



Park Potomac: Site Plan Amendment No. 82004015N

BCB

Benjamin Berbert, Planner Coordinator, Benjamin.Berbert@montgomeryplanning.org, 301-495-4644

SP

Sandra Pereira, Supervisor Area 3, Sandra.Pereira@montgomeryplanning.org, 301-495-2186

RAW

Richard Weaver, Chief Area 3, Richard.Weaver@montgomeryplanning.org, 301-495-4544

Staff Report Date: 6/14/18

Description

Park Potomac: Site Plan Amendment No. 82004015N

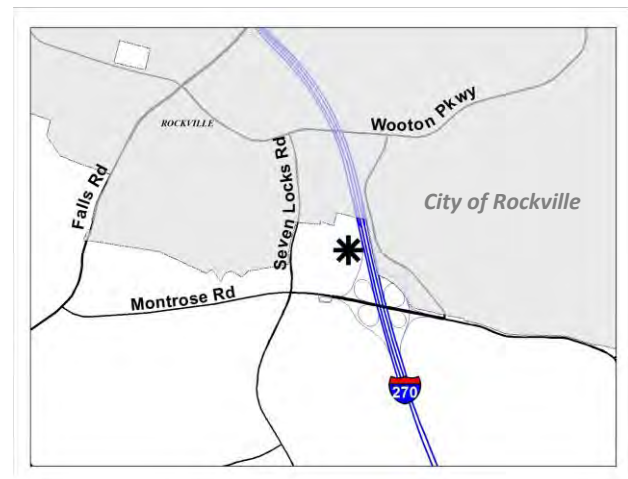
Request to increase the retail area and total size of Building E by 3,500 square feet in exchange for a reduction to Building F's retail area by 3,500 square feet and gross floor area by an additional 800 square feet, reduce parking by six spaces, and include modified architecture, landscaping and circulation around Building E. Located in the northwest quadrant of the interchange of Montrose Road and I-270, approximately 20.28 acres, CRT 1.25; C-0.5, R-0.75, H-100T, reviewed under the I-3 zone; Potomac Sub-region Master Plan.

Staff Recommendation: Approval with conditions

Applicant: Adam Davis, Foulger Pratt

Acceptance Date: February 22, 2018

Review Basis: Chapter 59



Summary

The modifications proposed in this amendment are consistent with the previous findings and conditions of approval, except as described within this report. The Site Plan is being reviewed under the I-3 zone, consistent with exemption Section 59.7.7.1.B.3 for the amendment of a plan previously approved before October 30, 2014.

- The amendment to transfer 3,500 square feet of restaurant/retail space from unbuilt Building F to existing Building E is to accommodate a horizontal expansion of the existing Founding Farmers restaurant off the southwest side of Building E.
- The reduction of an additional 800 square feet of gross floor area from Building F is to accommodate the displacement of the six parking spaces south of Building E.
- Architecture, circulation and landscaping is being reviewed within the limits of disturbance for the expansion of Building E.
- There is no change to Forest Conservation and SWM as a result of this amendment.
- Staff has received no community correspondence regarding this amendment.

SECTION 1 - RECOMMENDATION

Staff recommends approval of the Site Plan Amendment No. 82004015N, Park Potomac with conditions. All previously approved plans, findings, and conditions of approval of Site Plan 820040150, as amended, remain in full force and effect, except as modified herein by the following new conditions. All site development elements shown on the latest electronic version as of the date of this Staff Report submitted via ePlans are required.

1. Density

The Site Plan is limited to a maximum of 849,200 square feet of non-residential density comprised of up to 144,200 square feet of retail, 570,000 square feet of office/employment, 133,000 square feet of hotel and up to 450 residential multi-family dwelling units.

2. Site Design

The exterior architectural character, proportions, materials, and articulation for the restaurant expansion to Building E must be substantially similar to the schematic elevations shown on sheets ARCH-82004015N-A201 through A203, as determined by Staff.

3. Certified Site Plan

Prior to Certified Site Plan, the Applicant must receive Staff approval for the location, language and design of the new wayfinding signs shown on the Site Plan, directing patrons to the parking garage for additional accessible handicap parking spaces.

