

Attachment 9



Department of Permitting Services Fire Department Access and Water Supply Comments

DATE: 03-Apr-18
TO: Dean Packard - pgai@verizon.net
P.G. Associates, Inc
FROM: Marie LaBaw
RE: Offutt Estates
120150040 820150140

PLAN APPROVED

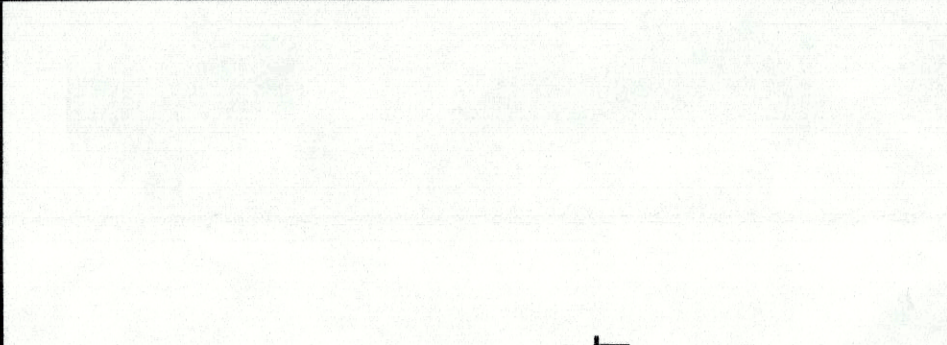
1. Review based only upon information contained on the plan submitted **03-Apr-18** .Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

REVISIONS	DATE	DESCRIPTION
3-14-15	REVISED PER DRC REVIEW	

PACKARD & ASSOCIATES, LLC
 CIVIL ENGINEERS * SURVEYORS * LAND PLANNERS
 16220 FREDERICK ROAD, SUITE 300
 GAITHERSBURG, MARYLAND 20877
 PHONE (301) 208-0250 FAX (301) 208-1270

