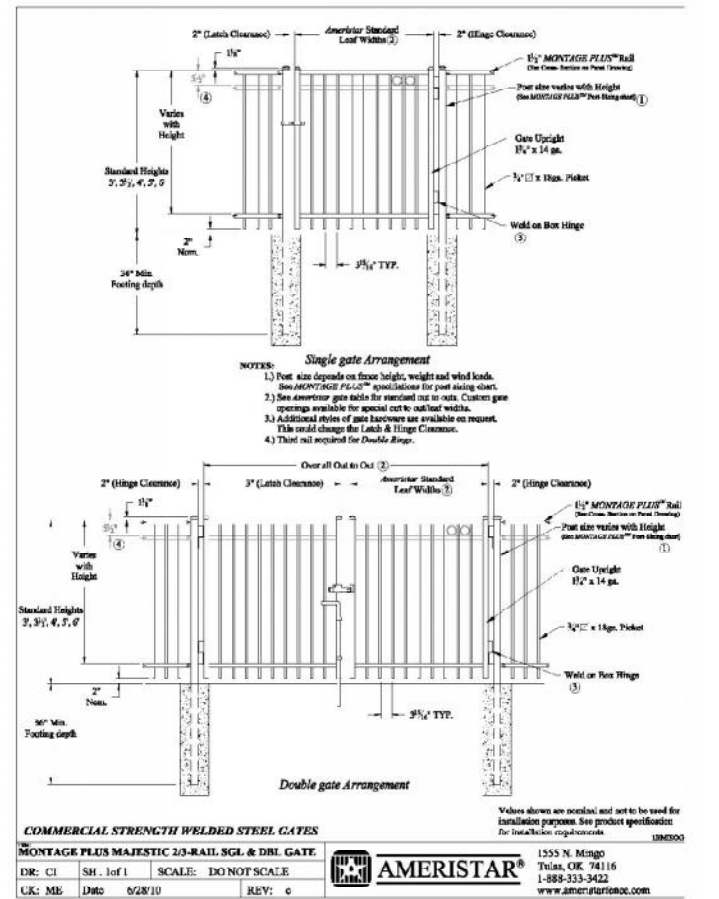
### 3 WOOD SCREEN FENCE

NOT TO SCALE



### 4 ORNAMENTAL FENCE DETAIL (OR APPRVD. EQUAL)

STYLE: 3-RAIL, FLUSH BOTTOM, W/ DOUBLE RING ADORNMENT NOT TO SCALE



### 5 ORNAMENTAL GATE DETAIL (OR APPRVD. EQUAL)

STYLE: 3-RAIL, STANDARD NOT TO SCALE

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**lscdesign**  
architects engineers  
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DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. \_\_\_\_\_

Expiration Date \_\_\_\_\_



**The Maryland-National Capital Park and Planning Commission**  
Montgomery County Department of Parks  
9500 Brunnet Avenue  
Silver Spring, Maryland 20901  
(301) 495-2535

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REVISIONS		
Rev. No.	Date	Description

**Josiah Henson Park - Facility Plan**  
11420 Old Georgetown Road, Rockville, MD 20852  
RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