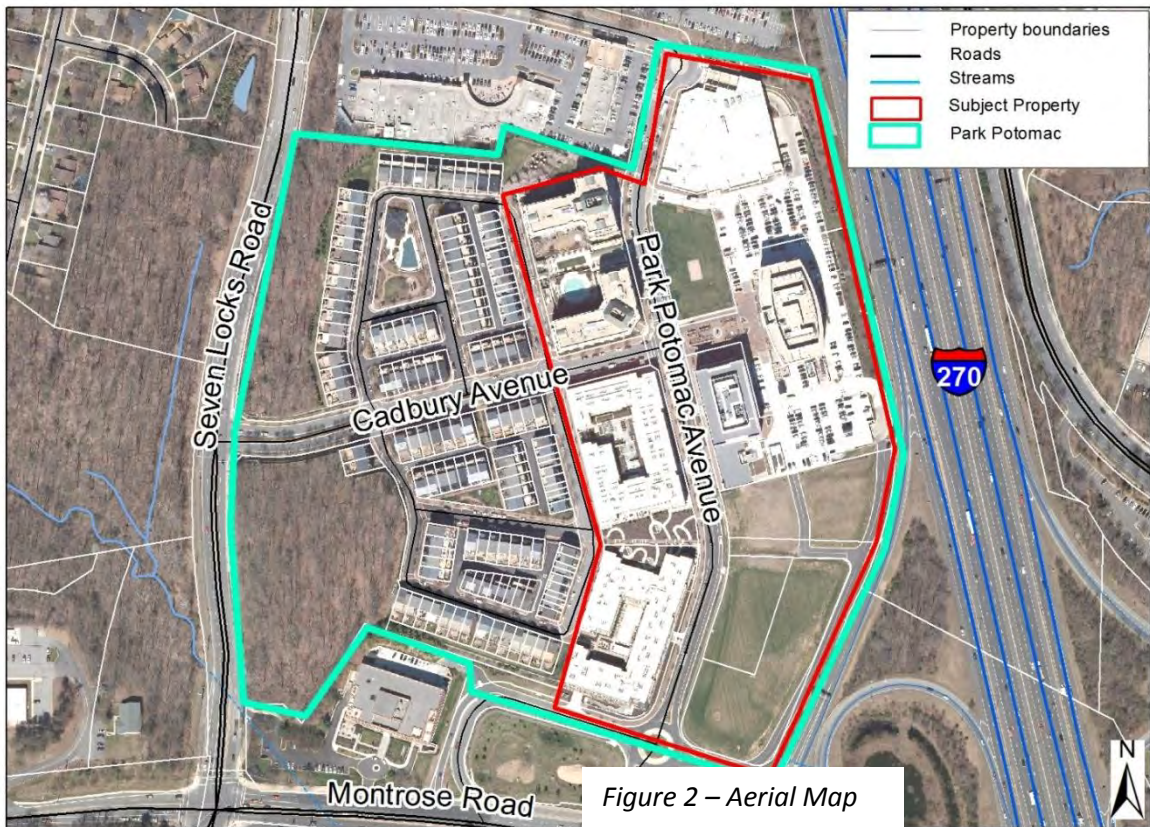
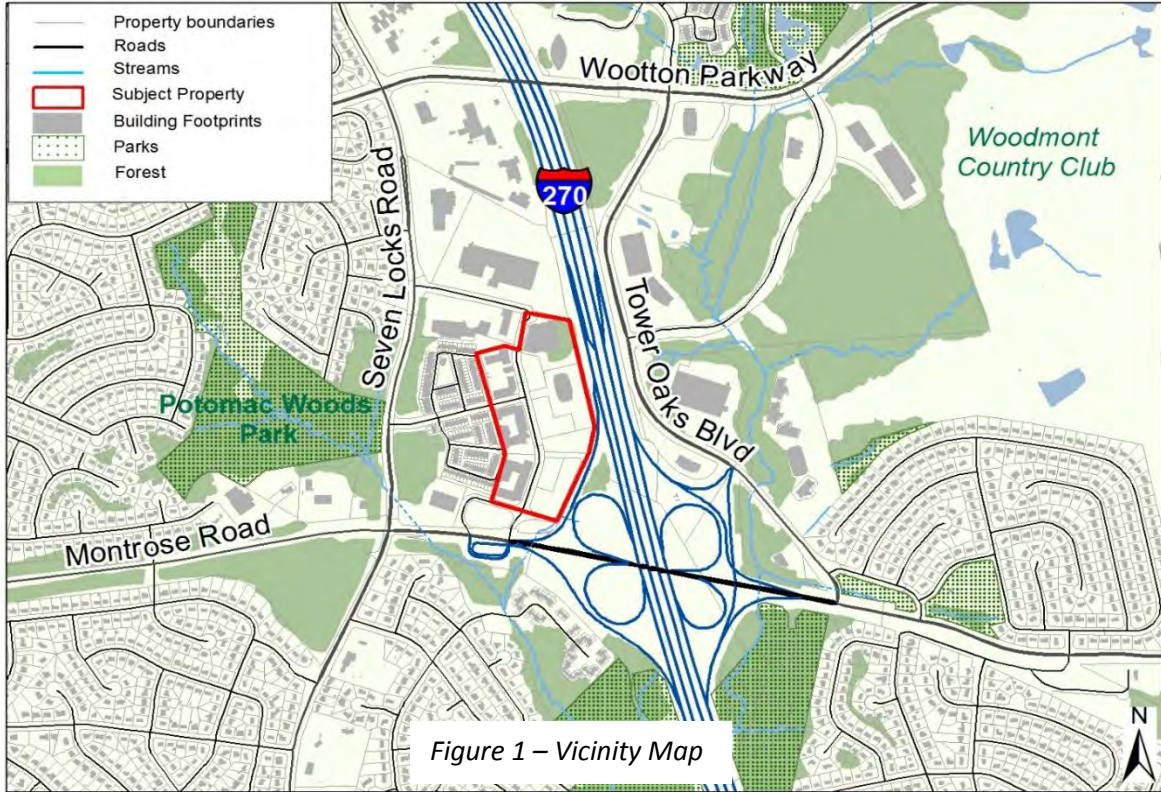
SECTION 2 – LOCATION AND SITE DESCRIPTION

Vicinity

The subject property is 20.28 acres in size and is located directly west of I-270, in the northeast quadrant of the Montrose Road and Seven Locks Road intersection (“Property” or “Subject Property”). The Seven Locks Shopping Center directly to the north, Potomac Woods East and Potomac Woods Park directly to the west, and Tower Oaks directly to the east are all within the Rockville city limits. South of the Property, across Montrose Road, is one-family detached housing located within the County’s planning jurisdiction.

Site Analysis

The gross tract area of the entire Park Potomac development consists of 54.84 acres of land that is divided into two different Site Plan applications (Nos. 820040120 and 820040150). Site Plan No. 820040120 was approved by the Planning Board on February 12, 2004 for the construction of 150 townhouse units, which are fully constructed and located immediately west of the Subject Property. The Subject Property is the same geography as Site Plan No. 820040150 as amended, and is located between the townhouse units and I-270. The Subject Property is partially developed as a mixed-use site with multi-family condominiums, apartments, office and retail. The Property is currently zoned CRT-1.25 C-0.5 R-0.75 H-100 T, but is being reviewed under the I-3 zone which was the zoning of the Property on October 29, 2014.