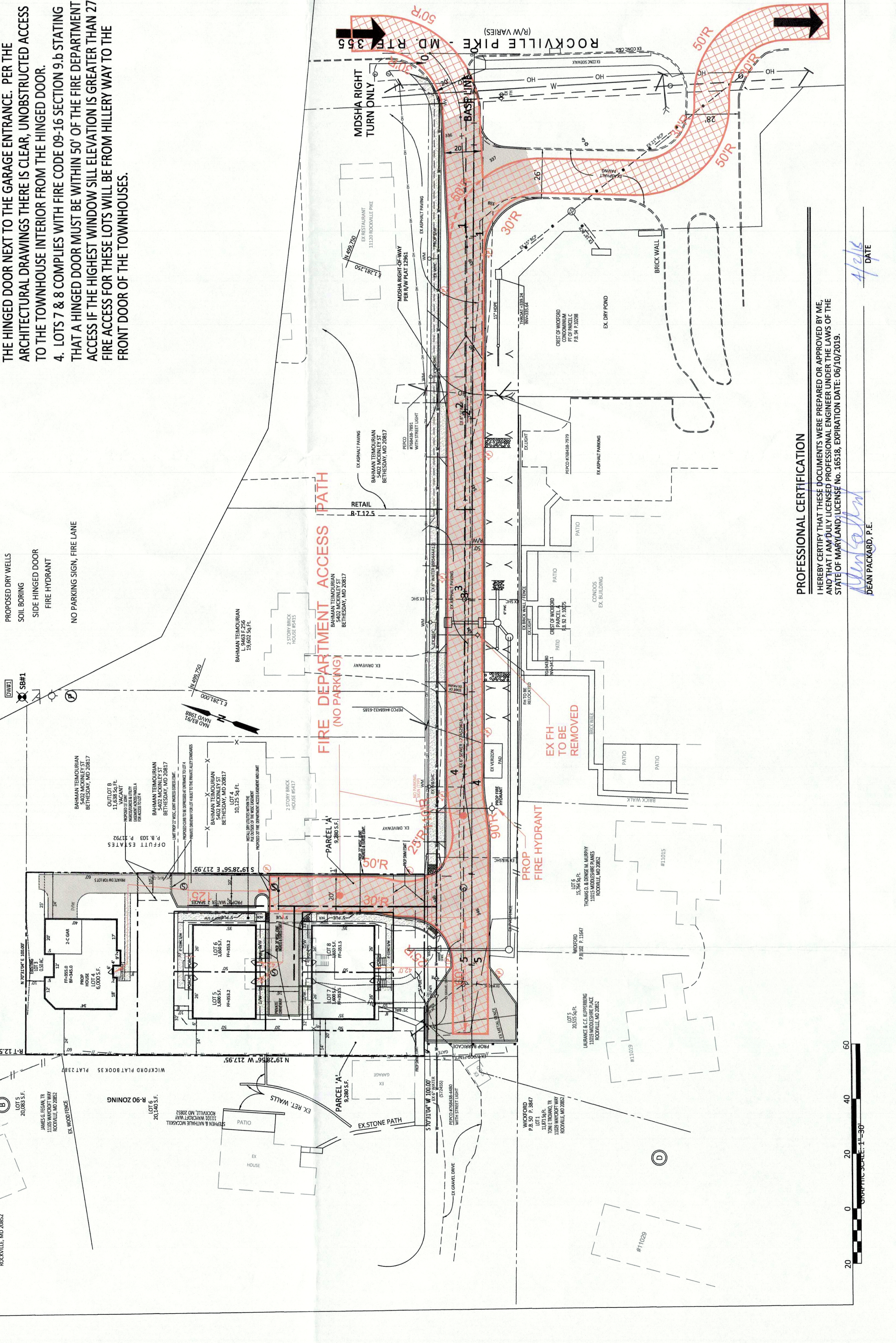
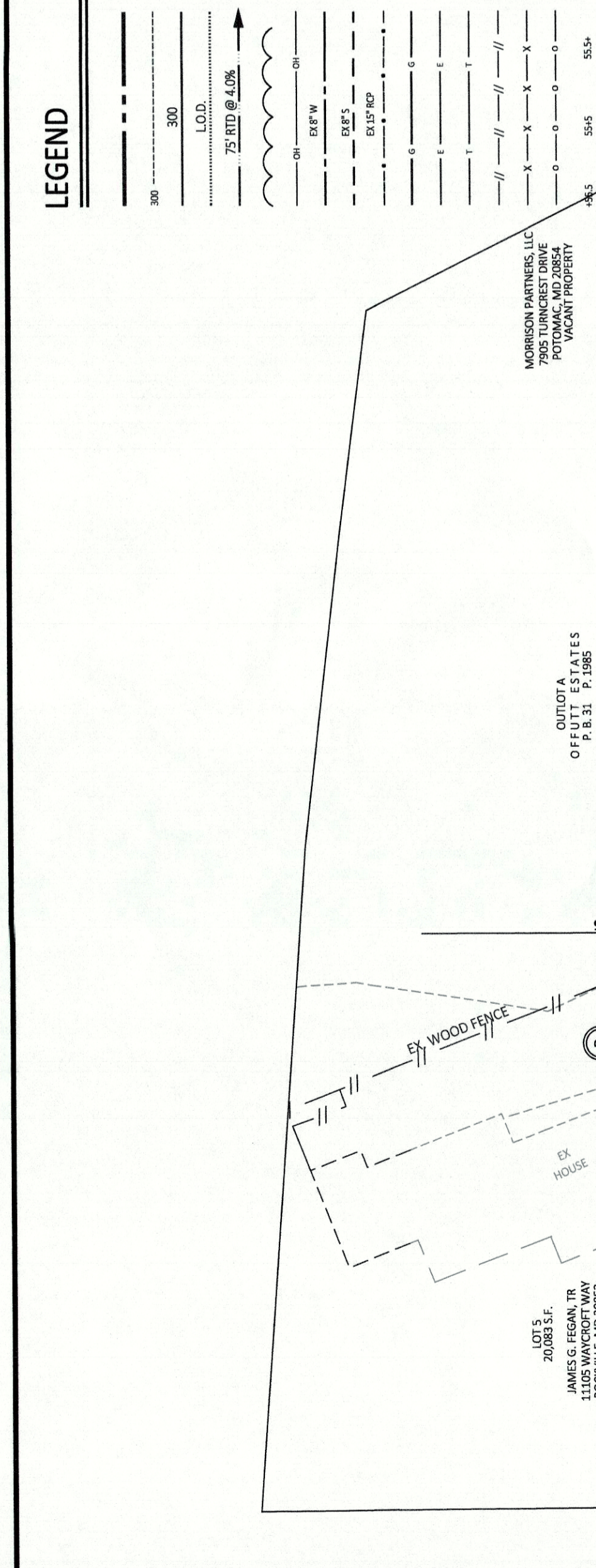
FIRE DEPARTMENT ACCESS PLAN
 OFFUTT ESTATES
 820150140
 PROPERTY OF WHITE FLINT PARK, INC.
 AND IN LIBER 51682 AT FOLIO 11
 RECORDED IN PLAT BOOK 31 AT PLAT 1985
 ROCKVILLE ELECTION DISTRICT No. 4 MONTGOMERY COUNTY, MARYLAND

