

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION




Department of Park and Planning, Montgomery County, Maryland
9500 Brunett Avenue • Silver Spring, Maryland 20901

November 28, 2001

AGENDA DATE: December 6, 2001

M E M O R A N D U M

TO: The Montgomery County Planning Board
VIA: Donald K. Cochran, Director of Parks
FROM: Jerry Bush, Administrative Supervisor 
SUBJECT: Meadowbrook Stables - Proposed Development Plan

STAFF RECOMMENDATION: Approval of Meadowbrook Associates' proposed development plan for Meadowbrook Stables

Planning Board approval of the development plan carries with it the following associated approvals.

- Approval of new site development plan for Meadowbrook Stables and environs to incorporate the proposed improvements by Meadowbrook Associates, Inc. (MAI), tenant/concessionaire.
- Approval to negotiate a new lease with MAI to redefine the concessionaire-Commission relationship based on the proposed improvements to the leased premises, and to incorporate the operational commitments MAI has made to the Commission and the community during the public review process for their project.
- Approval for MAI to proceed with detailed design and permit applications for the proposed improvements.

Executive Summary

Meadowbrook Stables is operated by MAI, under a lease with the Commission. As a condition of the lease, MAI is required to make selected improvements to the grounds and structures that comprise the leased premises.

Meadowbrook Stables - Proposed Development Plan
Presentation to the Montgomery County Planning Board - December 6, 2001

Their development proposal outlined herein represents a coordinated effort to significantly enhance the features, functionality, and attractiveness of the stables and grounds, in addition to performing the improvements that are required by the terms and conditions of the lease. A substantial portion of the proposed improvements will come to the Commission as an outright gift from the President of MAI, David Bradley, whose vision for the stables is equal parts character development for youth and restoration of a beautiful, grand, and historic riding facility.

Staff urges the Planning Board to approve the development plan as presented to include the associated approvals/actions listed above.

List of Attachments

	Attachment #	Circle #
- Public-Private Development Guidelines	1	12-14
- MAI Summary of Capital Improvements	2	15-17
- MAI's Proposed Development Plan w/exhibits	3	18-40
- MAI letter to community dated 8/2/01	3A	41
- Meadowbrook Stables Architectural, Engineering, and Accessibility Survey (selected excerpts)	4	42-53
- Public information meeting results from 7/9/01	5	54-65
- Public information meeting results from 9/24/01	6	66-80
- Copies of letters and memos	7	81-164
- Kerry Richard letter to the community	8	165-172
- Parking analysis request w/supporting documentation	9	173-197
- Letter to MCPS re: Rollingwood Elementary School	10	198
- Settlement Agreement - Meadowbrook Maintenance Facility	11	199-207

Public-Private Development Guidelines

Staff is presenting this project for review and approval under the Montgomery County Department of Park and Planning's Public-Private Development Guidelines ("Guidelines") approved in March, 1996. Maintenance and improvements to an existing facility owned by the Commission and leased to a concessionaire might not normally fall under these guidelines. However, the scope of this proposed project and the public-private nature of the arrangement would appear to qualify as a "joint-venture development of park property".

Staff believes that this project falls into the category of an "Unsolicited Offer" as addressed on pages 1 & 2 of the Guidelines (see **Attachment 1**). Under the Guidelines, a departmental recommendation to accept an unsolicited offer is appropriate if two conditions exist as defined in Section 1.3, (i) and (ii). Given the existing contractual arrangement with the proposer/concessionaire, it would seem appropriate to apply a liberal interpretation to Section 1.3 of the Guidelines. That notwithstanding, staff believes that this proposal does indeed hold unique public policy appeal, and, by virtue of the generosity of the offering, a competitive process, were it appropriate in this situation, would not improve or likely approach the quality of the development proposed by MAI.

Under the category of unsolicited offers, the Guidelines require that a conceptual summary of the project be presented to the public prior to bringing it to the Planning Board for review and approval. In fact, two public information meetings have been conducted on this project on July 9 and September 24, 2001.

The second step in the process is for staff to present a conceptual summary of the project proposal to the Planning Board for their review and approval. That is the purpose of this document and associated presentation at the December 6, 2001 Planning Board Meeting.

Though subject to interpretation, the Guidelines in Section 2.12 appear to allow for Planning Board approval of the unsolicited offer concurrent with, or immediately subsequent to, approval of the conceptual summary. Also, MAI has progressed to the point in their planning efforts that is well beyond a concept stage. They are, in fact, ready to go in for detailed design, construction documents, and permits. Any further review by the Board would be redundant and would only delay the project.

Therefore, we are asking for full approval of the project at this time to enable MAI to move forward with their plans.

Meadowbrook Stables - Proposed Development Plan
 Presentation to the Montgomery County Planning Board - December 6, 2001

Background

In 1990, the Commission entered into a five-year lease with MAI, for approximately 15.8 acres of Commission land at 8200 Meadowbrook Lane, popularly known as the Meadowbrook Stables. This lease was renewed in 1995 upon mutually agreeable terms for five years with two additional five-year options. The terms and conditions of the current lease are briefly summarized in the following chart.

MEADOWBROOK STABLES	
INITIAL TERM OF CURRENT LEASE	9/1/95 - 8/31/00
RENEWAL OPTIONS	Two (2) five year terms.
BASE RENT	\$6,000/annum yrs 1-10; \$10,000/annum yrs 11-15
% OF GROSS RECEIPTS	.5% yrs 1-2; 1% yrs 3-5; 5.5% yrs 6-10; 5% yrs 11-15
% OF NET RECEIPTS	N/A
CAPITAL IMPROVEMENT REQUIREMENTS	\$50,000/annum yrs 1-2; \$25,000/annum yrs 3-10; \$35,000/annum yrs 11-15
APPROXIMATE ANNUAL GROSS RECEIPTS	\$508,000 (1999-00)
REVENUE RECEIVED FY00	\$12,680
DESCRIPTION OF PREMISES	15.8 acre property includes barn with 2 apartments and 55 stalls, 5 paddocks, no pastures or indoor rings.
MAINTENANCE RESPONSIBILITY	Concessionaire is responsible for basic routine maintenance and repairs. With certain exceptions, footings, structural beams, joist and structural joints, underground pipes, roofs, watering system, major system plumbing, HVAC systems, and major repairs to exterior walls are the responsibility of the Commission.

As indicated, MAI is required to expend on an annual basis a specified minimum dollar figure on capital improvements to the buildings and grounds throughout the term of the lease. In

Meadowbrook Stables - Proposed Development Plan
Presentation to the Montgomery County Planning Board - December 6, 2001

addition, the Commission has a contractual requirement to repair the riding rings and has appropriated \$200,000 in CIP funding for these improvements.

Through year six of the current lease, MAI was required to make a minimum capital improvement investment totaling \$200,000. Their actual expenditures during the first six years totaled \$314,322, an over-expenditure of \$114,322. To date, the majority of the \$314,322 (\$216,805 or 70%) has been spent on actual physical improvements to the existing premises (new wash stalls, new heated floor for the barn, sewer connection for barn and new wash stalls, stall repairs, lighting repairs, etc.). A detailed accounting of the capital improvements work completed through August, 2001 can be found in **Attachment 2**.

The remaining \$97,517 of the total \$314,322 has been spent to develop a comprehensive plan for future capital improvements to the premises which includes, most notably, a reconfiguration of the riding rings and the addition of a covered ring. Their proposed development plan represents a concerted, coordinated effort to address and correct a number of deficiencies that affect the safety of the public and the horses, limit the functionality of the premises, and/or detract from the aesthetic and historic appearance and setting of the facility. A more detailed explanation of MAI's intent with respect to these improvements is presented in **Attachment 3**.

Please Note: The site plan in Attachment 3 is accurate and should be used as the driving document in viewing the layout and features of the proposed development. The color exhibits, floor plans, and building elevations contain minor variations from the site plan, specifically with respect to the proposed location of the judging stand for the covered ring and the entrance across from Washington Avenue which is no longer being proposed.

To advance this initiative, for the past three to four years, MAI has been engaged in an exercise comparable to our facility planning process. Progress to date includes the following:

- MAI had a preliminary discussion with the neighborhood in 1998 regarding their plans, and they have provided periodic updates to the community through the Meadowbrook Gait newsletter. Since the first public information meeting on this project on July 9, 2001, MAI staff and representatives have exchanged numerous e-mails and have engaged in a number of meetings and phone conversations with community members to explain their plans and address community comments and concerns (see **Attachment 3A**)
- MAI staff has coordinated their planning efforts with the Wetlands Coordinating Committee to receive reaction and feedback on the proposed improvements, specifically the covered ring.

Meadowbrook Stables - Proposed Development Plan
Presentation to the Montgomery County Planning Board - December 6, 2001

- MAI had a preliminary wetlands delineation performed and recently updated it based on a revised site plan. There were no jurisdictional wetlands found on the site.
- MAI staff and consultants have met with County DPS to review their plans and obtain comments/suggestions.
- There has been ongoing coordination with Commission staff from Historic Preservation and Park Planning and Resource Analysis.
- MAI has had extensive meetings with the Commission's Park Development staff to coordinate the proposed improvements to Meadowbrook Stables with the recently completed Rock Creek Hiker-Biker Trail extension.
- Application for Storm Water Management Concept Plan approval was submitted in order to coordinate storm water management measures with the hiker-biker trail improvements.
- MAI has an approved Natural Resources Inventory and Forest Stand Delineation for the affected site.
- Concept site plans and building plans for the covered ring have been continually refined and are approaching the detailed design phase in preparation for permit applications.

Funding Issues

Incorporated into the lease with MAI is an Architectural, Engineering and Accessibility Survey ("Survey") that was performed on Meadowbrook Stables in 1995. The purpose of the Survey was to assess the general physical condition of the leased premises from an architectural, engineering, and accessibility perspective. Per the terms and conditions of the lease, MAI is required to use, as a general guide in establishing the timing of improvements, the priorities as set forth in the Survey.

Attachment 4 is an excerpt from the above referenced Survey and presents the consultants recommendations and schedule for repairs to the buildings and grounds. Attachment 2 referenced previously summarizes MAI's progress in addressing the consultant's recommendations. The current lease does not obligate MAI to complete all the repairs and improvements listed in the survey, nor are they pledging under the proposed development plan to pay for all needed work to the stables and grounds.

Though specific funding details for all the needed and proposed improvements have not been negotiated, the following scenario appears to be a reasonable assumption of how the funding issues will sort out. See chart next page.

Meadowbrook Stables - Proposed Development Plan
 Presentation to the Montgomery County Planning Board - December 6, 2001

IMPROVEMENT	FUNDING SOURCE
Riding ring improvements and associated costs	<ul style="list-style-type: none"> • Commission funded up to \$200K • MAI capital improvement expenditure obligation per lease (in excess of \$200K Commission pledge)
Site, building, and infrastructure improvements (not related to covered ring) identified in the development plan and/or Survey	<ul style="list-style-type: none"> • MAI capital improvement expenditure obligation per lease • TBD funding arrangement for any priority improvements outside the contractual obligations of MAI
Covered ring and associated improvements/infrastructure	<ul style="list-style-type: none"> • MAI donation

Though not meant to limit, or to be presumptuous as to the extent of MAI's generous offer to the Commission and the citizen's of Montgomery County, the above matrix suggests a funding arrangement that generally follows the terms and conditions of the current lease in how it treats ongoing improvements identified in the Survey. However, it breaks out the covered ring and associated changes/improvements to accommodate the construction of the ring as logical and distinct aspects of the development plan to be pledged as a donation.

Public Meetings

The Commission and MAI co-sponsored a public information meeting on Monday, July 9, 2001, to present MAI's development plan for public review and comments. The notice for the meeting, the concerns expressed during the meeting, along with MAI's responses to the concerns are attached (see **Attachment 5**).

Commission staff had originally planned to present this project to the Planning Board on July 16th following the public information meeting. However, several members of the adjacent community expressed serious concerns that the process was moving too fast, and they hadn't had time to adequately consider and comment on the project. After careful consideration, staff decided to pull the item and postpone Planning Board consideration of the project to a later date.

Over the next two and one half months, Commission staff and MAI worked with several neighbors in addressing numerous concerns related both to selected aspects of the

Meadowbrook Stables - Proposed Development Plan
Presentation to the Montgomery County Planning Board - December 6, 2001

development plan, as well as larger issues of traffic and parking along Meadowbrook Lane down to Meadowbrook Local Park.

A second public information meeting was held on September 24, 2001, in order to update the community on changes that had been made to the stables development plan since July, and to address any continuing concerns about the plan. The results of that meeting are summarized in **Attachment 6**.

In addition to the comments and concerns received at the two public information meetings, there has been a considerable amount of correspondence by e-mail and by letter or memo regarding this project. Staff has included in this packet as **Attachment 7** copies of the letters and memos.

A summary of MAI's efforts to address questions and concerns raised beginning in July can be found in a November 9, 2001 letter from Kerry Richard to the community (see **Attachment 8**).

Traffic & Parking

In the process of discussing this project with the community, traffic and parking along Meadowbrook Lane surfaced as a key issue for several neighbors immediately adjacent to the stables. Cited have been ongoing problems with traffic volume and speed along Meadowbrook Lane, late night/after hours activities, and spillover parking onto the neighborhood streets by park and stables users unable to find parking in the Commission-provided lots. Also cited have been concerns that the development plan for the stables would exacerbate the parking problems.

MAI has stated on numerous occasions that use of the stables will not increase with the implementation of their development plan. Nonetheless, they have considered and agreed to adopt and/or cooperate on a number of measures (summarized on pages 3, 4, & 5 of the November 9th letter), in and outside the context of their plan, to address the community's concerns about traffic and parking.

Ron Welke, Transportation Planning, was asked to do an analysis of the parking situation for all the facilities in Rock Creek Stream Valley Unit #2, including Meadowbrook Local Park (aka Candy Cane City) and Meadowbrook Stables. The staff request and supporting documentation for the analysis can be found in **Attachment 9**, along with Mr. Welke's response.

Meadowbrook Stables - Proposed Development Plan
Presentation to the Montgomery County Planning Board - December 6, 2001

Mr. Welke appears satisfied that the development plan for Meadowbrook Stables provides adequate on-site accommodations for their typical parking needs conditioned upon exclusive permit use of the 22 space lot across from the stables, intermittent use of the grass field north of the stables for horse shows and class registration, and unofficial use of parking areas on the stables premises proposed for employee parking or service access to the manure and shavings shed.

Some of the traffic and parking issues raised by the community, however, transcend MAI's ability or obligation to resolve. To the extent possible within the context of evaluating and forwarding this development proposal to the Board, staff has attempted to address those issues in preparation for this presentation to the Planning Board.

A limited analysis of recent parking conflicts indicates that there has been an increase in parking demand due to the recent completion of the Rock Creek Hiker-Biker Trail extension. To provide some short-term relief for this problem, staff is currently pursuing the following initiatives.

- Weekend use of the parking lot for Rollingwood Elementary School off Beach Drive (letter sent to MCPS on 11/21/01 - **Attachment 10**).
- Expansion by 8-10 spaces of the paved parking lot near the hiker-biker trail and softball fields on Beach Drive.
- Signage and outreach efforts to hiker-biker groups to direct park users to alternative parking areas along Beach Drive.

Use of the employee parking lot at the Meadowbrook Maintenance Facility ("MMF") has also been discussed as an obvious and convenient solution for hiker-biker trail parking. It is available on evenings and weekends and provides easy access to the trail.

However, use of this lot is governed by a Settlement Agreement (see **Attachment 11**) between the Commission and selected complainants from the Rock Creek Forest community. Per section 8 of the Agreement, the lot must be gated to preclude entry after the MMF is closed. Amending the Agreement to permit public use of this lot would require the approval of a Community Committee comprised of two Commission staff and two of the members of the community, either the original complainants or other community members selected by the complainants. Several of the neighbors oppose this idea and believe it may attract more cars rather than solve the current problems. They also cite safety concerns about bringing regular traffic into an area of the park that children frequent on evenings and weekends and have found to be a safe haven for play activities or access to the park facilities.

The parking lots for Candy Cane City offer no relief for hiker-biker trail use, or any other park use for that matter, as they are chronically over-parked on evenings, weekends, and even some weekdays by recreation center users, ball players, etc. Changing the permitting policy for the facilities at this location to reduce the possibility of parking conflicts would represent a difficult policy decision for the Planning Board. These are very popular and heavily used facilities, and restricting their use would have area-wide implications as well as implications for the adjacent community which is also a regular user.

Long-term solutions, such as constructing new parking lots off Beach Drive, have been suggested, but they are not necessarily feasible or desirable. The planning effort required to make an informed recommendation on these or similar measures was far outside what staff was prepared and charged to handle as part of this project.

Staff believes that they have done everything possible at this point in time to address the traffic and parking issues that fall outside of the MAI proposed development plan. We suggest that any further expenditure of time and resources on this effort should come at the direction of the Board.

Staff Summary

Since July, 2001, when MAI and Commission staff first presented the Meadowbrook Stables development plan to the community in full detail, consideration and approval of the stables development plan has become inextricably linked to solving the above referenced traffic and parking problems throughout the surrounding park area prior to, or in concert with, a decision on the stables proposal. Staff requests, however, that, to the degree possible, the Planning Board deal with these matters as two separate and distinct issues and consider the proposal from MAI on its own merits.

Under the direction of David Bradley, stables' operations have undergone marked improvements after many years of marginal operations, under other operators, that left the facility in a state of decline. His past and continuing interest in the stables as a benefactor, not just a businessman, has motivated him to offer a development proposal that would not be possible under a typical business arrangement. The scope of his plan and the coordinated approach in dealing with the design and eventual construction of the improvements will significantly enhance and improve this facility and quickly return it to a state of prominence in the equestrian community.

Meadowbrook Stables - Proposed Development Plan
Presentation to the Montgomery County Planning Board - December 6, 2001

In response to the many questions, comments, and concerns about this project, MAI has gone to extraordinary lengths in reaching out to the community on a myriad of issues related and unrelated to their plan. In addition to the formal public information meetings, many behind the scenes meetings took place with various neighbors to explore and discuss issues of importance to all parties.

To every extent possible, and without abandoning certain key aspects of their development plan, MAI has given the community's concerns the utmost attention and consideration. In addition to massaging various aspects of the site plan, MAI has made every reasonable commitment to assure neighbors that programs will not expand and that everything within their power, including appropriate contractual agreements, will be done to control traffic and avoid parking spillover into the neighborhood related to stables activities.

MAI has reached a point in the process where most neighbors appear supportive of their ideas, and indications are positive that the elements of their plan, including the covered ring, will receive favorable approvals from all the appropriate regulatory agencies, including the Commission. However, formal approval from the Planning Board is necessary at this time to warrant further expense and analysis on their part.

Throughout the public review process for this project, several neighbors have expressed concerns about the scope of this project. Among their concerns has been the fear that the scope of the improvements proposed by MAI, in particular the addition of the covered riding ring, would, in some way, lead to a change in the mission and use of the stables premises once David Bradley leaves.

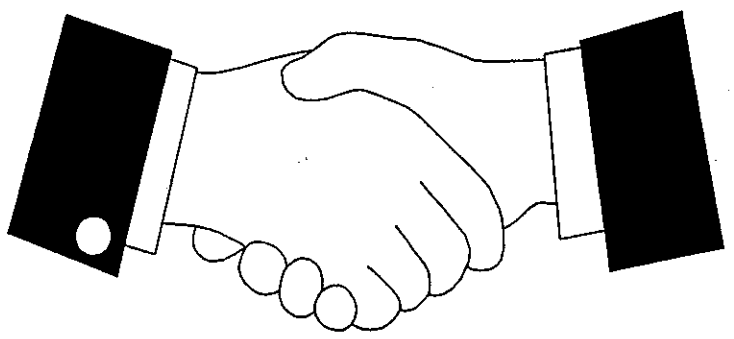
In addition to the many other assurances already in place that would preclude such a change, staff supports David Bradley's assertion that significant upgrades and improvements to the stables' grounds and facilities will make it more attractive and more likely that a future operator would step into the operation and run it for its intended purpose.

Staff urges the Board to move forward and accept this very generous and beneficial offer from David Bradley and Meadowbrook Associates, Inc.



Maryland-National Capital Park and Planning Commission

Public/Private Development Guidelines



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
Guidelines for the Evaluation and Approval of
Solicited and Unsolicited Offers for Joint-Venture
Development of Park Property

March 8, 1996



Maryland-National Capital Park and Planning Commission

MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING Guidelines for the Evaluation and Approval of Solicited and Unsolicited Offers for Joint-Venture Development of Park Property March 8, 1996

1.0 General Provisions

- 1.1 These directives state the policies and basic procedures which govern the evaluation, and selection or rejection, of solicited and unsolicited offers for joint, public/private development of park property presently under the management of Montgomery County Parks ("Department").
- 1.2 The interests of the citizens and residents of Montgomery County are generally best served and protected when the private development of land that is held in trust for them is effected by means of a competitive public procedure. Therefore, all land to be so developed shall normally be offered by means of an openly-announced competitive bid process.
- 1.3 The Department may recommend acceptance of an unsolicited offer, or recommend a waiver of its policy of competitive development-offer bidding in a Commission-initiated project, if both the following conditions exist:
 - (i) A certain unique proposal has particular public policy appeal;

and
 - (ii) The Director of Parks determines, based on objective economic analysis and reasonable development forecasts, that a competitive offering would be unlikely to improve significantly the quality of development on a particular site. In making such a determination, the Director may require some or all of the submittal information required for a solicitation under these guidelines.

Public/Private Development Guidelines

- 1.4 The process follows the following four general stages:
 - (i) Stage One - Project Initiation
 - (ii) Stage Two - Review Process
 - (iii) Stage Three - Departmental Selection Process
 - (iv) Stage Four - Final Selection Process

2.0 Stage One - Project Initiation

2.1 **Park Commission Approval.** Prior to (i) the issuance of a request for proposals or other notification to solicit offers for the joint development of property controlled by the Department; (ii) a recommendation of waiver of the bid process; or (iii) a recommendation of acceptance of an unsolicited offer, the Department shall submit a conceptual summary of the project to the Park Commission ("Commission") for review and approval.

2.11 The Department shall develop a conceptual summary of any joint proposal submitted under these guidelines, and hold a public information hearing on the conceptual summary before bringing it to the Park Commission. During the hearing, the Department shall solicit comments on issues including, but not necessarily limited to, the proposed use and site location.

2.12 Until the Commission approves the conceptual summary, no offering document may be issued and no waiver or unsolicited offer may be approved.

2.2 **Advertisement of Public Bids.** Each offering of park property for development shall be announced publicly, and the notices shall be given as widespread a dissemination as is practical.

2.21 All announcements shall be published one or more times in the local press. Announcements also shall be distributed to all parties on record with the Department who requested information regarding site development offerings (e.g., development corporations), and other community organizations as deemed appropriate by the Department.

14



September 30, 2001

MEADOWBROOK
Stables

Mr. Gerald G. Bush
Administrative Supervisor
The Maryland-National Capital Park & Planning Commission
9500 Brunett Avenue
Silver Spring, MD 20901

Re: *Meadowbrook Associates, Inc. Summary of M-NCPPC Capital
Improvements through August 31, 2001*

Dear Jerry:

In compliance with the terms of our lease agreement with The Maryland-National Capital Park & Planning Commission, enclosed please find the *Meadowbrook Associates, Inc. Summary of M-NCPPC Capital Improvements* and copies of all current documentation supporting the report.

Thanks for everything, Jerry, and if you have any questions, please feel free to call me at (301) 589-9026.

Sincerely yours,

A handwritten signature in cursive script that reads "Honore".

Honore D. Hastings
General Manager

Enclosures

15

Meadowbrook Associates, Inc
Summary of MNCPPC Capital Improvements

<u>Lease Year</u>	<u>Date</u>	<u>Capital Improvement</u>	<u>Amount \$</u>
9/1/95 to 8/31/96 (Lease Yr 1)	10/10/95	Stall Doors	\$39.95
	11/24/95	Stall Doors	699.09
	05/08/96	Hay Elevator	905.65
	05/08/96	Stable Doors	2,909.45
	05/20/96	Stable Gates	65.00
	06/16/96	Arch Window - Loft	398.00
	07/07/96	Architectural Fees - Renovation	<u>14,573.44</u>
		Total Improvements - Year 1	\$19,590.58
9/1/96 to 8/31/97 (Lease Yr 2)	10/15/96	New Fence	2,605.00
	10/22/96	Architectural Fees - Renovation	15,520.74
	03/12/97	Replace Interior Barn Walls	615.91
	03/12/97	Architectural Fees - Renovation	<u>8,969.10</u>
	Total Improvements - Year 2	\$27,710.75	
9/1/97 to 8/31/98 (Lease Yr 3)	11/11/97	Jumps & Rings - Install New Ring Lights	1,355.00
	02/01/98	Barn Renovation - Replace Tack Room Ceiling	5,756.62
	02/01/98	Barn Renovation - Horse Transportation	2,050.00
	02/01/98	Barn Renovation - Floor/Plumbing	59,862.00
	03/01/98	Jumps & Rings - Lighting	25,895.00
	05/06/98	L/H Improvements - Barn Wash Stall/Plumbing	14,436.00
	05/13/98	Jumps & Rings - Sprinkler System	<u>6,830.00</u>
	Total Improvements - Year 3	\$116,184.62	
9/1/98 to 8/31/99 (Lease Yr 4)	11/02/98	L/H Improvements - Heated Barn Floor/Electrical	10,192.00
	11/03/98	L/H Improvements - Engineer Fees (covered ring)	590.00
	11/17/98	L/H Improvements - Engineer Fees (covered ring)	1,238.25
	11/23/98	Jumps & Rings - Lighting	2,743.00
	12/13/98	L/H Improvements - Architect Fees (covered ring)	3,785.63
	12/13/98	L/H Improvements - Engineer Fees (covered ring)	1,132.75
	01/21/99	L/H Improvements - Architect Fees (covered ring)	4,630.11
	02/17/99	L/H Improvements - Architect Fees (covered ring)	1,515.21
	02/28/99	L/H Improvements - Engineer Fees (covered ring)	866.80
	03/17/99	L/H Improvements - Engineer Fees (covered ring)	3,953.50
	03/17/99	L/H Improvements - Architect Fees (covered ring)	1,672.29
	04/16/99	L/H Improvements - Architect Fees (covered ring)	2,090.87
	05/27/99	L/H Improvements - Architect Fees (covered ring)	1,971.40
	06/18/99	L/H Improvements - Architect Fees (covered ring)	243.83
	07/22/99	L/H Improvements - Architect Fees (covered ring)	163.59
07/22/99	L/H Improvements - Wash Stalls	6,890.00	
07/30/99	L/H Improvements - Wash Stalls	<u>6,300.00</u>	
	Total Improvements - Year 4	\$49,979.23	
9/1/99 to 8/31/00 (Lease Yr 5)	11/16/99	L/H Improvements - Architect Fees (covered ring)	2,804.46
	12/18/99	L/H Improvements - Architect Fees (covered ring)	6,630.00
	12/30/99	L/H Improvements - Architect Fees (covered ring)	316.00
	12/30/99	L/H Improvements - Architect Fees (covered ring)	58.26
	01/19/00	L/H Improvements - Architect Fees (covered ring)	750.00

**Meadowbrook Associates, Inc
Summary of MNCPPC Capital Improvements**

<u>Lease Year</u>	<u>Date</u>	<u>Capital Improvement</u>	<u>Amount \$</u>
	01/19/00	L/H Improvements - Architect Fees (covered ring)	6,649.93
	02/03/00	L/H Improvements - Architect Fees (covered ring)	240.18
	02/18/00	L/H Improvements - Architect Fees (covered ring)	5,535.00
	02/03/00	L/H Improvements - Consultant Fees (covered ring)	2,242.00
	02/03/00	L/H Improvements - Architect Fees (covered ring)	316.00
	02/25/00	L/H Improvements - Wash Stalls	1,448.00
	03/23/00	L/H Improvements - Architect Fees (covered ring)	1,687.36
	04/06/00	L/H Improvements - Flood Plain Fee (covered ring)	1,276.00
	04/24/00	L/H Improvements - Flood Plain Fee (covered ring)	1,089.00
	05/05/00	L/H Improvements - Architect Fees (covered ring)	3,675.55
	05/18/00	L/H Improvements - Architect Fees (covered ring)	3,020.75
	06/01/00	L/H Improvements - Architect Fees (covered ring)	3,267.50
	07/06/00	L/H Improvements - Architect Fees (covered ring)	4,058.25
	07/06/00	L/H Improvements - Architect Fees (covered ring)	170.00
	07/26/00	L/H Improvements - Architect Fees (covered ring)	<u>1,806.75</u>
		Total Improvements - Year 5	\$47,040.99
9/1/00 to 8/31/01 (Lease Yr 6)	09/06/00	L/H Improvements - Architect Fees (covered ring)	520.10
	09/08/00	L/H Improvements - Lockers (upstairs)	7,200.00
	09/12/00	L/H Improvements - Artist Fee (covered ring)	3,500.00
	10/05/00	L/H Improvements - Architect Fees (covered ring)	792.50
	10/05/00	L/H Improvements - Architect Fees (covered ring)	1,567.25
	10/26/00	L/H Improvements - Architect Fees (covered ring)	194.00
	10/26/00	L/H Improvements - Architect Fees (covered ring)	2,955.50
	10/31/00	L/H Improvements - Lockers (tack room)	2,740.30
	11/17/00	L/H improvements - NRI/FSD Fee (covered ring)	200.00
	11/29/00	L/H Improvements - Stable Lighting/Electrical	1,825.00
	11/29/00	L/H Improvements - Stable Lighting/Electrical	8,593.40
	12/01/00	L/H Improvements - Architect Fees (covered ring)	1,020.75
	12/01/00	L/H Improvements - Architect Fees (covered ring)	227.54
	12/26/00	L/H Improvements - Architect Fees (covered ring)	205.40
	12/01/00	L/H Improvements - Stable Lighting/Electrical	1,373.60
	03/01/01	L/H improvements - Architect Fees (covered ring)	81.50
	03/01/01	L/H Improvements - Architect Fees (covered ring)	3,430.00
	04/05/01	L/H Improvements - Architect Fees (covered ring)	1,416.00
	04/24/01	Jumps & Rings - Consulting Fees (new rings)	1,900.00
	05/09/01	Jumps & Rings - Regrade/seed rings	1,000.00
	05/23/01	Jumps & Rings - Regrade/seed rings	459.26
	05/30/01	L/H Improvements - Architect Fees (covered ring)	984.00
	05/30/01	L/H Improvements - Architect Fees (covered ring)	1,392.96
	07/13/01	L/H Improvements - Entrance Doors	2,554.43
	07/13/01	L/H Improvements - Architect Fees (covered ring)	400.00
	08/05/01	L/H Improvements - Architect Fees (covered ring)	6,010.75
	08/20/01	L/H Improvements - Architect Fees (covered ring)	<u>1,271.50</u>
		Total Improvements - Year 6	\$53,815.74
Total All Capital Improvements to Date			<u>\$314,321.91</u>

17

Proposed Development Plan for Meadowbrook Stables

I. Executive Summary

A. Background

Since 1995, Meadowbrook Associates, Inc. (MAI) has been dedicated to maintaining Meadowbrook Stables as a safe, wholesome, and appropriate environment for hunt seat equitation riding lessons and horse shows for all ages and levels of experience. The facility itself, built in the 1930s, was one of the first public/private partnerships in Montgomery County, created for the purpose of enjoying equestrian activities.