SECTION 3 – APPROVALS AND PROPOSAL

Previous Approvals

Preliminary Plan 120030290 and 12003029A

The Preliminary Plan that covers the Subject Property was designated No. 120030290 and was approved by Planning Board Resolution dated July 25, 2003 (“Preliminary Plan”). The Preliminary Plan approved a maximum of 850,000 square feet of non-residential use, including a combination of up to 830,000 square feet of office, 30,000 square feet of retail, 15,000 square feet of restaurant, 450 multi-family units and 150 one-family attached units. The Preliminary Plan was amended as Plan No. 12003029A by Planning Board Resolution dated April 30, 2008, which kept the cap of 850,000 square feet of non-residential use, but increased the total amount of retail allowed to 115,000 square feet, and added a 156 room hotel to the allowed mix of non-residential uses.

Site Plan 820040150, as amended

The Subject Property was first site plan approved by Site Plan No. 820040150 by Planning Board Resolution dated March 19, 2004 (“Site Plan”) for 450 multi-family dwelling units, 820,000 square feet of office use and 30,000 square feet of retail use in the I-3 Zone. The Site Plan has been amended a total of 12 times since then. A full list of the Site Plan amendments can be found in Attachment B. The following is a brief summary of the more substantial amendments to the Subject Property.

82004015A – Modified the building heights of the multi-family structures to be up to 100 feet tall as highrise condominiums.

82004015B – Added retail to the ground floor of three buildings, and increased the total retail on the Property to 145,000 sq. ft.

82004015F – Modified existing landscaping and included the extension of Park Potomac Avenue north to intersect with Fortune Terrace.

82004015I – Converted the remaining unbuilt highrise condominium buildings into five story tall apartment buildings.

82004015M – This amendment was withdrawn and the requested modifications are included as part of the N amendment currently under review.

Current Amendment Proposal

Site Plan Amendment No. 82004015N requests the following modifications to the Site Plan (“Amendment”):

- 1- Increase the gross floor area of Building E by 3,500 square feet to accommodate additional retail/restaurant use;
- 2- Decrease the gross floor area of Building F by 4,300 square feet to reduce the amount of retail/restaurant use;

- 3- Eliminate six parking spaces immediately to the south of Building E;
- 4- Modify the access to the trash and loading area on the south side of Building E; and
- 5- Modify the lighting and architecture on the southwestern corner of Building E.

The exchange in retail/restaurant density from Building F to Building E is to accommodate a planned 3,500 square foot expansion of the Founding Farmers restaurant currently located in the southwestern corner of Building E. Building F is currently unbuilt making this transfer of density a simple reallocation of square feet on the Site Plan. The restaurant expansion planned for Building E is a single-story structure that will have cladding and a pitched roof resembling a barn, which is in keeping with the rustic farm-to-table theme of the restaurant. This expansion will be off the southwest corner of Building E, which results in the necessary changes to the façade, circulation and lighting in this area, and also results in the loss of six existing parking spaces. Because the Subject Property is at the minimum required parking, the reduction in these six spaces necessitated the removal of an additional 850 square feet of planned and unbuilt retail space to maintain the minimum parking ratio.



Figure 3 – Buildings Labeled

Additional modifications required on the south side of Building E include modifications to the structure that covers the stairwell providing access to the parking located one level below. Currently, there is ample room on all sides of the stairs for safe and adequate circulation between the parking lot and the building, however the expansion will abut the back side of this stairwell enclosure creating a pinch point for circulation. The Applicant proposes to relocate a support column for the roof of this enclosure and to remove a section of the structure wall to ensure adequate unobstructed width between the structure and the curb line.

