

WOODSTOCK EQUESTRIAN PARK

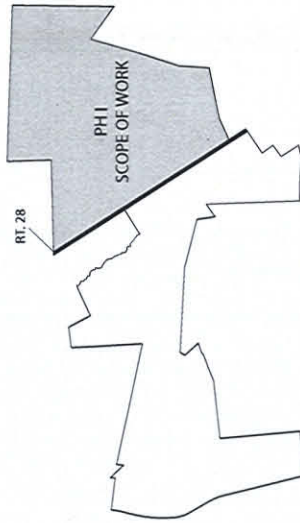
PHASE I FACILITY PLAN

COMMISSIONED BY: MARYLAND NATIONAL PARK & PLANNING COMMISSION

9500 BRUNETT AVENUE
SILVER SPRING, MARYLAND 20901
MONTGOMERY COUNTY
DEPARTMENT OF PARK AND PLANNING
(301) 495-2535

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PREPARED BY:

- | | | |
|---|--|---|
| <p>BLACKBURN ARCHITECTS, PC
IAN KELLY
1820 N STREET NW
WASHINGTON DC 20036
(202) 337-1755</p> | <p>LOIEDERMAN SOLTESZ ASSOCIATES, INC.
THERESA POLIZZI, RLA
2 RESEARCH PLACE, SUITE 100
ROCKVILLE MD 20850
(301) 948-2750</p> | <p>MCKEE CARSON
EUGENE RYANG
301 EAST HIGH STREET
CHARLOTTEVILLE VA 22902
(434) 979-7522</p> |
| <p>MENDOZA, RIBAS, FARINAS, & ASSOCIATES
WALTER MENDOZA
6265 EXECUTIVE BOULEVARD
ROCKVILLE MD 20852
(301) 468-8882</p> | <p>O'CONNOR CONSTRUCTION, INC
BASIL ALEXANDER
1790 LANIER PLACE NW
WASHINGTON DC 20009
(202) 658-8338</p> | <p>GEOCOCEPTS ENGINEERING, INC
PAUL BURKART
19955 HIGHLAND VISTA DR, ST. 170
CA 20147
(703) 726-8030</p> |

TATE, SHAHBAZ & ASSOCIATES, PC
ALI SHAHBAZ
9700 MILL RACE DRIVE
VIENNA VA 22182
(703) 757-5169

MNCPPC
LINDA KOMES
9500 BRUNETT AVE
SILVER SPRING MD 20901
(301) 650-2860

WOODSTOCK EQUESTRIAN PARK, PHASE 1A COVER SHEET

Sheet No. TS-1 of 1

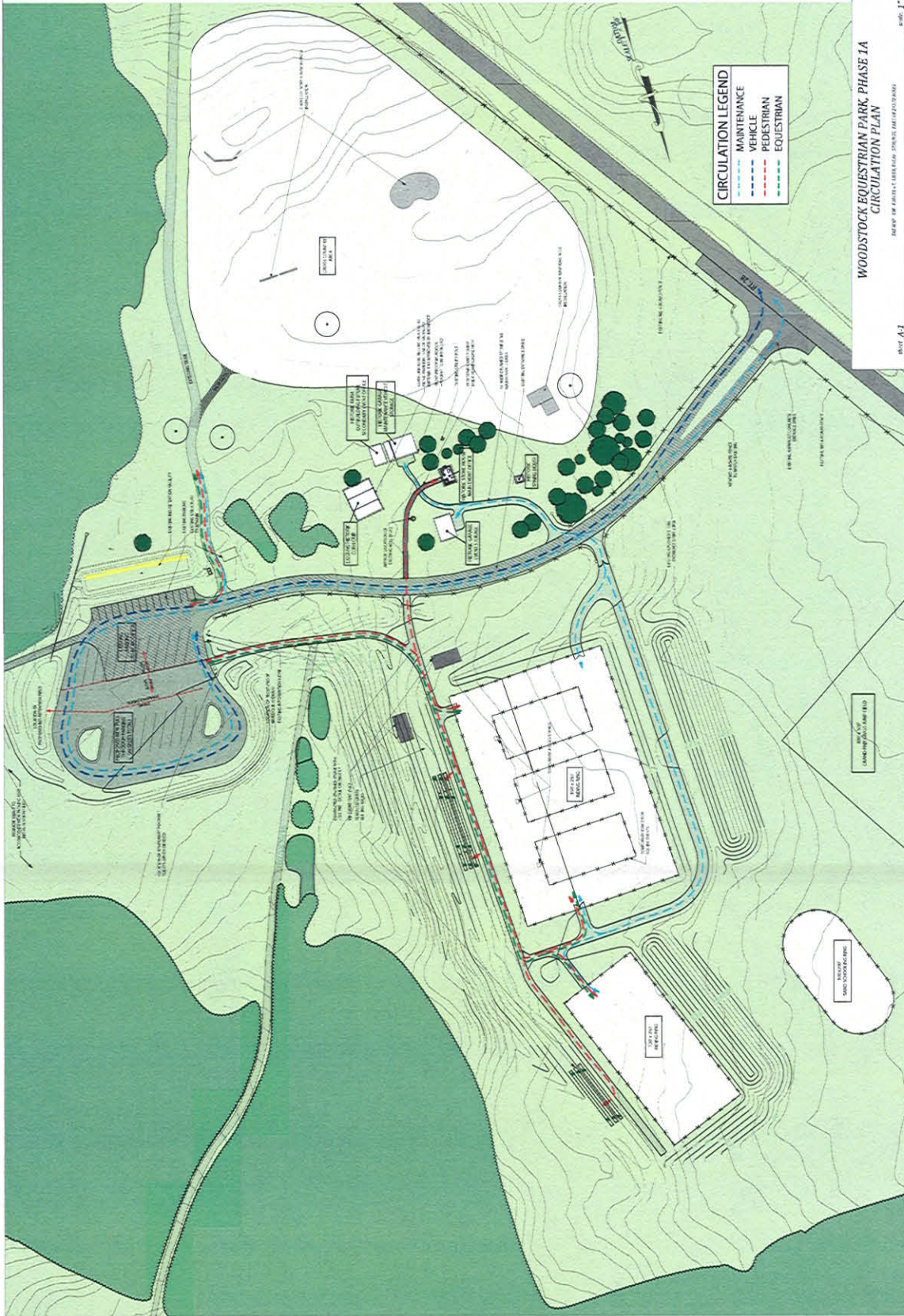
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/20/2018
2	ISSUED FOR PERMIT	03/20/2018
3	ISSUED FOR PERMIT	03/20/2018
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5	ISSUED FOR PERMIT	03/20/2018
6	ISSUED FOR PERMIT	03/20/2018
7	ISSUED FOR PERMIT	03/20/2018
8	ISSUED FOR PERMIT	03/20/2018
9	ISSUED FOR PERMIT	03/20/2018
10	ISSUED FOR PERMIT	03/20/2018

Scale: 1" = 40'

The Maryland National Capital Park and Planning Commission
9500 Brunnett Avenue
Silver Spring, MD 20901
Montgomery County
Department of Park and Planning
(301) 495-2535



TS-1



CIRCULATION LEGEND

— (Blue dashed line)	MAINTENANCE
— (Red dashed line)	VEHICLE
— (Green dashed line)	PEDESTRIAN
— (Black dashed line)	EQUESTRIAN

**WOODSTOCK EQUESTRIAN PARK, PHASE 1A
CIRCULATION PLAN**

Scale: 1" = 50' 0"