Today, Meadowbrook Stables is the only county operated riding facility in lower Montgomery County. MAI cares for 55 horses and ponies, and employs 18-25 instructors and staff to teach roughly 350 students per week. MAI's year-round programs include lessons six days per week, horse shows three weekends per year; both half-day and full-day summer camp; adult evening summer camp; and occasional clinics and workshops. The proposed improvements will not change or increase the programs currently offered, but will allow those programs to operate more professionally and more safely.

MAI's president and owner, David G. Bradley has made improvements to the property and upgraded the facility steadily since MAI first took the lease six years ago. Inspired by his own childhood experience at then neighboring Pegasus Stables, Mr. Bradley developed an appreciation for the character-building benefits a horse stable offers young people. He decided to lease Meadowbrook Stables to help assure that a similar opportunity would be available to future generations. His vision is equal parts character development for youth and restoration of a beautiful, historic riding facility.

Since 1995, MAI has worked closely with Park & Planning staff to assess environmental, aesthetic, historic, and safety issues on the premises. These assessments resulted in many improvements that MAI has already made to the property, but they also formed the basis of this development plan. Since 1998, MAI has presented various versions of these plans to several county and other governmental offices, receiving an expression of support in each case. Those offices include: the multi-jurisdictional Wetlands Coordinating Committee, the Montgomery County Parks Foundation, the Montgomery County Historic Preservation Office, Department of Permitting Services, and the Soil Conservation District.

Also, in 1998 MAI met with neighbors and Stables users to obtain their thoughts and ideas about how the Stables could be improved. Neighbors' opinions were recorded and MAI convened a small team to explore ways to address neighbor concerns and incorporate solutions into the overall improvement plan. (A summary of neighbors' ideas from 1998 is attached). Between 1998 and 2001, MAI communicated its progress and plans to neighbors and Stables users through a series of newsletters. All four editions described the then-current plans. In addition, MAI and neighbors have communicated regularly by phone and in person.

After many iterations, MAI settled on an improvement plan that it believed addressed the concerns raised by neighbors in 1998, and also greatly increased the functionality of the premises

for MAI's 55 horses and approximately 350 students. That plan was presented to neighbors, first individually in late June 2001, and then at a formal Public Information Meeting on July 9, 2001. Approximately 36 neighbors attended.

At the July 9 meeting, MAI learned that many new neighbors had moved into the neighborhood since 1998, and that the new and old neighbors alike had a variety of new concerns about the Park and the proposed renovations.

In response to neighbors' requests that MAI engage in further dialogue with them concerning a variety of issues, some related to the Stables, and some related to the Park as a whole, MAI undertook a series of meetings and communications with neighbors, including the following:

1. July 13, 2001: Meeting with 3 abutting households.
2. August 2, 2001: Letter to entire Rock Creek Forest Community, inviting correspondence and offering additional meetings.
3. September 6, 2001: Meeting with 15 -20 neighbors, including a site visit and walk through, as well as questions and answers.
4. September 24, 2001: Second Public Information Meeting to recount all concerns raised to date, MAI's responses to those concerns; and to seek additional feedback. Approximately 26 neighbors attended.
5. November 9, 2001: Letter to entire Rock Creek Forest Community, offering further assurances and concessions to address neighbor concerns.
6. November 17, 2001: Meeting with 6 neighbors to address remaining concerns.

Throughout the period from July 9, 2001 to the present, MAI's team has fielded and responded to scores of letters, e-mail, and telephone calls, and has met individually with any neighbor who requested a meeting.

As a result of these communications, MAI has made numerous changes and additions to the plan first presented on July 9, 2001, and based on feedback it has received, MAI believes the vast majority of neighbors are now fully supportive of the plan.

B. To Better Serve the Public

The renovations proposed by MAI are intended to enable the Stables to better serve the community at large and those who currently take lessons at the facility. The renovations will also retain the historic, rustic appearance while increasing functionality of the property.

1. Enhancing Safety

The development plan includes many safety features, such as, perimeter fencing, vehicle and pedestrian gates, new stop signs and a pedestrian cross-walk on Meadowbrook Lane, restrictions on vehicle access within the property, redesigned ring lighting and other property lighting, and installation of rubberized, non-slip, horse-safe footings in common areas.

2. Enhancing the Functionality of the Premises

One substantial enhancement to the functionality of the Premises is the addition of a covered riding ring. This structure, designed to match the architectural style of the barn, would make it possible to hold lessons during rainy or snowy weather. In addition, it provides a place for horses to be turned out for free exercise when the footings in the outdoor rings are unsafe. Each of Montgomery County's other public riding facilities (Wheaton Stables and Potomac Horse Center) have indoor riding rings, as do most private stables, because these structures are recognized as standard features for lesson programs operating in our weather region.

In addition, the plan includes the reconfiguration of the outdoor rings to allow for more effective dust control, grading, drainage, irrigation, and lighting. After the reconfiguration, the new irrigation system will be able to evenly water all areas of the rings to control dust. Also, because the irrigation system will be automatic, the renovation will greatly reduce the man-hours currently required to effectively control dust. Further, because the rings will be properly graded with a drainage system, all existing problems with standing water should dissipate, leaving all areas of the rings usable for lessons.

Three small grass-grazing paddocks will be created on the premises to allow the horses some grass turnout. This offers some additional areas to exercise the horses, and is especially important for horses with certain health issues.

3. Aesthetic Improvements

A Pedestrian/Equestrian area will give a car-free center to the property, connecting the barn with the covered arena, riding rings, and historic farrier shed in a symmetrical way. In the center, will be a water fountain from which horses can drink.

All new buildings are designed to mirror and highlight the historic architecture of the barn – without losing the rustic, woodsy feel of the Meadowbrook area.

A few existing trees will be removed, but all forest stands will be preserved, and many more new trees will be planted. Trees will primarily be added to the buffer area between the grass paddocks and Rock Creek, and along the interior to screen the employee parking area and utility building from neighbors' views. MAI has scrapped original plans to line Meadowbrook Lane with trees, in response to neighbors' objections that the trees would block their view of the horses.

C. Financial Backing

MAI has strong programs and sells out every class and camp session it offers. The costs of the proposed work, however, far exceed the income from these programs, as well as any funds the Commission might be able to appropriate for this purpose. The development plan would be entirely funded by donations from David Bradley. Mr. Bradley does not expect to recoup these funds, but simply wants to apply his philanthropic dollars toward Meadowbrook Stables. Mr. Bradley is the owner of *The National Journal*, *Hotline*, and *The Atlantic Monthly* magazines, and heads the Advisory Board Company Foundation.

II. Proposal

A. Narrative Description of Proposed Development

MAI's development plan is an integrated renovation plan intended to improve the functionality and safety of the premises, preserve the historic nature of the premises and address neighbor concerns about the Stables. All of the improvements are being designed to maximize operating efficiencies for the current concessionaire, as well as future operators of the premises, while maintaining the woody, rustic feel of the area.

Proposed renovations include, generally, the reconfiguration of the existing riding rings; re-designed footings, irrigation, electrical and sound systems for those rings; restoration of the historic farrier shed; relocation and replacement of the existing manure and shavings sheds with a building designed to be more efficient and to blend with the architectural style of the barn; construction of a covered riding ring, also designed to match the architectural style of the barn; and installation of a number of safety features (perimeter fencing, gates, horse-safe footings, lighting, etc). In addition, the renovations include landscaping, such as the addition of trees and shrubs along Rock Creek to reduce erosion, reduce runoff, and improve soil conservation. Trees and shrubs will also be placed strategically throughout the property to address neighbors' concerns about their views.

The key change to the premises involves the construction of a covered 200 by 100 foot riding ring. The covered ring will be situated to the southwest of the barn on the interior of the property, such that it is not visible from East-West Highway and from Beach Drive when the trees are full. It will be visible from Meadowbrook Lane south of the barn, but as requested by neighbors, the ring will be set back from the road, and has been designed to blend with its surroundings, and to accent the historic barn, rather than upstage it. The total height of the covered ring will be 26 feet, a third lower than the barn height, and slightly lower than the manure storage shed that is currently located on the future site of the covered ring.

The covered ring will be located on the highest available ground – replacing the existing manure and shavings sheds. Although the site is not “wetlands,” a large portion of the facility will be located in the 100-year flood plain. In view of the challenges presented by its proposed location, MAI's engineers have met with the Army Corps of Engineers and Maryland Department of the Environment engineers on the site, where they concluded that floodwaters in the proposed covered ring location will rise and fall but will not “flow” from north to south. Because the covered ring design appropriately allows water in and out, it should accommodate rising flood water levels as necessary.

The covered ring represents a major improvement from MAI's perspective, but it merely allows MAI to operate on a par with other county operated facilities, which have always had indoor rings. More importantly, it offers MAI a safe space to exercise the otherwise stall-bound horses during inclement weather.

The new utility building, 50 feet to the south of the new covered ring, will match the barn in its Georgian revival style, but will be much smaller. The building will be easy to access for the manure pick-up and shavings drop-off services. The building will be set perpendicularly to

Meadowbrook Lane to minimize its appearance and hide views of the manure pile, tractor and other necessary farm equipment.

The area where MAI's 4 outdoor riding rings are currently located will continue to be used for outdoor riding rings, but there will be only three rings total. Each ring will be smaller and freestanding to permit appropriate grading and drainage systems to be installed. In addition, each ring will have an automatic watering system installed to allow the rings to be consistently watered, both in terms of frequency and amount of water applied. Finally new footings, designed to be less dusty and more horse friendly will be installed. The end result of these improvements will be rings that are neither too dry (dusty), nor too wet (with standing water), and thus are more usable and less expensive to maintain. The outdoor rings will also have a new lighting and sound system, designed to direct light and sound away from neighbors and focus it in the rings where it is needed. Finally, the outdoor rings will have a small shaded seating area to enable parents to watch their kids ride.

In the center of the property, between the outdoor riding rings, the barn, the historic farrier shed and the covered ring will be a pedestrian/equestrian area, paved with rubberized, non-slip, horse-safe footing to allow horses/riders to safely travel between the barn and the riding rings. Vehicle traffic will be restricted so that horses/riders will not have to negotiate with cars in this central area. There will also be a horse-watering fountain located in the middle of the area.

Vehicle traffic will be redirected around the premises. The area south of the utility building, west of the riding rings and north of the sediment pond will be designated as employee parking. Employee cars and a limited number of service trucks (e.g. garbage and manure haulers) will be directed to the south entrance to the property, and allowed access only as far north as the utility building. An existing apron parallel to Meadowbrook Lane on the east end of the barn will be maintained so that hay deliveries, the vet, the farrier and emergency vehicles will have access to the barn. The current access to the premises from Meadowbrook Lane at Washington Avenue will be closed.

The sediment pond currently located at the south end of the property will be retained and slightly expanded to accommodate the increased impermeable surface resulting from the renovations.

The area west of the sediment pond and running north along Rock Creek behind the utility building will be fenced into three separate grass paddocks for grazing. The area has been planted with healthy grasses that also help retain the soil and reduce runoff into Rock Creek. The paddocks will be used and maintained in accordance with an approved grazing plan approved by the Soil Conservation District.

A perimeter fence will surround the entire property, starting just north of the barn and running to a line 50 feet from the edge of Rock Creek, and continuing to the southern border of the property. The fence will be three-board style and made of oak. At the request of neighbors, the fence will be left a natural color to help preserve the rustic atmosphere. The field north of the barn will remain unfenced and undeveloped. The fenced area of the stables will be accessible to pedestrians through an entrance near the barn. Authorized vehicles will have one access point near the barn and one entrance at the south end of the property near the sediment pond. All entrances will be gated with either a vehicle gate or a pedestrian gate or both.

MAI customers will continue to park across from the barn in one of the 22 designated parking spaces on Meadowbrook Lane. In most cases, this parking is sufficient. During peak usage times, such as horse shows (3 weekends per year) and registration (2 times per year), overflow cars and trailers will park on the grass field north of the barn. If weather does not permit parking on the grass, MAI will offer overflow parking in its employee parking lot, and/or in the services areas on either side of the utility building. There is space there sufficient to park 20-25 overflow cars. (See the Attached Site Plan).

B. Schematic Floor Plan and Description of Rooms and Space

(See Attached Exhibit - Covered Ring Floor Plan)
(See Attached Exhibit - Utility Building Floor Plan)

C. Architectural Elevations

(See Attached Exhibit - Proposed Elevations from Meadowbrook Lane)

D. Additional Concerns and Considerations

The proposed project is subject to the final approval of David G. Bradley, based on satisfactory lease and project terms, as well as his continued belief that completion of the project is in the best interests of the Park, the community and MAI.

E. Development Schedule

MAI is working with a consultant to schedule the project in a way that allows for the safe continuation of riding lessons throughout construction.

Estimated Activity Schedule:

Design	March 2002
Permits	July 2002
Construction	August 2002-Summer 2003

MAI proposes to proceed with construction in this order:

- 1) Install perimeter fencing and grazing pen fences (immediately)
- 2) Construct utility building (August-November, 2002)
- 3) Construct covered riding ring (November-March 2002-2003)
- 4) Reconfigure and renovate existing riding rings (March-July 2003)
- 5) Finish roadways, pathways (June-July 2003)
- 6) Add landscaping (June-October 2003)

F. Financial Plan

The total cost for the project is estimated at between \$1 and \$2 million. M-NCPPC has previously allocated funds (\$200,000) to pay for new footings in the existing riding rings. These funds will be applied for that purpose, but David Bradley will cover all other costs of the work

described in this plan. He seeks to complete the project and enjoy the use of the facility with all its improvements during the time of his leasehold, but he intends to donate the improvements to M-NCPPC as soon as they are constructed.

G. Long-Term Maintenance Costs

This proposal does not intend to change the items or the amount the Commission normally pays for its share of the upkeep of Meadowbrook Stables, except as MAI and the Commission might agree in an amendment to the Lease. MAI does expect the renovations to result in savings and reduced costs related to repairing and maintenance the antiquated irrigation, electrical, and other systems on the property.

H. Operational Plan

MAI has agreed not to increase or alter its business, including limiting the number of horses, number of classes it offers, its class size and its hours of operations. Thus, MAI will continue to operate as it has – holding lessons six days a week, year around. During the summer months, summer camp will continue to be added to the offerings. Meadowbrook’s outreach programs to disadvantaged youth through “FLOC” (For Love of Children), STEP/I Have A Dream, and Georgetown Hospital’s Lombardi Cancer Center will also bring kids who would not otherwise have the opportunity the chance to ride, learn horsemanship, and enjoy the company of horses and ponies.

III. Experience Statement -Development Team

MAI has a team of professionals, some of whom have worked on this project for 2 years or more. The team is comprised of:

Gutschick Little & Weber Engineers and Landscape Engineers

GLW’s staff of 45 include engineers, land surveyors, landscape architects, designers, and CAD and drafting personnel have expertise in many areas and experience in flood plain issues. Local projects requiring their work in the 100-year flood plain are: Marlboro Crossing Shopping Center (Rte 301, P.G. County), Diamond Square Shopping Center (Gaithersburg, MD), Kinster Drive Road Crossing (Germantown, MD), Marleigh Subdivision Road Crossing (P.G. County), and Marlton Storm Water Management (P.G. County). GLW’s areas of expertise that MAI has or will use include: site planning; flood plain studies, storm drainage and storm water management, water quality; erosion and sediment control, earthwork analysis, grading, lighting, construction detail and specs, permit processing, landscaping, forest stand delineation, tree inventory, topographic survey, easement and right of way issues. One of GLW’s partners is the owner of a horse farm and has valuable knowledge and experience directly applicable to Meadowbrook Stables.

Bradley/Parker Associates Architects

Principal Randy Parker has joined the team recently, and brings a great deal of experience and a fresh approach to the project. Randy founded the firm in 1981 in Old Town, Alexandria, and began his practice with an emphasis on embassy design. In 1983, Tyrone Bradley joined as a

partner and VP. Throughout the 1980s, the firm's project experience grew with rapid commercial growth in the Washington, D.C. region, while overseas work continued to develop. With more than 50 years of combined experience, and projects in more than 100 countries, Bradley/Parker has provided master planning, new building design, building modernization, and renovations of US embassies and consultants around the world. The firm also has completed historic preservation projects in Europe and locally. Commercial experience includes more than 1 million square feet of new office space and master planning for large office parks. Bradley/Parker has designed new office buildings, high-bay warehouses, service marts, storage buildings, and facilities for computer laboratories and research and development. The firm also has completed additions and renovation designs for office buildings, schools, churches, media facilities and sports complexes.

Ehlert/Bryan Structural Engineers

Ehlert/Bryan, Inc. Consulting Structural Engineers was founded in 1981 and provides a wide variety of services in the specialized field of Structural Engineering to building owners, architects, federal agencies, local governments, and contractors. Ehlert/Bryan, Inc. maintains offices in McLean, Virginia and Southfield, Michigan with completed projects in more than twenty-five states, and has designed projects under each of the three national building codes. Current projects range in scope from the \$15 million CFC office building, \$40 million West County High School in Fairfax County, VA and \$16 million State Department diplomatic housing project in Kuwait to the relocation of the elephant at the National Museum of Natural History.

Ehlert/Bryan, Inc. is a diverse firm with broad experience in project design and project management. The firm has a staff of 28, including 15 engineers, nine of whom are registered professionals. All documents are prepared on AutoCAD and the office is fully automated and networked. Ehlert Bryant maintains professional registrations in 31 states and professional affiliations with the AISC, ACI, ASCE, CASE, NCSEA and the American Consulting Engineers Council.

Robert Jolicoeur, Riding Rings Design Advisor, International Equestrian Design (IED)

IED offers planning and design, construction planning, construction supervision, project management and maintenance services. IED is dedicated to planning, designing and constructing innovative equestrian facilities that meet the highest industry standards. Their respect for the equestrian sport deepens their commitment to excellence. The highly specialized needs of horses and riders are carefully integrated into every plan: they design facilities to maximize their comfort and performance. IED combines professionalism with profound dedication and the result is a team that produced world-class equestrian projects, from private farms to major international venues. Each IED project, regardless of its size, benefits from the full range of IED talents, creativity, and expertise.

The footing mix is a key factor for success in all equestrian training and competition sites. IED's objective is to protect the horses' health and enhance their performance through the development of outstanding footing materials. IED operates an ongoing research program to evaluate surface materials. Its research facility provides cutting-edge surface analysis enabling them to specify

the best choice and installation of footing materials for racing, training or competition venues. Robert Jolicoeur has been named Chairman of LIFE (List of International Footing Experts), a committee recognized by the Federation Equestre International.

IED has designed and supervised the jumping course for two Olympics: Montreal in 1976 and Atlanta in 1996. It designed the Blainville Equestrian Park in Quebec, Kentucky Horse[?]
Park Phase II, National Capital Equestrian Park, Palm Beach Polo Equestrian Center, the Oaks Rancho Mission Vieho Riding Park and Thunderbird Show Park, plus a large number for farms and barns, including some in the Mid-Atlantic area. Mr. Jolicoeur lived in Virginia for several months and is familiar with the soils in this area.

Mr. Jolicoeur visited Meadowbrook for a day and produced a report with recommendations.

Blake Alder, Alderwood Shows, Germantown, TN

Mr. Alder is an acclaimed expert in horse ring footings and design who visited Meadowbrook's rings to achieve maximum drainage and usefulness. He spent a day at the barn, and created a day by day plan for the refooting of the riding rings.

Honoré Hastings, General Manager, Meadowbrook Stable

Honoré has been Meadowbrook Stables' General Manager since 1997, and was an instructor there, prior to that, since May of 1995. Honoré has a degree from University of Maryland in general studies with a focus on physical education. She started riding at age eight and grew up with horses. During her junior and senior high school years, she competed in many horse shows and taught informally. In 1983, she started a family and left teaching for a time. In 1990 she began substitute teaching K-8th grade and special education. As her children got older, she went back to teaching riding and horsemanship, and taught for four years at different stables before taking the leadership position at Meadowbrook Stables. Until she started full time at Meadowbrook, she was teaching part time at school and at the stables.

Honoré is a Vice President on the Board of Directors of the Washington Bridle Trails Association, which just celebrated its 60th anniversary. WBTA has a longstanding tradition at Meadowbrook: to hold a charity event each year that features horsemanship and competition, and raised both money and awareness of the selected charity of that year. Honoré is a member of the American, Virginia, and the Maryland Horse Show Associations.

Bonnie Williams, Project Coordinator

Bonnie has coordinated a variety of special projects for Meadowbrook for the past three years, including most of the improvements listed on page one of this report. Her work is to keep the rest of the parties informed and moving forward on projects, find expertise when needed, and provide information and coordination. She has also written three newsletters for Meadowbrook to keep neighbors informed, solicit their opinions, and keep neighborhood relations strong and friendly. Bonnie is a writer, editor, and communications advisor in addition to her work with Meadowbrook. Her background also includes community activism for the environment and volunteer work for the arts. She was Executive Director of the Arlington Symphony Orchestra for more than six years. Bonnie has a B.A. in Business Administration from Principia College.

**Executive Summary and Recommendations from
Meadowbrook Neighborhood Meeting
April 30, 1998**

Present: 15 riders and boarders and staff of Meadowbrook, 16 neighbors. The meeting lasted 2 hours. Format: Comments focused on 1) What Meadowbrook might do for the neighborhood and 2) What Meadowbrook might do for the stables. Results below are tallied by question, and commentator (R = rider or N = neighbor) in order of most concern or interest to least concern or interest. Findings represent spoken and written comments. Suggestions of Bonnie, Honore, and Miranda follow each area of subject.

What might Meadowbrook do for the neighborhood?

- 1) **Protect the natural view by leaving the visible rings open and uncovered. (N)**
Recommendation: Convince M-NCPPC and Soil Conservation to allow Meadowbrook to:
 - o move Ring three 50 feet east of its current location,
 - o expand it an additional 50 feet to the east, so that it is 150 wide,
 - o and cover or enclose this ring, which is blocked from neighbor's view by trees, instead of covering a ring more visible to the neighbors. A covered ring would be a great addition to the winter program. The best time to redo the rings would be toward the end of the summer.
- 2) **Improve/redo drainage of rings (N&R)**
Recommendation: Hire a firm that specializes in ring footings for horses, to propose a solution to the outdoor rings, and to Ring Three if plan above is adopted.
- 3) **Landscaping that traps dust, cuts down lights and noise, but does not obstruct view (N)**
Landscaping that enhances the looks of Meadowbrook, more trees, cut down on dust. (R)
Recommendation: Have professionals create a plan. Invite any interested neighbors and riders to assist in planting flowers as part of a Meadowbrook Day. Also, explore the feasibility of installing an automatic sprinkler system.
- 4) **Cut grass to reduce rodents, and undesirable human activities (N&R)**
Recommendation: Tell M-NCPPC that this is a request not only from riders, but also from neighbors as well, and for safety reasons.
- 5) **Reduce lighting impact on neighbors as much as possible. (N)**
Recommendation: Angle lights, install the 3 poles along Meadowbrook Lane, and face them away, allowing the possible reduction or redirection of existing ring lighting. Address manure shed and other lighting complaints promptly, as is being done. The next step, which we could do soon, is to ask M-NCPPC for permission to add these lights, now that we have neighborhood support, and add them. We already have the poles. If there is no chance of adding an enclosure or covered barn to the rings alongside Meadowbrook Lane, then there is no reason to delay putting up the poles.
- 6) **Reduce volume of Public Address System or redirect sound away from homes. (N)**
Recommendation: Do as they ask. Ken did this on May 13.
- 7) **Address lawn parking during horse shows, other traffic problems. (N)**
Recommendations: This is already rather well policed according to staff and riders. Let neighborhood know about events in advance, and tell them the rules about parking, the enforcement in place (through the newsletter or posting), and that they should do if they are blocked or someone is parked on their lawn. This could be done in the next newsletter. Other traffic problems, including trucks, cars and bikes coming through the dirt road that runs along the east side of the rings could be eliminated if we eliminated that road altogether when the rings are reconfigured. This would also eliminate people unlawfully parking there.

8) Continue newsletter communication/ (N)

Recommendation: Produce newsletters for the purpose of informing neighbors of things they expressed interest in: lessons, shows, camp, other events, updates on work plans, work schedule. Put up kiosks, as planned. Explain things about the horse world – basics of showing, scoring, etc. Organize an event once a year for the neighborhood to come and do something at Meadowbrook: ² plant flowers, have a pot luck dinner, have a barn dance upstairs, meet the horses, etc. Encourage them to see Meadowbrook as a friendly, neighborhood gathering place, in addition to a show/riding school.

9) Share vision, plans for renovation, advanced notice of work to be done (N)

Recommendations: Keep neighbors apprised of developments through narratives in a newsletter. Refer back to their input provided at meeting.

10) Who was sent newsletter? Who should receive future newsletters? (N)

Recommendation: Explain that newsletter is sent to 1) those whose property borders or looks out on Meadowbrook rings and barn. 2) long-time, regular riders and boarder, 3) neighborhood associations, 4) PTA of school in neighborhood. Continue to send newsletters to same list, and let people know additional copies are available at Meadowbrook, and people can come and pick up copies. We can create a way to leave some in a protected place in the front kiosk.

11) Be aware of environmental problems and correct them as they arise (N)

Recommendation: Move the outdoor wash stall, which we need to be able to continue to use along with the indoor stall, to a new location just north of the barn, very near the indoor stall, and connected to the large sand separate just installed. Discuss with Ken and get estimates. Once done, we can completely retire the old outdoor wash stall. We could create a mulched path wide enough for two horse sand two people and lined with low shrubs (so it looks nice) to go from the parking area around the west and north sides of the barn to the new outdoor stall. This would look good, and allow us to use the two stalls, which we will need during the busy times of the year and shows, and address the environmental concern by routing that water through the sewage system. Explore the possibility of moving the open side of the manure shed to the creek side rather than the Meadowbrook Lane side of the shed.