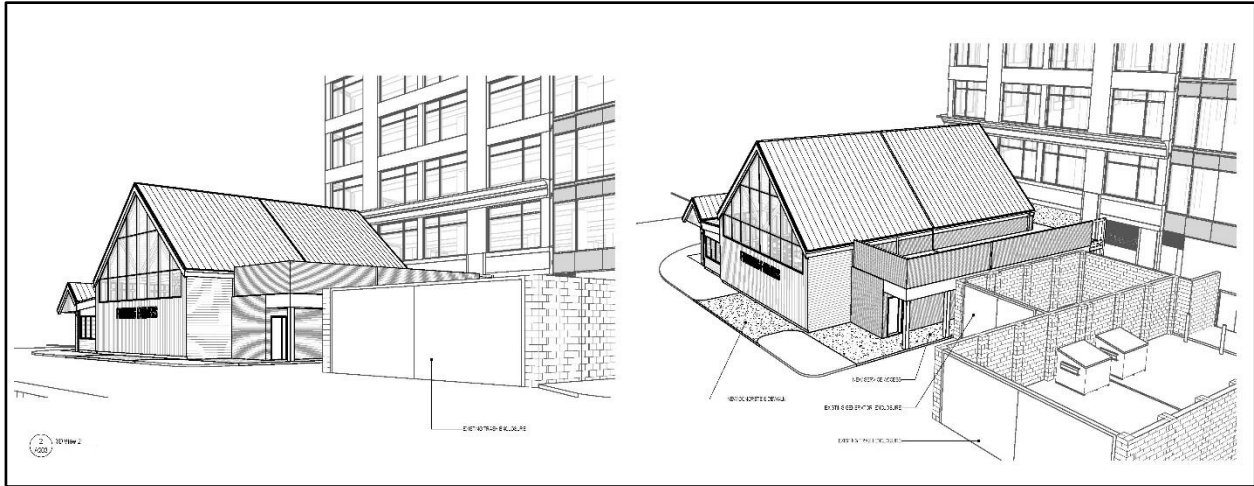


Figure 4 – 3-D perspective of addition

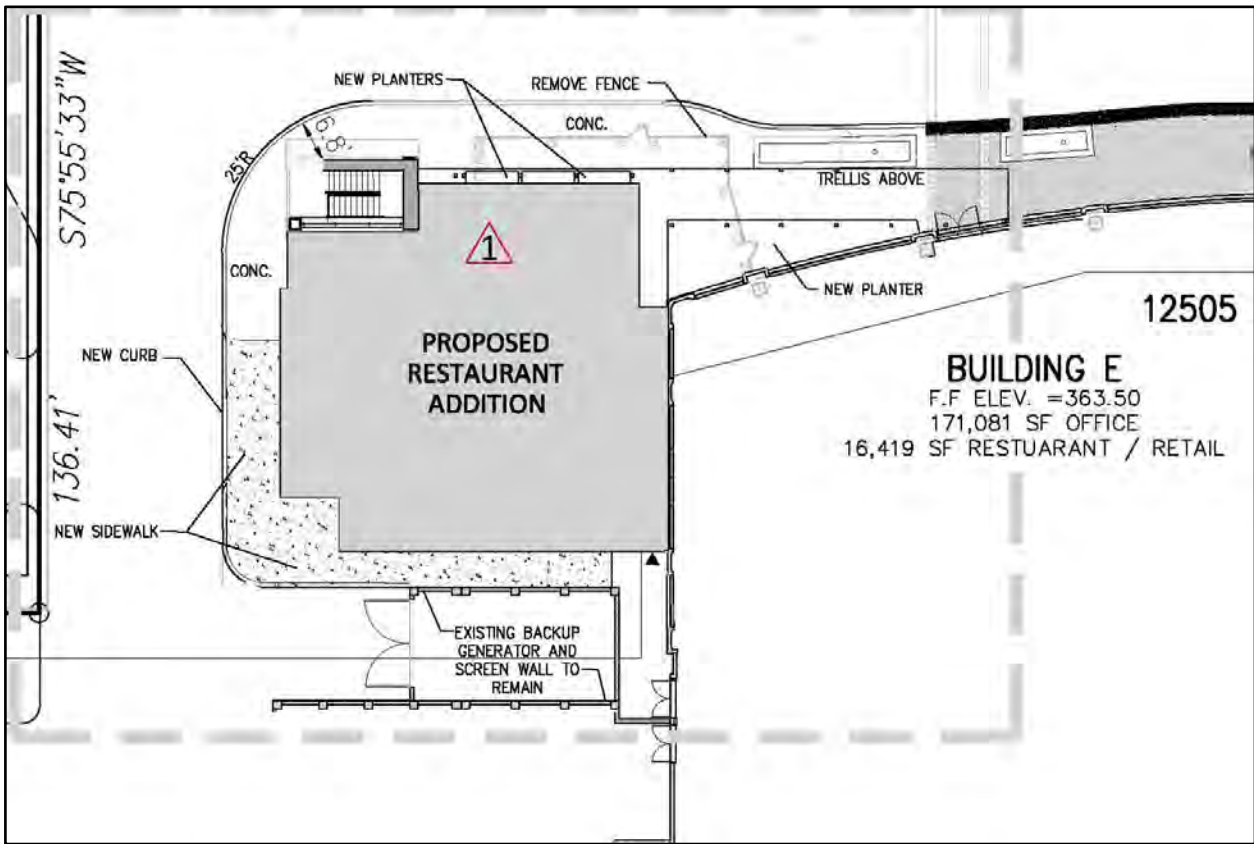


Figure 5 – 2-D perspective of addition

SECTION 4 - FINDINGS AND ANALYSIS

The Site Plan Amendment is limited in nature and is being reviewed under the Zoning Ordinance in effect on October 29, 2014 subject to the exemption Section 59.7.7.1.B.3 of the new Zoning Ordinance which allows for an amendment of a plan approved before October 30, 2014 to continue utilizing the previous Zoning Ordinance. Therefore, the findings for review are those in Section 59-D-3.4. All previous findings remain valid with this Site Plan Amendment except as modified by the following analysis.

2. *The site plan meets all of the requirements of the zone in which it is located.*

The proposed Amendment still conforms to all of the requirements of the I-3 Zone, which was the zone in place during the original review of the Site Plan. The amendment makes no changes to the previously approved mix of uses, only modifies their locations and reduces the total density on the Subject Property. This amendment also continues to conform to the development standards of the I-3 zone. The reduction in total square footage of 800 square feet is done to ensure that the minimum parking ratios are maintained on the Subject Property after removing six existing spaces for the restaurant expansion. There is no change proposed to building height or green area, and the addition to building E does not modify the approved setbacks on the Site Plan.

The following project data table summarizes the requested modifications as part of this Site Plan Amendment compared to the requirements of the Zoning Ordinance and the requirements of the most recent approval.