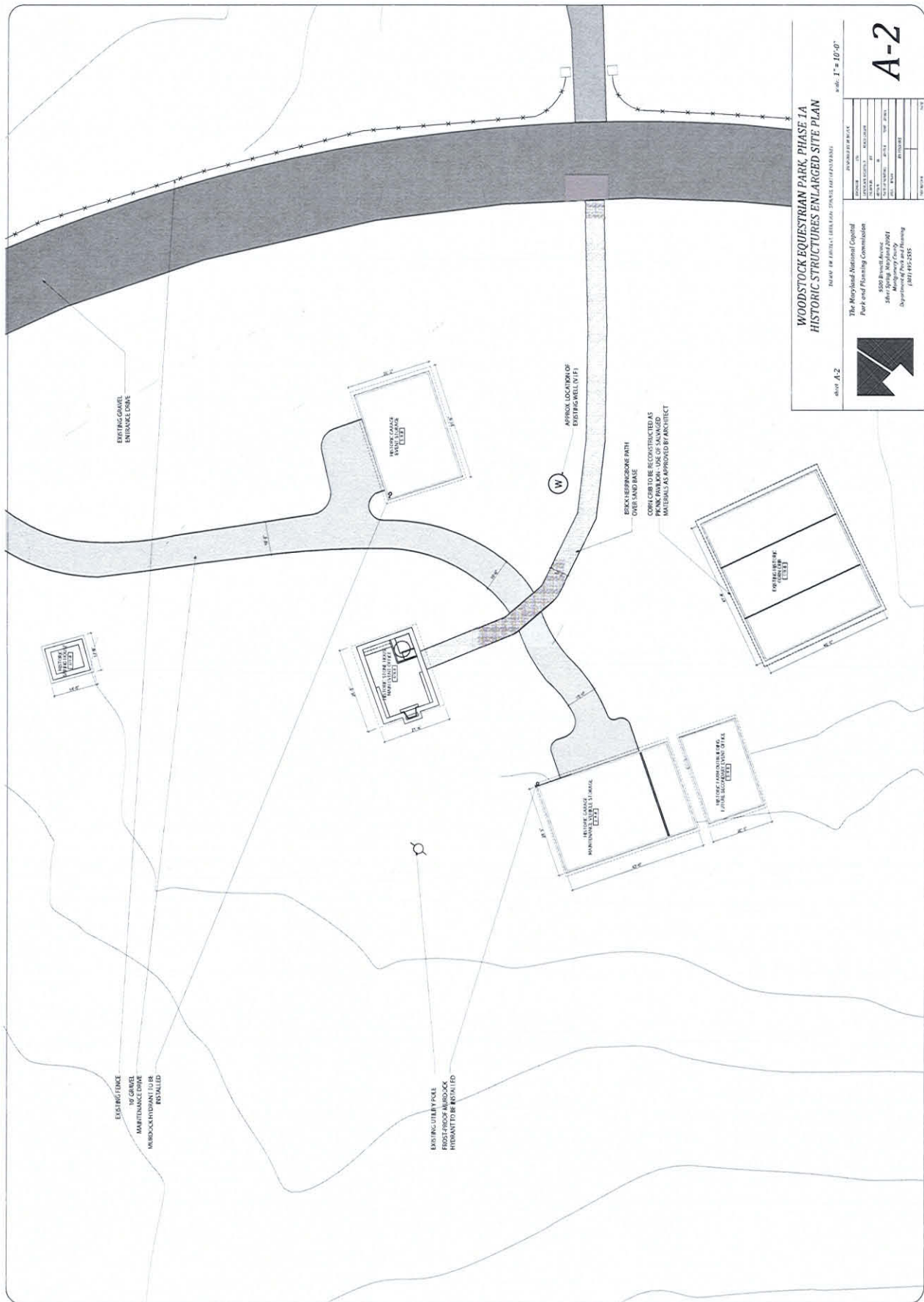
DATE	DESCRIPTION

A-1

Sheet A-1

THE Maryland National Capital
Park and Planning Commission
1500 Wisconsin Avenue
Spring, Maryland 20981
Montgomery County
Department of Planning
(301) 455-2335





**WOODSTOCK EQUESTRIAN PARK, PHASE 1A
HISTORIC STRUCTURES ENLARGED SITE PLAN**

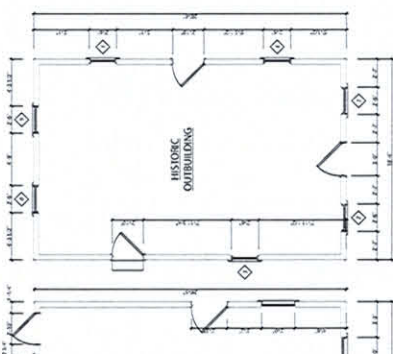
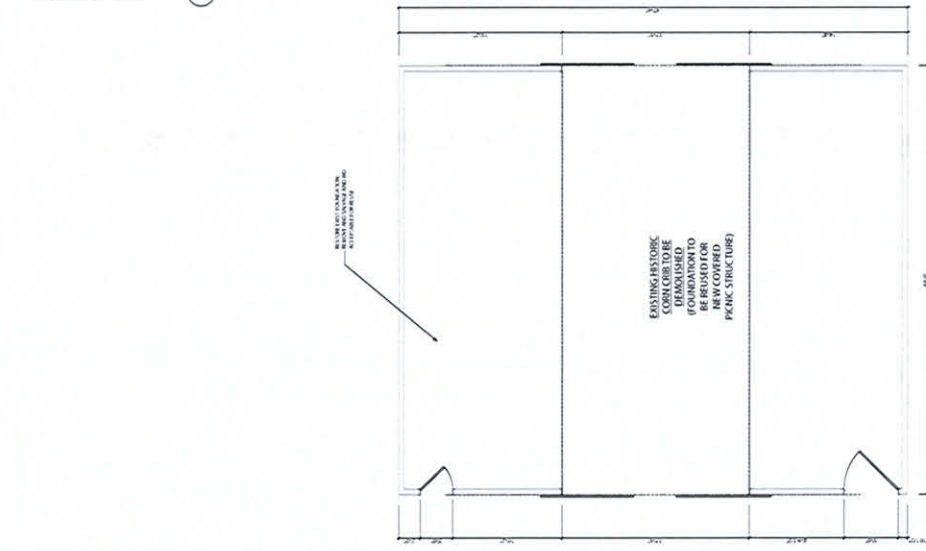
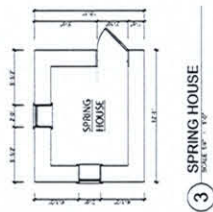
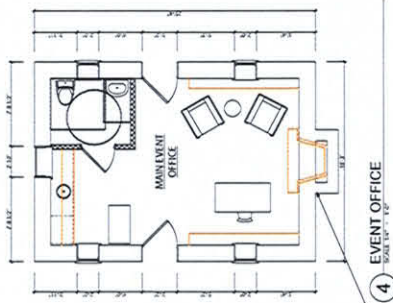
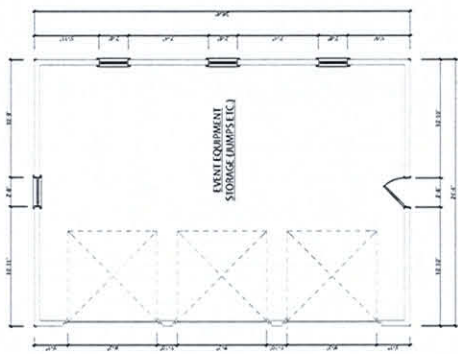
Scale: 1" = 10'-0"

DATE	DESCRIPTION

The Maryland National Capital Park and Planning Commission
 1500 Russell Avenue
 Silver Spring, Maryland 20914
 Montgomery County
 Department of Planning
 (301) 415-5335



A-2



WOODSTOCK EQUESTRIAN PARK, PHASE 1A
HISTORIC STRUCTURES PLANS

NEWARK FIRE BRIGADE ENGINEERING ARCHITECTS

PROJECT NO.	10000000000000000000
DATE	10/20/08
BY	10/20/08
CHECKED BY	10/20/08
SCALE	1/4" = 1'-0"
DATE	10/20/08
PROJECT	WOODSTOCK EQUESTRIAN PARK, PHASE 1A
CLIENT	THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
ADDRESS	10000000000000000000
CITY	10000000000000000000
STATE	10000000000000000000
COUNTRY	10000000000000000000
PHONE	10000000000000000000
FAX	10000000000000000000
EMAIL	10000000000000000000



THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

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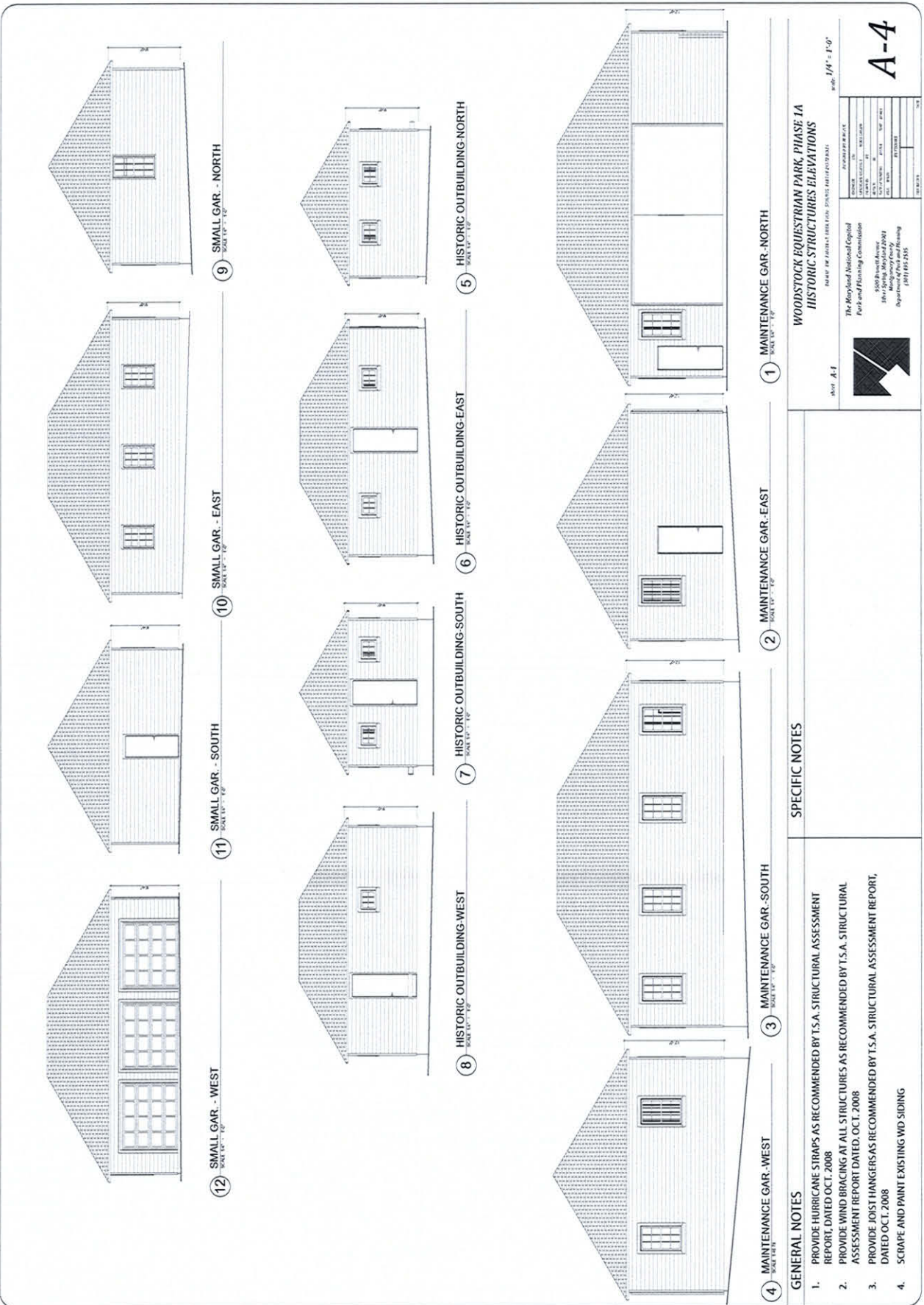
10000000000000000000

SPECIFIC NOTES

1. PROVIDE HURRICANE STRAPS AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT, DATED OCT. 2008
2. PROVIDE WIND BRACING AT ALL STRUCTURES AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT DATED OCT. 2008
3. PROVIDE JOIST HANGERS AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT, DATED OCT. 2008
4. SCRAPE AND PAINT EXISTING WD SIDING

GENERAL NOTES

A-3



**WOODSTOCK EQUESTRIAN PARK, PHASE 1A
HISTORIC STRUCTURES ELEVATIONS**

DATE: 10/20/08
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]

DATE	10/20/08
DRAWN BY	[Name]
CHECKED BY	[Name]
PROJECT NO.	[Number]
SHEET NO.	[Number]

A-4

SPECIFIC NOTES

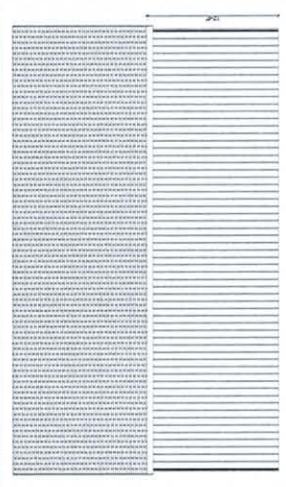
1. PROVIDE HURRICANE STRAPS AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT, DATED OCT. 2008
2. PROVIDE WIND BRACING AT ALL STRUCTURES AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT DATED, OCT. 2008
3. PROVIDE JOIST HANGERS AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT, DATED OCT. 2008
4. SCRAPE AND PAINT EXISTING WD SIDING

GENERAL NOTES

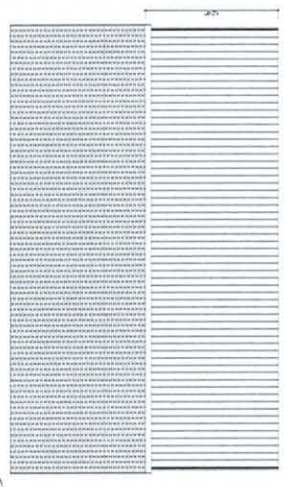
WOODSTOCK EQUESTRIAN PARK, PHASE 1A
 HISTORIC STRUCTURES ELEVATIONS
 SCALE: 1/4" = 1'-0"

THE MARYLAND NATIONAL CAPITAL
 PARK AND PLANNING COMMISSION
 5500 PINE AVE., SUITE 200
 COLLEGE PARK, MD 20740
 TEL: 410-326-7000
 FAX: 410-326-7001
 WWW.MNCP.COM

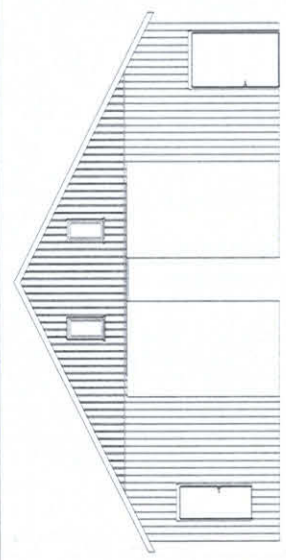




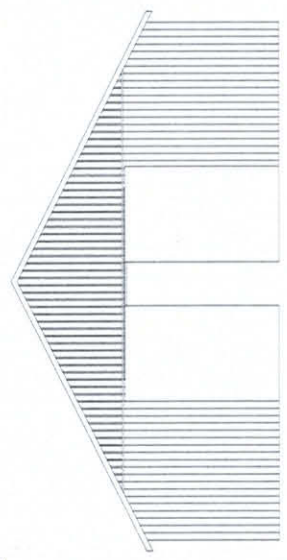
11 CORN CRIB - SOUTH
SCALE 1/4" = 1'-0"



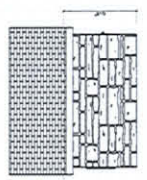
9 CORN CRIB - NORTH
SCALE 1/4" = 1'-0"



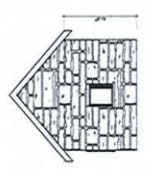
12 CORN CRIB - WEST
SCALE 1/4" = 1'-0"



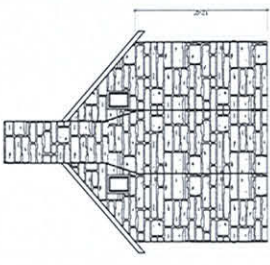
10 CORN CRIB - EAST
SCALE 1/4" = 1'-0"



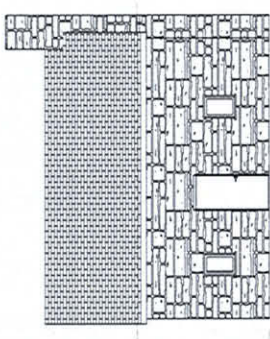
7 SPRING HOUSE - SOUTH
SCALE 1/4" = 1'-0"