12) Provide seating, water fountain, trash cans, more picnic tables or chairs, comfortable seating to watch riding from rings, furniture for Great Room. (R)

Recommendation: Seating: Bleachers would be idea, but to be safe they need to be cemented into the ground. It would be great to have them, but this should be designed into the master plan. Water Fountain: We recommend against adding a water fountain because 1) we have one inside, 2) we have a coke machine, 3) during shows people can buy drinks outside, 4) it adds to the freezing pipe concern in the winter, and 5) we don't think the demand is strong enough. If you want to pursue this, we could obtain estimate from Ken on extending plumbing to add a water fountain. Trash cans: we put out 12-18 trashcans at each show, and trash does not seem to pile up around the cans. The Park Service picks it up. We do not think we need to change this, but will take notice of it at the next shows to see if it is a problem. Furniture: Staff could obtain cost estimates for indoor and outdoor furniture, (including bleachers). We already have four picnic tables – could consider more later when the master plan is in place. Might Catherine have suggestions on furniture?

13) Concerns about M-NCPPC Bike Path Plans (N)

Recommendations: Contact M-NCPPC to find out if there are plans, what they are, and if they pose problems for Meadowbrook or its neighbors, and follow-up accordingly. There seems to be no particular support in the neighborhood for a bike path, just questions about whether one is planned. Meadowbrook would be opposed to a bike path along Meadowbrook Lane or Candy Cane Lane on the side of the rings as it would disturb the horses.

- 14) **Hold more events, such as pony rides, Christmas caroling on horseback, dog shows, a hunt ball, police dog demo. (R)**
Recommendations: Work with staff and interested boarders/neighbors to pursue ideas for which there really is momentum. We recommend against adding pony rides because we do not have the pony time (lessons require so much of their time) the space or the staff to do this. It is also a much less financially feasible option than lessons. Lastly, the 4-H Club offers these once a year as a fundraiser, and our offering them would upstage their fundraiser.
- 15) **Dogs on leashes in park. (R)**
Recommendations: Finish signage (in progress). Continue to enforce rules.
- 16) **Add more parking (R)**
Recommendations: There is no room on the Meadowbrook property for more parking. M-NCPPC could add parking to the median, if they chose to, but we do not think this is a significant problem.
- 17) **Mow grass in Ring Three (R)**
Recommendations: This request would be fulfilled if M-NCPPC will accept play laid out in 1). We know that funding has been cut for mowing throughout the park system, so would be happy to take over the maintenance of this area, if we could use it and cut the grass.
- 18) **Educate about horse with posters, museum upstairs. (R)**
Recommendations: Perhaps the 4-H kids could work on a display for upstairs that could be featured during a Neighborhood day or an event to which neighbors are invited. Don't recommend turning the upstairs into a museum, at this point.
- 19) **Block off car access to silt pond**
Recommendation: We would like to get rid of the north-south dirt road between ring 3 and the other rings, and enlarge the rings to engulf the land used for the road. We would want to create paths between the rings so horses cannot reach others horses in any other ring, and for people/horses to walk. Perhaps the bleachers could be placed between the rings.
- 20) **Improve Show Secretary Trailer (N&R)**
Recommendation: We do need to replace the trailer. It is an eyesore, but expensive to replace. This should be done on concert with the ring reconfiguration.

What might Meadowbrook do for the Stables?

- 21) **Repair the footings, resurface rings, and repair drainage in the rings. (R)**
Recommendation: Obtain at least two professional bids from professional riding ring engineering firms to examine the problem and propose a plan that provides good footing and drainage. Miranda know the people who designed the popular P.G. Equestrian Center footings, and we would like them to provide us and bid on the work. Ken wants to be involved, and has taken the liberty of inviting an engineer out to see Meadowbrook. However, we believe this is specialized work and must be done by an experienced footings company. Ken should be involved as a contractor, but we may not want him to hire the footings company, though he would need to work collaboratively. In case of Ring Three, if that is where we build a structure, involve Ken Ivey in the planning, so that it meshes with footings/drainage requirements.
- 22) **Create a cross-country area for jumping in the woods west of the barn, and cutting near creek. (R)**
Recommendation: Convince the M-NCPPC to allow us to cut the grass and use that space. Some work would need to be done to clear the area of brush and some rocks, but the staff could do that.

- 23) **Create more activities: Gymkana, train rides, adult horse shows, drill team, orientation for parents. (R)**
Recommendation: Miranda can work these things into the schedule. Some are already being planned. She is already working with Collot to plan trail rides for appropriately experienced riders.
- 24) **Nighttime security for horses/A way to close of grounds in evening.**
Recommendation: Install wrought iron gates on front end of barn that can be locked. (In progress.) Could put up gates at Candy Cane Lane, and close our other gate so cars cannot drive through at night. This may require approval by M-NCPPC, or perhaps just notification.
- 25) **Concern about only one person living at Meadowbrook**
Recommendation: Establish some friends (boarders, riders, and neighbors) in the neighborhood that could be called to help in an emergency. Miranda may move very close. Be sure person living there has a portable phone and can make calls from anywhere on the property, understands all security and fire systems, has a smoke detector in apartment, can operate fire extinguishers, and has a general plan in case of fire or other emergency. (These are all understood by the current resident.)
- 26) **Occasional pasture turnout for horses.**
Recommendation: We have no place to pasture horses right now. If we had permission from M-NCPPC to enlarge the rings, we could grow grass and pasture horses in ring three.
- 27) **Ring configuration to keep horses from biting each other across fences.**
Recommendation: Build paths between rings into the reconfiguration/refooting plans.
- 28) **Provide parasols for each instructor in the heat of summer**
Recommendation: Instructors need to take their own steps to deal with the weather as suits them individually.
- 29) **Try to keep kids from playing on equipment**
Recommendation: Add this to signage we put on barn. Inform instructors to remind children they cannot play on equipment when they see these incidents.
- 30) **Improve lighting in parking lot.**
Recommendations: Assuming this is the parking along Meadowbrook Lane, we propose asking M-NCPPC to install low-to-the-ground lights that shouldn't bother the neighbors, and would go off at 9:00.
- 31) **Continuing education for riders, such as lectures on horse care, etc. (R)**
Recommendations: This is already being done, with first expert coming in June. We could continue to plan these periodically and, when appropriate, invite the neighborhood.
- 32) **Reduce Class Size (R)**
Recommendations: Complains about class size come from people who have to cancel a lesson, then want to make it up by entering a class that is already full. We try not to allow this, but riders, especially Miranda's don't want to miss their classes, and this sometimes happens. It is not a safety problem and only occurs with the better riders. We don't consider it a serious problem.
- 33) **Carrot Juice Bar (R)**
Recommendations: We are not in favor of setting up any kind of regular concession stand. Perhaps there would be a way to allow interested adults to have a "night" (Thursdays would be good) during which they could stay late, enjoy each other's company in the Great Room, and use the kitchen. We could create rules for the use of the space, and allow it only if a responsible adult will make sure to follow the rules: clean it up; no alcohol; respect the need for quiet if office is still in use (they may be asked not to use the room at times if office needs I); lock if after use; office needs prevail; limited use of refrigerator; respect and cleanliness generally guide use of room; if it becomes difficult for the office to operate arrangements will be ended. This is an idea that could get out of control. We would

have to check from a liability standpoint and be sure we are covered. We are lukewarm about it, but are willing to respond to a known and responsible adult's request for this, if there is really an interest

34) More lockers for riders (R)

Recommendations: Armando will build more lockers downstairs. For now, all boarders have lockers, and anyone who wants to can put a footlocker upstairs. We recommend leaving it at that for now.

35) Bigger mounting block (R)

Recommendation: Ken is working on this with specs from Honore and Gay.

35) New TV/VCR (R)

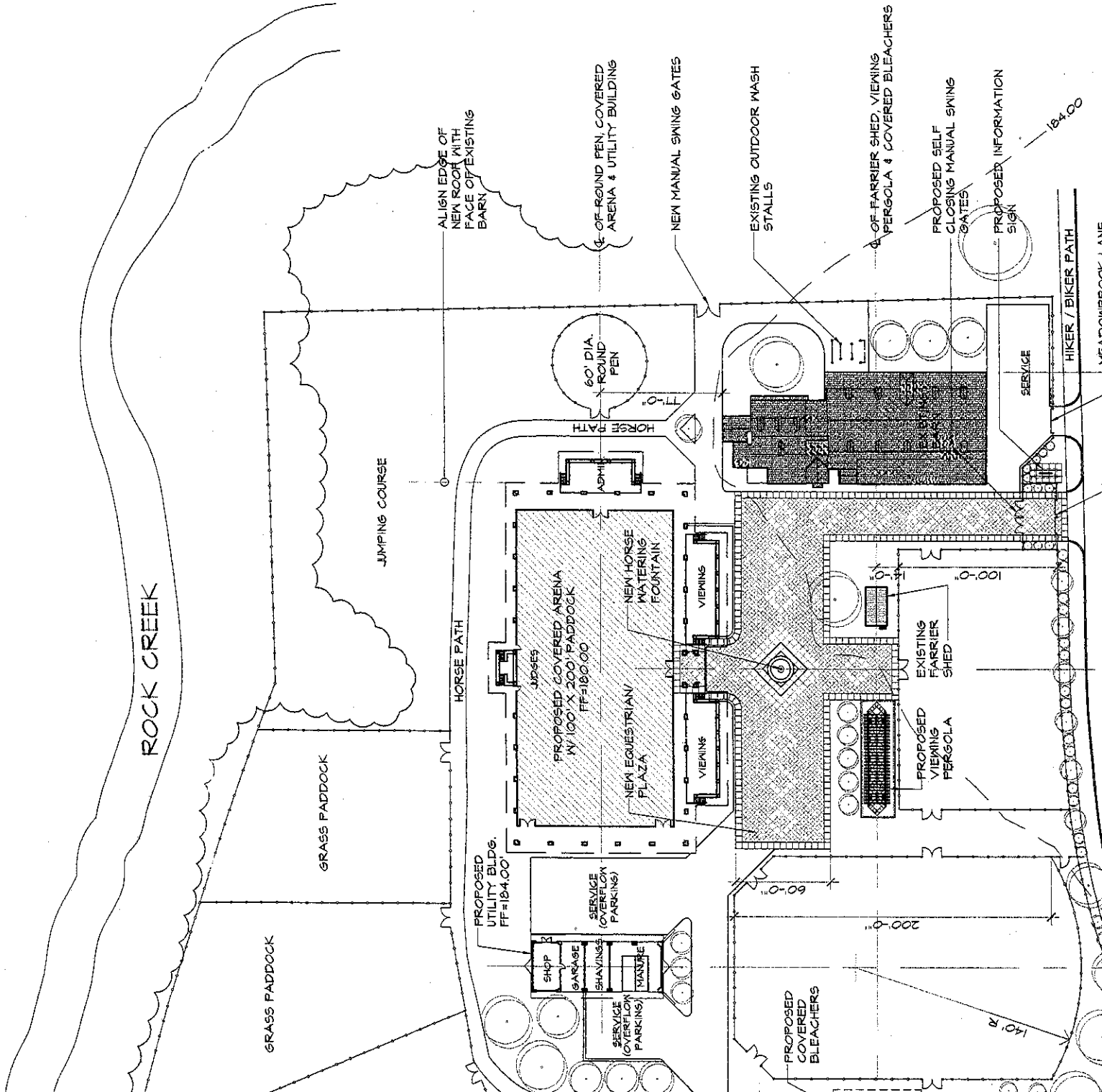
Recommendations: It would be nice to have a cabinet for the TV and VCR that could be shut, to cut down on the dust and wear and tear on this equipment. We could get a cabinet for about \$200. We'd like to start videotaping some lessons so that students can observe their riding during rainy days. A new TV and VCR would be great, the current ones are not great quality, but replacing them is a low priority.

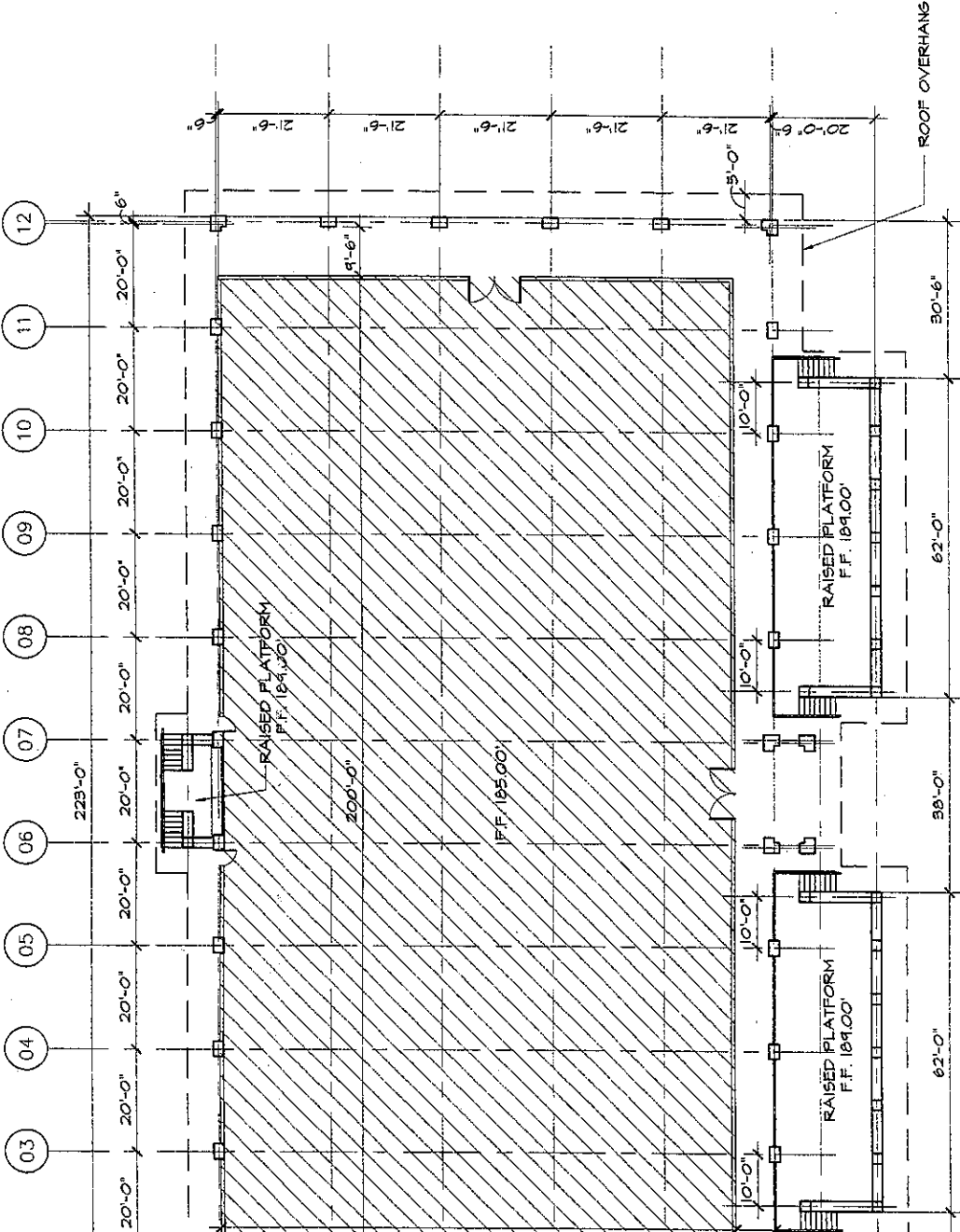
Bradley/Parker & Associates, P.C.
110 South Lee Street, A/E/Architect, Virginia 22314, Telephone (703) 546-5026

MEADOWBROOK STABLES

8200 MEADOWBROOK LANE
CHEVY CHASE, MARYLAND 20815

Issue:
26 October 2001





1 PROPOSED ARENA FLOOR PLAN
 A3 1/16" = 1'-0"



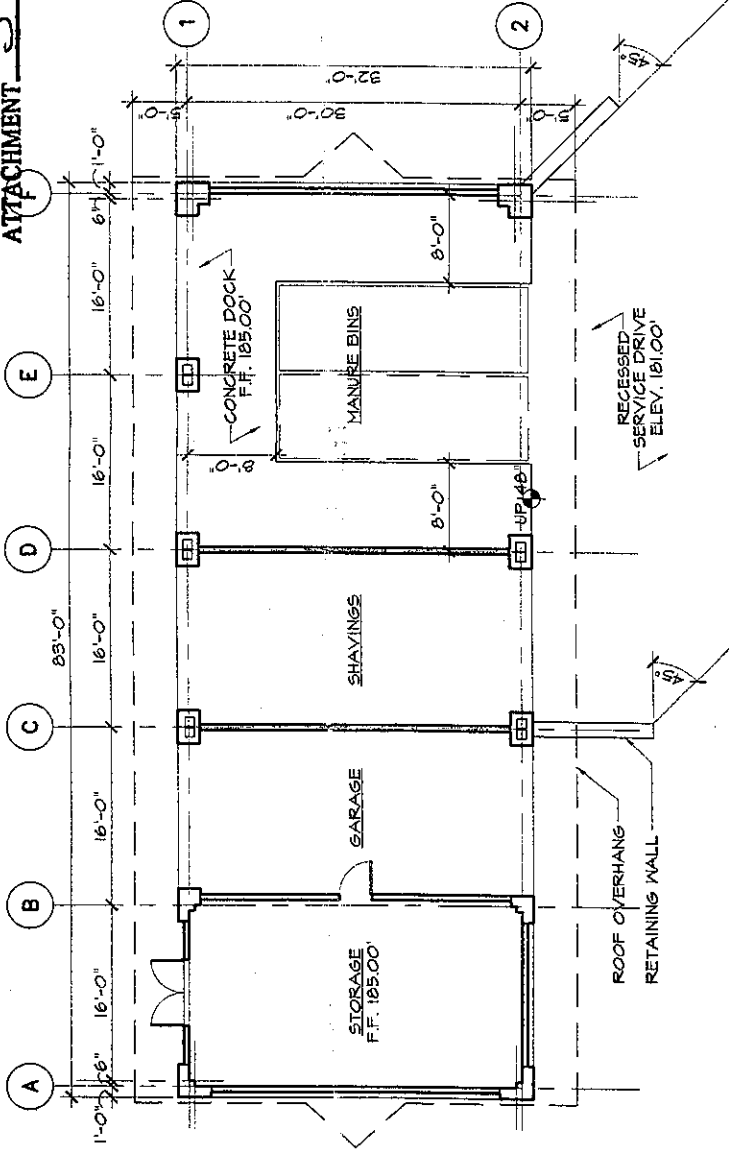
MEADOWBROOK STABLES

8200 MEADOWBROOK LANE
CHEVY CHASE, MARYLAND

Bradley/Parker & Associates, P.C.
110 South Lee Street, Alexandria, Virginia 22314, Telephone (703) 548-5026

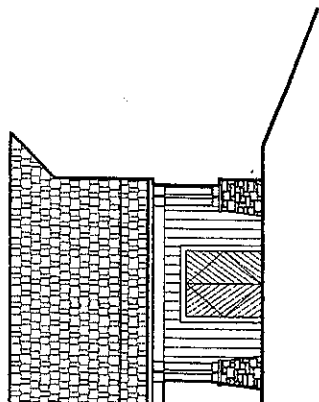
ISSUE:

ATTACHMENT 3



5 PROPOSED UTILITY BUILDING FLOOR PLAN
A2 1/8" = 1'-0"

SHAKE ROOF
WINDOWS
WOOD PANELS
VERTICAL BATTEN BOARD WALL
SILL
STONE BASE

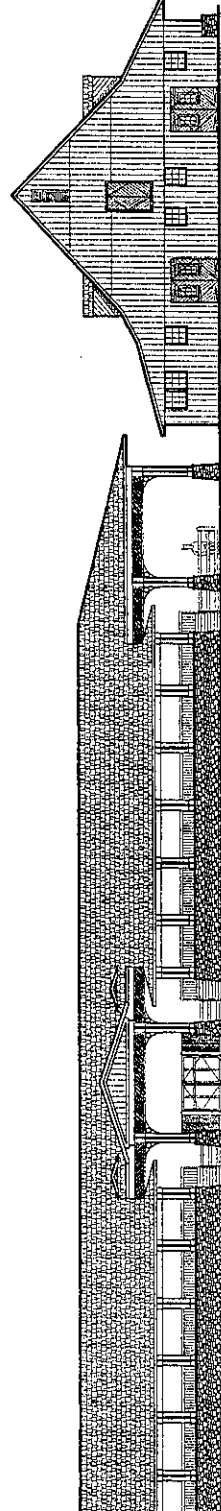


SHAKE ROOF
WINDOWS
SILL
STONE BASE

MEADOWBROOK STABLES
8200 MEADOWBROOK LANE
CHEVY CHASE, MARYLAND

Bradley/Parker & Associates, P.C.
110 South Lee Street, Alexandria, Virginia 22314, Telephone (703) 548-5026

Issue:

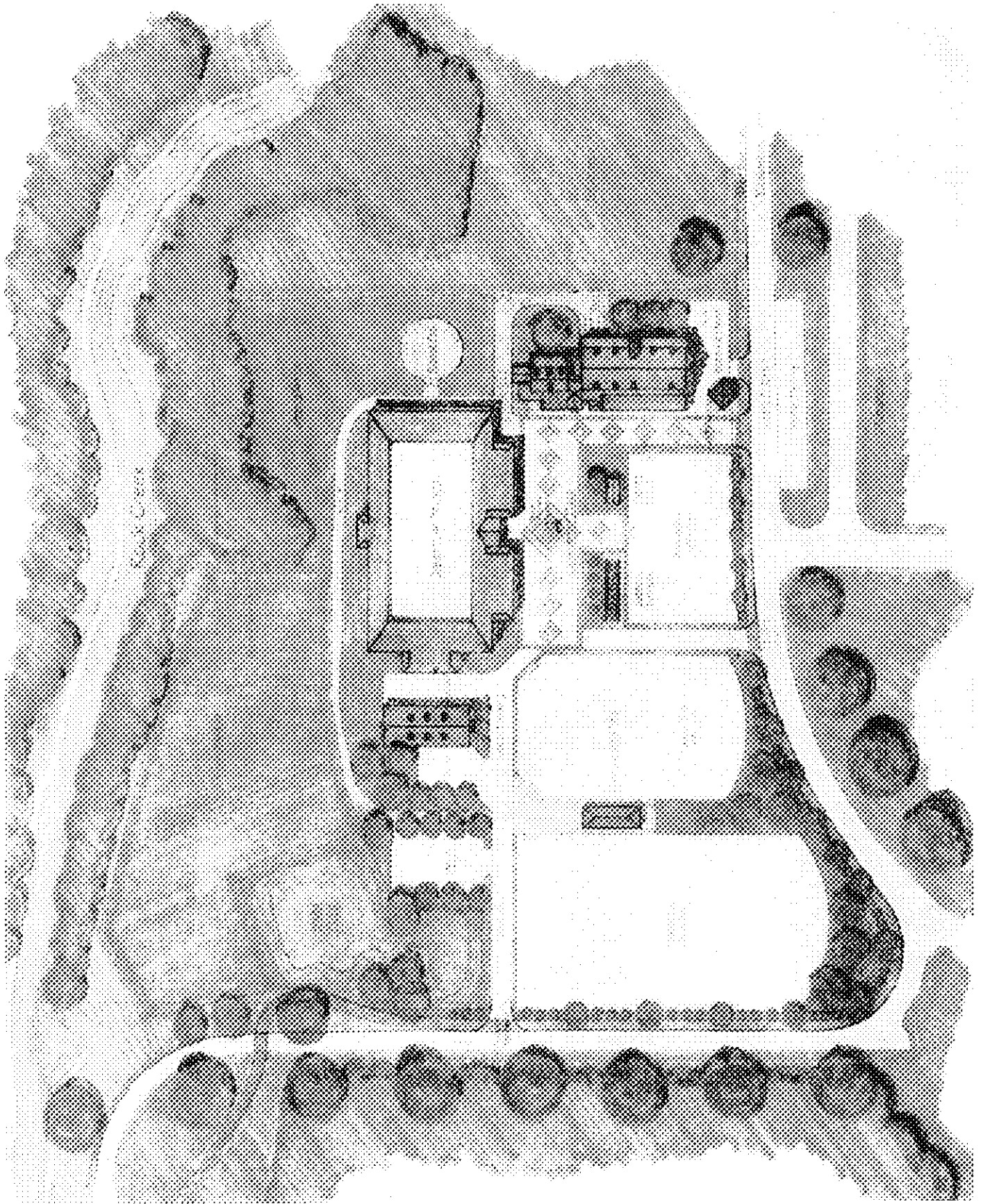


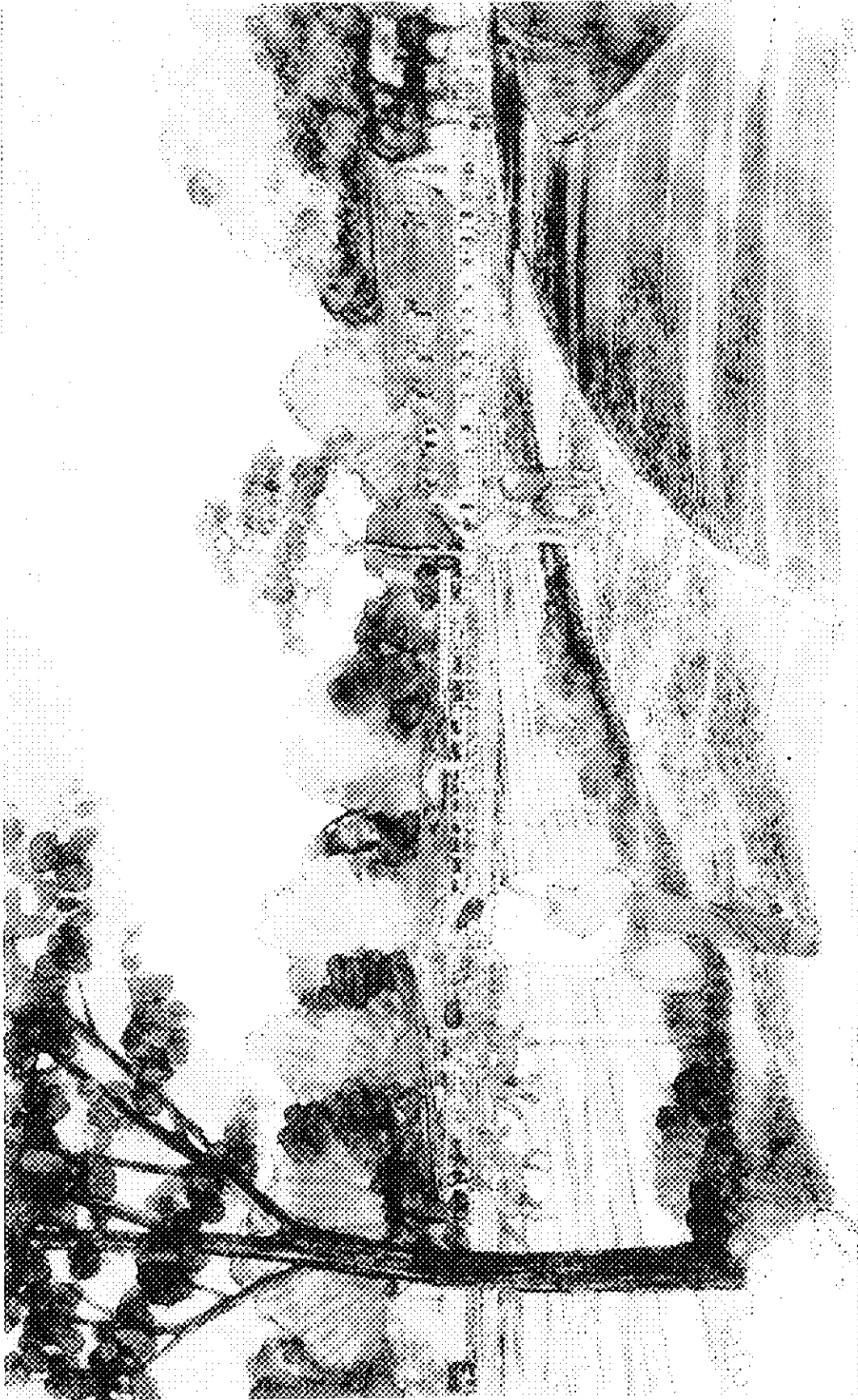
EXISTING BARN

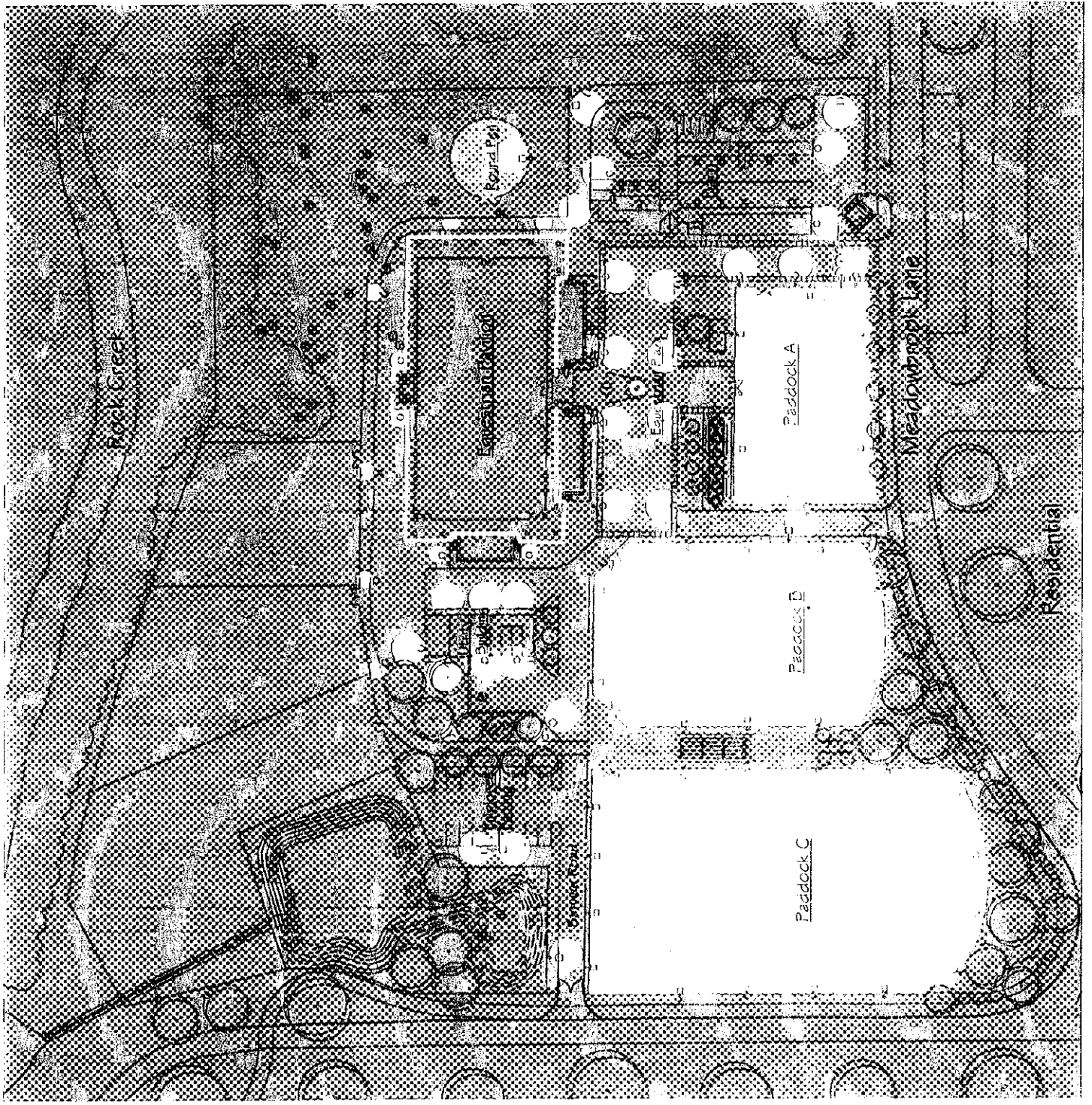
PROPOSED ARENA

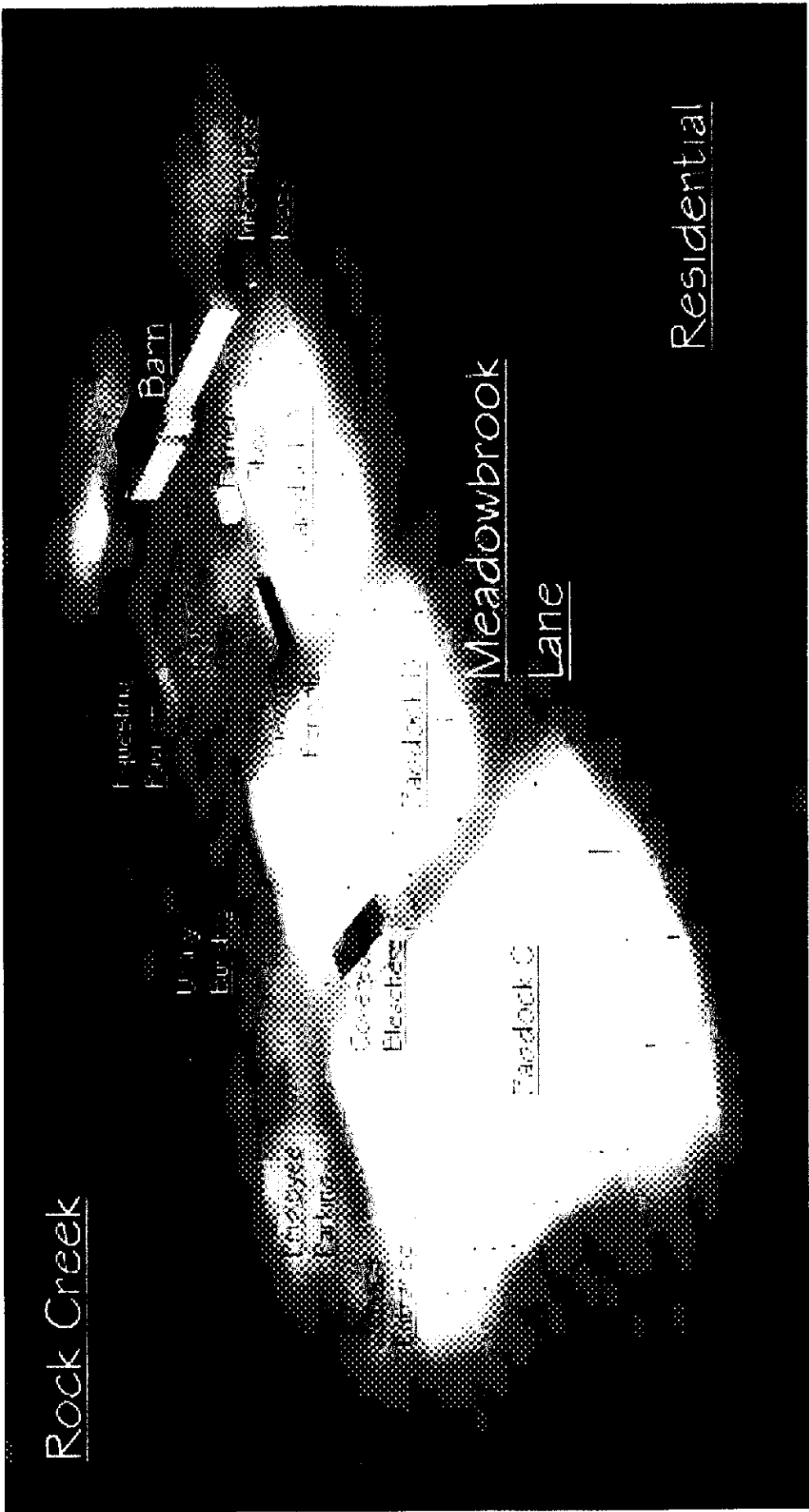
1 ELEVATION FROM MEADOWBROOK LANE

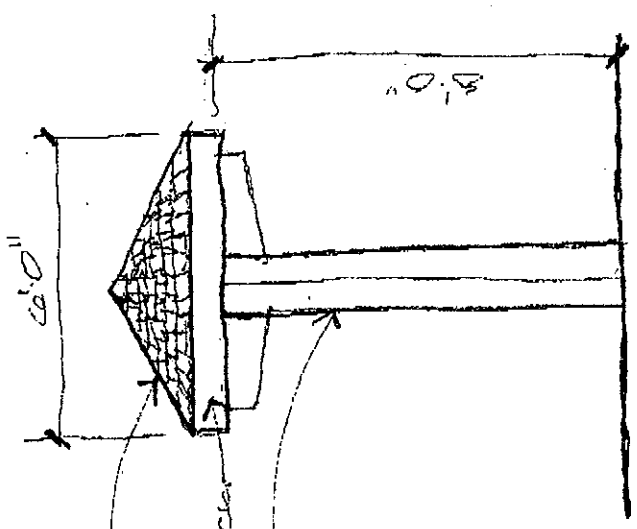
A5 1/16" = 1'-0"





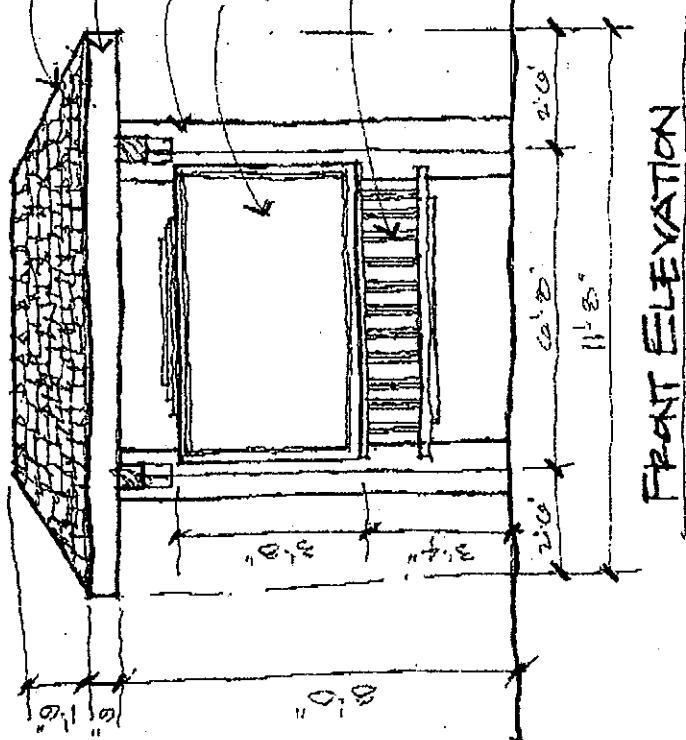






SIDE ELEVATION

wood shingle roof
 1x6 painted wood trim fascia
 6x8 timber column - top 2'
 6x6 wood framed
 built-in bench with hinged
 glass front
 1 1/2" x 1 1/2" wood cables @ 6" o.c.
 painted white



FRONT ELEVATION

MEADOWBROOK STABLES
 SIGN
 07 AUG 01

ATTACHMENT 3A

MEADOWBROOK
Stables

August 2, 2001

Dear Meadowbrook Neighbors and Riding Students,

As you may know, for three years Meadowbrook Stables' leaseholder Meadowbrook Associates, Inc. has been developing plans (along with our landlord, the Maryland National Capitol Park and Planning Commission -- M-NCPPC), to build a covered riding ring, refoot the existing riding rings, and make other improvements to the property. Those plans were shared publicly at a Candy Cane City meeting on July 9th.

This letter is to let you know that another public meeting has been scheduled to answer questions that arose at or since that meeting. The next meeting will be held Monday, September 24th at 7:00 p.m. at Candy Cane City. New information and any changes to the plans based on public comment will be shared at this meeting. (Anyone with questions or concerns they would like addressed at this meeting is encouraged to contact us in advance of the meeting to share those concerns. See contact information at the bottom of the page.)

To see the plans that were presented at the July 9th meeting, you can view the planning documents that were prepared for the Montgomery County Planning Board at M-NCPPC's Web site, www.mc-mncppc.org. (Click on "Parks." See "Our Latest Postings.") You may also stop in at the barn to pick up a copy of the documents.

In mid- to late-October, the updated plans will be submitted to the Planning Board for approval. If approved, construction could begin in November on the footing of the riding rings, with construction of the covered ring beginning as early as the spring of 2002.

Some of Meadowbrook's neighbors have expressed interest in sharing thoughts and ideas about the proposed plans and -- if there is enough interest-- they may put together an e-mail listserv or e-group to facilitate communication. If you are interested in being on such a list, please send an email to neighbor Pam Holland at pamela-holland@fanniema.com. Also, if you want, Meadowbrook Associates would be happy to meet informally with neighbors and riders in early September to address questions in advance of the public meeting. Please contact us by mid-August to let us know if this is something you would like to participate in, and we will plan a specific time and date.

Sincerely,

The Meadowbrook Staff

For more information or to register a question or concern, contact any of the following:
 Jerry Bush, M-NCPPC administrative supervisor (Meadowbrook landlord) 301-495-2516
 Bonnie Williams, Meadowbrook special projects coordinator 703-920-9039
 Kerry Richard, Meadowbrook attorney 202-362-5900
 Honore Hastings, Meadowbrook general manager 301-589-9026

41

4.1 Riding Rings - Recommendations And Schedule For Repairs

DESCRIPTION:

Approximately 85% of the 15.8 acre property comprising Meadowbrook Stables is presently utilized as an active equestrian center with the balance of the site occupied by woodland, storm water maintenance, sediment control and drainage installations. There is a small paddock area adjacent to the south side of the stable and three contiguous show/riding rings located near the south end of the property. A fourth show/riding ring is located on the west side of the property adjacent to Rock Creek. The area utilized for the four show/riding rings is located within a designated 100 year flood plain. All paddock and riding rings have 3 board perimeter fencing. The three contiguous rings are equipped with a sprinkler system and outdoor lighting.

The observations herein deal with existing:

- Ground surface and soil conditions
- Perimeter fencing and gateways
- Storm water management, runoff control, silt containment and drainage provisions
- Internal roadways
- Power and water installations
- Proximity to Rock Creek

The following list highlights the problem areas which are of the most concern. These items should be resolved immediately:

1. Ring and paddock areas are in extreme need of resurfacing, configuration modifications and fence modifications and maintenance to create quality conditions for equine activity.
2. Drainage, storm water management and runoff, content control measures and improvements need to be implemented for maximum and appropriate preservation of environmental considerations attendant to the existing 100 year flood plain area.
3. Adequate and appropriate watering/sprinkling installations need to be introduced for proper maintenance of surfaces in the show/riding ring area.

For comprehensive evaluations and specific recommendations of all aspects of the ring/paddock areas, refer to the Appendix 8.2., Preliminary Site Inspection Summary Report for Proposed Improvements to the Riding Rings, prepared by Field Sports Concepts, Ltd.

RECOMMENDATIONS

SCHEDULE FOR REPAIR

Urgent <5 Yrs. >5 Yrs.

• ARCHITECTURAL/STRUCTURAL:

A. EXTERIOR

- | | |
|--|---|
| 1. Re configure layout of Riding Rings. | x |
| 2. Restore surfaces and grade to drain. | x |
| 3. Re configure water drainage control and containment system. | x |
| 4. Restore and improve fencing, gates and barriers | x |

RECOMMENDATIONS

SCHEDULE FOR REPAIR

Urgent <5 Yrs. >5 Yrs.

- 5. Re configure layout and improve roadways and service drives. x

- B. WATERING SYSTEM
- 1. Re configure layout as required and improve watering systems to rings. x

- C. EXTERIOR LIGHTING
- 1. Re configure and improve lighting to allow for nighttime events. x
- 2. Improve nighttime and security lighting. x
- 3. Remove and run concealed all wiring in conduits. x
- 4. Install light and motion sensitive lighting. x

4.2 Stable - Recommendations And Schedule For Repairs

BUILDING DESCRIPTION:

This two level wood framed barn is defined vertically with stalls for horses on the first floor and hay loft, grain storage, public classroom, vendor sales and storage areas on the second floor. Fifty six horse stalls are provided. Many of the original stalls have been subdivided into two stalls for ponies and smaller horses (see enclosed floor plan). The stall construction is composed of horizontal wood board siding. Access to the first floor is through double barn doors located on the north, south and east sides. Access to the second floor public areas is by an open exterior stair located on the northwest corner of the building. The hay loft is accessed through two large swinging barn doors on the east side gable end of the building, from the public classroom area on the west end of the building and from a ladder near the east end of the barn. A one story addition of eleven stalls has been added to the south side of the original structure.

The building structure is composed of wood framed exterior walls and interior posts supporting a wood framed roof structure. The exterior wall material is painted vertical board and batten siding. The roof materials are cedar shakes on the main barn and standing seam metal on the stall addition on the south side of the barn. A low stone wall supports the wood framed walls on the north side of the structure.

Natural light and ventilation at the first floor is through single glazed wood framed windows and open stall and aisle doors. Natural light and ventilation to the second floor spaces is by means of five small and one large roof dormers and the hay loft door. There are no mechanical ventilators on the roof.

The following list highlights the problem areas which are of the most concern. Though several of these items listed are due to the design of the original building and will require modification, others are the result of deferred maintenance or improper operating procedures and can easily be corrected. These items should be resolved immediately.

1. In wooden structures of this type the danger of fire is the greatest hazard. The extensive cobwebs covering the interior of the structure throughout pose a serious hazard and should be removed immediately. A routine maintenance procedure should be put in place to periodically remove cobwebs from the building.
2. The single means egress to and from the public area and classroom spaces on the second floor does not meet current building or fire codes. The classroom space is unsecured and open to anyone on site. The adjacent second floor hay loft is accessible by the public and could be a source of fire or injury. A radial arm saw located within the classroom space presents an extremely hazardous condition. It should be removed as soon as possible. The classroom and adjoining public use areas should be relocated to the first floor and access to the second floor restricted to employees immediately. Finding another space for the classroom may be difficult, if not impossible, without considerable modification to the existing functional use of the other first floor areas. Though these modifications would require both time and money, the current use of the second floor space is, in our opinion, extremely hazardous, requiring immediate attention.
3. ADA required accessibility improvements should be made immediately in the barn aisles and between the barn and the office and public areas (refer to section 6.1 Accessibility).

4. The original sliding stall doors are located on the inside of stalls and many do not function. The stalls are "secured" by inadequate type rope guards. New stall doors should be provided that are mounted on the exterior of the stall.
5. The floor of the hay loft at the time of our visit was covered with 6 to 12 inches of loose and unbaled hay. The hay loft should be cleaned of excess hay to reduce the risk of injury and/or fire.
6. Spillage of muck during transport from stall to muck pit is excessive. Carts used are too small or they are overloaded leading to spillage. Reduce quantity loaded in carts to reduce the risk of spillage.
7. Security within the barn is insufficient. It appears the public is permitted to enter the stable and facility at will. This can create potential hazards for the public as well as the facility. Tighter security measures should be implemented immediately.
8. Install lightning protection system at roof.
9. The offices, public areas and residences are served by a wet-return type steam heating system, fired by natural gas. The system is presently working with no breakdown areas observed. Given the age of the system it should be anticipated that within the next 5-10 years the boiler will fail or elements of the piping will give way and a new heating system will become essential. At such time, it is recommended that the existing radiators, boiler and related piping be removed and replaced with a high efficiency boiler with three circulating pumps, one for each residence and the tack/office area. Such a system would perform with new unit heaters or convectors offering operating costs of perhaps half of those now being paid. By using a sealed combustion pulse boiler(s), there would no longer be any open flames. An adjacent hot water coil in a tank could provide the full domestic hot water needs of the complex, utilizing the same high efficiency combustion at annual efficiencies of between 88 and 92 percent.
10. Ventilation of the stall area is not sufficient. A new ventilation system should be designed and installed, drawing air through the barn, through the hay loft space, discharging at the roof ridge or at the eaves in quantities sufficient to reduce the temperatures and provide heat relief in these areas during warm weather.
11. The existing plumbing systems are aged and subject to replacement within the next five years. It is recommended that new copper distribution piping with insulated lines be installed.
12. The watering system to the stalls is functional but unsafe for the horses. The existing plastic piping should be rerouted to be concealed or protected from damage by horses. A back flow preventer should be installed on the water service plumbing line between the barn, outside hydrants and the public areas, offering protection for the potable water system.
13. The drainage from the stalls and aisles is inadequate. The existing floor drains are clogged and useless. The drainage system should be inspected to determine if the system can be made fully operational. The existing drains should be removed and replaced with a type which is easily maintained and new drains added as determined.
14. The high hazard of fire in a wooden structure of this type with straw and dust mixed with cobwebs, represents a fire risk of the highest order. A fully sprinklered fire protection system should be considered as a long range goal to preserve the utility and historic value of the structure and protect the lives of animals and persons.

15. The site lighting is not adequate. It is recommended that new high efficiency site lighting be designed and installed, controlled by photo cells, timers or both. Wiring should be in undergrade ducts. The site lighting should be designed to cover the parking, drives, walkways and entrances.
16. The light levels provided by the existing building interior electric lighting is inadequate and non-energy efficient. The existing lighting should be redesigned and upgraded to meet current energy code requirements and replacement bulb availability. It appears that there is no night light system for the facility. It is recommended that a night light system be designed and installed. There is also no emergency lighting system or battery pack type emergency lights. These systems should also be installed. The existing exit lights need to be upgraded to provide battery type back-up as required by code. It is recommended that the light switching system for the facility be studied and improved when lighting changes are made.
17. The electric service is overhead to the electrical room located in a basement space below the lower residence. The condition of the electrical panels appears to be poor. Accessibility to the panels and disconnects is poor. The panels are reached by wooden ladder and platform. It is recommended that the panels and disconnects be relocated to provide adequate access as required by code and the panels and disconnects upgraded as required. The condition of the electrical system grounding is not known. It is recommended that a new grounding of the system be installed. The light level in the electrical room should be improved and the room fire rated as required by code.
18. The condition of the electrical wiring is poor, with wires loose and insulation frayed. It is recommended that the wiring be replaced and run concealed in walls and ceilings or in conduit or as required by code.
19. In general the electrical receptacles should be upgraded to the ground fault type and weatherproof type throughout the stable area.
20. It is recommended that the fire alarm system be tested and upgraded as required. The fire alarm system should have a battery back-up system.

The following list outlines recommendations for improvements and repairs. The items listed are prioritized as either 1. urgent, 2. should be repaired within five years (<5 Yrs.), 3. can wait five years or more (>5 Yrs.).

RECOMMENDATIONS	SCHEDULE FOR REPAIR		
	Urgent	<5 Yrs.	>5 Yrs.
• ARCHITECTURAL/STRUCTURAL:			
A. GENERAL EXTERIOR (includes Administration and Residences)			
1. Patch repair and paint wall siding surfaces.			x
2. Patch repair and paint roof overhang surfaces and rafters.			x
3. Patch, repair, re-support and clean gutters and downspouts.	x		
4. Replace damaged wood dormer window on south.	x		
5. Patch, repair, re-glaze and paint wood windows; repair/replace hardware, provide new insect screens.			x

RECOMMENDATIONS

SCHEDULE FOR REPAIR

Urgent <5 Yrs. >5 Yrs.

- 6. Patch, repair, re-glaze and paint wood doors; repair/replace hardware; provide new code compliant hardware at egress doors. x
- 7. Repair water damaged stone wall at northwest corner. x
- 8. Re-grade site adjacent to building to slope to drain. x
- 9. Provide splash blocks and drain tiles as required to direct water away from building. x
- 10. Install lightning protection system. x
- 11. Repair and paint existing exterior stair to hay loft. x
- 12. Construct cover over existing exterior stair. x
- 13. Relocate public classroom and vendors to areas on first floor. x
- 14. Construct floor apron in front of stalls on south side. x
- 15. Complete an environmental hazards survey. x

B. INTERIOR

- 1. Replace damaged stall walls, replace or repaint metal guards between stalls and stalls and aisles. x
- 2. Patch repair and paint wall siding surfaces in stalls. x
- 3. Remove, replace or re-configure existing stall doors and hardware to provide proper security and safety. x
- 4. Clean all walls and ceilings to remove accumulated dirt and cobwebs on first floor areas and hay loft. Cobwebs are an extreme fire hazard. x
- 5. Replace or resurface flooring stall and aisle throughout. x
- 6. Extend interior flooring to exterior to provide smooth transition, connect to south stall apron. x
- 7. Install wash stall. x
- 8. Complete an environmental hazards survey. x

• MECHANICAL/PLUMBING/ELECTRICAL/FIRE PROTECTION:

A. MECHANICAL

- 1. Replace boiler, piping and cast iron radiators with unit heater or convectors in offices/public/residences. x
- 2. Upgrade ventilation system in stable. x

B. INTERIOR PLUMBING

- 1. Reroute or protect plastic watering system piping to prevent damage by horses. x
- 2. Install backflow preventer between stall watering system and public areas. x
- 3. Un-block or replace four existing aisle floor drains and drainage system. Determine destination of runoff and code compliance before completing work. x
- 4. Replace distribution piping and insulation. x

RECOMMENDATIONS

SCHEDULE FOR REPAIR

Urgent <5 Yrs. >5 Yrs.

C. EXTERIOR LIGHTING

- | | | | |
|--|---|--|---|
| 1. Improve nighttime and security lighting. | x | | |
| 2. Improve undergrade wiring. | | | x |
| 3. Install motion or photo sensitive lighting. | | | x |
| 4. Improve building entrance lighting. | | | x |
| 5. Improve site lighting. | | | x |

D. INTERIOR LIGHTING

- | | | | |
|---|---|--|--|
| 1. Improve general, aisle, stall and security lighting. | x | | |
| 2. Conceal all wiring or run in conduit | x | | |
| 3. Provide emergency lighting with battery pack. | x | | |
| 4. Provide exit lights with battery pack. | x | | |
| 5. Improve wiring to lighting. | x | | |
| 6. Improve or provide night light system. | x | | |
| 7. Improve light switching system. | x | | |
| 8. Provide energy efficient lighting. | x | | |

E. GENERAL ELECTRICAL

- | | | | |
|---|---|--|--|
| 1. Upgrade electrical panels and disconnect switches. | x | | |
| 2. Test and install service grounding. | x | | |
| 3. Improve layout of electrical room and equipment. | x | | |
| 4. Improve wiring throughout. | x | | |
| 5. Conceal all wiring or run in conduit | x | | |
| 6. Provide ground fault indicator and weather-proof type receptacles. | x | | |

F. FIRE PROTECTION

- | | | | |
|--|---|--|---|
| 1. Upgrade fire alarm system as required and install battery pack. | x | | |
| 2. Install fire sprinkler system. | | | x |

4.3 Stable Administration Offices And Public Areas - Recommendations And Schedule For Repairs

BUILDING DESCRIPTION:

The stable administrative offices, storage areas and public areas, including restrooms, are located adjacent to the main barn on the first floor's west side. The public entrances are from the barn aisles on the east and from exterior entrances located on the north and south sides. The public areas, including tack, grooming storage areas and restroom facilities are located to the south of the administrative offices.

The exterior construction and detailing is similar in type to the adjacent barn structure, including the walls and roof. The exterior siding is horizontal rather than vertical. The interior finishes are composed of wood paneling, trim and moldings, painted plaster walls and ceilings and brick and wood strip flooring.

The following list highlights the problem areas which are of the most concern. These items should be resolved immediately.

1. ADA required accessibility improvements should be made immediately in all publicly accessible areas, including tack, grooming, restrooms and offices (refer to Section 6.1 Accessibility).
2. Provide fire rated wall(s) and ceiling separations between offices and the adjacent barn and residential apartments. Install fire rated doors at openings thru fire rated wall. Comply with current building codes.
3. Install lightning protection.

The following list outlines recommendations for improvements and repairs. They items listed are prioritized as either 1. urgent, 2. should be repaired within five years (<5 Yrs.), 3. can wait five years or more (>5 Yrs.).

RECOMMENDATIONS	SCHEDULE FOR REPAIR		
	<u>Urgent</u>	<u><5 Yrs.</u>	<u>>5 Yrs.</u>

• **ARCHITECTURAL/STRUCTURAL:**

A. GENERAL EXTERIOR

Refer to 4.2 Stable - Recommendations and Schedule for repairs

B. INTERIOR

- | | |
|--|---|
| 1. Clean and refinish all wood paneling and trim. | x |
| 2. Patch repair and paint all plaster wall and ceiling surfaces and paint. | x |
| 3. Clean, sand as required and seal brick and wood flooring. Replace damaged flooring. | x |

RECOMMENDATIONS

SCHEDULE FOR REPAIR
Urgent <5 Yrs. >5 Yrs.

- | | | | |
|---|---|---|---|
| 4. Provide accessible paths to exterior and all public interior spaces. | x | | |
| 5. Renovate and remodel public restroom facilities to be ADA accessible. | x | | |
| 6. Construct fire rated wall(s) between offices and adjacent barn to reduce risk of fire. Install fire rated opening protection. | x | | |
| 7. Relocate private laundry facilities to residences. Provide heavy duty large capacity laundry facilities for stable operations. | | | x |
| 8. Complete an environmental hazards survey. | | x | |

• **MECHANICAL/PLUMBING/ELECTRICAL/FIRE PROTECTION:**

Refer to 4.2 Stable - Recommendations and Schedule for repairs

4.4 Private Residences - Recommendations And Schedule For Repairs

BUILDING DESCRIPTION:

Two residential apartments are attached to the main barn structure. The apartments share the same roof and are separated by walls. One apartment occupies the first floor west of the administration offices. The second is located above the first. Access to the first floor apartment is through the administrative area and through the enclosed porch on the north side of the building. Access to the second floor is by an exterior stair located on the north side. Several additions and remodelings have been completed over the years.