Project Data Table for the I-3 Zone

Development Standard	Permitted/Required by the Zoning Ordinance	Previously Approved by Site Plan No. 82004015L	Requested by Site Plan No. 82004015N
Net Lot Area	N/A	20.28 ac.	20.28 ac.
Gross Floor Area			
Building E	N/A	184,000 sq. ft.	187,500 sq. ft.
Building F	N/A	151,700 sq. ft.	147,400 sq. ft.
Parking Calculations Non-Residential Buildings			
POD A: Building A & B	645 spaces	645 spaces	645 spaces
POD B: Buildings C, D, E, F & G	1603 spaces	1609 spaces	1603 spaces
<i>Non-Residential Total</i>	2248 spaces	2254 spaces	2248 spaces

3. *The locations of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

Buildings and Structures

The location of buildings and structures remains safe, adequate, and efficient on the Subject Property. The 3,500 square foot restaurant expansion for Building E is proposed as a one-story extension from the southwest corner of the building. To accommodate this expansion six existing

parking spaces are being removed, but the expansion does not cause any negative changes to building massing or setbacks on the Property given the small scope of the amendment and the surroundings of other commercial buildings. The design of the addition will be unique and maintain compatibility within the total development. The expansion will be designed to mimic a wooden barn, consistent with the farm-to-table theme the Founding Farmers restaurant is known for. The unique architecture will provide visual interest to the office-dominated environment of the area, and the expanded frontage and outdoor seating opportunities will help further enliven the street level near the existing public plaza.

Landscaping and Lighting

The landscaping and lighting with this Amendment will remain safe, adequate and efficient. The Application proposes removing one existing free-standing light, which was providing illumination for the six parking spaces and for a portion of sidewalk which are being removed. The new sidewalks will now be illuminated by lighting elements proposed for the side of the restaurant expansion. The area of the building expansion is almost all hardscape, either as patio seating, sidewalk or parking, therefore there is no loss in landscaping area. The Amendment proposes areas of new raised planters along the façade of the restaurant and along a portion of the partition between the sidewalk and outdoor dining that will be planted mostly with summer and cool season annuals and herbs. These planters are consistent in the design and scale of urban outdoor amenity areas and are adequate for providing visual interest and providing some space separation.

Pedestrian and Vehicular Circulation

Pedestrian and vehicular circulation will remain safe, adequate and efficient with this Site Plan Amendment. As part of the restaurant expansion, six vehicle parking spaces are being removed. These six spaces were isolated from the primary parking areas, and their removal reduces a curb cut to the parking lot, improving upon circulation efficiency for both vehicles and pedestrians. The Applicant is unable to relocate these spaces, which is resulting in the further reduction in density on the Subject Property to maintain the minimum parking ratio. The Applicant is also proposing site modifications to maintain safe and adequate pedestrian circulation. The building expansion will cut off a currently accessible pedestrian route between the southern parking areas and building E. To maintain a safe and accessible pedestrian route, the Applicant is making modifications to the existing structure that covers the stairwell leading from the street level down into the parking garage below by relocating a support column and removing a section of wall, maintaining a minimum six-foot clearance between obstructions and curb edge around the stairwell.

SECTION 5 - COMMUNITY OUTREACH

The Application has met all noticing and signage requirements. Signs advertising the Amendment were posted along the Property frontages and a notice regarding the Site Plan amendment was sent to all parties of record by the Applicant and was received on March 1, 2018. As of the writing of this report, Staff received no inquiries regarding the proposed amendment.

SECTION 6 - CONCLUSION

This Site Plan Amendment meets all the requirements of the I-3 zone, and it is consistent with the previous approvals. The reallocation of density between buildings E and F are minor and with the findings as amended remain safe, adequate and efficient. These changes are compatible with the existing and adjacent development, and meet all applicable requirements of Chapter 22A and Chapter 19 regarding forest conservation and water resource protection.