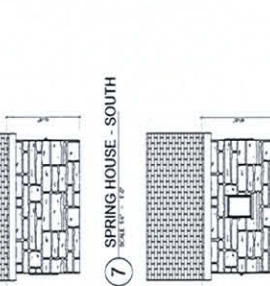
8 SPRING HOUSE - WEST
SCALE 1/4" = 1'-0"



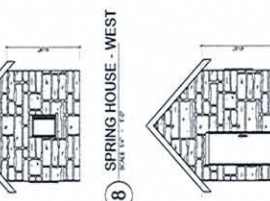
2 EVENT OFFICE - EAST
SCALE 1/4" = 1'-0"



4 EVENT OFFICE - WEST
SCALE 1/4" = 1'-0"



3 EVENT OFFICE - S
SCALE 1/4" = 1'-0"



1 EVENT OFFICE - NORTH
SCALE 1/4" = 1'-0"

GENERAL NOTES

1. PROVIDE HURRICANE STRAPS AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT, DATED OCT. 2008
2. PROVIDE WIND BRACING AT ALL STRUCTURES AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT DATED, OCT. 2008
3. PROVIDE JOIST HANGERS AS RECOMMENDED BY T.S.A. STRUCTURAL ASSESSMENT REPORT, DATED OCT. 2008
4. SCRAPE AND PAINT EXISTING WD SIDING

SPECIFIC NOTES

WOODSTOCK EQUESTRIAN PARK, PHASE 1A
HISTORIC STRUCTURES ELEVATIONS

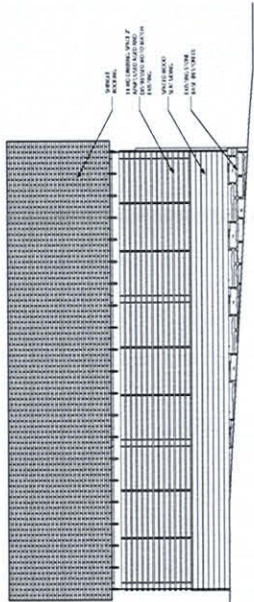
sheet: 1/4" = 1'-0"

DATE	DESCRIPTION

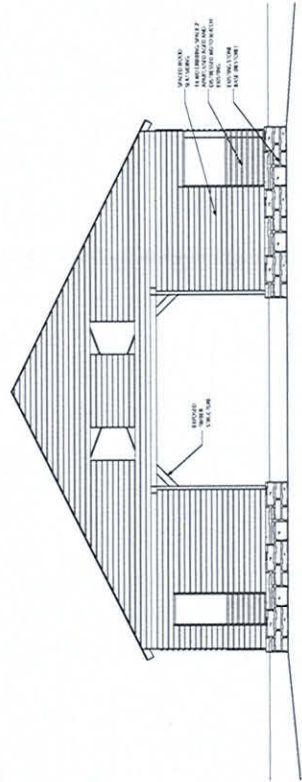
The Maryland National Capital
Park and Planning Commission
1500 New York
Ave., Suite 200
Silver Spring, Maryland 20910
Tel: 301-993-2800
Fax: 301-993-2855



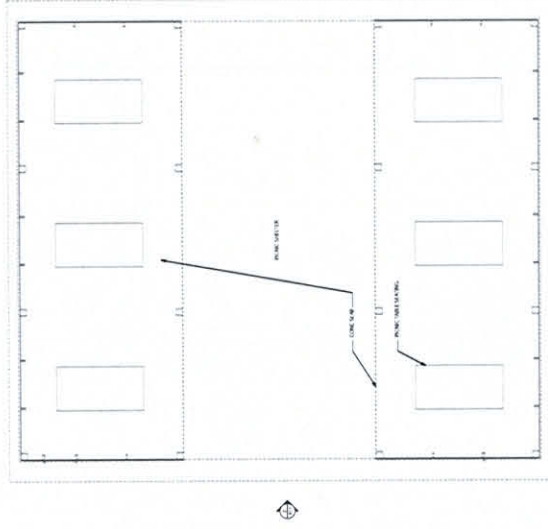
A-5



3 ELEVATION SCALE 1/4" = 1'-0"



2 ELEVATION SCALE 1/4" = 1'-0"



1 RENOVATION PLAN SCALE 1/4" = 1'-0"



WOODSTOCK EQUESTRIAN PARK, PHASE 1A
REUSE OF HISTORIC CORN CRIB
SCALE: 1/4" = 1'-0"

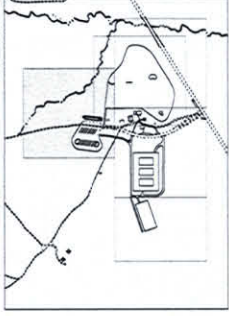
NO.	DATE	REVISION

THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
15500 BELTSVILLE AVENUE
SUIT 2000, BELTSVILLE, MD 20814
DEPARTMENT OF GENERAL SERVICES
(301) 485-5358



A-6

SHEET KBY



Proposed Plant List

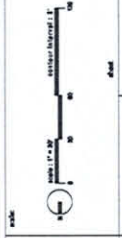
CONST SPEC	PLANT SPECIES	QUANTITY	REMARKS
1	Aster (var.)	1	See notes
2	Cornus (var.)	1	See notes
3	Hydrangea (var.)	1	See notes
4	Juniper (var.)	1	See notes
5	Malus (var.)	1	See notes
6	Quercus (var.)	1	See notes
7	Salix (var.)	1	See notes
8	Shrub (var.)	1	See notes
9	Taxus (var.)	1	See notes
10	Tree (var.)	1	See notes

Legend

EXISTING FENCE
PROPOSED FENCE (SEE SHEET L3 FOR DETAILS)

WOODSTOCK EQUESTRIAN PARK, PHASE 1
LANDSCAPE PLAN

SCALE: 1" = 30'



L1



The Maryland National Capital
Park and Planning Commission
1000 North Street
Annapolis, Maryland 21403
Department of Planning
(410) 336-3339

MARCECARSON
CORPORATION
1100 EAST MOUNTAIN AVENUE
SUITE 100
DURHAM, NC 27704
919.286.2222



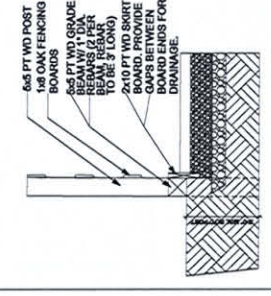
SEE SHEET LA

SEE SHEET L3

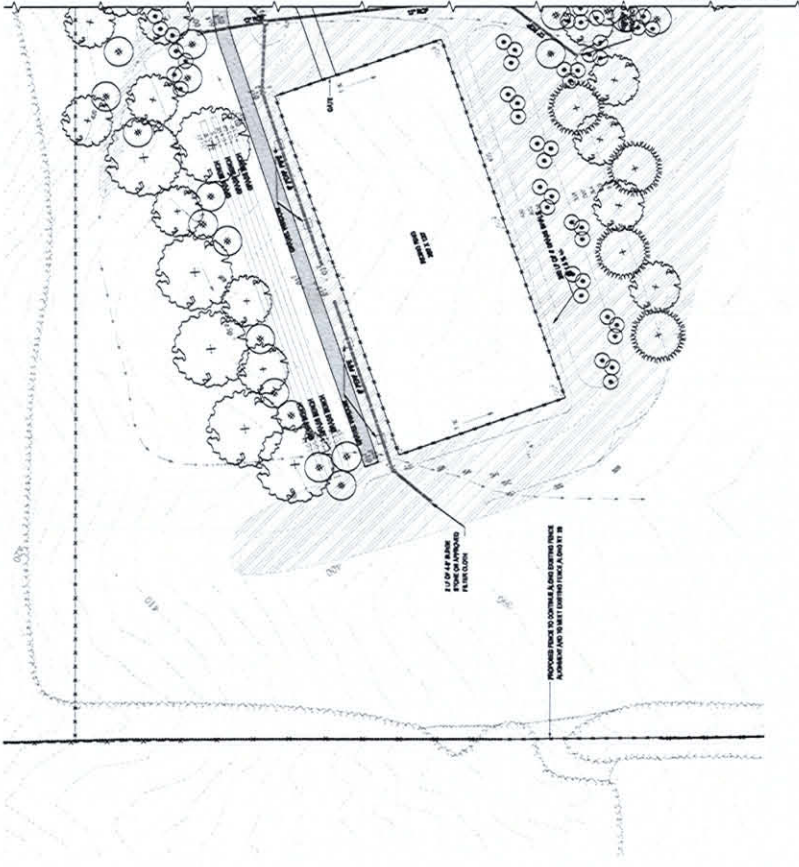
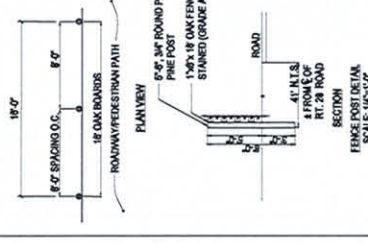
SHEET KEY