The exterior construction and detailing is similar in type to the adjacent barn structure, including the walls and roof. The exterior siding is horizontal rather than vertical. The interior finishes are composed of wood paneling, trim and moldings, painted plaster walls and ceilings and brick and wood strip flooring.

The following list highlights the problem areas which are of the most concern. These items should be resolved immediately.

1. The light levels provided by the existing electric lighting are inadequate and should be improved. The existing lighting should be upgraded to meet current energy code requirements and replacement bulb availability.
2. Construct fire rated wall(s) between the residential apartments and the adjacent offices, barn and mechanical spaces to reduce risk of fire. Install fire rated opening protection.
3. Install lightning protection.

The following list outlines recommendations for improvements and repairs. They items listed are prioritized as either 1. urgent, 2. should be repaired within five years (<5 Yrs.), 3. can wait five years or more (>5 Yrs.).

RECOMMENDATIONS

SCHEDULE FOR REPAIR		
Urgent	<u><5 Yrs.</u>	<u>>5 Yrs.</u>

• ARCHITECTURAL/STRUCTURAL:

A. GENERAL EXTERIOR

Refer to 4.2 Stable - Recommendations and Schedule for Repairs

B. INTERIOR

- | | |
|--|---|
| 1. Clean and refinish all wood paneling and trim. | x |
| 2. Patch repair and paint all plaster wall and ceiling surfaces and paint. | x |
| 3. Clean, sand as required and seal brick and wood flooring. Replace damaged flooring. | x |

RECOMMENDATIONS

SCHEDULE FOR REPAIR

Urgent <5 Yrs. >5 Yrs.

- 4. Construct fire rated wall(s) between offices, adjacent barn and mech. spaces to reduce risk of fire. x

• **MECHANICAL/PLUMBING/ELECTRICAL/FIRE PROTECTION:**

Refer to 4.2 Stable - Recommendations and Schedule for Repairs

4.5 Conclusion

This study identifies a great number of deficiencies that can be corrected through maintenance improvements. However, correction of other deficiencies may require considerable design changes in the structure, i.e., expanding the facility or modification of the program amenities offered through the facility.

As an example, the classroom/tack shop function on the second floor of the barn must, in our opinion, be moved immediately or this program amenity must be modified or eliminated. If acceptable space is made available on the first floor it will require modification of another program amenity such as elimination of the first floor residential unit or it will require expansion of the building.

The existing restrooms are deficient and need to be enlarged. To accomplish this the building will need to be expanded or space taken from the adjacent tack room. However, the tack room space is already in adequate for the quantity of use.

Many of the stalls are too small. A 10' x 10' stall is a minimum size in our opinion, and many of the 10' x 10' stalls have been divided into two stalls of 5' x 10'. A horse is not able to turn around in a space of this size. Increasing all stalls to a 10' x 10' minimum would eliminate space for approximately 8 horses.

The riding rings have deteriorated due largely to poor drainage. However, significant deterioration is caused by the nearly constant use of the riding rings by approximately 58 horses during daily exercise in addition to riding. This rate of deterioration could be reduced by either reducing the number of horses using the rings or creating an additional ring/paddock adjacent to ring number four.

In our opinion, any plans for improvement and repair of the Meadowbrook Stable facilities must take into consideration the potential need to modify the building as well as the functions within the building. Either the building/site is modified to accept the existing functions or the functions are modified to fit the existing building. There exists a degree of incompatibility between both that currently creates unsafe and hazardous conditions, violates building codes and causes excessive wear and tear on the facility.

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Department of Park and Planning, Montgomery County, Maryland
9500 Brunett Avenue, Silver Spring, Maryland 20901



**You're Invited to a Public Information Meeting on the
MEADOWBROOK STABLES**

Proposed Development Plan

Monday, July 9, 2001

7:00 pm to 9:00 pm

Meadowbrook Recreation Center

Meadowbrook Local Park (Candy Cane City) – 7901 Meadowbrook Lane - Chevy Chase

On Monday, July 9, 2001, The Maryland-National Capital Park and Planning Commission, Montgomery County Department of Park and Planning ("Commission") will conduct a public information meeting on proposed improvements to the Meadowbrook Stables, located on Meadowbrook Lane off East West Highway in Chevy Chase. Proposed improvements include a reconfiguration of the riding rings; a new circulation pattern for the stables featuring a pedestrian-horse plaza; a covered riding ring; and upgrades to other support structures and amenities. The public meeting will focus on the planning efforts completed to date for these proposed improvements.

If you are interested in learning more about this project, we encourage you to attend this meeting. After a short presentation by stable staff and consultants, you will have an opportunity to provide input and ask questions. Concerns and suggestions expressed at this meeting will be compiled and used in finalizing the plans for the proposed improvements.

Meadowbrook Stables is operated by Meadowbrook Associates, Inc., under a lease agreement with the Commission. As a condition of the agreement, Meadowbrook Associates is required to make selected improvements to the grounds and structures that comprise the leased premises. The currently proposed improvements represent a coordinated plan to significantly enhance the features, functionality, and attractiveness of the stables and grounds in addition to performing the required improvements in accordance with the terms and conditions of the lease. A substantial portion of the proposed improvements will come to the Commission as an outright gift from the owner of Meadowbrook Associates, whose vision for the stables is equal parts character development for youth and restoration of a beautiful, grand, and historic riding facility.

For additional information on this project, please call Jerry Bush at 301-495-2516 or Ms. Honore Hastings at Meadowbrook Stables, 301-589-9026. Individuals who are unable to attend the meeting may submit written comments to: **Office of the Chairman, Montgomery County Planning Board, 8787 Georgia Avenue, Silver Spring, Maryland, 20910**, or to **FAX # (301) 495-1320**.

The Maryland-National Capital Park and Planning Commission encourages the involvement and participation of all individuals in its programs and at its facilities. For assistance with special needs, such as sign language interpretation, large print materials, listening devices, etc., please contact the Community Relations Office, 301-495-4600, TTY 301-495-1331, or the Maryland Relay Service, 1-800-735-2258.

Meadowbrook Stables Public Information Meeting July 9, 2001

Concerns Expressed by Public Together with Responses from the Commission and MAI

This Memorandum has been prepared jointly by the Maryland National Capital Park and Planning Commission (the "Commission") and Meadowbrook Associates, Inc. ("MAI") to summarize the questions and concerns raised by neighbors at the informational meeting held on July 9, 2001. The Commission took minutes of the meeting and prepared the portions of this document that summarize communications at the meeting. MAI has inserted supplemental written responses to each topic addressed at the meeting. The responses are intended to clarify information provided to neighbors at the informational meeting, and to offer some preliminary options for resolving concerns raised by neighbors.

As stated at the July 9, 2001 meeting, the improvements proposed by MAI are intended to be a gift to the Commission and the community. Although MAI has invested a great deal of time and effort developing improvements designed to benefit the Commission, the environment, the horses and riders at Meadowbrook Stables ("the Stables"), and the community, neither MAI, nor its owner David Bradley desire to build improvements that the neighbors oppose. MAI was very pleased with the turnout at the informational meeting, and is impressed with the thoughtfulness of the comments made. MAI has carefully considered the concerns raised by neighbors and is committed to addressing those concerns in a manner that satisfies the community. The comments below set forth some proposed solutions, but MAI will continue to seek input from the neighborhood throughout the ensuing months to enable it to identify and implement the best possible solutions for all concerned.

PARKING

Many attendees expressed concern over the current and proposed parking situation including park patrons parking in the neighborhood, blocking driveways, parking on lawns and on the hiker/biker path, and in the Stables' parking spaces causing the Stables' users to park in the neighborhood. This situation is particularly bad on nice summer weekends and when the Stables hosts a horse show 3-4 times per year. One attendee was also concerned that the current parking for the Stables would expand to the north of the current Stables parking lot, which is in front of her house.

Suggestions included better signage such as "No Parking" or "Stables Parking Only" and better enforcement of no parking signs through fines or towing. It was indicated that Park Police are very responsive when they are called.

Another suggestion was to use the maintenance yard parking lot, especially during horse shows. One attendee indicated that this would be in violation of a 1987 court order.

MAI staff acknowledged that parking issues were one of the top priorities in developing the proposed plan and that solutions would be considered.

MAI Comments:

MAI is concerned about parking at and around the Stables. Currently, there is insufficient parking for Stables' customers and other park users. This situation was worsened recently when the Stables lost approximately eight parking spaces in front of the barn to the Hiker/Biker trail.

The proposed improvements at the Stables should have a positive effect on the amount of available parking. Currently, some employees park in the existing Meadowbrook Lane spaces. With the addition of an employee parking lot in the interior of the premises, those employees will be able to park off the street, thus freeing up four to five parking spaces daily for park users and Stables' customers.

MAI would like to increase the amount of parking further if possible, and it will continue to explore additional options to satisfy the neighbors, the Commission and the Stables.

The Stables has hosted the Washington Bridle Trails Association ("WBTA") horse shows for the past 61 years. These shows occur on 3 weekends per year, at which time, parking in the neighborhood becomes crowded. MAI and WBTA have worked together to attempt to locate parking off-site for horse show participants, and will continue to try to minimize the inconvenience to neighbors on these weekends. It is MAI's hope, however, that this historic, charitable horse show will continue to be held at the stables for years to come.

STORM WATER MANAGEMENT (SWM) POND

Attendees commented that the pond site is in a 100-year flood, and that the current SWM pond doesn't seem to be working properly. It backs up during rainstorms and silting is occurring. In addition, the pond seems to be an attractive nuisance to children and should be fenced. Questions were asked regarding how much larger the new SWM pond would be and would it be able to handle run-off from new impervious areas, i.e. the parking lot and covered riding ring. One attendee indicated that the area containing the SWM pond is an archeological site and the pond shouldn't be expanded.

MAI staff showed the attendees how large the new SWM pond would be on the plan provided at the meeting. They also indicated that they were unsure if the current pond was operational yet, but that the plan for the pond had taken environmental issues into consideration. Commission staff said they would check with the project manager to determine if the current pond was operational, and if fencing the pond was in the plan or needed to be added to the plan.

MAI Comments:

MAI believes the SWM pond should be fenced as soon as possible to protect Park patrons and animals. The Commission has indicated that it will install temporary fencing immediately. The Commission engineers and MAI engineers have scheduled a meeting at the sediment pond to assess the neighbors' concerns, and MAI's civil engineers will be present at the Planning Board Meeting to address any questions related to the impact of MAI proposed improvements on the sediment pond and storm water management generally.

SERVICE ROAD

A couple of attendees expressed concern that the location of the planned service road would bring truck traffic further down Meadowbrook Lane in front of their homes, and asked if the service road could go behind the barn.

MAI staff indicated that the planned service road is only an improvement to the current service road. Currently, some trucks do not use the service road, but use the entrance near to the barn and paddocks. To remove vehicular traffic near the pedestrians and horses, all trucks would now use the service road. There is no road currently behind the barn and wetland/floodplain issues would preclude installing one at that location.

MAI Comments:

Moving the main service entrance to the south end of the Stables' property substantially improves the safety of the Stables by minimizing the number of vehicles that must navigate among children and ponies on the premises.

In addition to the reasons discussed at the public meeting for increasing the use of the existing service road south of the barn, MAI has committed to maintaining the north side of the barn "as is" for the sake of the many neighbors who use that open space. If a road were installed behind the barn, it would run across that north side of the barn. This would change the view for those northern neighbors, and create safety risks for non-equestrian park users and their pets who frequent that area.

To the extent neighbors are concerned about the Stables' service trucks traveling farther down Meadowbrook Lane, the impact should be minimal. Currently, the following trucks regularly visit the Stables:

- Trash Removal: 1 time per week
- Manure Removal: 2 times per week
- Shavings Delivery: 3 times per month
- Commercial Horse Shippers: 6 times per year
- Soda Machine Service: 1 time per week (or less)
- UPS Delivery: 4-5 times per week
- Hay Delivery: 3-4 times per month

Farrier: 1 time per week (plus emergencies)
 Veterinarian: 1 time per week (plus emergencies)

MAI would be willing to have the soda machine service truck, UPS Delivery truck, hay truck, farrier, and veterinarian continue to use the northern service entrances, because they all render services in and around the barn itself. Thus, the only trucks that would travel down to the southern service entrance would be the trash removal truck, the manure removal truck, the shavings delivery truck and the commercial horse shippers. The total increase in truck traffic on the southern end of Meadowbrook Lane would range from 3-5 trucks per week. These trucks normally arrive and depart during regular business hours, so they should have no impact on weekend traffic.

Because the stables employees would also use the southern entrance to the property, the total car traffic at the southern end of the property would increase by approximately 10 cars per day.

It is important to note that most of these vehicles currently travel approximately half way down Meadowbrook Lane to access the premises. The proposed change would require them to pass 5 more houses before turning off Meadowbrook Lane.

OBSTRUCTED VIEW

Many attendees expressed concern regarding the potential obstructed views of the park, paddock, stables, etc. These comments have been listed under the following headings: Fencing/Access to Stables, Kiosk, Landscaping, Bleachers, and Buildings.

FENCING/ACCESS TO STABLES

Comments regarding fencing centered around where the fence will be, what type of fence will be installed, how high the fence will be, and if animals (i.e., foxes and deer) would be blocked out by the fence. Attendees also wanted to ensure that the public will still have open access to the stable grounds at all hours of the day. Some asked why there are proposed gates that will be locked during the night restricting access to the stable buildings.

MAI staff said that the proposed fences would be 3-slat fences similar to the current fencing around the paddocks, and that it is designed to keep horses in, not to keep other animals out. The gates will only be locked when the Stable programs end in the evening or the park is closed after dusk, whichever is later, and will not be locked during normal park hours. The gates will provide security to the Stable buildings and to the horses.

MAI Comments:

There are two important reasons for perimeter fencing with gates. First, horse escapes, though rare, can have severe consequences to both humans and animals given the urban

location of the Stables. The fencing will virtually eliminate the chances of horses getting loose in the neighborhood or onto major roads.

The second reason for fencing is to enable the Stables to better enforce the park closing rules. For safety reasons, the park closes at night. Safety concerns are even greater at a stables than in a typical park. After the close of business, the Stables staff is reduced and the exterior lighting is turned off (at the request of neighbors). Under these conditions, it is not possible for the Stables to assure the safety of neighbors who may wish to travel across the property in the dark.

In addition, the Stables' horses, just like people, require some peace and quiet to recharge their batteries each day. The horses do not have the luxury of spending quiet time in a field away from the bustle of the barn, and on most days there is near constant traffic in and around their stalls. While the majority of people who presently come through the Stables after hours have good intentions, there have been occasions when people have entered the premises and disturbed the horses, as well as the staff member who lives on site to care for the horses. Strangers in and around the barn at night can be dangerous for both the horses and the people involved.

The proposed perimeter fencing will be 3-board, oak fencing, painted white. It will be approximately 40 inches high (the same height as the current paddock fencing), and the open spaces between the boards will be approximately 12 inches each. The perimeter fencing should provide no obstacle to wildlife that frequently travels over and through the existing fences at the Stables.

The perimeter fencing will have gates on the north, east and south sides of the property. Pedestrians will be welcome to enter through the main entrance to the premises whenever the park and/or the Stables are open. The main entrance gates will automatically swing shut behind pedestrians, however, to assure that horses cannot escape through the gates.

Park users who wish to access Rock Creek or Candy Cane City from the north will be able to do so without having to enter the enclosed Stables area.

The security gates will close only when the Stables and the park are closed, and they will re-open early every morning. Those individuals who currently cut through the interior of the property from Meadowbrook Lane to Candy Cane City late at night will still have access to Candy Cane City via the hiker/biker trail.

For the past several years, the Stables' public viewing hours have been from 10:00 a.m. to 5:00 p.m. Tuesday through Sunday. The Stables are closed on Mondays, except during Summer Camp season.

Although the Stables' barn will continue to have limited viewing hours as set forth above, The Stables will keep the main entrance gate open for the public during the approximate hours set forth below:

September through May

Mondays (Meadowbrook Closed):	8:00 a.m. to dark.
Tuesdays thru Fridays:	8:00 a.m. to 8:30 p.m.
Saturdays & Sundays:	8:00 a.m. to dark.

June through August

Monday through Friday:	8:00 a.m. to 8:30 p.m.
Saturdays & Sundays:	8:00 a.m. to dark.

KIOSK

Attendees questioned how large will the kiosk be, and if it would be manned during horse shows. Others commented that the kiosk will block the view of the barn and will be an eyesore. One suggestion was to place the kiosk near the parking lot for the general park users near Candy Cane City.

MAI staff clarified that the kiosk is a bulletin board and would not be as large as it seemed to be in the drawings. They agreed to look into other possible locations for the kiosk

MAI Comments:

The "Kiosk" is intended as a bulletin board space to provide the community information about the park system, as well as the Stables. MAI hopes to use the Kiosk to post information about planned events at the barn, its lesson program, and general community news.

Contrary to its appearance in the architect's drawings, the Kiosk will not be a prominent structure at the Stables. In response to neighbor concerns, MAI has asked its architects to redesign and minimize the size/scale of the structure. In addition, MAI is willing to move the kiosk from the immediate entrance gate to another location more acceptable to neighbors. MAI will present some options at the Planning Board Meeting, and it will share these options with the neighbors before settling on a location. One potential option could be placing the Kiosk near the mailbox, north of the barn, and just north of the planned perimeter fencing.

If neighbors cannot agree on an appropriate location for the Kiosk, MAI will not install a kiosk at all.

LANDSCAPING

One attendee asked how many mature trees would be removed and would they be replaced. Another attendee asked if the "big" tree would be saved. One attendee, representing bike riders, asked if the trees that were removed to install the hiker/biker

trail would be replaced to provide some shade to the trail. Several other attendees asked how tall and what kind of landscaping would be in front of the paddocks and asked that the landscaping only be as high as the fences to not block the openness of the area.

MAI staff indicated that 25 mature would be removed, and that the trees would be replaced 1 for 1, plus some supplemental plantings. Yes, the "big" tree would not be touched. MAI staff said that all points of view would be taken into consideration when selecting landscaping material.

MAI Comments:

The twenty-five trees referred to at the meeting is an estimate. MAI will minimize the number of mature trees that will be removed from the premises. Although it has not yet flagged specific trees to be removed, a number of those to come down have been identified by the Commission as diseased or weakened in some way. Thus, the removal of these trees will improve the long-term health of the remaining trees.

The "Meadowbrook Tree" located near the Farrier Shed will be preserved.

At the neighbors' request, MAI will not plant any trees (of any height) along the southeastern edge of the property in order to preserve the neighbors' view of the paddocks and the openness of the property. Instead, MAI will plant shrubs that when mature will not rise above the fence level in those areas.

BLEACHERS (between the paddocks)

There was considerable discussion regarding the proposed bleacher location between the paddocks. Of particular concern was that the bleachers would obstruct the view of the paddocks. Some suggestions from the attendees were to locate the bleachers behind the paddock rather than between the paddocks, and to have moveable bleachers. Through discussion, it was determined that the issue was not with the bleachers themselves but with the height of the cover over the bleachers. It was suggested that perhaps the cover for the bleachers be moveable.

MAI staff said they would look into the possibility of a moveable cover for the bleachers.

MAI Comments:

In view of neighbor objections, MAI has asked its architects to re-design the proposed cover over the bleachers to minimize any visual obstruction from Meadowbrook Lane. MAI hopes to be able to show a model of a scaled down cover at the Planning Board Meeting on July 19, 2001. In addition, MAI will show any new designs to the abutting neighbors for consideration. If MAI cannot identify a design that satisfies the neighbors, it will drop the plans to build a cover over the bleachers between the two large paddocks.

MAI remains interested in providing a comfortable area for parents to watch their children's lessons, and for park patrons to visit and observe the horses and riders in the paddocks. There are some potential options for accomplishing this (at least in part) without installing an actual permanent cover over the bleachers: 1] MAI could purchase a temporary movable awning to provide shade and/or rain protection for the bleachers. 2] MAI could plant a tree at each end of the bleachers to provide some natural shade over the viewing area.

Again, MAI will consider additional neighbor input before adopting a final solution.

BUILDINGS

Most of the comments regarding the buildings centered around how high the covered ring building would be and if it would block the view. One attendee asked if there could be fewer buildings and if the manure building could be moved. One attendee praised the layout of the buildings.

MAI staff told the attendees that the covered ring building was as low as possible to be both safe for the riders using the covered ring and to aesthetically fit in with the barn. MAI staff indicated that the number of buildings and layout was carefully thought out and this was the best configuration.

MAI Comments:

The proposed Riding Pavilion, at roughly 26 feet high, will be no higher than the structures currently standing in that location. Height of the structure was of paramount concern throughout the planning stages, and MAI has pushed the engineers/architects to provide the lowest possible profile.

MAI has considered many possible locations for the new Manure Shed. For a variety of environmental, efficiency, and safety reasons, the proposed location is the only feasible location.

The new Manure Shed will be substantially less visible and less noticeable than the current sheds. Because it will be set up perpendicularly to Meadowbrook Lane, neighbors will only see the narrow end of the structure, which will resemble a miniature replica of the end of the barn. Neighbors will not be able to see the manure containers, the tractor, the garbage dumpster, or any of the other contents of the shed that are presently visible.

To minimize the change in appearance of the landscape, MAI will attempt to preserve some mature trees in the area in front of the Manure Shed, and it will plant new trees and shrubs there as well.

STABLE OPERATIONS

Some attendees expressed concern that there would be a major change in the way the stables are used and that the number of lessons and shows would increase bringing increased traffic. Attendees also asked how the covered ring would be used.

MAI staff said that the number of lessons would not increase since the number of horses would remain the same, and that there were no plans to increase the number or size of the shows. These improvements would be a gift from David Bradley to the community to improve the riding experience of the patrons. MAI staff told the attendees that the covered ring would allow greater flexibility to the lesson program and allow lessons to be held in foul weather.

MAI Comments:

There are currently 4 fenced riding areas at the stables. After renovation of the existing rings, there will be just 3 fenced riding areas. The covered riding ring will restore the fourth riding area. Thus, the renovations will not increase the operating capacity of the Stables, but will allow the Stables to maintain its current level of lesson programming.

CONSTRUCTION

Attendees asked when construction would start, how long construction would last, and would the construction be completed in stages.

MAI staff indicated that construction would start when all the approvals and permits were obtained. Once started, the construction would take an estimated 12-18 months to complete, and it would be staged so that the stables could continue to operate during construction.

MAI Comments:

If approvals can be obtained, MAI hopes to start the renovation of the existing rings in late August 2001. It is hoped that this first phase can be completed by October 2, 2001 when the Stables normally starts its fall lesson program.

MAI does not plan to start building the Riding Pavilion before the Spring of 2002. The demolition of the existing sheds, construction of the new Manure Shed, and construction of the Riding Pavilion will be scheduled after all permits have been approved, and taking into account seasonal weather conditions, The Stables' business operations, safety concerns and contractor availability.

MAI will communicate regularly with the community, hopefully via a soon-to-be-established website, as its schedule becomes more definite.

NOISE

One attendee expressed concern about the use of loud speakers during horse shows.

MAI staff indicated that the current speakers face Meadowbrook Lane. The proposed speakers will be near the hiker/biker trail and will face the paddocks, away from Meadowbrook Lane, which should greatly reduce the sound disturbance to the neighborhood.

MAI Comments:

The stables uses the existing sound system 6-7 days per year, during organized horse shows that are held on the premises. This usage will not increase as a result of the renovations. Unfortunately, the sound system is necessary to the operation of the horse shows.

MAI has engaged a sound design consultant to minimize the degree to which the new sound system will disturb neighbors. MAI believes that the changes it proposes to the sound system will virtually eliminate any noise carrying into the neighborhood.

OTHER

One attendee asked if the information given at this public meeting, as well as any future updates, could be posted to a website, and also if the public could be provided with the opportunity to ask questions on-line.

Another attendee asked for more drinking fountains and bathrooms to be available to those using the hiker/biker path.

MAI staff said they thought a website would be a great idea and would look into the logistics of posting a website. MAI and Commission staff acknowledged that the need for additional drinking fountains and bathrooms for the general park user was an issue that needed to be addressed.

MAI Comments:

MAI is looking into options for establishing a "Renovations Website." It hopes to have a definite answer within the next week.

The Stables currently has one refrigerated drinking fountain inside the barn/office area, and two "public bathrooms." These amenities are intended for the Stables' customers, but they are used frequently by runners, bikers, and Candy Cane City patrons, especially on weekends. It appears that the lack of availability of public bathrooms and drinking fountains elsewhere in the Park attracts many non-equestrians to the Stables, thus worsening the neighborhood parking problems. The Commission has agreed to look into

the possibility of providing additional public bathrooms and drinking fountains nearby, in hopes of diverting some non-equestrian traffic from the Stables.

COMMENDATIONS

Several attendees had very positive comments regarding some specifics of the plan, the overall plan itself, and the fact that it is a tremendous gift to the community.

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Department of Park and Planning, Montgomery County, Maryland
9500 Brunett Avenue, Silver Spring, Maryland 20901



**You're Invited to a Public Information Meeting on the
MEADOWBROOK STABLES**

**Proposed Development Plan
Monday, September 24, 2001
7:00 pm to 9:00 pm**

Meadowbrook Recreation Center

Meadowbrook Local Park (Candy Cane City) – 7901 Meadowbrook Lane - Chevy Chase

On Monday, September 24, 2001, The Maryland-National Capital Park and Planning Commission, Montgomery County Department of Park and Planning ("Commission") will conduct a second public information meeting on proposed improvements to the Meadowbrook Stables, located on Meadowbrook Lane off East West Highway in Chevy Chase. This second meeting will focus on changes to the development plan and other steps that have been taken to address public comments received during and since the first public meeting held on July 9th.

The staff recommendation on this development plan is tentatively scheduled for **review and approval** by the Montgomery County Planning Board on Thursday, November 1, 2001. Meadowbrook Associates and Commission staff will continue to collect and consider input from the public before, during, and after the September 24th public meeting as the details for the proposed improvements are finalized for presentation to the Planning Board in November. The staff report to the Board on this project will be available for pick up at 9500 Brunett Avenue on Monday, October 29, 2001, or you may view it on our website at www.mc-mncppc.org (click on "Staff Reports") beginning the same day. As the November 1st date approaches, check the website or call 301-495-2516 to confirm the date and time for this agenda item.

Meadowbrook Stables is operated by Meadowbrook Associates, Inc., under a lease agreement with the Commission. As a condition of the lease, Meadowbrook Associates is required to make much-needed repairs and improvements to the grounds and structures that comprise the leased premises. Their proposed development plan represents a coordinated effort to comply with the lease requirement for capital improvements that will significantly enhance the features, functionality, and attractiveness of the stables and grounds. A substantial portion of the proposed improvements will come to the Commission as an outright gift from the owner of Meadowbrook Associates.

For additional information, please call Jerry Bush at 301-495-2516 or Ms. Honore Hastings at Meadowbrook Stables, 301-589-9026. Individuals who are unable to attend the public meeting or the subsequent Planning Board meeting may submit written comments to: **Arthur Holmes, Jr., Chairman, Montgomery County Planning Board, 8787 Georgia Avenue, Silver Spring, Maryland, 20910, or to FAX # (301) 495-1320.**

The Maryland-National Capital Park and Planning Commission encourages the involvement and participation of all individuals in its programs and at its facilities. For assistance with special needs, such as sign language interpretation, large print materials, listening devices, etc., please contact the Community Relations Office, 301-495-4600, TTY 301-495-1331, or the Maryland Relay Service, 1-800-735-2258.

**MEADOWBROOK STABLES PUBLIC INFORMATION MEETING
SEPTEMBER 24, 2001**

MEETING SUMMARY

ATTENDEES:

On Behalf of Meadowbrook Associates, Inc. ("MAI"): Kerry M. Richard, Honore Hastings and Bonnie Williams

On Behalf of The Maryland-National Capital Park & Planning Commission (the "Commission"): Jim Humerick

INVITEES:

All households located between East-West Highway on the North, the Meadowbrook Maintenance Facility ("MMF") on the South, Grubb Road on the East and Meadowbrook Lane on the West.

All current students of Meadowbrook Stables.

Approximately 50 people attended.