APPENDIX

- A. Amended Site Plan Drawing
- B. Previous Approvals table

Attachment A

E-FILE STAMP

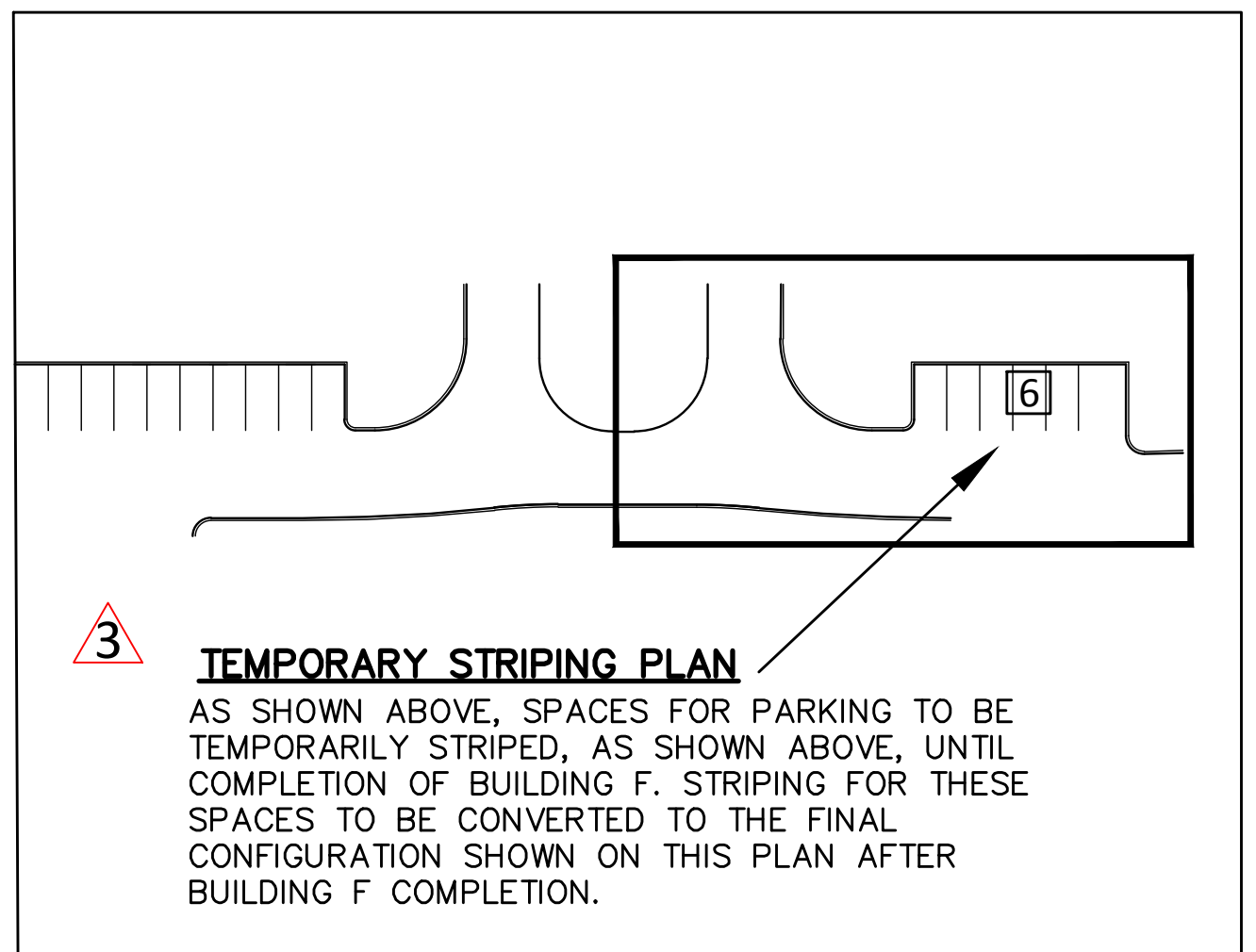
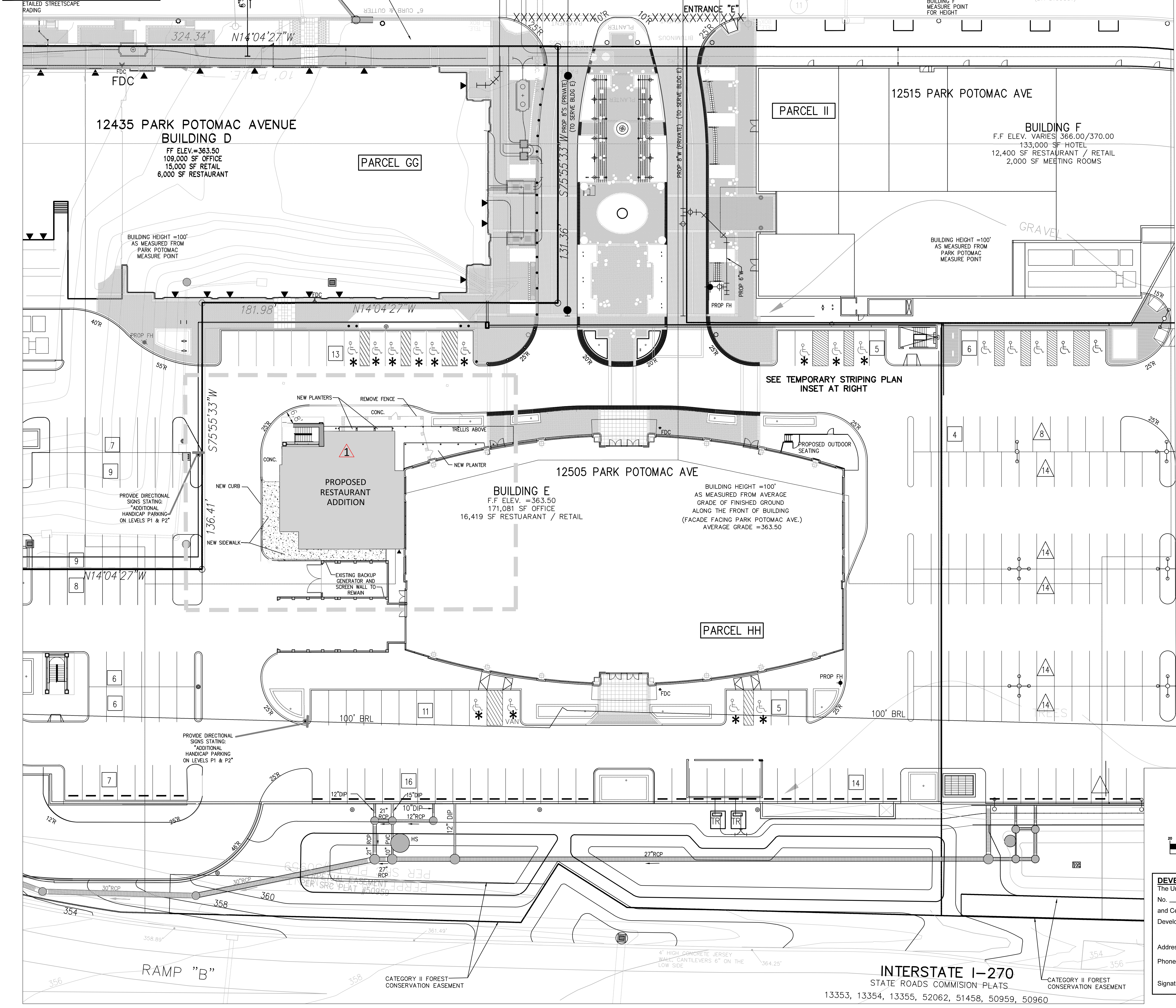
LIST OF CHANGES - SITE PLAN AMENDMENT 82004015N

- Shift approximately 3,500 sf of restaurant use from unbuilt building 'F' to existing building 'E', and add an approximately 3,500 sf extension to building 'E'.
- Eliminate 800 s.f. of restaurant use from unbuilt Building 'F', thereby reducing overall parking requirement for pod 'B' by six spaces.
- Provide temporary parking striping

Triangles provided on plan to identify areas or items revised in this amendment.