**SITE DETAILS**

C-SW

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MAY 28, 2013

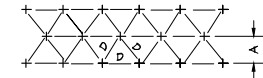
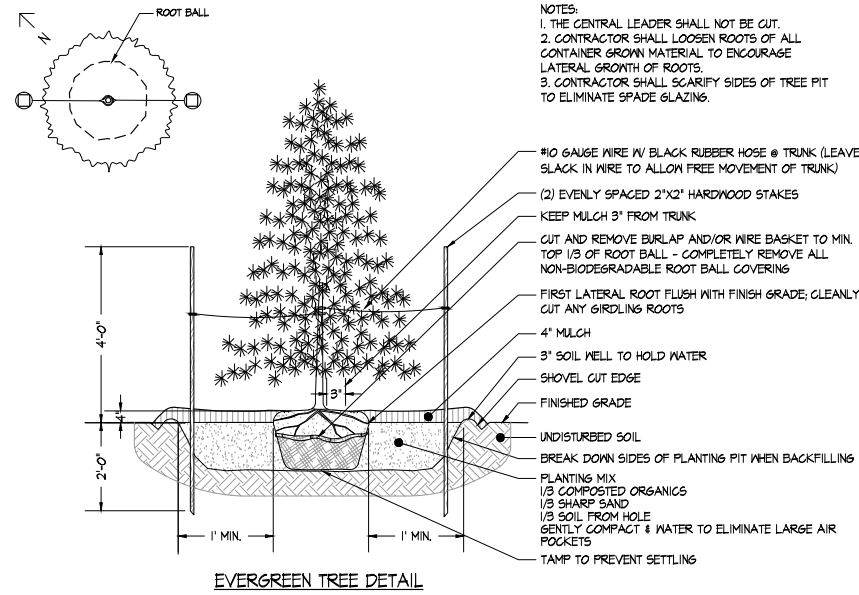
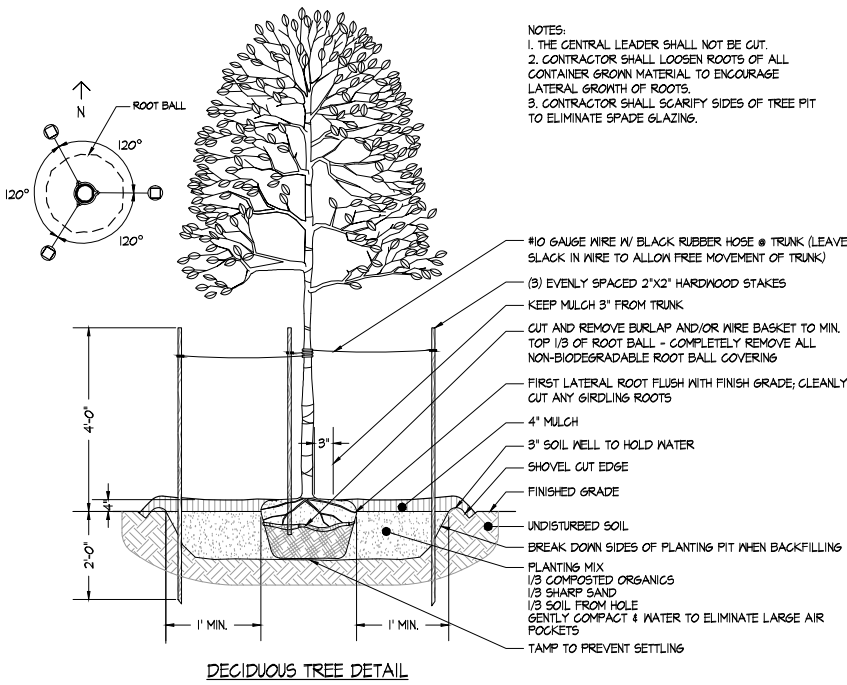
NOT FOR CONSTRUCTION

LANDSCAPE NOTES

- (THESE NOTES APPLY TO ALL PLANTING IN THIS CONTRACT)
- QUANTITIES SHOWN ON THE PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. SYMBOLS ON THE PLAN SHALL TAKE PRECEDENCE. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES TO HIS OWN SATISFACTION.
  - PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
  - PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE UNLESS THE REQUIREMENT IS SPECIFICALLY MAILED.
  - LOCATIONS OF ALL PLANT MATERIAL SHALL BE STAKED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
  - ALL SHRUB AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BEDS MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILED AND SPECIFIED.
  - PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE WITH A MINIMUM 2% SLOPE. CONTRACTOR SHALL VERIFY ACCURACY OF BASE INFORMATION AND EXISTING CONDITIONS AND UTILITIES IN THE FIELD TO HIS OWN SATISFACTION. UTILITIES BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
  - THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-251-7777 A MINIMUM OF TWO WORKING DAYS PRIOR TO BEGINNING PLANTING AND CONSTRUCTION. DAMAGE TO EXISTING CONDITIONS AND UTILITIES SHALL BE REPAIRED AND RESTORED AT THE EXPENSE OF THE CONTRACTOR.
  - ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN NURSERY & LANDSCAPE ASSOCIATION'S AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