Proposed Footing Details (Scale: 1/4"=1'-0")



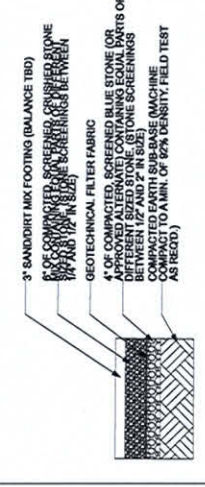
Proposed Fence Details (Scale: 1/4"=1'-0")



Proposed Path Details (Scale: 1/4"=1'-0")



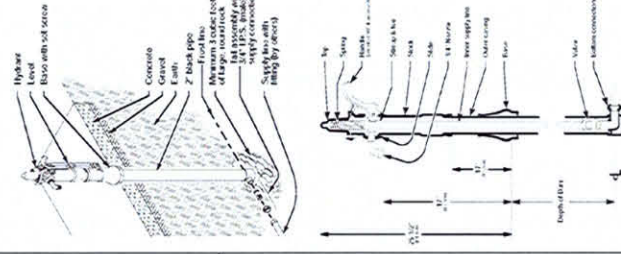
Proposed Footing Details (Scale: 1/4"=1'-0")



Proposed Plant List

SYMBOL	PLANT NAME	REMARKS
(Symbol)	DOGWOOD	Planting in 2024
(Symbol)	DOGWOOD	Planting in 2025
(Symbol)	DOGWOOD	Planting in 2026
(Symbol)	DOGWOOD	Planting in 2027
(Symbol)	DOGWOOD	Planting in 2028
(Symbol)	DOGWOOD	Planting in 2029
(Symbol)	DOGWOOD	Planting in 2030
(Symbol)	DOGWOOD	Planting in 2031
(Symbol)	DOGWOOD	Planting in 2032
(Symbol)	DOGWOOD	Planting in 2033
(Symbol)	DOGWOOD	Planting in 2034
(Symbol)	DOGWOOD	Planting in 2035
(Symbol)	DOGWOOD	Planting in 2036
(Symbol)	DOGWOOD	Planting in 2037
(Symbol)	DOGWOOD	Planting in 2038
(Symbol)	DOGWOOD	Planting in 2039
(Symbol)	DOGWOOD	Planting in 2040
(Symbol)	DOGWOOD	Planting in 2041
(Symbol)	DOGWOOD	Planting in 2042
(Symbol)	DOGWOOD	Planting in 2043
(Symbol)	DOGWOOD	Planting in 2044
(Symbol)	DOGWOOD	Planting in 2045
(Symbol)	DOGWOOD	Planting in 2046
(Symbol)	DOGWOOD	Planting in 2047
(Symbol)	DOGWOOD	Planting in 2048
(Symbol)	DOGWOOD	Planting in 2049
(Symbol)	DOGWOOD	Planting in 2050

Proposed Mulchbed Hydrants



WOODSTOCK EQUESTRIAN PARK, PHASE 1 LANDSCAPE PLAN

SCALE: 1/4"=1'-0"

DATE: 08/20/2024

PROJECT: WOODSTOCK EQUESTRIAN PARK, PHASE 1 LANDSCAPE PLAN

DESIGNED BY: [Firm Name]

PROJECT LOCATION: [Address]

CLIENT: [Client Name]

SCALE: 1/4"=1'-0"

SHEET NO: L2

Proposed Fence Details (Scale: 1/4"=1'-0")

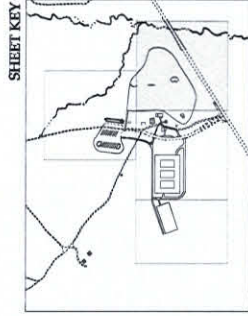
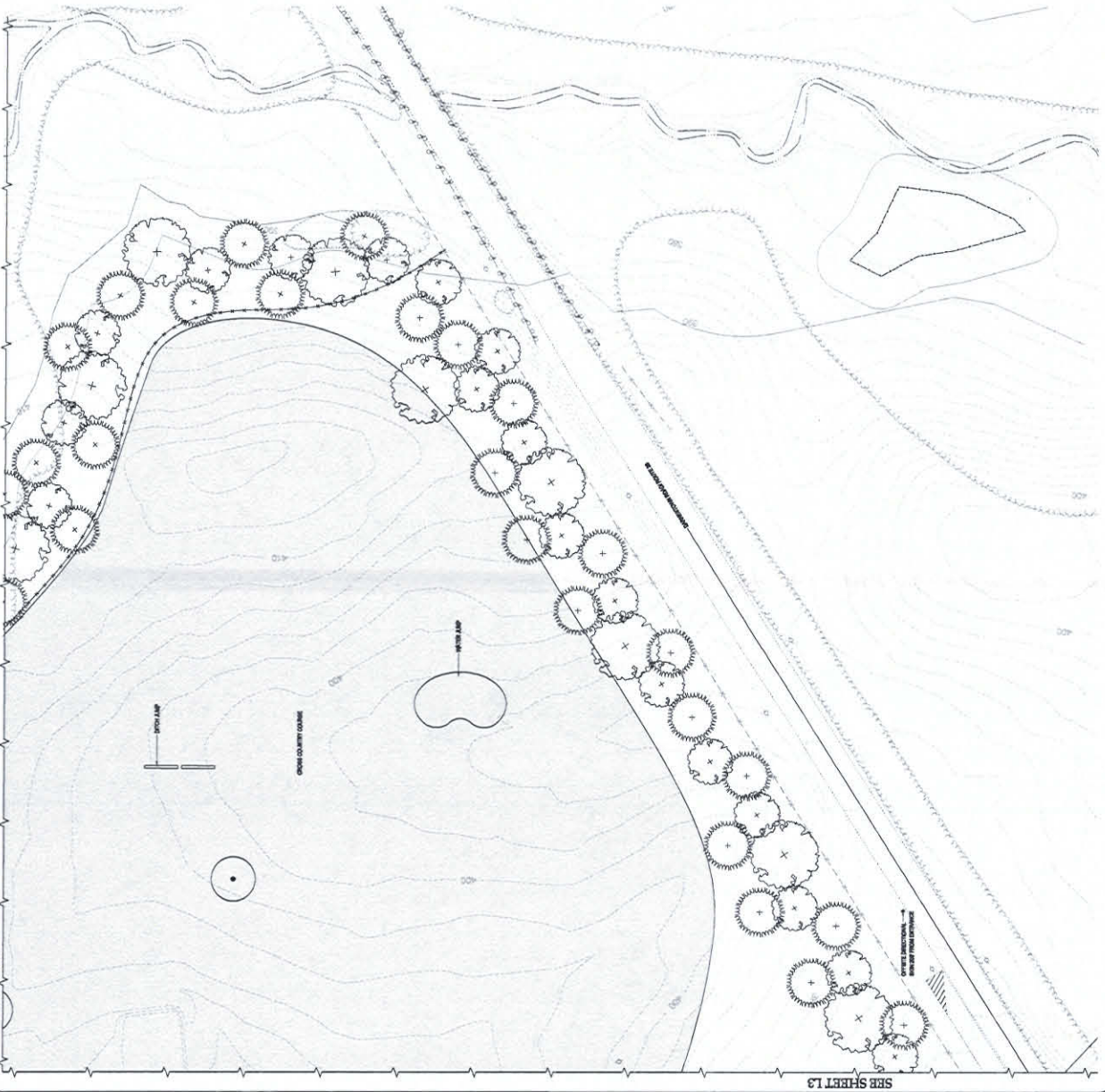