FIRE CODE ENFORCEMENT
 Fire Department Access Review
 Review based only upon information contained on this plan. Does not cover unsatisfactory conditions arising from omissions, errors or failure to comply with applicable codes. If you find any such conditions on this plan, correction of such conditions will be required in order for access to be required. If you find any such conditions, you will be required to provide a copy of this plan to the Fire Department for their review.
 BY: SZC PK: Y3 DATE: 4/3/2018



- GENERAL NOTES**
1. SITE ADDRESS IS 5421 HILLERY WAY, ROCKVILLE, MD 20852
 2. PLAT REFERENCE: PLAT BOOK 31 AT PLAT 1985, LOT 3.
 3. DEED REFERENCE: LIBER 51682 FOLIO 11.
 4. SITE IS LOCATED ON TAX MAP PG. 121.
 5. SITE IS ZONED R-T-12.5.
 6. EXISTING WATER AND SEWER CATEGORIES: W.1 & S.1.
 7. EXISTING WATER AND SEWER AVAILABLE.
 8. SITE HAS EXISTING WATER AND SEWER AVAILABLE.
 9. EXISTING ZONING IS R-T-12.5.
 10. EXISTING ZONING IS R-T-12.5.
 11. BOUNDARY SHOWN FROM AVAILABLE DEEDS AND PLATS.
 12. TOPOGRAPHY BY FIELD SURVEY BY P.G. ASSOCIATES, INC.
 13. WATERSHED: ROCK CREEK, CLASS 1.
 14. UTILITY COMPANIES:
 PEPCO
 ELECTRIC SERVICE VERIZON
 TELEPHONE
 CATV: COMCAST
 OWNER / APPLICANT: ALEXANDER & MIRIAM LYNNAT
 6730 SILKLY LANE
 ROCKVILLE, MD 20852
 301.717.5140
 CONTACT: MIRIAM LYNNAT

- NOTES:**
1. FIRE LANE NO PARKING SIGNS WITH RED LETTERS ON WHITE BACKGROUND MUST BE POSTED SO THAT IT IS NOT POSSIBLE TO PARK A VEHICLE WITHOUT BEING IN SIGHT OF A SIGN. SIGNS MAY BE NO FURTHER APART THAN 200 FEET.
 2. LOT 4 COMPLIES WITH FIRE CODE 09-16 SECTION 9.a STATING THAT A HINGED DOOR MUST BE WITHIN 150' OF THE FIRE DEPARTMENT ACCESS IF THE HIGHEST WINDOW SILL ELEVATION IS LESS THAN 27'.
 3. LOTS 5 & 6 COMPLIES WITH FIRE CODE 09-16 SECTION 9.b STATING THAT A HINGED DOOR MUST BE WITHIN 50' OF THE FIRE DEPARTMENT ACCESS IF THE HIGHEST WINDOW SILL ELEVATION IS GREATER THAN 27'.
 4. FIRE ACCESS FOR THESE LOTS WILL BE PRIVATE COMMON ALLEY TO THE HINGED DOOR NEXT TO THE GARAGE ENTRANCE. PER THE ARCHITECTURAL DRAWINGS THERE IS CLEAR, UNOBSTRUCTED ACCESS TO THE TOWNHOUSE INTERIOR FROM THE HINGED DOOR.
 5. LOTS 7 & 8 COMPLIES WITH FIRE CODE 09-16 SECTION 9.b STATING THAT A HINGED DOOR MUST BE WITHIN 50' OF THE FIRE DEPARTMENT ACCESS IF THE HIGHEST WINDOW SILL ELEVATION IS GREATER THAN 27'.
 6. FIRE ACCESS FOR THESE LOTS WILL BE FROM HILLERY WAY TO THE FRONT DOOR OF THE TOWNHOUSES.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16518, EXPIRATION DATE: 09/10/2019.
Allen Pakard
 DEAN PACKARD, P.E.
 DATE: 4/3/18