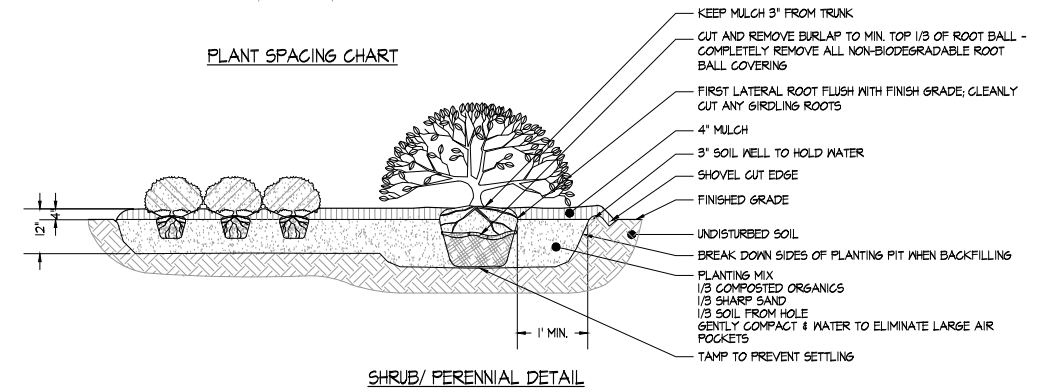
- LAWN AREAS SHALL BE MOWED TO A HEIGHT OF 2 TO 3 INCHES AND NOT ALLOWED TO REACH A HEIGHT OF 4 INCHES BEFORE MOWING.
- ALL CURBS AND WALKS SHALL BE EDGED AS NEEDED.
- ALL LAWN AREAS ADJACENT TO BUILDING FACES OR STRUCTURES SHALL BE TRIMMED.
- A SLOW RELEASE NITROGEN BALANCED FERTILIZER WITH A 2-1-1 RATIO SHALL BE APPLIED AT A RATE OF 2 POUNDS OF NITROGEN PER 1000 SQUARE FEET IN SEPTEMBER, OCTOBER, AND FEBRUARY.
- LIME SHALL BE APPLIED AT THE RATE DETERMINED BY A SOILS REPORT.
- IT IS RECOMMENDED THAT LAWN AREAS BE TREATED IN MID-MARCH TO EARLY APRIL WITH PRE-EMERGENT HERBICIDE (BETASAN) OR EQUAL APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE.
- A POST-EMERGENT HERBICIDE (TRIMEG) OR EQUAL IS RECOMMENDED TO BE SPRAYED ON LAWN AREAS IN THE LATE SPRING OR THE EARLY FALL. FOLLOW MANUFACTURER'S RATES AND RECOMMENDATIONS.
- INSECTICIDES AND FUNGICIDES ARE RECOMMENDED FOR INSECT AND DISEASE CONTROL.
- RESEED BARE AREAS OF LAWN AS NECESSARY. YEARLY AERATION IS RECOMMENDED.
- ALL TRASH, LITTER, AND DEBRIS SHALL BE REMOVED FROM LAWN AREAS, PARKING LOTS, AND SHRUB BEDS AS NEEDED.
- MULCH ALL SHRUB AND GROUND COVER BEDS YEARLY WITH 3 INCHES OF SHREPPED HARDWOOD BARK.
- PERMIT SHRUBS AND TREES TO GROW AND ENLARGE TO THEIR DESIGN SIZE. CONSULT PROJECT LANDSCAPE ARCHITECT FOR DETAILS.
- PRUNE TREES IN ACCORDANCE WITH LANDSCAPE CONTRACTORS ASSOCIATION GUIDELINES.



NOTE:  
 FOR USE ONLY WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER AS SHOWN, AND SPECIFIED IN THE PLANT LIST.

SPACING 'D'	ROW 'A'	PLANTS / S.F.
6' O.C.	5.20'	4.61
8' O.C.	6.93'	2.60
10' O.C.	8.66'	1.66
12' O.C.	10.40'	1.15
15' O.C.	13.00'	.76
18' O.C.	15.60'	.51
24' O.C.	20.80'	.24
30' O.C.	26.00'	.16
36' O.C.	30.00'	.12

PLANT SPACING CHART



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1110 East Princess St  
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DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
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