Fence Detail (Scale: 1/4"=1'-0")



Fence Detail (Scale: 1/4"=1'-0")

SEE SHEET L1



Proposed Plant List

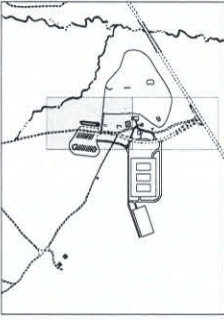
PLANT TYPE	PLANT NAME	PLANT SIZE	PLANT CODE
TREES	AMERICAN BIRCH	12-18"	A1
	DOGWOOD	12-18"	D1
	FRUITING DOGWOOD	12-18"	FD
	GLAZED BLUE SPRUCE	12-18"	G1
	HYDRANGEA	12-18"	H1
	JAPANESE SPRING DOGWOOD	12-18"	JD
	RED TWIG DOGWOOD	12-18"	RTD
	SMOOTH BARK DOGWOOD	12-18"	SD
	WEINMANNIA	12-18"	W1
	YEW	12-18"	Y1
SHRUBS	DOGWOOD	12-18"	D2
	FRUITING DOGWOOD	12-18"	FD2
	GLAZED BLUE SPRUCE	12-18"	G2
	HYDRANGEA	12-18"	H2
	JAPANESE SPRING DOGWOOD	12-18"	JD2
	RED TWIG DOGWOOD	12-18"	RTD2
	SMOOTH BARK DOGWOOD	12-18"	SD2
	WEINMANNIA	12-18"	W2
	YEW	12-18"	Y2
	DOGWOOD	12-18"	D3
PERENNIALS	DOGWOOD	12-18"	D4
	FRUITING DOGWOOD	12-18"	FD4
	GLAZED BLUE SPRUCE	12-18"	G4
	HYDRANGEA	12-18"	H4
	JAPANESE SPRING DOGWOOD	12-18"	JD4
	RED TWIG DOGWOOD	12-18"	RTD4
	SMOOTH BARK DOGWOOD	12-18"	SD4
	WEINMANNIA	12-18"	W4
	YEW	12-18"	Y4
	DOGWOOD	12-18"	D5

Legend
 --- EXISTING FENCE
 - - - - - PROPOSED FENCE (SEE SHEET L3 FOR DETAILS)

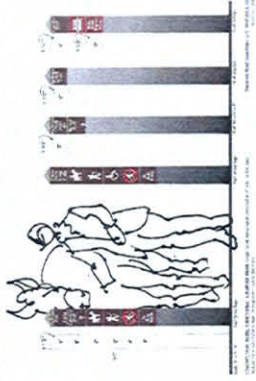
WOODSTOCK EQUESTRIAN PARK, PHASE 1
 LANDSCAPE PLAN

<p>MCKEACARSON LANDSCAPE ARCHITECTS 1000 N. JEFFERSON ST. SUITE 200 WASHINGTON, DC 20004 (202) 638-1100</p>		<p><i>Field Sport</i> CONSULTANTS</p>	<p>DATE: 11/11/11 SCALE: 1" = 20' SHEET: L4 OF 14</p>
<p>The Maryland-National Capital Park and Planning Commission 1000 N. JEFFERSON ST., SUITE 200 WASHINGTON, DC 20004 (202) 638-1100</p>		<p>PROJECT NO. 11-0001 SHEET NO. L4 OF 14</p>	

SHEET KEY



Trellis Marker and Directional Way Finding Signage



Symbol	Description
[Horse]	Horse
[Person]	Person
[Bicycle]	Bicycle
[Dog]	Dog
[No Alcohol]	No Alcohol
[No Dogs]	No Dogs
[No Smoking]	No Smoking
[No Pets]	No Pets
[No Bicycles]	No Bicycles
[No Motor Vehicles]	No Motor Vehicles
[No Firearms]	No Firearms
[No Weapons]	No Weapons
[No Glass]	No Glass
[No Alcohol]	No Alcohol
[No Dogs]	No Dogs
[No Smoking]	No Smoking
[No Pets]	No Pets
[No Bicycles]	No Bicycles
[No Motor Vehicles]	No Motor Vehicles
[No Firearms]	No Firearms
[No Weapons]	No Weapons
[No Glass]	No Glass



SEE SHEET L6

Legend
 --- EXISTING FENCE
 --- PROPOSED FENCE (SEE SHEET L2 FOR DETAILS)

**WOODSTOCK EQUESTRIAN PARK
 SIGNAGE PLAN & DETAILS**

DATE: 08/14/2013 11:58 AM

MACECARSON
 LANDSCAPE ARCHITECTS
 1000 EASTMAN AVENUE
 SUITE 100
 WASHINGTON, DC 20004
 PHONE: 202.297.1234
 WWW.MACECARSON.COM



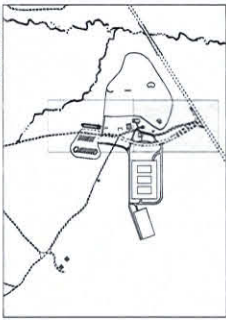
**The Maryland-National Capital
 Park and Planning Commission**
 1000 North Capitol Street
 Suite 1000
 Washington, DC 20002
 Phone: 202.455.1000



L5

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	08/14/2013
2	ISSUED FOR PERMITTING	08/14/2013
3	ISSUED FOR PERMITTING	08/14/2013
4	ISSUED FOR PERMITTING	08/14/2013
5	ISSUED FOR PERMITTING	08/14/2013
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8	ISSUED FOR PERMITTING	08/14/2013
9	ISSUED FOR PERMITTING	08/14/2013
10	ISSUED FOR PERMITTING	08/14/2013

SHEET KEY



Interpretive and Perimeter Signage

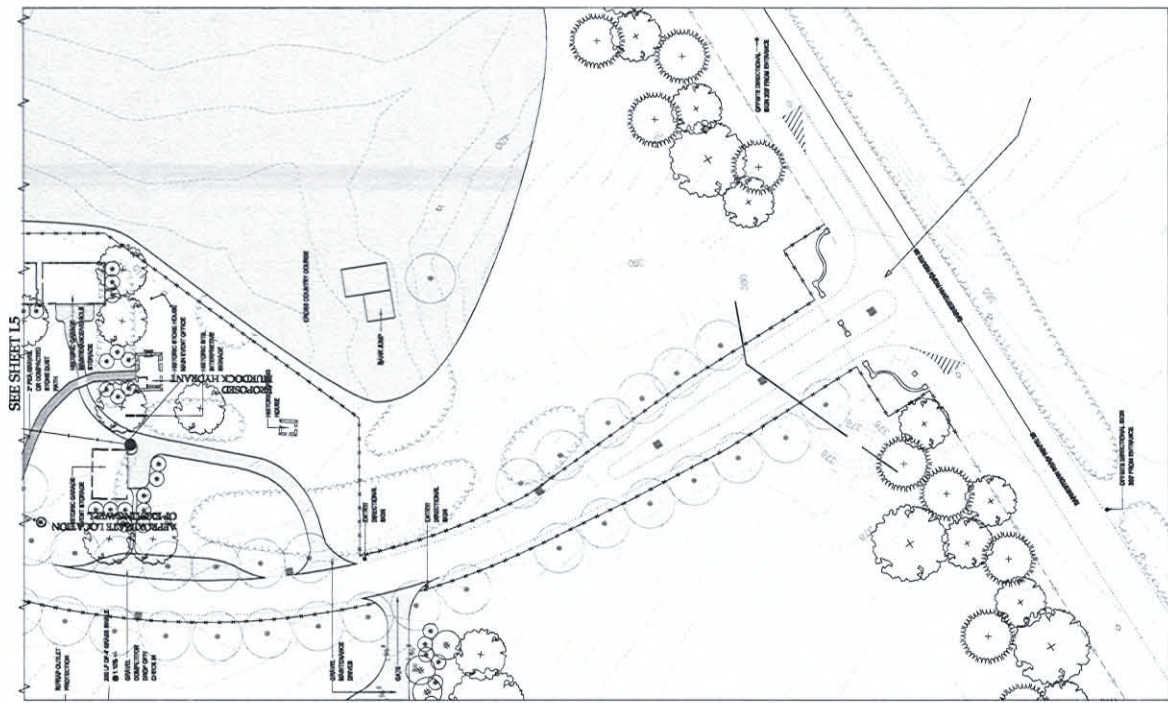
Woodstock Park has been identified as a special place for its historic significance. The focus is on the historic area of the park. The Signage Series is designed to provide information and interpretation of the historic area of the park. The Signage Series is designed to provide information and interpretation of the historic area of the park. The Signage Series is designed to provide information and interpretation of the historic area of the park.