SUMMARY

The meeting was called to order at approximately 7:15 pm, and after introductions, MAI explained that they hoped to accomplish 4 things during the meeting:

1. Outline the concerns that neighbors have raised since July 9, 2001, together with MAI's responses to those concerns to date.
2. Seek feedback from the neighbors as to those things they like about the proposed renovations.
3. Seek input from the neighbors as to any assurances they would like in writing, to help them feel more comfortable with the proposed renovations.
4. Answer any new or additional questions from neighbors.

Neighbors' thoughts were recorded on two flipcharts, one each for points 2 & 3 above. In addition, notes were taken during the meeting. Exhibits 1 and 2, attached, summarize the points recorded on those flipcharts.

Review of Concerns Raised To Date:

I. Traffic Concerns

- A. Many cars speed up and down Meadowbrook Lane, in and out of Candy Cane City and up and down Washington Avenue.

- B. Congestion/speed of traffic creates pedestrian safety issues on Meadowbrook Lane in front of the Stables.
- C. Congestion/speed of traffic creates pedestrian safety issues on streets in neighborhood that do not have sidewalks or off street parking
- D. Proposed renovations may/will increase the amount of car traffic on a regular basis.
- E. During peak usage times (like horse shows/ lesson registration), the increase in car traffic creates serious congestion on Meadowbrook Lane and on Washington Avenue

MAI assured attendees that it is equally concerned about excess traffic speed and congestion, especially as it relates to safety on Meadowbrook Lane. MAI proposed installing new stop signs at Washington Avenue, as well as the installation of a pedestrian crosswalk – across from the proposed Pedestrian Gate on Meadowbrook Lane.

MAI also stated that it supports enforcement efforts by Park Police, and will undertake to educate its students/parents concerning the importance of traffic and pedestrian safety.

MAI stated that it is working with the Commission to complete an area-wide traffic survey, and intends to work with the Commission to adopt solutions that work for everyone. If there are no solutions, MAI stated it would not go forward with its proposal.

II. Parking Concerns

- A. Does the Stables have sufficient parking to handle increased car traffic after the renovations?
- B. Parking during peak usage (horse shows/registration) is a problem for the neighbors.
- C. Neighbors do not want park users parking on the streets in their neighborhood

MAI stated that it has sufficient parking today for its normal lesson schedule, and because the renovations will not cause the number of lessons or students to increase, MAI does not believe there will be an increase in traffic after the renovations.

During peak usage times (horse shows and registration), we will make parking available on the North Field or, if the neighbors agree, the Meadowbrook Maintenance Facility.

MAI will require the Washington Bridle Trails Association (“WBTA”) to provide parking patrols, and traffic direction, MAI has advised and will continue to advise WBTA patrons not to park in the neighborhood.

III. Increased Park Usage

- A. Candy Cane City's improvements and the hiker/biker trail have increased general usage of the park.
- B. How can MAI assure neighbors that its improvements won't create further increases in general park usage?

MAI will not be increasing its business. The improvements by themselves should not increase the general use of the Park. MAI noted that it will put assurances in writing, including by amending its Lease with the Park, to give the neighbors confidence that MAI has no intention of creating a tourist attraction.

IV. Usage Of The Stables

- A. Would the renovations result in an expansion of the Stables' business?
 - i. More horses?
 - ii. More lessons?
 - iii. More horse shows?
 - iv. More students?
 - v. Longer hours of operations?
 - vi. New activities?

MAI stated that the answer to all of the above questions is "Unequivocally No." MAI will maintain its current levels of business, in all respects, after the renovations.

- B. Would the renovations change the way the Stables operate?
 - i. Will neighbors still be able to watch the horses?
 - ii. Will neighbors still be permitted to walk through and see the horses?

MAI assured neighbors that they will still have views of the horses when they are turned out in the outdoor rings – which will continue to happen daily, weather permitting. To avoid obstructing neighbors' views, MAI will not plant new trees along Meadowbrook Lane. In addition, neighbors will continue to be welcome to visit the horses, during the Stables' regular hours of operation, as they are now.

- C. How can the Stables assure that the renovations won't create an attraction?

MAI reiterated that it does not seek to create an attraction. MAI invited neighbors to identify specific assurances that would give them comfort on this issue. Those assurances are set forth in Exhibit 2 to this Summary.

Among other assurances, MAI volunteered that it will scale back its design for the “pedestrian/equestrian plaza” – to avoid creating a gathering place. The essential safety/operational elements will remain – i.e., the area previously referred to as a “plaza” will remain off limits to motor vehicles, it will continue to have horse-safe footings, and it will continue to be the main walkway for students to move with their horses between the Stables and the riding rings.

D. How can the Stables assure that the covered ring/facility won’t be put to a different use in the future?

MAI indicated that its review of the deeds for the property revealed no specific prohibition on changing the use of the property in the future. Still, MAI stated that there are some assurances it can give.

For example, MAI indicated that David Bradley has asked the Commission to extend his lease for 20 years, and the Commission has agreed to this in-principle. Because the lease specifically requires the operation of a riding program open to the public, MAI can assure that as long as MAI holds the lease, the use of the premises will not change.

In addition, MAI told neighbors that before anyone can change the use of the Stables, a request to change the use would have to be submitted to and approved by the National Capital Planning Commission (a federal entity).

V. Storm Water Management Pond

A. Is the pond functioning properly (it always seems to have water in it)?

MAI indicated that since this issue was raised in July, the Commission’s engineers, as well as MAI engineers have inspected the pond and determined that it is functioning as it was designed to function.

B. Is there any archeological significance to the site?

MAI stated that after the July public meeting where this issue was raised, the Commission consulted with two different archeologists, who viewed the location as well as certain rocks removed by one of the neighbors. Both archeologists concluded there is no archeological significance to the site.

C. Will the pond be fenced?

D. What type of fencing?

MAI stated that although the Commission’s and/or County’s policy is not to fence these types of ponds, MAI has requested permission to install fencing that is both horse- and child-safe around the pond at MAI’s expense. MAI’s request is pending with the Commission.

VI. Changes To The Service Entrances For The Facility:

- A. Does MAI have to move the current service road to create a new entrance/exit on Meadowbrook Lane?
- B. How would moving the service entrance to the south end of the property affect traffic flow on that part of Meadowbrook Lane?

MAI stated that it will eliminate the second service road altogether. The entrance presently across from Washington Avenue will cease to exist.

The change will result in moving some cars further down Meadowbrook Lane to the service entrance at the south of the premises. This should result in an increase in traffic of 3-5 trucks per week, and approximately 10 cars per day driving down to the south end of the property to enter the premises.

VII. Perimeter Fencing

- A. What type of fencing?
- B. What color will the fencing be?
- C. Will fencing inhibit the flow of wildlife?
- D. Will fencing inhibit drainage of the flood plain/creek?
- E. Will it keep the neighbors out?

MAI stated that the perimeter fencing will be 3-board oak fencing, of natural color, similar to the present paddock fences. Wildlife and water will be able to pass through the fencing. Neighbors will have access to the premises through the gates near the barn whenever the Stables are open. There will also be a 50-foot buffer between the perimeter fencing and Rock Creek, so park users will have access to Rock Creek from that side.

VIII. Aesthetics Of The Covered Ring

- A. Does it have to be so big?
- B. Can you put it anywhere else?
- C. Can you do the rest of the work without building a covered ring?

MAI stated that it needs the covered ring included in the renovations. The ring provides a fourth riding space to replace the riding space lost to the ring re-configuration proposed for the outdoor paddocks. The actual ring would be 200ft x 100ft, which is the minimum space necessary to allow MAI enough space to turn out the horses in bad weather. A smaller ring would not permit enough time in the day to rotate all the horse through the ring. MAI also stated that its original ideas included a much larger covered ring – approximately 200ft x 300ft, but after working with the engineers and architects to try to keep the roof height down, the ring-size was reduced to its current dimensions. A larger ring would require a taller roof to be structurally strong enough to support it.

The proposed roof – which is approximately 26 feet tall – is as low as the roof can be to adequately support the proposed ring size, and it is no higher than the highest point of the current manure shed. It is substantially lower than the barn roof.

After meeting with neighbors over the summer, MAI went back to its architects and engineers to determine whether it was feasible to move the covered ring north, so that it would be at least partially hidden behind the barn. MAI's architect concluded that the covered structure could be shifted 20 feet north by relocating the administrative space from the south end of the structure to the north end. MAI has agreed to make this design change. MAI stated that it is not possible to move the covered structure further north for a variety of engineering, design and environmental reasons.

IX. Other Aesthetic Issues?

- A. Will the renovations change the historic nature of the property?
- B. How can the renovations maintain the rustic charm of the premises
- C. Does the pedestrian/equestrian area have to be so nice?
- D. Does there have to be a fountain?
- E. Does there have to be covered seating by the outdoor rings?
- F. Does the kiosk have to be so big?
- G. Does the kiosk have to be right at the entrance to the barn?
- H. Do you have to put trees in front of the rings along Meadowbrook Lane?
- I. Can you put trees in front of the employee parking lot?
- J. Can you put trees in front of the new proposed manure shed/utility building?

MAI stated that the renovations have been designed to maintain the historic nature of the property, and have in fact been approved by the Historic Preservation Commission. MAI will maintain the "rustic charm" of the premises by leaving the fencing unpainted, choosing muted colors for the horse-safe footing in the pedestrian/equestrian walkway, simplifying the fountain (or eliminating it if necessary). MAI intends to create small covered seating areas for parents to watch their kids ride, but again, these features will be simplified to avoid creating an attraction. The proposed kiosk will be reduced in size to a simple two-sided structure, and it will be moved to a location away from the barn on the hiker/biker trail to assure that it does not obstruct the neighbors' view of the barn.

MAI also stated that it is happy to use trees to camouflage those features of the premises that neighbors do not want to see – such as the employee parking lot, or the new manure shed. Likewise, MAI will not plant new trees in areas where they obstruct neighbors' views of things they want to see – i.e., the horses.

X. Tree Removal/Replacement

- A. Do you have to remove mature trees?
- B. What sort of trees will replace the removed trees?
- C. Where will the trees go?

D. What will happen to the Lob-lolly Pine next to the farrier shed?

MAI stated that some mature trees will need to be removed to permit the relocation of the manure shed, and the construction of the covered ring. Thirteen of those trees have already been slated for removal by the Commission, due to their deteriorated health. The vast majority of the remaining trees to be removed by MAI are in poor condition due to years without regular maintenance. MAI will preserve as many healthy trees as it can, and it will replace every tree removed with at least one new tree. MAI will undertake to care for and maintain the trees it plants, and it will select trees based on neighbors' expressed preferences for larger, faster-growing trees to fill in the spaces left by the removed trees.

MAI is happy to consult with neighbors concerning their preferences for tree location, size and type, as the proposed plan progresses.

MAI will take all recommended steps to preserve the Lob-lolly Pine located next to the Farrier Shed. That tree has been designated a county champion – meaning that it is the largest tree of its species in the county.

XI. Lighting?

- A. Can you make sure the lighting will not shine in the houses on Meadowbrook Lane?

MAI answered that it retained lighting designers for just this purpose, and that MAI has been assured that the new lighting will have zero light trespass – meaning that it will not spill into the neighborhood.

XII. Sound?

- A. Can you reduce the sound that carries into the neighborhood from the loud speaker system?

MAI has worked with sound designers to develop a sound system that directs sound away from the neighborhood, and should be substantial improvement over the existing system. In addition, MAI will continue to limit use of its sound system to 3 weekends per year.

XIII. Dust?

- A. Can you reduce the amount of dust in the riding rings?

MAI stated that one of its biggest goals in the re-design of the riding rings was to reduce the amount of dust in the rings. MAI has reduced the size of and reshaped the rings to assure that available irrigation systems can effectively water all areas of the rings. In addition, the materials chosen for the footings should be inherently less dusty.

XIV. Standing Water/Drainage?**A. Can you get rid of the standing water in the rings?**

MAI stated that once again, a great deal of effort had been put into designing rings that would drain effectively, thus minimizing or eliminating the standing water at the end of the riding rings. The new rings will incorporate a new drainage system, with grading and footings that should eliminate standing water.

General Discussion of Points Neighbors Like and Assurances Neighbors Seek

During the course of discussion, neighbors indicated that they like various aspects of the proposal, including the items that were listed on a Flip Chart, and which are summarized on Exhibit 1. Neighbors also articulated assurances they would like to see in writing. Those assurances are set forth in Exhibit 2. The following narrative summarizes comments (both positive and negative) made by attendees. Where the identity of the speaker is known, the comments are designated as neighbor comments or park user comments.

Attendee Comments:**The Covered Arena:**

Some neighbors continue to express concerns about the proposed covered arena, specifically, that it may create an attraction for teenagers at night, that it might make the area "too attractive," and/or that does not seem necessary.

Other neighbors stated that did not object to the covered arena as long as it would not increase the level of business or number of horse shows held at the premises.

Meadowbrook users expressed a strong need for the covered ring, to allow horses to get out of their stalls in bad weather, and to allow Meadowbrook students to ride more regularly in the winter.

Archeological Significance of the Premises:

One neighbor reiterated his concerns that the area where the storm water pond was expanded last Spring was or should have been treated as an archeological site. He stated that he had taken several "fossils" from the area, and offered to show them to people at the meeting. He indicated that he would like to have some proof from the Commission -- in writing -- that the Commission had complied with County ordinances in building the pond.

The Scope of the Proposal:

A few neighbors said they thought the proposal was too aggressive, and should be limited to repairing the existing rings, dust, and standing water problems.

A few neighbors indicated that they considered the park their neighborhood park, and did not want it to change to attract outsiders.

MAI's Purpose:

One neighbor questioned why MAI and/or David Bradley would want to invest in the premises so substantially if there is no intent to "recoup" the investment by increasing the number of horses, lessons, or large events like horse shows.

Neighbors sought assurances that the facility would always be used as horse stables. One neighbor wanted assurances that the use would never be changed, even after MAI no longer holds the lease.

Both neighbors and Meadowbrook users commented that David Bradley's philanthropic purposes, though unusual, were to be commended. One neighbor stated that he felt the neighborhood should be impressed by the fact that MAI was trying so hard to work with them, that neighbors should stop and consider what might happen if they do not try to compromise with MAI to enable the proposal to go forward, and that he hoped the neighbors would find a way to keep MAI on the premises.

New Concerns Raised by Neighbors:**Neighbor Relations**

A few neighbors expressed concern that "non-neighbors" were invited to the meeting, stating that in their view only neighbors should have input in the discussions. One neighbor asked that comments made by non-neighbors (i.e. Meadowbrook users), be discounted in any summary of the meeting.

Some neighbors expressed concerns that they have been closed out of group lessons at the Stables because the classes were already full by the time they tried to register. One neighbor asked for MAI to provide the neighbors with priority registration opportunities. Another neighbor asked for MAI to provide the neighbors with a discounted rate for lessons. One neighbor suggested that Mr. Bradley should provide free riding to neighborhood families. Another neighbor also indicated that her family had been permitted greater access to the horses and ponies under prior management, and said that she would like her family to be able to feed and/or groom the animals when they wished.

Some neighbors suggested better communication between the neighborhood and MAI, either by way of a council, informal meetings, or some other means of sharing concerns and information.

Some neighbors suggested that MAI's current philanthropic programs which serve kids from the District of Columbia, and kids with cancer, should be re-directed to serve only low- income Montgomery County kids.

West Nile Virus:

One neighbor asked that MAI take steps to avoid standing water on the premises, and/or to "treat" any standing water that exists, to minimize the opportunities for mosquitoes and thus the spread of West Nile Virus.

Miscellaneous Comments:

Many neighbors stated that they love having horses in their neighborhood. Some said it was a major reason why they bought their homes.

Several neighbors said they were pleased that MAI had answered so many of their questions, and that they were now confident that MAI did not intend to expand the premises.

Several Meadowbrook users expressed strong support for the proposed renovations because of the positive effects the renovations would have on the horses' health and well-being.

Meadowbrook users also commented that they believe the Stables is part of their community, and expressed concern that neighbors did not feel they belonged at the meeting.

A variety of Meadowbrook users also stated that they believed the covered ring was extremely important to maintaining horse health throughout the winters.

Conclusion

At the conclusion of the meeting, MAI stated that it planned to summarize the matters discussed at the meeting, and then develop a proposal for the neighbors. MAI said it would then follow-up with the neighbors to determine whether MAI's proposed renovations had the support of a substantial majority of the neighbors, and if it did, then MAI would proceed. If MAI did not have the support of the neighborhood, it would not go forward to the Planning Board on November 1, 2001.

**Flip-Chart Summary from September 24, 2001 Public Information Meeting
Concerning Proposed Renovations at Meadowbrook Stables**

The following lists represent the points recorded on the Flip Charts at the Public Meeting on September 24, 2001. Attendees included both neighbors and Park users. The comments listed on the Flip Charts were made by attendees, but were not attributed to individuals at the time they were made, and thus this list does not attempt to separate comments made according to whether the speaker was a neighbor or a Park user.

Flip Chart #1: That which the Community likes about the plan

1. Public/private collaboration that allows help rehabilitating a debilitated facility that P&P cannot afford to do.
2. The amount of money being offered
3. The goodwill from M-NCPPC and David Bradley
4. The fact that no construction will occur north of the barn
5. The covered ring
6. Re-doing the ring footings
7. Replacing the show trailer with something more attractive
8. The fact that the historic barn remains unchanged
9. The fountain, if David Bradley wants it.

Flip Chart # 2: Proposed Reassurances the Neighborhood would welcome

1. That no covered ring will be built.
2. That the plan will be scaled back.
3. That there will be better dust control.
4. That "maintenance issues" will be addressed.
5. That neighbors will receive preferential treatment as compared to the general public, such as priority registration, free lessons, or lessons subsidized by Mr. Bradley.
6. That the property has no archeological significance.
7. That MAI will properly maintain its trees (since P&P has not done well at it.)
8. That kids in low income local areas (in Montgomery County) will be included in our programs.
9. That the money Mr. Bradley is proposing to spend will actually be spent.
10. That everything possible will be done to preserve the sanctity of the property and the neighborhood.
11. That there will be less standing water.
12. That we will not create new sources of standing water, such as by installing a water trough, where a fountain is now under consideration.
13. That we do what we can not to breed mosquitoes
14. That we say in writing, in the lease, that we will not increase the number of shows above 3 per year.
15. That we will take steps to effectively control parking during shows.
16. That the covered arena will not increase usage of the facility.
17. That there will be perimeter fencing.

18. That there will be no increase in traffic.
19. That the Stables will not become a tourist attraction.
20. That MAI will keep people informed of what is going on, possibly through a neighborhood council or committee
21. That MAI will create a comprehensive parking plan that addresses the needs of the neighborhood, hiker/biker trail users and Stables.
22. That Meadowbrook's purpose and mission will not change even after MAI's lease ends.

Flip Chart # 3: A Summary of Comments and Concerns Already Raised by Neighbors

The following outline of concerns was prepared on Flip Chart #1 in advance of the meeting and reviewed point by point during the meeting.

1. Traffic (speeding, peak usage/congestion, pedestrian safety and potential traffic increase)
2. Parking (sufficient for plan?, peak usage, neighborhood parking)
3. Increased Park usage (Candy Cane City/Hiker Biker Trial, increased park usage due to the plan.)
4. Usage of the Stables (including expansion of business [# of horses, # of lessons, # of horse shows, # of students, longer hours of operation?, new activities?])
5. Changes to neighbors' use of Meadowbrook, (view of horses, visitation, tourist attraction?, future use of premises?)
6. Storm Water Management Pond (proper functioning, archeological significance, fencing)
7. Changes to the Road (Washington Ave. entrance, traffic)
8. Perimeter Fencing (type, color, purpose)
9. Aesthetics of covered ring (size, placement, necessity)
10. Other aesthetics (historic, rustic charm, horse zone, fountain, seating, kiosk, landscaping, employee parking)
11. Trees (removal? Replacement? Location? Our historic tree.)
12. Lighting
13. Dust control
14. Water
15. Miscellaneous concerns (use of stables' outdoor bathrooms/fountain, use of stables' parking)

Other Comments from the Sept. 24th meeting that did not fit one of the 3 categories on the flip charts, recorded by Bonnie during the meeting

1. Neighbors can't always get into riding classes, and they feel they should have the right to.
2. One neighbor wants the pond (and any other standing water) treated for mosquitoes.
3. Owen Powers believes that Jim Sorenson, the County Archeologist has lent credence to his claim that the pond area is archeologically significant. He asked for written proof that it is not significant. We said we would talk to the Park and ask for something in writing.
4. Concern that the bleachers will be attractive to teenagers looking for places to have sex after hours. Suggestion that we use bleachers that can be folded and locked.
5. Would like some kind of standardized, regular neighborhood contact from the barn, perhaps a small group that is kept apprised of MBRK happenings.
6. Interest expressed by one person in a sliding scale fee that would have different prices for lessons depending on where people lived, with neighbors, County residents getting preferential pricing.
7. Signs at service road and Meadowbrook Lane and Washington Ave. that explain where people can or cannot park, during shows.
8. Complaint that horse show trailers sometimes arrive before 7:00 a.m.
9. An idea: why not allow students to cycle off the lesson program, so they make space for new students, but do not lose their right to re-enter later as a continuing student.
10. Neighbors believe they are the only "stakeholders" in the proposed project, since it is taking place in their neighborhood. Expressed anger that non-neighbors were invited to the meeting.
11. An understanding that parking is a Park and Planning issue.

RECEIVED
011729
NOV 6 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Janiine Babcock MD
Alan J. Magill MD
9917 Hillridge Drive
Kensington, MD 20895
Janiine.Babcock@amedd.army.mil
Alan.magill@amedd.army.mil

November 4, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Dear Mr. Holmes,

We are writing on behalf of the proposed development plan for Meadowbrook Stables and are asking the board to approve the proposed renovations. Meadowbrook is a wonderful riding academy where our children learn horsemanship in a caring and safe environment. However, it can be bitterly cold and wet in the winter. The addition of a covered riding ring with good lighting will be a great asset for the riding program.

The proposed plan reflects careful attention to upgrading the facility in a manner that enhances the entire neighborhood. The proposed changes will enhance the visual appeal of the Stables, the changes will modernize the infrastructure, and the changes will all enhance the safety of the students and community.

We strongly urge you to consider this plan and give it your full support. Thank you for your time and attention.

Sincerely,

Alan J. Magill
Alan J. Magill MD

Janiine Babcock MD
Janiine Babcock MD

CEIVED
011752
NOV 9 2001

7416 Ridgewood Avenue
Chevy Chase, MD 20815

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

November 2, 2001

General Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Dear General Holmes,

I hope you will support the Meadowbrook stables renovation plans. I am ten years old and ride at the stables. I like the idea of the covered ring because when it rains very hard we won't get so wet. I think the improvements to Meadowbrook Stables will be great.

Sincerely,

Hannah Richardson

Hannah Richardson

November 1, 2001

General Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
011742
NOV 8 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear General Holmes,

I am writing in support of the proposed renovation plan for Meadowbrook Stables in Chevy Chase. My children have been associated with Meadowbrook as students in the lesson program and we now board my daughter's pony at the facility. Our family has a strong interest in seeing that the stables are maintained and kept in good condition and that they continue to thrive.

My family, however, is only one among many families in the community that Meadowbrook serves. Meadowbrook serves a diverse group of people interested in and benefitted by equestrian activities. There are, of course, the boarders who keep their horses at Meadowbrook but, there are also the children who are introduced to riding in the lesson program, as well as those who participate in programs for disadvantaged children and for sick children.

Meadowbrook is supported by and supports many facets of our community. I believe that the continued improvement and maintenance of Meadowbrook Stables is vital to our community as a whole. Because the proposed plan does not provide for any growth opportunities at the stable (no additional horses, lessons or use of the stables will be possible due to the improvements) the benefits to the community are only positive ones. An historic landmark will be preserved, a community facility will continue to serve many needs, safety considerations will be addressed, and the future of the stable will be assured.

Meadowbrook is a good neighbor to the surrounding community and will be an even better one once the proposed improvements enhance the property and the safety of the facility. I am always impressed with the efforts of the staff to include the surrounding community in news at the stable and equally impressed with their respect for the needs and rights of their neighbors.

This is a unique opportunity for the stable and the neighborhood to benefit from the generosity and interest of an individual who has expressed support for a Montgomery County landmark.

I urge you to support the improvements to Meadowbrook for the future of the facility.

Sincerely,

Barbara Bernstein

RECEIVED
011716
NOV 2 2001

E. Inge Pear
9904 Chapel Road
Potomac, Maryland 20854
301-765-0370

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

ATTACHMENT 7

November 1 2001

General Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, 20910

Re: Meadowbrook Stables Renovation Plan

Dear General Holmes,

This is a letter in support of the proposed renovations at Meadowbrook Stables.

After a conversation with Ms. Honore Hastings, the general manager of the stables, I understand that neighbors are concerned about changes at Meadowbrook. Unfortunately, the word "change" is a red flag to some. Many times, and I don't know that this would be the case here, neighbors oppose change because of a lack of knowledge and understanding of the proposed work. Another possible reason would be the concern of property value decreasing due to traffic or other circumstances.

As a long time and involved local resident, I have seen the unfortunate outcome of fear, as unfounded as it may be: downtown Silver Spring, Wheaton Plaza, Georgia Avenue, parts of the recycling program, etc.

My daughter Linda, age 14 is one of the girls taking riding lessons at the stables. As a young child, she had her first lessons at the same stables. Back then, the stables had a different owner and management. Although I am not a rider and do not understand horses, it was obvious to me back then that the horses were overworked, moody, the place was in terrible disrepair and the sanitary conditions were not what they were supposed to be. Indeed, it looked unsafe. As a consequence, we stopped taking lessons there.

In recent years we have heard from families of friends about the changes at Meadowbrook under the new management, and eventually signed our daughter up for lessons, yet again. From the first visit there, on sign-up day, the changes were evident: unbelievable cleanliness, efficiency in all aspects, from running the office to the tack room, to the small shavings barn. The line for registration started very early on a weekend, and yet, the place looked clean, the horses were already being taken out into rings for free play. I understand from knowledgeable people that

allowing horses to be "horses", and have free play, keeps them happy, thereby being more relaxed and well behaved for the lesson portion of the day, consequently, increasing the safety for the riders. The positive examples could continue, but I believe the point has been made.

It is a gift for our local youth to be able to ride in the heart of civilization, in a safe, well managed place. It saves both riders and parents many hours of driving, considering that most other stables are far out in the country, such as Poolsville, Potomac, Waredaca in Sunshine, etc.

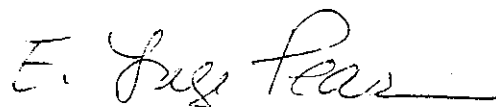
The improvements are sorely needed. A covered ring would also permit riders to continue their lessons during the harsh days of winter. Given that the Meadowbrook is fortunate to have a lessee who actually cares about the place, let us please not get caught in the bureaucracy of trying to please all. Let us please use common sense and good judgement. Meadowbrook is a wonderful place, it keeps our local youth riding, thereby occupied. Let us not take it away from them. They all love the stables, love their instructors, love their horses, love the environment and their friends. In this day and age when it is so hard to keep our children safe from some of the alternative out there, let us please not make an effort to take this possibility of a healthy activity away from them.

Renovations, refurbishing, improvements are all positive actions. Having places fall into utter disrepair and abandon will only cost us more in the end, when the next generation will work on restoration, conservation and giant efforts to revive the past. There are many such unfortunate examples from which hopefully we have learned.

The proposed renovation will only add to the aesthetics of the area, not to mention function, convenience, and added value to the neighborhood.

I do trust that the Planning Board will come through for Meadowbrook, for progress, and indeed, for all of us.

Sincerely yours,



E. Inge Pear

cc: Meadowbrook Stables

RECEIVED
011751
NOV 9 2001

7416 Ridgewood Avenue
Chevy Chase, MD 20815

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

October 30, 2001

General Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Support For Meadowbrook Stables' Renovation Plan

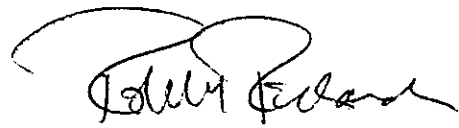
Dear General Holmes,

I write to support Meadowbrook Stables' proposed renovation plan. My family and I have lived nearby for over ten years and two of my children and I ride at the Stables. Meadowbrook Stables has long been a good and considerate neighbor.

The proposed renovation plan will enhance the existing program. The number of horses and the number of horseback riders will remain the same. The size of the program will remain the same. Thus, the traffic will remain the same. Regarding the renovation plan's proposed covered riding ring: My children and I are very excited about the possibility of having access to a covered ring. The present riding rings are not covered, and we are subject to the rain, the sleet, and the snow. Having the covered ring would be a lovely addition to Meadowbrook Stables' existing program.

I hope that you will support Meadowbrook Stables' proposed renovation. Should you have any questions, please call me at 202-326-2798 (w) or 301-718-9315 (h).