Additional revisions to this sheet are for clerical purposes only and are secondary revisions triggered by the Amendment Checklist Items. See redline sheet for full list of revisions.

VKA
 ENGINEERS PLANNERS LANDSCAPE ARCHITECTS SURVEYORS GPS SERVICES
 8180 GREENSBORO DRIVE SUITE 200 MCLEAN, VIRGINIA 22102
 (703)442-7800 FAX (703)761-2797
 MCLEAN, VA GERMANTOWN, MD



LEGEND:

- 15"SD PROPOSED STORM DRAIN
- 6"SHC PROPOSED SANITARY SEWER HOUSE CONNECTION
- 6"W PROPOSED WATER MAIN
- BUILDING MEASURE POINT
- TR TRANSFORMER
- EG EMERGENCY GENERATOR
- EX ELECTRIC & TELEPHONE CONDUIT
- EX GAS MAIN
- XXXXXXXXXXXX EX CURB & GUTTER TO BE REMOVED
- UNDERGROUND GARAGE
- PROPERTY LINE / NEW LOT LINE
- OLD LOT LINE
- BUILDING ZONE OF INFLUENCE
- 322 PROPOSED CONTOURS THIS PLAN
- 350 EXISTING CONTOURS
- RAISED PLANTER
- BICYCLE RACK/2 BIKES REFER TO DETAIL 5/L3.1
- BOLLARD REFER TO DETAIL 4/L3.1
- BENCH REFER TO DETAIL 6/L3.1
- BUILDING ENTRANCE
- PROPOSED STREET LIGHT, REFER TO DETAIL 1/L3.1
- PROPOSED PARKING LOT SINGLE LIGHT, REFER TO DETAIL 2/L3.2
- PROPOSED PARKING LOT QUAD LIGHT, REFER TO DETAIL 2/L3.2
- EXISTING STREET LIGHT
- FDC PROPOSED FIRE HYDRANT
- PROP FH PROPOSED FIRE HYDRANT
- ▶ LOCATION OF DOORS

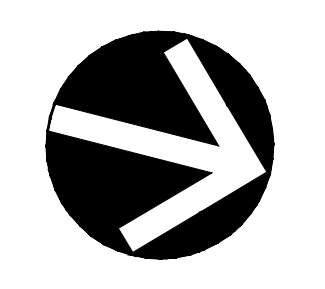
* = ADA PARKING FOR BUILDING 'E'

NOTES:

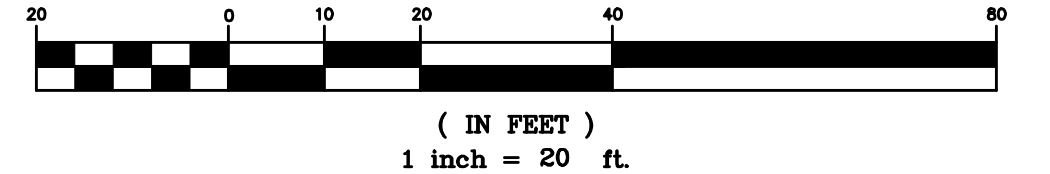
- FOR DETAILS OF PARK POTOMAC STREETSCAPE REFER TO SHEETS L1.1 THRU L1.4

***SETBACK WAIVER:**

- A WAIVER HAS BEEN GRANTED TO THE 100' BUILDING SETBACK, REDUCING THIS SETBACK TO 80' MINIMUM.
- A WAIVER HAS BEEN GRANTED TO THE 50' PARKING SETBACK, REDUCING THIS SETBACK TO 28' MINIMUM.



GRAPHIC SCALE



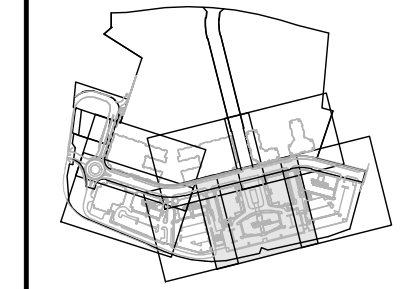
DEVELOPER'S CERTIFICATE

The Undersigned agrees to execute all the features of the Site Plan Approval No. 82004015N, including Approval Conditions, Development Program, and Certified Site Plan for FORTUNE PARK DEVELOPMENT PARTNERS, L.L.C. ADAM DAVIS, Contact Person, C/O FOULGER PRATT DEVELOPMENT, INC. 9600 BLACKWELL DRIVE SUITE 200 ROCKVILLE, MD. 20850
 Address: (240) 499-9600
 Phone: (240) 499-9600
 Signature:

VKA REVISIONS	VKA REVISIONS
SITE PLAN AMENDMENT "E" 03-27-09	ADDRESS DRC COMMENTS 02/08/07
SITE PLAN AMENDMENT "F" 07-29-09	RESUBMIT TO MNCPPC 04/09/07
SITE PLAN AMENDMENT "G" 07-26-10	CERTIFIED SITE PLAN SUB. 07/07/07
SITE PLAN AMENDMENT "H" 06-27-11	ADDRESS MNCPPC COMMENTS 09/30/07
SITE PLAN AMENDMENT "I" MARCH, 2012	FINAL SUBMISSION TO MNCPPC 10/18/07
SITE PLAN AMENDMENT "J" AUGUST, 2013	SITE PLAN AMENDMENT "C" 12-19-07
SITE PLAN AMENDMENT "K" JANUARY, 2014	SITE PLAN AMENDMENT "D" 06-16-08
SITE PLAN AMENDMENT "L" APRIL, 2015	DATE APRIL, 2015
SITE PLAN AMENDMENT "M" JULY, 2017	DES. JA CC
SITE PLAN AMENDMENT "N" MAY 18, 2018	SCALE: 1"=20'
	PROJECT/FILE NO. 6601AW
	SHEET NO. SP-16