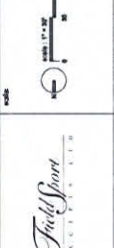
Interpretive Signage - Part of Historic Woodstock Park



Legend
 --- EXISTING FENCE
 --- PROPOSED FENCE (SEE SHEET L2 FOR DETAILS)



**WOODSTOCK EQUESTRIAN PARK
 SIGNAGE PLAN & DETAILS**

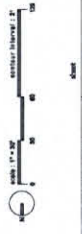


MCKEACARSON
 ARCHITECTURAL FIRM
 1000 W. 10th Street
 Oklahoma City, Oklahoma 73106
 Phone: (405) 233-1111
 Fax: (405) 233-1112

The Maryland-National Capital
 Park and Planning Commission
 8000 River Avenue
 Riverdale, Maryland 21155
 Department of Parks and Planning
 (410) 326-6000

REVISIONS	
NO.	DESCRIPTION

L6



TATE, SHAHBAZ & ASSOCIATES, P.C.

CONSULTING STRUCTURAL ENGINEERS

9700 MILL RACE DR.
VIENNA, VA. 22182
TEL : 703-757-5169
FAX : 703-757-5864

October 24, 2008

John Blackburn
Blackburn Architects
1820 N Street, N.W.
Washington, DC 20036

RE : Woodstock Equestrian Park
Rte. 28, Darnestown Road, Beallsville, MD
Structural Assessment Report

Mr. Blackburn:

Pursuant to your notice to proceed, we visited the above referenced property on Oct. 22nd 2008, and performed a non-intrusive visual inspection of the existing buildings. The purpose of this inspection is to evaluate the structural integrity of the buildings and the framing components, and to identify any structural problems that may exist and require correction. Following is a report of our findings, opinion, and recommendations:

Background Information :

Property is located on the east side of Darnestown Road (MD Rte. 28) in Beallsville, Maryland, and within the jurisdiction of Montgomery County. The subject structures studied in this site visit are:

- 1- The Historic Barn: This building is composed of wood-framed structure, supported on stone foundation.
- 2- The Historic Garage - Maintenance/Vehicle Storage: This is a wood-framed structure, supported on concrete foundation. This appears to be one of the older buildings in the group.
- 3- The Historic Garage - Event Storage: This is also a wood-framed structure, supported on concrete foundation. This building appears to be fairly newer than the previous garage building.
- 4- The Historic Farm Out-Building: This is a wood-framed structure supported on concrete foundation, adjacent to the older Historic Garage.

- 5- The Historic Stone House: This is a two-story wood framed structure, possibly supported on concrete or stone foundation.

All five buildings are located in a fairly flat green area, south of the access road connecting the park to Darnestown Road. Condition of each building is discussed in detail.

Structural Inspection & Assessment:

Framing components and other structural elements of buildings were inspected during our visit, and evaluated for condition, integrity, and/or adequacy. The following are our findings and opinions:

The Historic Barn:

- 1- Stone Foundation: The stone foundation comprises of a continuous 8" to 12" wide strip on either side of the barn, with individual 20"x60" stone pier footings in 2 rows in between. There are a total of 12 individual intermediate pier footings supporting the barn structure. Examination of the stone foundation showed that the continuous strip stone foundation on the north side of the barn is in acceptable condition. We observed some mortar joints that require re-pointing. Additionally, some minor vertical cracks were noticed on the exterior face of the stone foundation, which do not impact the structural integrity of the foundation at this time. There is general deterioration in the stone units, which has occurred due to weathering and aging of stone. The depth of the foundation is not known and could not be verified.

The strip foundation on the south side is severely damaged due to the pressure imposed by an existing tree, abutting the foundation. The pressure caused by the growth of the tree, has shifted the strip stone foundation inwards, dislocating the stone units and causing misalignment and damages to the super structure. Mortar joints in this strip are deteriorated and damaged due to this movement. Complete structural rehabilitation and stabilization must be performed prior to start of work on the super-structure.

Examination of the 12 individual stone piers between the two exterior strip footings, showed that these pier footings are in generally acceptable conditions, with some signs of weathering and aging, which is acceptable when considering the age of the building. Some mortar joints require re-pointing but no structural rehabilitation is required. The depth of the pier footings could not be verified in field, but is not believed to meet the frost depth requirements in accordance with the governing local codes. All stone foundations appear to require underpinning to meet the frost depth requirements.

- 2- Super-Structure: The super-structure is comprised of wood posts supporting wood beams along the interior pier foundation grid-lines, which in turn support roof rafters. The super-structure is deteriorated entirely and is on the verge of collapsing, and therefore can not be repaired or rehabilitated. As per project documents, the super-structure will be completely demolished and re-built anew.

The Historic Garage (Maintenance/Vehicle Storage):

- 1- Framing Components: The roof structure is composed of 2x6 rafters, spaced at approximately 24", and toe-nailed to the ridge beam and valley beams without any hangers. We recommend that new hangers be added to the connections of roof rafters and ridge/valley beams. There are 3 garage doors on the north side of the building, with double 2x12 headers, supported on 4x6 wood posts. Roof rafters are resting on the perimeter 2x4 stud walls, spaced at 24", and garage door headers.

No hurricane ties were observed at the bearing points of rafters. We recommend installation of proper hurricane ties at all roof rafters. Additionally, there are 2x10 ceiling joists, spaced at 24", nailed to roof rafters and resting on the perimeter stud walls and garage door headers in the majority of the garage area. One of the ceiling joists has an 8' longitudinal through-thickness crack, which requires repair and reinforcement. (Refer to drawing 2/S-1 for location of broken ceiling joist.)

Perimeter stud walls are in overall good condition with minor deterioration, and are resting on continuous 4x6 sill plates anchored to the foundation wall by ½" diameter anchor bolts. Continuous sill plates are in overall good condition, however; the spacing between anchors is excessive at some locations. Installation of additional intermediate anchor bolts in such areas is necessary.

Door and window openings do not have structurally adequate headers and posts, and the existing flat 2x headers do not have adequate load capacity to effectively support the loads. Installation of new headers and posts at all door and window openings is necessary.

There are corner braces in both directions to resist wind. These corner braces extend from corner posts to sill plate at approximately 45 degree angles and interrupt the wall studs. The building does not have adequate wind-resisting mechanism in accordance with the current building code; IBC-2006, and requires updating this system.

- 2- Concrete Foundation Walls, Garage Slab & Apron: We observed two major cracks on the foundation walls, on the south side of the building (Refer to drawing 1/S-1 for location of cracks). These cracks appear to be in the range of 3/32" to 1/8", and require repair. Other parts of the concrete foundation wall appeared to be in good condition

without any severe damages or deterioration. The depth of the concrete foundation could not be verified in field, but is believed to not extend to the frost depth, as required by the governing local codes and requires underpinning.

The concrete slab inside garage appears to be placed in two segments. One thickened slab area, which is intended to support heavier equipment. Other slab areas appeared to be of smaller thickness, intended for storage of normal weight equipment, machinery or vehicles. The thickened slab is separated from adjacent slab areas by cold joints, which have settled and caused cracks in the concrete slab. Other areas of the concrete slab also show signs of cracks. (Refer to drawing 1/S-1 for location of cracks and settled areas.)

The concrete apron along the north wall of the building is damaged, due to continuation of the cracks which have started from inside the garage and have extended to the apron. Additionally, a portion of the concrete apron on the northwest side is broken and missing.