Sincerely Yours,



Robin M. Richardsoon

cc: Meadowbrook Stables

October 29, 2001

3636 Van Ness Street NW
Washington, DC 20008

General Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
011709
OCT 31 2001

Re: Meadowbrook Stables

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Sir or Madam:

I am writing in support of the renovation plans for Meadowbrook Stables in Chevy Chase. As a congressional staffer on the House Resources Committee and former member of the Boulder, Colorado Zoning Board, I am quite familiar with land use planning and zoning issues, and sensitive to local concerns regarding impacts of land use decisions on neighboring properties. As a rider at Meadowbrook, I am also familiar with the workings of the stable and the need for improvements to the property.

It is my understanding that the plans do not call for expansion of the stable itself. Meadowbrook will continue to operate with the same number of horses and rings (one of which will be covered), and hence the same number of students and employees. With only minor changes to parking and traffic configurations, there will be little to no impact on traffic patterns and congestion. Construction is estimated to be only six months. Were I a neighbor who enjoys the benefit of viewing horses—and will likely enjoy the benefit of property appreciation that would come with having a renovated historic stable in the neighborhood, I'd be hard-pressed to come up with a legitimate concern about the improvements.

Thank you for your consideration of these comments. Please feel free to call me at (202) 686-9720 if you have any questions.

Sincerely,



Erica Rosenberg, Esq.

cc: Honore Hastings, Meadowbrook Stables

4811 Drummond Avenue
Chevy Chase, MD 20815

011692

October 26, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Meadowbrook Stables

VIA FAX 301-495-1320

Dear Mr. Holmes,

I am writing to urge the Board to approve the proposed renovation and improvement plans for Meadowbrook Stables, which is to be scheduled for a vote by the Board in early December 2001. I am a parent of a rider, and a rider myself. I strongly support the proposed improvements.

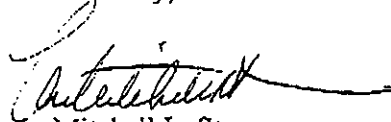
This public facility improves the lives of all who come in contact with it. The paramount concern is safety for the children, neighbors and the public at large. The perimeter fence is extremely important to protect all from injury, especially travelers on the busy East-West Highway.

The covered ring will aid in protecting the riders and the horses from injury. Horses which do not get enough exercise can die of complications to their intestinal systems. It will allow lessons during inclement weather which allows more to benefit from the enriching experience of working with horses.

I have been assured that there will be no increase in traffic congestion. My understanding of the programs is that the people utilizing the facility are limited by the number of horses and the time per day that they can be used without overtiring them or causing injury. There will be no increase in the number of horses therefore, the programs are not changing.

This public facility is being supported with private financing. It serves the public good. The renovation plans are well conceived. Extraordinary effort has been given to outreach to all those who may wish a voice in the change process. I recommend that the Board give favorable consideration to the plan and approve it.

Sincerely,



Mitchell L. Strauss

October 26, 20001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland, 20910

Dear Mr. Holmes:

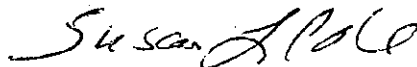
I am writing to you to voice my support of Meadowbrook Stable's proposal plan for renovating their facility at 8200 Meadowbrook Lane in Chevy Chase Maryland.

My daughter has been riding at Meadowbrook for almost eight years. In that time she has been the benefactor of a professional and nurturing environment that has enabled her to learn and grow to the best of her ability.

Meadowbrook Stables has always been able to utilize the existing facility to it's best potential, but the Meadowbrook community has grown in size and the structure has aged. In order to service the needs of their growing and loyal community, changes need to be made. An indoor ring is critical for year round riding lessons. Renovation is necessary for the safety and well being of both horses and riders.

I have seen the design proposal and am very impressed by the time and care that was given to making the structure aesthetically pleasing. It can't help but add an element of charm to it's surrounding community. Also, I fully trust that all management, staff and riders will work hard with the community to deal with any issues of concern. Please feel free to contact me with any questions.

Sincerely,



Susan L. Cole

October 25, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Ave.
Silver Spring, MD 20910

RECEIVED
011700
OCT 26 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Holmes,

I am writing to you in support of the proposed improvements for Meadowbrook Stables. My daughter has been riding at Meadowbrook for three years now and has enjoyed it enormously. The renovations are certainly needed and the substantial improvements that have been proposed will not only make the facility a better place for those who ride there, but will beautify the community.

I suppose it could be claimed that I write in support of the renovations from a selfish point of view since I personally use the facility and would like a covered ring, better lighting and footing and other amenities, which would make Meadowbrook a more attractive place to ride. However, over the past three years I have spent many an hour sitting at Meadowbrook waiting for my daughter. In that time I have observed many people passing through who are not riders. Many people bring their young children to visit with the horses, ask questions of the riders (which are always enthusiastically answered), and walk around the facility. All are welcomed.

Often, bicyclists and passersby stop to observe lessons and horse shows. I have seen people pull up a chair and sit for a while. I have chatted with people who are curious about the horses, how to ride, and what is expected of the riders. So, you see, I do not think it is just those of us who go to Meadowbrook to ride horses that enjoy the place. A renovated and beautified space would enhance everyone's enjoyment of the facility and the grounds. I have seen the plans for what the new Meadowbrook would be like. It is very much in keeping with the architecture of the existing barn and I think it would be a wonderful place to behold; something the community could be proud to have in their neighborhood.

Sincerely,


Alina Myers

10102 Grant Ave
Silver Spring, MD 20910

October 25, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

011695

Re: Meadowbrook Stables

Dear Mr. Holmes,

I am writing to urge the Board to approve the proposed renovation and improvement plans for Meadowbrook Stables, which is scheduled for a vote by the Board on November 1, 2001. I am a parent of a rider and live in a nearby community. As full-time working parents it is very important for our family and the community that we all have access to recreational facilities that are within the county. Maintaining and upgrading the facility at Meadowbrook Stables is essential, to ensure it's continuing success. I hope you agree, and the Board members approve the plan as soon as possible.

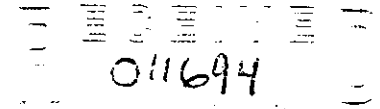
Yours truly,



Margaret Der

October 25, 2001

Mr. Arthur Holmes, Jr., Chairman
 Montgomery County Planning Board
 8787 Georgia Avenue
 Silver Spring, MD. 20910



Re: Meadowbrook Stables

Dear Mr. Holmes,

OFFICE OF THE CHAIRMAN
 THE MARYLAND NATIONAL CAPITAL
 PARK AND PLANNING COMMISSION

This letter is for the purpose of urging the Montgomery County Planning Board to approve the proposed renovation and improvement plan for Meadowbrook Stables, which is scheduled for a vote by the Board on November 1, 2001. These improvements are not only necessary for the health and safety of the horses, riders, and neighbors but also are, in fact, very long overdue.

As a ten year old in 1971, my family relocated to Chevy Chase from the Chicago area where we left behind 5 acres and a few horses. Purchasing a home within walking distance of the Stables was a priority for my family. (My parents still live in that same house.) Meadowbrook, at that time, consisted of 2 stables, but Pegasus Stables, located "down the lane" was surrendered some years back in favor of the all too familiar urban sprawl (townhouses). With only the Meadowbrook barn left to carry on the seventy year Chevy Chase equestrian tradition, it seems time is very much overdue to implement this renovation and beautification plan for our unique and treasured Chevy Chase "landmark". The horses deserve it, the riders deserve it, and the community both deserves and benefits from an improved facility.

As a Meadowbrook affiliate for over 30 years, I can attest to the fact that it was not until Mr. David Bradley and Meadowbrook Associates took over the management of this facility armed with a very capable, committed, and caring staff have any real improvements occurred at the barn. It seems to me that it would behoove (no pun intended) all those in the Meadowbrook community to accept Mr. Bradley's philanthropic gift, and, in addition, do all that is possible to extend his lease so that the community can continue to benefit from his generosity and commitment for years to come. In consideration of the sound and stable future of this historic facility, I believe that it would be ill-considered and fiscally irresponsible to "look this gift horse in the mouth." I urge you to support and approve the Meadowbrook Stable renovation and improvement plan in its entirety.

Sincerely,

Kathryn Shott
 3904 Saul Road
 Kensington, MD. 20895

October 25, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
OCT 26 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION


Dear Mr. Holmes,

I am writing to lend my support to the proposed plan by Meadowbrook Stables for improvements to the existing facility. My daughter has been riding at Meadowbrook for over four years, and has every intention of continuing for many more years. We are very happy with the quality of the teaching and the variety of programs available at Meadowbrook, but believe strongly that a covered ring and improved lighting are urgently needed. The other elements of the plan, including reconfiguring the existing rings and building new fencing are also welcome improvements.

I hope you will approve Meadowbrook's application to undertake these projects.

Thank you.

Sincerely,



Jane Phillips

Barbara C. Giliberti
2931 28th Street, NW
Washington, DC 20008-3414

October 24, 2001

RECEIVED
011693

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

PLANNING BOARD
MONTGOMERY COUNTY
SILVER SPRING, MD

RE: Meadowbrook Stables Renovation Plan

Dear Mr. Holmes:

I am writing to support the proposed improvements to Meadowbrook Stables.

As background, I have lived in Washington, DC for nearly 30 years and have taken riding lessons at Meadowbrook Stables ("Meadowbrook") for almost seven years. Both of my daughters also take riding lessons at Meadowbrook and actively participate in horse shows both at Meadowbrook and at other facilities.

I believe Meadowbrook is a unique resource for residents in the metropolitan Washington area. In addition to providing riding lessons and an opportunity to participate in horse shows, Meadowbrook is one of only two close-in public riding facilities where people can visit horses. Parents and children, in particular, frequently visit the barn. Further, continuing a program started several years ago, two groups of underprivileged children are currently taking riding lessons and learning horsemanship at no cost to themselves, an opportunity they would not have in Meadowbrook's absence. There is also a "pet therapy" program for pediatric patients at the Lombardi Cancer Center.

Operating a riding stable is a labor and capital intensive, and thus costly, enterprise. Since taking over as Meadowbrook's operator several years ago, David Bradley has upgraded the quality of the horses used in the riding program, made improvements to the barn and hired and retained top quality staff. He has demonstrated his commitment to operating a first class facility that is responsive to the needs of riders and the community. Meadowbrook has listened to and tried to accommodate the concerns of its neighbors to the greatest extent possible. The proposed improvements are important not only for safety and security reasons (re-designed ring footing, improved irrigation and electrical systems, and perimeter fencing) but for improved convenience and aesthetic reasons. The proposed improvements do not expand the size of the barn. I am grateful that

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
October 24, 2001
Page 2 of 2

Mr. Bradley is concerned enough and generous enough to personally fund many of these improvements as a gift to the community.

Thank you for considering my comments.

Sincerely,

Barbara C. Alberti

Cc: Honore Hastings
General Manager
Meadowbrook Stables

ATTACHMENT 7

3710 Woodbine Street
Chevy Chase, MD 20815
October 24, 2001

VIA FACSIMILE

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
011669
2001

Re: Meadowbrook Stables

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Holmes,

I am writing to urge the Board to approve the proposed renovation and improvement plans for Meadowbrook Stables, which is to be scheduled for a vote by the Board on November 1, 2001. I am a neighbor of the Stables, a parent of a rider, and a rider myself. For all these reasons, I strongly support the proposed improvements and encourage the Board to support these efforts and approve the plans submitted to the Board.

As a neighbor, I am very interested in maintaining a thriving, full barn, and wide variety of classes for potential riders. Meadowbrook Stables is unique in that it is close in to Washington, D.C., offering boarding and leasing, as well as opportunities to riders who neither own nor lease a horse. It is both rare and wonderful to have horses and an open, welcoming barn so close to home. We know it is valued by the many daily visitors, especially the children, who love to walk through the barn, greet the horses, and watch the riders in the rings. My neighbors and I often make the barn a destination on walks, runs, or bike rides through the park, simply to enjoy the environment at the stables.

It is very important that we improve that environment – for the riders, for the neighbors, and for the horses. All of us who take some responsibility for the horses' well-being are on alert that a horse might get loose and out of the ring. Without perimeter fencing, that horse may end up on the road, risking injury to drivers as well as the horse. Improvements to and redesign of the riding rings will also make it safer for the horses.

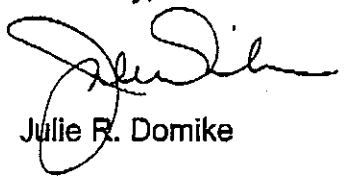
The riders will benefit from these improvements as well. The reconfiguration of the riding rings and addition of a covered riding ring will add to the riders' pleasure, and the opportunities and challenges offered to the students.

This can help solidify the popularity of the barn and ensure its continuing existence in years to come.

The immediate neighbors will also derive benefits from improved facilities. Without increasing traffic or parking (by visitors to the stables), the renovated buildings, sheds, and rings will be easier to maintain. The existing irrigation system will be improved, allowing the barn to better control the dust. Needless to say, covering a riding ring will also decrease dust in the neighborhood. Finally, the new sheds will be architecturally matched to the existing barn, providing a more pleasing view of the stables.

I am very excited about the planned changes at the stables and look forward to their implementation in the very near term. The approval of the Planning Board is required to make this happen. I hope you agree, and the Board members approve the plan as soon as possible.

Sincerely,



Julie R. Domike

RECEIVED
011714
NOV 1 2001

3710 Woodbine Street
Chevy Chase, MD 20815
October 24, 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

VIA FACSIMILE

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Meadowbrook Stables

Dear Mr. Holmes,

I am writing to urge the Board to approve the proposed renovation and improvement plans for Meadowbrook Stables, which is to be scheduled for a vote by the Board on November 1, 2001. I am a neighbor of the Stables, a parent of a rider, and a rider myself. For all these reasons, I strongly support the proposed improvements and encourage the Board to support these efforts and approve the plans submitted to the Board.

As a neighbor, I am very interested in maintaining a thriving, full barn, and wide variety of classes for potential riders. Meadowbrook Stables is unique in that it is close in to Washington, D.C., offering boarding and leasing, as well as opportunities to riders who neither own nor lease a horse. It is both rare and wonderful to have horses and an open, welcoming barn so close to home. We know it is valued by the many daily visitors, especially the children, who love to walk through the barn, greet the horses, and watch the riders in the rings. My neighbors and I often make the barn a destination on walks, runs, or bike rides through the park, simply to enjoy the environment at the stables.

It is very important that we improve that environment – for the riders, for the neighbors, and for the horses. All of us who take some responsibility for the horses' well-being are on alert that a horse might get loose and out of the ring. Without perimeter fencing, that horse may end up on the road, risking injury to drivers as well as the horse. Improvements to and redesign of the riding rings will also make it safer for the horses.

The riders will benefit from these improvements as well. The reconfiguration of the riding rings and addition of a covered riding ring will add to the riders' pleasure, and the opportunities and challenges offered to the students.

This can help solidify the popularity of the barn and ensure its continuing existence in years to come.

The immediate neighbors will also derive benefits from improved facilities. Without increasing traffic or parking (by visitors to the stables), the renovated buildings, sheds, and rings will be easier to maintain. The existing irrigation system will be improved, allowing the barn to better control the dust. Needless to say, covering a riding ring will also decrease dust in the neighborhood. Finally, the new sheds will be architecturally matched to the existing barn, providing a more pleasing view of the stables.

I am very excited about the planned changes at the stables and look forward to their implementation in the very near term. The approval of the Planning Board is required to make this happen. I hope you agree, and the Board members approve the plan as soon as possible.

Sincerely,



Julie R. Domike

Marta V. Goldsmith
4619 Asbury Place, N.W.
Washington, D.C. 20016
October 23, 2001

Mr. Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland 20910

RECEIVED
011683

OFFICE OF THE
THE NATIONAL SYSTEM
PARK AND PLANNING

Dear Mr. Holmes:

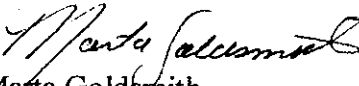
I am writing to express my support for the proposed renovations of Meadowbrook Stables. While I am not a resident of Montgomery County, most of my family is. I am an adult student at the stables and my daughter rides there as well. The renovations are important to ensure that the physical facility remains in good condition and the school financially viable.

I believe that the stables are an important historic and attractive asset to the community. Many times when I am working around the horses parents from the neighborhood, with their young children, wander in to visit. We stop to talk, they pat the horses and we visit and relax together for a few moments. Other times, as I am riding in one of the rings, passersby stop to watch and enjoy the beautiful weather and the quiet surroundings. Especially in recent weeks, when there is so much stress and uncertainty in our lives, the staff, students and horses at Meadowbrook Stables offer a warm, tranquil and attractive place of peace and restoration.

I guess my favorite example is my mother and father in-law, who are in their eighties and live very near the stables in Bethesda. They had never been to a stable and never knew anyone who rode horses, before I joined the family. Now, they love to come to the horse shows, whenever my daughter or I ride. It's not just because they want to give us their support or like to see us ride. They get up early in the morning and sit in the sometimes chilly air because the horses are beautiful, the riders collegial and mutually supportive and everyone is happy to be there.

I hope you and the other Commission members will lend your support to this very valuable and historic community asset.

Thank you,


Marta Goldsmith

Firstenberg
5403 Bradley Boulevard
Bethesda, Maryland 20814

General Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland 20910

RECEIVED
OCT 21 1991

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear General Holmes:

We are writing in support of the renovation plan for Meadowbrook Stables. Meadowbrook Associates, Inc. has put much thought and effort behind the plans to renovate its current facilities. Improvements will result in better, more functional space.

While those living near any renovation site are inconvenienced temporarily by noise, dust and construction traffic, neighbors will benefit in the long run from a better designed, more attractive facilities and grounds.

The public service provided by Meadowbrook Stables cannot be understated. My eight-year-old daughter and I have taken instruction at two other area stables. One had to close due to fire. The other stable's riding program did not live up to my expectations for *safety*. We were delighted to discover the Meadowbrook riding program and consider it exceptional.

We ask for your support of Meadowbrook Associates's renovation plan.

Sincerely,

Lindy Firstenberg !!

Suzanne Firstenberg

Suzanne and Lindy Firstenberg

Cc: Honore Hastings

October 22, 2001

Chairman Arthur Holmes Jr.
Montgomery County Planning Board
8787 Georgia Ave
Silver Spring, Maryland, 20910

RECEIVED
OCT 20 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chairman Arthur Holmes Jr.

My name is Amanda Cole. I am 13 and I ride at Meadowbrook Stables in Chevy Chase, Maryland. I am writing to you in support of the construction at Meadowbrook Stables.

Meadowbrook Stables has always been a kid friendly and wonderful barn. They have welcomed in new students and have stayed loyal to their returning students.

The barn is pretty old and definitely needs some improvements. The proposed improvements will make the barn more beautiful and a lot nicer to look at. It will make it safer for the horses and children. The barn will look cleaner and more professional. The horses will have a more pleasant environment to live in. I think that the improvements will also make the neighborhood look more upscale.

These improvements mean a lot to me and the all of the other riders and employees of Meadowbrook. The proposed improvements will enable us to ride during the winter and when it rains. There will also be less dust and everything will look and be a lot cleaner. It would make everyone happy to have these improvements done. It would bring our barn to a more upscale status and the new facilities would make it possible for us to make our horses the best they can be, as well as ourselves.

I hope that you will take into consideration how much everyone at Meadowbrook Stables would like to make these improvements on the barn.

Sincerely,



Amanda R. Cole

RECEIVED
011743
NOV 8 2001

ATTACHMENT 7

October 20, 2001

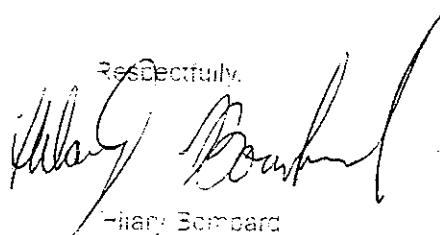
**OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION**

Dear Mr. Holmes,

Hello how are you? My name is Hillary Bombard. As you may all ready know **Meadowbrook Stables** has requested permission to build paddocks and an indoor arena. I feel that horses need grass paddocks. I know this from my own experience not only did i grow up on a farm I grew up on a horse farm. And from my experience horses need their grass. Plus with these paddocks the chances of a horse getting out has been reduced severely.

The indoor arena is probably the most important thing that a school has. In my opinion riding during the winter is a blast, but it's very cold for both the rider and the horse. But if Meadowbrook builds an indoor arena not only will it be warmer: they can hold classes when it rains and snows. I know from past experience that when parents look at stables they not only look at the horse and instructor aspect but as well as the facilities. I know that Meadowbrook would be ten times more successful if they had an indoor arena. Thank you for your time.

Respectfully,



Hilary Bombard

Mr. Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
OCT 20 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

October 19, 2001

Dear Mr. Holmes,

I am writing to you to express my support for the proposed renovations to Meadowbrook Stables in Chevy Chase, Maryland. As a student of the school, and rider for 13 years, I can testify to the vast improvement that a covered ring can provide. For many of us this once a week lesson is the highlight of the week. A covered ring will prevent us from having to ride on muddy ground, which can be dangerous for both horse and rider. Because there is barely a barrier between the street and two of the rings, honking cars and passersby can be disruptive to our classes.

I would also like to express to you my opinions as an architect, employed by Torti Gallas and Partners · CHK, Inc in Silver Spring, Maryland. From a design and urban planning stand point, the proposed structure for Meadowbrook's rings is both aesthetically pleasing as well as functional for the site. The structure, would obviously be an improvement to the open rings that exist now. It will provide a more formal setting for the shows and events that take place at Meadowbrook each year. Functionally, as you probably already know, the covered ring will provide containment to some of the dust that is kicked up each and every lesson.

I wholeheartedly support the renovation to Meadowbrook Stables and thank you for your time and consideration in this matter.

Sincerely,



Mary Yagi

Christina and Kenneth Timmerman
10310 Freeman Place
Kensington, MD 20895

RECEIVED
011668

Mr Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Md 20910

OFFICE OF THE COMMISSIONER
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

October 19, 2001

Dear Sir,

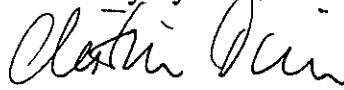
Re: Meadowbrook Stables

We are writing to you in order to express our support for the planned improvements to the Meadowbrook Stables. We have seen the model and have heard the explanations of the planned improvements and are very impressed by the plan. The plan has been carried out with a lot of care and thoughtfulness in order to take into consideration the Stables place in its neighbourhood.

In our opinion the changes are going to turn the stables and the grounds around it into a beautiful place to visit and enjoy. The new disposition of the rings are nicely executed and the footing of the rings are in great need of improvement. The covered ring is improving the overall impression of the area. It is a big improvement to have the manure and shaving sheds relocated to a less prominent place on the property.

We sincerely hope that the proposed improvements to the Meadowbrook Stables are going to be approved by the Montgomery County Planning Board.

Sincerely yours,



Christina Timmerman

011648

October 18, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland, 20910

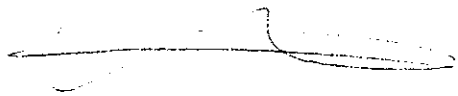
Dear Chairman Holmes,

It is a great pleasure for me to take this opportunity to tell you what a wonderful place Meadowbrook Stables is. I have grown up with horses (my mother had a riding school in Radnor, Pennsylvania) so I have spent a lot of my life in barns and riding schools. Meadowbrook stands out because of its rare quality of great friendliness. The ponies and horses are all wonderfully cheerful, the students are thrilled to be there, the visiting neighbors of all ages have delight written all over their faces, the instructors and staff are unfailingly friendly and welcoming. Even the dogs and cats and kittens around the barn participate in the general joy and pleasure with things as they are.

This quality alone is enough to keep one coming back, but on top of that, the level of instruction is absolutely first rate. "All are welcome," says Ms. Hastings, the manager, "Meadowbrook is a stable for everyone" and she means it. This is very rare. Most stables, unfortunately, are plagued by a very stratified pecking order (based entirely on income). School ponies are usually terribly crabby and unhappy with their lives.

It is remarkable how easy the staff at Meadowbrook makes such an atmosphere seem, but as you know, anything that looks easy is usually achieved by a lot of hard work and dedication behind the scenes. I believe that the planned improvements will only make it a little easier to run Meadowbrook and will not change the wonderful atmosphere in the slightest.

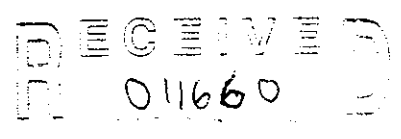
Yours cordially,



Angela E. Fitzgerald
345 N Street, SW
Washington, DC 20024
202/564-1018

2337 Stephenson Pl. NW
Washington, DC 20015
October 18, 2001

Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Av.
Silver Spring, MD 20910



Dear Mr. Holmes,

OFFICE OF THE COMMISSIONER
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Though a resident of the District of Columbia, I am writing you in support of the proposed renovations and improvements to Meadowbrook Stables. The Planning Board will consider the request for renovations by Meadowbrook Associates, Inc. on November 1.

My 11 year old daughter has been riding at Meadowbrook for 3 years. She started as a beginner and is now in start canter. This close-in Montgomery County facility has been wonderful for her.

I think the proposed renovations and improvements are important both to increase rider safety and to make riding at Meadowbrook more pleasant for all. Presently, riders have to lead horses through riding rings with ongoing lessons in order to get to other rings. The improvements will give direct access to all rings from paths and fix drainage problems which often result in mud holes in the rings. The mud gets my daughter's boots and riding pants dirty, and it gives the horses less than ideal footing. The proposed covered ring will increase safe use of Meadowbrook for at least some of the riders in wet weather instead of in-barn lessons.

The improvements will also make life better for the horses. The Meadowbrook horses now spend much of their time standing in stalls because there is such limited outdoor space for them to be turned out in. This leads to restless animals in spite of the best efforts of the stable management. My daughter has had an unpleasant experience (but was not thrown, fortunately) with an athletic horse who was simply tired of so much standing doing nothing in his stall. The horse has since been reserved for advanced riders only. The improvements will add several grass rings for the horses to enjoy being horses in.

It's my understanding that the renovations and improvements have been developed through extensive consultation with the neighbors and that they are satisfied their concerns have been met. Likewise, the Meadowbrook improvements will provide more facilities for hikers and bikers.

Please approve the request by Meadowbrook Associates, Inc. for renovations and improvements to the Stables at your November 1 Planning Board meeting.

Sincerely,
Florence W. Mills
Florence W. Mills

VERNER · LIIPFERT
BERNHARD · MCPHERSON ^{INC} BY HAND
[CHARTERED]

901 - 15TH STREET, N.W.
WASHINGTON, D.C. 20005-2301
(202) 371-6000
FAX: (202) 371-6279

011644

October 17, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Dear Mr. Chairman:

I would like to add my voice of support to the Meadowbrook Stables renovation project. My daughter is a riding student at the stables and benefits immensely from the program. While we are residents of the Shepherd Park neighborhood in Washington, D.C., we consider Meadowbrook to be a part of our expanded neighborhood and spend many hours there each week. I am especially impressed with the effort undertaken by David Bradley and his consultants to be sensitive to the architectural and historic preservation aspects of the project and the in-depth efforts made to address neighborhood concerns.

In my professional life, I am the Director of Urban Development for Verner, Liipfert and will soon be undertaking a new position in the Maryland Office of Smart Growth as Development Coordinator. I wish that I could say that I had the privilege of dealing with many more developers that show the same level of political and design sensitivity as has been demonstrated in this project.

I certainly hope that Meadowbrook will receive your support and the support of the Planning Board when the application is heard on November 1.

Sincerely,

Suzanne Cartwright
Suzanne Cartwright
1301 Juniper Street, N.W.
Washington, D.C. 20012
(202) 291-0074

cc: Honore Hastings

Ruth Buckley
2338 Blaine Drive
Chevy Chase
MD 20815

10/17/01

RECEIVED
R 011663

Mr. Arthur Homes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring
MD 20910

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Sir,

I just wanted to write to you in your capacity as Chairman of the Montgomery County Planning Board to tell you how excited I am about the proposed renovations at Meadowbook Stables. I do hope nothing will stop these needed improvements from taking place. I have already noticed how much better things are for cyclists and joggers now that a proper sidewalk/jogging/cycling track has been put in place. Now it is time to make things better for the riders and those of us who love to go and watch the horses - I am particularly interested in seeing that the all weather riding ring gets approval since this will mean so much to our family.