**PARK POTOMAC SITE PLAN
 MULTI FAMILY/COMMERCIAL**
 PARCELS L, CC, DD, EE, FF, GG, HH, II, JJ, KK & LL
 BLOCK H
 4TH ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

SITE & UTILITY PLAN



Attachment B

Previous Approvals

Application	Approval Date	Brief Description
Preliminary Plan No. 120030290	Presented: July 3, 2003 (mailed July 25, 2003)	Approved the abandonment of an unimproved Public Right-of-Way, maximum 835,000 square feet of general office space, maximum 30,000 square feet of general retail, 15,000 square feet of restaurant or an equivalent increase in general office and/or retail uses (based on peak hour trips for the restaurant use), 450 garden apartment units, and 150 one-family attached units on 54.9 acres of land zoned I-3 and O-M
Preliminary Plan Amendment 12003029A	Presented: June 21, 2007 (mailed April 30, 2008)	150 townhouse units, 450 High-rise apartment units, 145,000 square feet of general retail use, 570,000 square feet of general office use, 156 guest rooms for a hotel on 59.84 acres of land zoned I-3 and O-M.
Site Plan No. 820040150	Presented: March 18, 2004 (mailed March 19, 2004)	450 multi-family dwelling units (including 61 MPDUs), 820,000 square feet of office use, 30,000 square feet of retail use on 20.28 acres of land zoned I-3. Parking and building setback waivers were also approved (specifically between stations 541+01.93 to 541+55.95).
Site Plan No. 82004015A	Presented: May 4, 2006 (mailed January 12, 2007)	Approved the substitution of two 4-story apartment buildings with one 10-story and one 8-story condominium buildings in approximately the same locations. The maximum building height is 100 feet with a total of 450 multi-family dwellings (including 61 MPDUs). Parking configuration and tabulations were changed to include below grade parking (Increased parking by 151 spaces).
Site Plan No. 82004015B	Presented: June 21, 2007 (mailed September 19, 2007)	Modifications to the allowable density of retail use in the multifamily Buildings 1, 2, 3, 4, 5, 6 at the ground-floor. Reductions to the amount of allowable density within the mixed-use Buildings A, B and D. Increase to the amount of allowable density (max 115,000 sf. of restaurant/ retail uses) within the mixed-use building C, E, and F, which includes a grocery store (46,026 sf.) and reduce the max gross floor area of retail for mixed-use Building G. Redesign of public plaza, pedestrian access and streetscape. Add a roadway connection from Montrose Rd (east-

Application	Approval Date	Brief Description
		bound) thru the existing tunnel to Park Potomac Ave. Extension of median on Cadbury Ave.
Administrative Site Plan No. 82004015C	Approved March 6, 2008	Widen steps from the sidewalk to the public plaza; add SWM intake grates, and modifications to the landscape plan.
Administrative Site Plan No. 82004015D	Approved June 16, 2008	Redesign the main entrance of Buildings 1 and 2, the roundabout on Park Potomac Ave., revise the SWM, eliminate 5 parking spaces and modify the landscape planting at Building E.
Administrative Site Plan No. 82004015E	Approved July 28, 2009	Minor site adjustments to building heights (Building 1 and 2), grades for SWM pond, street lighting locations, bollard locations at the plaza (near Building E), surface parking layout (Building G), planters (Building E and G), and lighting photometrics. Revisions to plaza layout and the addition of a "zone of influence" for the condominiums and commercial buildings.
Limited Site Plan No. 82004015F	Presented: October 8, 2009 (mailed October 26, 2009)	Addition of roadway connection from Park Potomac Avenue to Fortune Terrace, wrought-iron fence around the pool pump room. Relocation of bike racks. Adjustments to the brick paver lead walks and landscape for Condo Building #1.
Administrative Site Plan No. 82004015G	Approved October 14, 2010	Adjustments to the outdoor seating areas at Building E and G. Addition of sidewalk ramp at the Clubhouse in Condo Building #1. Reallocation of retail/restaurant uses. Deletion of decorative walls.
Administrative Site Plan No. 82004015H	Approved January 13, 2012	Reallocation of office and retail uses, and addition of outdoor seating area for Building E. Adjustments to site tabulations.
Limited Site Plan No. 82004015I	Presented (July 26, 2012) (mailed September 12, 2012)	Modifications to the building heights, footprint and unit-mix within Buildings 3, 4, 5 and 6. The unit-mix changed the overall parking tabulations. A portion of the median on Cadbury Avenue was deleted from the Site Plan. The Lighting and Landscape Plans were also revised on Parcels KK and LL.

Application	Approval Date	Brief Description
Administrative Site Plan No. 82004015J	Approved August 2, 2013	Installation of generators and associated concrete pads; modifications to the circulation system within the central garden area; addition of outdoor seating areas; addition of lifeguard station to the amenity plaza of Buildings 5 and 6; deletion of retaining walls; and revision to the Landscape Plan.
Consent Site Plan No. 82004015K	Presented May 25, 2014 Approved June 3, 2014	Enlarge GFA of Building D by 13,000 sq ft and reduce GFA of Building B by 13,000 sq ft. Increase parking by 29 spaces, and minor modifications to landscape elements.
Administrative Site Plan No. 82004015L	Approved August 28, 2015	Increase GFA of Building A by 20,835 (+22,000 office, -1,165 retail), and decrease GFA of Building C by 20,835 (-22,000 office, + 1,165 retail), and slight adjustment to the building footprint for Building C.
Amendment 82004015M	Withdrawn	Approve a temporary parking plan in front of Building F that would allow areas shown as handicap parking to remain general parking up to and until Building F was completed.