3-. Non-Structural Components:

- I) Wood siding is deteriorated and paint is peeled and separated from wood siding in most areas. The wood siding can be re-conditioned and painted.
- II) Roof decking is in acceptable conditions. It appears that the roof sheathing plywood has been placed in recent years. Roof shingles also appear to have been replaced in recent years and are in acceptable condition.
- III) No gutters and downspouts exist around the perimeter of the building. It is recommended that new gutters and downspouts be installed to allow for proper discharge of water and avoid damp conditions in eave and wall components.

The Historic Garage (Event Storage):

- 1-. Framing Components: The roof structure is composed of 2x6 rafters, spaced at 24", and toe-nailed to the 2x8 ridge beam and 2x8 valley beams without any hangers. We recommend that new hangers be added to the connections of roof rafters and ridge/valley beams. There are no collar ties installed to enhance the structural performance of the existing roof rafters. It is recommended that new collar ties be added to the rafters for better performance.

There are 3 garage doors on the west side of the building, with double 2x12 headers, supported on 4x6 wood posts. Roof rafters are resting on the perimeter 2x4@24" on center stud walls and garage door headers. (Refer to drawing 3/S-2).

No hurricane ties were observed at the bearing points of rafters. We recommend installation of proper hurricane ties at all roof rafters. Additionally, there are 2x6@24" oc ceiling joists, nailed to roof rafters and sitting on the perimeter stud walls and garage door headers in the majority of the garage area. (Refer to drawing 2/S-2 for location of ceiling joists).

Perimeter stud walls are in overall good condition with some minor deterioration. Wall studs rest on continuous 4x6 sill plates, anchored to the foundation wall by ½" diameter anchor bolts. Continuous sill plates are in overall good condition, however; the spacing between anchors is excessive in some locations. Installation of additional intermediate anchor bolts in such areas is necessary.

Door and window openings do not have structurally adequate headers and posts, and the existing flat 2x headers do not have adequate load capacity to effectively support the loads. Installation of new headers and posts at all door and window openings is necessary.

The wind-resisting system for the building does not conform to the current code requirements and standards, and requires updating in accordance with IBC-2006.

- 2- Concrete Foundation Walls, Garage Slab & Apron: The concrete foundation walls appeared to be in good conditions without any cracks, damages or deteriorations. The concrete slab inside garage is also in acceptable conditions, however; due to presence of excessive amounts of debris inside garage, a thorough visual inspection of the concrete slab was not possible.

The concrete apron along the west wall of the building is damaged, due to the pressure imposed by an existing tree, at the northwest corner of the building. We believe continued pressure from this tree will impose more damage to the structure in future, especially to the adjacent foundation walls and concrete slab.

3- Non-Structural Components:

- I) Wood siding is in overall good condition and new paint can increase its life.
- II) Roof decking material appeared to be in good conditions. Roof plywood and shingles also appeared to be in acceptable conditions without severe damages or deteriorations.
- III) Gutters are present around the building, and are clogged and need cleaning. We did not observe any downspouts, and recommend installation of new ones to direct the rain water properly.

IV)..... We observed signs of termite inside the garage, but the extent of damage could not be determined. We recommend utilizing professional services to study this issue and determine required actions.

V)..... Two of the garage doors are broken and need repair/replacement.

The Historic Farm Outbuilding:

1- . Framing Components: The roof structure is composed of 2x4@24" on center rafters, toe-nailed to the 2x6 ridge beam and 2x6 valley beams without any hangers. We recommend that new hangers be added to the connections of roof rafters and ridge/valley beams. There are no collar ties installed to enhance the structural performance of the existing roof rafters. It is recommended that new collar ties be added to the rafters for better performance. We noticed minor warping and moisture damage in roof rafters.

Perimeter stud walls are in overall good conditions with some deterioration, such as minor cracks at bottom, where they are toe-nailed to the continuous sill plate. Nails used to connect the studs to the continuous sill plate are rusted due to moisture. The sill plates are anchored to the foundation wall by 1/2" diameter anchor bolts. Continuous sill plates are in overall good condition, however; the spacing between anchors is excessive in some locations. Installation of additional intermediate anchor bolts in such areas is necessary.

Door and window openings do not have structurally adequate headers and posts, and the existing flat 2x headers do not have adequate load capacity to effectively support the loads. Installation of new headers and posts at all door and window openings is necessary.

The wind-resisting system for the building does not conform to the current code requirements and standards, and requires updating in accordance with IBC-2006.

No hurricane ties were observed at the bearing points of rafters. We recommend installation of proper hurricane ties at all roof rafters to comply with current code. There are also three 2x6 ceiling joists which appear to be in acceptable conditions. Installation of additional collar-ties is also recommended.

2- . Concrete Foundation Walls, Garage Slab: The concrete foundation walls appeared to be in good conditions except for one location where a 3/16" wide vertical crack was observed on the foundation wall. We recommend repairing the crack with method of epoxy injection. Additionally, a concrete step at the side entrance door has settled and is separated from the foundation wall. The concrete slab inside the building is also in acceptable conditions.

3- Non-Structural Components:

- I) Wood siding is severely deteriorated, and there are signs of water damage. Siding requires major repair and reconditioning or replacement.
- II) Roof decking material appeared to be in good conditions. It appears that new plywood has been installed in recent years. Roof shingles also appeared to be in acceptable conditions without severe damages or deteriorations, however; they're approaching the end of their efficient life and might need replacement in the coming years.
- III) Gutters are present around the building, and are clogged and need cleaning and repair. We did not observe any downspouts, and recommend installation of new ones to direct the rain water properly.

The Historic Stone House:

- 1- Framing Components: This building is a two story structure with wood roof and floor members, supported on stone walls at perimeter. Roof is composed of 2x6@24" on center rafters, with 2x6 collar-ties toe-nailed to the ridge beam without any hangers. We recommend that new hangers be added to the connections of roof rafters and ridge beam. The interior surfaces are covered with plaster, and due to limited visibility, conditions of roof rafters and collar ties could not be thoroughly determined. They are believed to be in acceptable condition with some moisture and age related deteriorations.

Upper floor framing system is composed of 4" diameter tip and 8" diameter butt timber joists, shaved flat at top for support of floor decking. Timber joists are supported by the stone wall at perimeter of the building, and appear to be in good condition without any noticeable damages, cracks or deterioration.
- 2- Stone Walls: The perimeter stone walls appeared to 16" thick, with signs of weathering. Some mortar joints are deteriorated and require re-pointing. The stone walls appear plumb and structurally adequate.
- 3- Foundation & Concrete slab: The foundation of this building was not visible from inside and out, and therefore we could not determine its material and conditions. Based on the overall conditions of this building, we believe the existing foundation should be in acceptable conditions. We also could not determine the conditions of the interior concrete slab due to presence of vinyl flooring.

4. Non-Structural Components:

- I) Gutters are present around the building, and are clogged and need cleaning. We did not observe any downspouts, and recommend installation of new ones to direct the rain water properly.
- II) Upper floor decking appears to be 2-1/2"x3/4" T&G hardwood decking which appeared to be in good conditions.

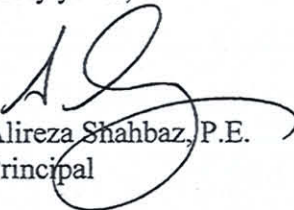
Conclusion:

Based on the results of the inspection and analysis of the information gathered, it is our opinion that the majority of buildings, except for the historic barn, are in structurally acceptable condition and no major repair/reinforcement work is required. Most deficiencies noticed include absence of hangers at connections of roof rafters to ridge and valley beams, absence of hurricane ties where roof rafters are resting on perimeter stud walls, and absence of structurally adequate headers at door and window openings. Correction of these deficiencies is not considered to be material or labor intensive.

Additionally, in order to bring all buildings up to the current requirements of governing building codes, proper wind-bracing systems must be installed. Wind-bracing systems are designed to withstand lateral pressure imposed on buildings due to wind or hurricane loads and are required by almost all current building codes.

We hope that this report provides you with adequate information for planning the renovation of the subject buildings. Thank you for the opportunity to be of service, and if you have any questions about the contents of this report, please do not hesitate to call me.

Truly yours,



Alireza Shahbaz, P.E.
Principal