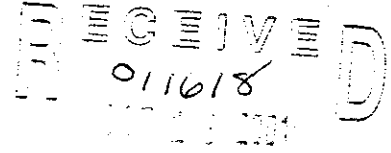
Yours sincerely,

Ruth Buckley

Ruth Buckley

Brenda Gruss and Daniel Hirsch
4901 Dorset Avenue
Chevy Chase, MD 20815
301-654-7289
grussb@aol.com

October 16, 2001



BY FAX: 301-495-1320
Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Re: Support for Meadowbrook Stables' Renovation Project

Dear Mr. Holmes:

We write in support of Meadowbrook Stables' request for approval of proposed renovations. We have lived in the Town of Somerset in lower Montgomery County for ten years.

Meadowbrook Stables is an important resource for families in lower Montgomery County, because it enables us without driving very far to engage in a "rural" activity even though we live in an almost-urban part of the county. I doubt we would have allowed our daughter Leni to have pursued her interest in horseback riding but for the existence of Meadowbrook Stables.

Leni is now in first grade, and an avid equestrienne. We think she will pursue her interest in horseback riding at Meadowbrook for many years to come. For that reason, we want Meadowbrook to be able to make the improvements necessary for the well-being of the horses the students ride, and necessary to allow students' lessons to continue in spite of inclement weather.

Most of all, Meadowbrook is an institution which instills in young people habits of hard work, responsibility and community. This is an important mission. The County should encourage this objective by ensuring that Meadowbrook meets the needs of its horses and riders, and thus continues to flourish. For that reason, please vote in favor of Meadowbrook's request.

Sincerely,

Brenda Gruss and Daniel Hirsch

October 16, 2001

Mr. Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board

Via Fax: (301) 495-1320

Dear Mr. Holmes,

Having been a regular member of the Meadowbrook Stables riding family for nearly five years, I wish to endorse the plan for renovations.

I have attended the neighborhood presentations and studied the proposed plan, as well as the revisions made in response to neighborhood suggestions and concerns. I have been impressed by the willingness and the ability of the Meadowbrook staff and design consultants to respond to neighborhood feedback without compromising the design and safety integrity of the total plan.

The proposed improvements are a respectful and thoughtful addition to the historic grounds and sensitive to the requirements of the neighbors. The renovations will not only be pleasing to the eye but will also be important to the safety and well-being of the horses, the visitors, and the students who ride at Meadowbrook.

The improved footing, ring configuration, lighting, and perimeter fence all provide obvious benefits to the Stables. Possibly less obvious, is the proposed addition of a covered ring, which will permit lessons to continue and the horses to get much-needed exercise during inclement weather.


As far as I know, every other riding school in the area—Potomac, Columbia, Wheaton Regional, Rock Creek—has a covered ring. And with good reason. It's not just a nice addition but an important safety and health factor for horse centers in our locale. The ring in its revised design has been reduced to the minimum possible size with a roof lower than the existing manure shed; the placement in the background of the Meadowbrook landscape provides no distraction—in fact, enhances—the existing buildings.

Meadowbrook Stables provides a welcome home to more than 40 horses. It provides a wonderful environment for children and adults—both riders and non-riders alike—to learn firsthand about horses. A most generous offer to fund an ambitious enhancement and upgrading of the Meadowbrook facilities is on the table.

To accept the proposal in a piecemeal fashion is to diminish the vision and the overall effectiveness of the proposed renovations. I urge you to ease the way for

a prompt approval of the plan, so that the building may begin in a timely fashion.

Thank you for your consideration in this matter.

Sincerely,


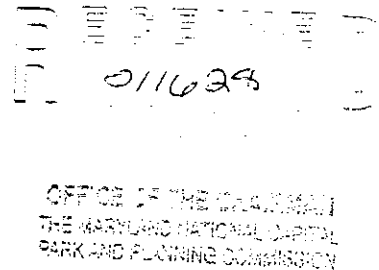
Sally A. Roffman
4712 Merivale Road
Chevy Chase, MD 20815

cc Meadowbrook Associates

KATHLEEN F. PATTERSON
4107 Bradley Lane
Chevy Chase, Maryland 20815
e-mail: flnkfp@attglobal.net

October 16, 2001

Mr. Arthur Holmes, Jr.
 Chairman
 Montgomery County Planning Board
 8787 Georgia Avenue
 Silver Spring, Maryland 20910



Re: Meadowbrook Stables Improvements

Dear Mr. Holmes:

I am writing in support of the improvements planned by Meadowbrook Associates, Inc. to the Meadowbrook Stables facilities.

I am both a neighbor of and a rider and parent of riders at Meadowbrook. We moved to the Chevy Chase area in mid 1988 where we were pleased to find the close-by stable. By 1990, my two then-small daughters, my husband and I had all signed on for classes. For about six years, we boarded a pony at Meadowbrook where she received loving care.

Our daughters prospered in the Meadowbrook community, learning about animal care and, as they improved in skill, becoming teachers. And I persist in trying to become a better rider.

The one area of frustration over the years has been the lack of a covered ring so that outdoor lessons could continue through the wet, cold months and so that the horses could have a turnout space in the winter. This lack simply is not healthy for the horses and frankly, it has caused good members of the Meadowbrook community to go to other stables.

The idea that David Bradley is willing to commit the time, effort and money to add the coveted covered ring as well as to make other necessary improvements to the stables is a dream come true for this wonderful historic facility.

At a September 24 meeting between the Park Commission, Meadowbrook representatives and neighbors, I was impressed by the magnitude of consideration and compromise that has been accomplished between the stable representatives and the neighbors in closest proximity to Meadowbrook. Any change to a public facility always causes some concern to those closest to the facility. My feeling following that meeting is that while a few may still harbor the normal concerns caused by change, the many adjustments already made have alleviated the majority of questions.

The plan as it now exists is the minimum necessary to achieve what we in the riding community need to make Meadowbrook Stables a viable stable for the future. I enthusiastically support the proposed improvements.

Sincerely,


 Kathleen F. Patterson

TIMOTHY AND MARY SULLIVAN

October 15, 2001

RECEIVED
011629

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland 20910

OFFICE OF THE CLERK
THE MONTGOMERY COUNTY CAPITAL
PLANNING BOARD COMMISSION

Dear Mr. Holmes:

This letter expresses my support for the Meadowbrook Stables renovation plan currently under consideration by the Planning Board.

The plan represents a thoughtful, considered improvement to the property. Meadowbrook Associates' plan clearly will do more than meet the requirements of its lease to repair and maintain the facilities. In fact, improvements such as a covered riding ring, replacement of the manure shed, and the thoughtful restoration of the historic farrier's shed will clearly increase the barn's usefulness to county riders, improve the appearance of the barn area for its neighbors, and increase the value of the property for Montgomery County. It is undoubtedly a "win-win" proposal.

In this era of reduced government resources for expenditures, the improvements to county property proposed by Meadowbrook Associates seem like an especially good financial deal for the County, and thus for its residents. I respectfully urge the Board to approve the plan. To do otherwise would truly be "looking a gift horse in the mouth."

Sincerely,

Mary C. Sullivan

Cc: Honore Hastings, Meadowbrook Stables

BREGMAN, BERBERT & SCHWARTZ, L.L.C.

ATTORNEYS AT LAW
THE AIR RIGHTS BUILDING
7315 WISCONSIN AVENUE
SUITE 800 WEST
BETHESDA, MARYLAND 20814

TELEPHONE: (301) 656-2707
TELECOPIER: (301) 961-6525

DOUGLAS M. BREGMAN (MD, DC)
LAURENCE H. BERBERT (MD, DC)
TIMOTHY P. SCHWARTZ (MD, DC, VA)
MARK A. GILDAY (MD, DC)
KEVIN B. McPARLAND (MD, DC)
DANIEL P. RIGTERINK (MD, DC)
WALTER LEE (MD, DC, VA)
JEFFREY M. GUELCHER (MD, DC)
GEOFFREY T. HERVEY (MD, DC, VA)
DIANE K. KUWAMURA (MD)
KAY B. SCHWARTZ (MD)
HEATHER L. BLAUER (MD, DC)
GINA A. DELLAVECCHIA (MD, DC)

OF COUNSEL
W. CARROLL BEATTY (1953-1992)
PRINCE GEORGE'S COUNTY OFFICE
4316 HAMILTON STREET
HYATTSVILLE, MARYLAND 20781
(301) 927-5494
VIRGINIA OFFICE
5529 LEE HIGHWAY
ARLINGTON, VIRGINIA 22207

October 13, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland 20910

RECEIVED
OCT 19 2001

Re: Meadowbrook Stables Renovations

THE MONTGOMERY COUNTY PLANNING BOARD
SPECIAL PLANNING COMMISSION

Dear Mr. Holmes:

I am a resident of Montgomery County and have lived here for almost my entire life. My daughter, Katie, rides at Meadowbrook Stables in Chevy Chase, Maryland. Over the years, I have ridden there and my sister has too. Meadowbrook holds a special place in the hearts of many of my family members. My sister-in-law visits weekly with her daughter, Grace, who as yet is not old enough to ride.

Whenever I am at Meadowbrook, which is usually two times per week, there are small children, teenagers and adults all over the barn, each in different phases of getting horses ready, riding horses, cleaning tack, etc. In addition, there are many people there just looking at the horses, watching lessons, or inquiring about how they can get themselves or their children involved in classes. The stable at Meadowbrook meets an essential recreational need of residents of the area. Furthermore, riding and showing horses provides one of the best opportunities for young people to learn responsibility and sportsmanship and is an important means for them to connect with nature.

It has come to my attention that Meadowbrook is planning a renovation to include reconfiguration of the riding rings, re-designation of the ring footing, new and improved irrigation and electrical and sound systems for the rings, restoration of the historic farrier shed, relocation and replacement of the existing manure and shaving sheds, construction of a covered riding ring and perimeter fencing. I believe it is important for the Planning Board to know that I

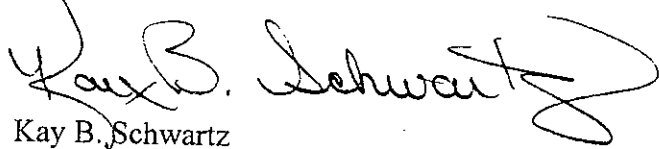
- 2 -

emphatically support this renovation. Meadowbrook is run as a first-class riding stable and it should have these renovations to bring its facilities in line with its needs.

There are very few facilities in lower Montgomery County which can accommodate horses. The only ones I know of are Wheaton Park and Meadowbrook. As a result of this lack of in-town stable locations, Meadowbrook should be allowed to accommodate the needs of suburban patrons who cannot travel the distance to participate in horseback riding in upper Montgomery County.

Montgomery County is very lucky to have found someone like David Bradley who will invest his time and resources into improving the facilities at Meadowbrook. Therefore, it is my sincere hope that the Planning Board will approve the requested renovations.

Very truly yours,



Kay B. Schwartz

KBS/kbs

cc Meadowbrook Stables

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Md. 20910

RECEIVED
011620
OCT 13 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

October 12, 2001

Dear Mr. Holmes,

We are contacting you to express our strong support of the proposed renovations to Meadowbrook Stables in Chevy Chase.

Our two children, ages 8 and 13, began riding lessons at Meadowbrook this past summer and have continued this fall. We have been consistently impressed with the quality of the instruction and the particularly thorough attention paid to safety. The facility and the horses are well-cared for by the staff. We feel our son and daughter are receiving an excellent equestrian education; learning to ride as well as learning the care of horses. However, the grounds and physical plant are in sore need of renovation and improvement.

We have been Montgomery County residents for over ten years and are extremely grateful to have a stable of this caliber conveniently located down-county. We hope the Montgomery County Planning Board will energetically support Meadowbrook Stables in the effort to substantially improve this valuable resource which so benefits the community.

Sincerely,

Michael J. Furlong *Quentin L. Furlong*
Michael J. Furlong, M.D. Ms. Quentin L. Furlong

Rory W. Furlong *Aislinn M. Furlong*
Rory W. Furlong Aislinn M. Furlong

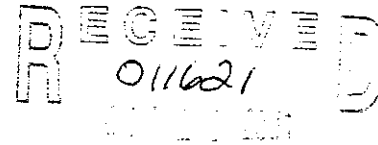
10130 Crestwood Rd.
Kensington, Md. 20895

(301) 564-1163

7202 45th Street
Chevy Chase, MD 20815-6033

October 12, 2001

Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910



Re: Meadowbrook Stables

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Holmes,

Meadowbrook Stables has been part of our community for almost 70 years. It is a good neighbor and community center, attracting young people from all over the county and Washington to enjoy healthy outdoor activity. Learning to ride is fun, but it also teaches responsibility, self-discipline, and respect for others. Many generations of Montgomery County youth have benefitted from participating in the various Meadowbrook programs, and made life-long friends that they otherwise would never have met.

Meadowbrook Stables occupies land that is now part of the continuation of Rock Creek Park from the District line to far up-county. Therefore I think that one must evaluate Meadowbrook's proposed improvements from the perspective of the entire county's park and recreation system. The stables were built along Rock Creek when this area was still undeveloped. Residential communities adjacent to the stables were built later, and anyone living nearby gains immeasurably from its presence. I feel that those privileged neighbors do not deserve special access to Meadowbrook's programs, nor should they have an inordinate influence over the approval process.

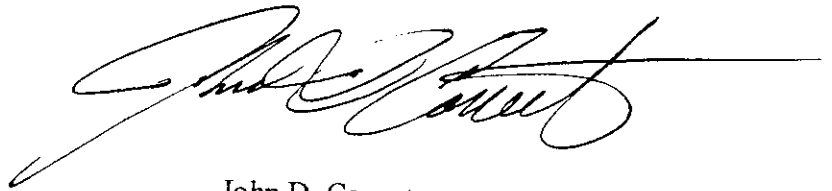
In order to better serve the residents of Montgomery County, Meadowbrook Stables is proposing some long needed improvements. As you are completely familiar them, I will not describe them. I think that Meadowbrook has gone to extraordinary lengths to accommodate public opinion in their plans. The improvements not only make the facilities better to use, but also ameliorate any possible environmental impacts. The improved facilities do not mean that Meadowbrook will host a greater number of horse shows; it will not. The improvements will be enjoyed by all county residents.

The Planning Board's process of holding open public meetings and soliciting public comments on public projects is a good one. Every citizen has the right to voice his opinion and have that opinion heard and taken seriously. The Meadowbrook plans have been under public review for years now. Every time that Meadowbrook responds to a public concern, another concern is voiced. This is a delaying tactic, and in my opinion an abuse of the public review process. I think

Mr. Arthur Holmes, Jr.
October 12, 2001
Page 2

that it is time for the Planning Board to make a decision. The Planning Board should take the point of view of what benefits all of the citizens of Montgomery County. The Planning Board should not let itself be held hostage by a few citizens with a hidden agenda who are abusing the public review process. I urge you and the Board as a county tax payer and voter to approve the Meadowbrook Stables improvement plans now. It would be a missed opportunity of colossal proportions if the cost-free improvements are not made. I would dare say that without your approval of the improvement plans, you will kill Meadowbrook Stables. In a democracy, the majority should win, not a tiny but loud minority. I trust that you have the vision to see the greater public good.

Sincerely yours,



John D. Coventry

301-718-8842 (H)
202-654-9234 (O)



Amy K. Dunbar
5280 Partridge Lane, NW
Washington, DC 20016

RECEIVED
011599
2001

October 11, 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Mr. Arthur Holmes, Jr.
Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD-20910


Dear Mr. Holmes;

I am writing to inform you of my support for the proposed improvements to the Meadowbrook Stables at the Meadowbrook Recreation Center. I am currently taking riding lessons at the stable. I cannot tell you how impressed I am by the job that they do and what a wonderful resource they are for the metropolitan Washington area.

I have taken riding lessons in Massachusetts, Virginia, and at Meadowbrook and I can unequivocally state that the level of care and attention to safety at Meadowbrook surpasses anything I have seen before. They are an important resource that should be allowed to do their job with the best possible resources available to them.

These improvements will help them do a better job, and thereby reflect positively upon Montgomery County for having the good judgment to keep such a high class operation functioning within their bounds. To deny their improvements would undercut the quality of the job they are trying to do. Modernizing the stables and rings is important for the safety of the riders and horses. Public safety improvements are without question an important function of the Planning Board and approval of the Meadowbrook improvements clearly falls into that category. The changes contemplated will enhance the safety and improve the appearance of the facility. Enabling a valuable resource like the Meadowbrook Stables to teach riding in a safe, close in Metropolitan Washington location improves the lives of children and adults who get the opportunity to ride and leave the hassle of city living behind. I encourage you to approve their plans as an important improvement in the lives of the many families who ride at Meadowbrook.

Sincerely,


Amy K. Dunbar

DRS. K. VISWANATHAN & GEORGIA L. STEVENS
3121 38TH STREET, N.W.
WASHINGTON, D.C. 20016
(202) 362-1170

RECEIVED
 011590
 OCT 11 2001

DATE: 10/11/01

FROM: FAX # (202) 362-1170

TO: **Contact:** Arthur Holmes, Jr., Chairman
Organization: Montgomery County Planning Board
Fax #: (301) 495-1320

OFFICE OF THE CHAIRMAN
 THE MONTGOMERY NATIONAL CAPITAL
 PARK AND PLANNING COMMISSION

Mr. Holmes:

We are writing in support of the proposed improvements to the Meadowbrook Stables. We are parents of a child who has ridden at the stables for three years. The stables are operated by Meadowbrook Associates, Inc. in an extremely professional, careful, and safe manner. Their lease agreement with the Planning Commission requires needed repairs and improvements to the grounds and structures. It is our understanding that their proposed development plan represents a coordinated effort to comply with the lease requirement for capital improvements that will significantly enhance the features, functionality, and attractiveness of the stables and grounds. A substantial portion of the proposed improvements will come to the Commission as an outright gift from the owner of Meadowbrook Associates. We trust that their approach to this endeavor will reflect their approach to riding: integrity, fairness, care, and safety.



K. Viswanathan



Georgia L. Stevens

cc: Honore Hastings

CHRISTABELLE H. SALMON
9216 Cedar Way
Bethesda, Maryland 20814

Jerry - FYI
ATTACHMENT 7
RECEIVED
OCT 05 2001

September 24, 2001

DIRECTOR OF PARKS

Mr. Don Cochran
Director of Parks
The Maryland-National Capital
Park and Planning Commission
9500 Brunett Avenue
Silver Spring, MD 20901

Re: Meadowbrook Stables Development Plan

Dear Mr. Cochran:

Meadowbrook Stables' immediate surroundings, as well as the adjacent neighborhoods to which I belong, will certainly benefit from the beautification of its facilities. I am delighted to hear that the historic barn will remain in its original and endearing shape. There is no doubt in my mind that the appealing design of the planned new buildings will greatly replace the existing "rustic" sheds and storing facilities.

Through the generosity of Meadowbrook Stables' owner, David Bradley, the development plan will not only enhance the Candy Cane Park and attached recreational area, but also certainly add value to the individual properties around the Stables, by the very fact that Meadowbrook Stables will be a shining landmark in historically elegant Chevy Chase.

Meadowbrook Associates have made a careful evaluation of the Stables surroundings and have repeatedly shown considerate regard for all concerned in the attractive landscaping, as well as the appealing design of the new facilities for the benefit of riders, joggers, neighbors and passers-by alike. Yet, the original motivation of the Stables' owner remains to educate our children through the caring and loving of horses.

I am delighted to be a full supporter of the development plan of Meadowbrook Stables and look forward to seeing the implementation of this plan and the coming months.

Best regards,



Christabelle Salmon

Robert T. Laycock
3258 O Street, NW
Washington, DC 20007

ATTACHMENT 7

September 21, 2001

Mr. Arthur Holmes, Jr., Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
011496
SEP 24 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Holmes:

I am writing to you to express my whole hearted support for the proposed improvements at Meadowbrook Stable. I have been riding at Meadowbrook for more than twenty-five years and was a resident of the Rock Creek Forest neighborhood for more than twenty years. In fact I moved to the neighborhood to be closer to the stable which to me is one of the most beautiful sites in Montgomery County.

Over the years many thousands of children and their families have enjoyed the facility and all that it offers. For many children it has been the focus of their childhood, providing a gathering place for their friends in a truly wholesome atmosphere, and a place where they have learned to love and care for animals and to appreciate the responsibility that goes along with the equestrian sport.

I am currently the treasurer of the Washington Bridle Trails Association which was founded at Meadowbrook in 1940 and has been holding benefit horse shows at Meadowbrook ever since. This year's beneficiary is the Montgomery County Humane Society. The WBTA shows attract entries from DC, Maryland, Virginia, Pennsylvania and Delaware and typically attract hundreds of spectators. The shows afford students at Meadowbrook the opportunity to compete at a top rated schooling event that otherwise might be out of reach financially. The proposed improvements are unanimously supported by the WBTA Board of Directors and its over two hundred members.

Having seen the plans for the proposed changes, I can only say that they will greatly enhance what is already an exceptional facility, which in turn will enhance the Rock Creek Forest neighborhood.

Sincerely,



Robert T. Laycock



MEADOWBROOK
Stables

September 17, 2001

Mr. Jerry Bush
Administrative Supervisor
Maryland-National Capital Park and Planning Commission
9500 Brunett Ave.
Silver Spring, MD 20910

Dear Jerry,

I am happy to respond to the question you have received from the Audubon Society's local branch about steps included in Meadowbrook Associates Inc.'s (MAI) proposed renovation plan to address environmental matters. There is a lot to say on this subject, since it has been very important to us to improve the property environmentally right from the start of our work planning this renovation.

Since April of 1998, when we first went to neighbors and riders, asking what we could do for them that would improve the facility, we have met with many authorities at state, local and national levels to understand and address their concerns.

1. We have met with many staff members of the Natural Resources Department of M-NCPPC, including aquatic experts, tree and shrubbery experts. Our goal throughout the process has been to keep Rock Creek as clean as possible, minimize existing erosion problems, improve the soil and overall tree health, serve the animals and riders well, remain accessible to wildlife as we always have been, and retain the openness of park -- since the property is also a park.

2. The review team of the M-NCPPC staff looked closely at the plans and supports them.

3. A grazing plan was created by Montgomery Soil Conservation District to enable healthy use of the land between the barn and the creek as grazing area. It has been seeded with grass that is both healthy for horses and designed to reduce erosion and revitalize the soil. Our grazing plan leaves a 50-foot buffer between the proposed fence line and the stream edge (a buffer that has been approved by Conservation Reserve Enhancement Program --CREP-- representative.) We have plans to plant trees and shrubs in the buffer to further reduce the impact of erosion in the flood plain. MAI is also working with CREP to plant the area.

4. Permits and approvals Meadowbrook project has received to date:
Storm Water Management Concept Plan
Forest Stand Delineation and Natural Resources Inventory Plan
Historic area work permit and modified permit.

5. The proposed reconfiguration of the riding rings will improve drainage, while reducing runoff into Rock Creek. In addition, it will reduce dust through a layout that allows a new sprinkler system to reach all parts of the riding ring surface.

6. Though it is not in the realm of land environment, the proposed renovations will greatly improve conditions for the horses, which currently turn out only in the dirt rings -- with no

grass to graze on. Creating some limited grazing areas (which will be used only when conditions permit), will improve horse hoof health and their spirits generally as this is such a natural activity for these animals. Simultaneously, grazing plan will help add nutrients and vitality to the soil near the creek.

Several facts about the plan and the property are worth noting:

1. None of the proposed work is in a forest
2. The land is not a wetland
3. Very few trees will be taken down, most of those that will be are diseased or dead, and many more than the number removed will be planted.
4. Meadowbrook staff met twice with the Wetlands Coordinating Committee and worked its comments into the plans.
5. Meadowbrook voluntarily corrected an environmental problem that has existed since the 1930s – connecting the barn drains the sewage system. Prior to this, and unknown to all parties, the barn drained into the ground a few feet from the barn.
6. Another environmental problem Meadowbrook corrected recently was to close down the out-door wash stall, which drained into the ground and was not connected to the sewage system. It is no longer in use, and will be removed under the renovation plan.
7. Meadowbrook has a Nutrient Management Plan, created with the Maryland Department of Agriculture.
8. Sediment control permits at the (MDE) and county level are in the process of being applied for.

The proposed plans are to go before the Planning Board on November 1. Although a lot of support exists from those listed above, we have not requested any of it in writing because we have been focused on addressing all the concerns by way of the actual plans. If you would like a copy of the Forest Stand Delineation/Natural Resources Inventory, I would be happy to provide a copy.


Meadowbrook staff, architects and engineers have spent hundreds of hours in discussions with many people attuned to environmental matters– all to be sure that we address each concern in the plans.

I am most certainly leaving things out in this quick recap of 42 months of work. If there are specific agencies or individuals that your contact at the Audubon Society wonders whether or not we have contacted please let me know. If we haven't, we will, and if we have, I will let you know right away what the comments or concerns were and how they were addressed.

We believe that this project will actually reduce the impact the facility has on the environment. If there are any more questions I would be happy to try to address them.

Sincerely,

Bonnie J. Williams
Special Projects Coordinator, Meadowbrook Stable



AUDUBON
NATURALIST
SOCIETY
OF THE CENTRAL
ATLANTIC STATES, INC.

CONSERVING OUR REGION'S NATURE SINCE 1897

*Jerry
F-I
Debbie*

ATTACHMENT 7
RECEIVED

SEP 18 2001

DIRECTOR OF PARKS

September 14, 2001

Donald K. Cochran
Director
Montgomery County Parks
8787 Georgia Avenue
Silver Spring, MD 20910

Dear Mr. Cochran:

Don

I have reviewed the July 13, 2001 memorandum you received from Jerry Bush related to the proposed development plan for Meadowbrook Stables.

Besides the mention of the Army Corps of Engineers and Maryland Department of the Environment site visit, I can find no details about the environmental impact of the proposal.

The Guidelines for Environmental Management of Development in Montgomery County call for the preparation of a Natural Resources Inventory/Forest Stand Delineation for development sites in order to describe techniques that will protect environmentally sensitive areas from being adversely affected by construction activities and development. Was an NRI/FSD prepared for the Meadowbrook proposal? Why is there no mention of its conclusions included in the July 13, 2001 memorandum?

Sincerely,

Neal Fitzpatrick

Neal Fitzpatrick
Conservation Director

cc: The Honorable Blair Ewing
The Honorable Steven Silverman
Arthur Holmes, Jr.
Pamela Holland

RUST SANCTUARY

802 CHILDREN'S CENTER ROAD
LEESBURG, VA 20175

PHONE: (703) 669-0000 / FAX: (703) 669-1234

WOODEND SANCTUARY - HEADQUARTERS

8940 JONES MILL ROAD
CHEVY CHASE, MD 20815

PHONE: (301) 652-9188 / FAX: (301) 951-7179

WEBB SANCTUARY

12829 CHESTNUT STREET, PO BOX 51
CLIFTON, VA 20124-0051

PHONE: (703) 803-8400 / FAX: (703) 803-9600

TOBIN, O'CONNOR & EWING

ATTORNEYS AT LAW
A Partnership of Professional Corporations5335 Wisconsin Avenue, N.W., Suite 700
Washington, D.C. 20015KERRY M. RICHARD
District of Columbia, Maryland, Massachusetts
kmrichard@dstlaw.comtel (202) 362-5900
fax (202) 362-5901
direct extension: 219

August 30, 2001

VIA REGULAR MAILMs. Belita Cowan
Mr. Ronald J. Jochim
2728 Washington Avenue
Chevy Chase, MD 20815

Dear Ms. Cowan & Mr. Jochim:

I am responding to your letters dated August 22, 2001 and August 26, 2001, respectively. You each raise many of the same concerns, and I noticed that you share the same return address, so I hope you won't be offended that I am responding to you collectively. By sharing a little information about myself, my involvement with Meadowbrook, and Meadowbrook's proposed renovations, I can address many of the concerns raised in your letter. To the extent I do not have final answers today, I want you to know that we are continuing to develop workable solutions to all the issues raised by the neighbors, so that when and if the proposed renovations go forward, they will do so with neighbor support.

I believe you have been invited to attend an informal meeting between Meadowbrook and interested neighbors at 7pm on September 6, 2001 at Meadowbrook Stables. The plan is to meet at Meadowbrook, and walk through the property to discuss any specific concerns neighbors have at the site. At approximately 7:45pm, we plan to adjourn to the home of Pam Holland on Abilene Drive. Ms. Holland has graciously offered to host this part of the meeting so that we can learn more about neighbor concerns in a comfortable environment. I hope you will attend. In the meantime, I would like to share with you some information about my background, and then respond as best I can to the concerns raised in your letter.

First, yes, I am a lawyer, and I represent Meadowbrook Stables. -- Apparently there has been a misperception that Todd Ewing, Esq. who is the named partner in my firm, Tobin, O'Connor & Ewing, is or might be related to Blair Ewing, President of the Montgomery County

Council. This is not the case. Todd Ewing has no relationship whatsoever with Blair Ewing; nor does anyone else in my firm. I have never met, spoken to or corresponded with Blair Ewing. To the extent this confusion may have caused you to doubt my integrity I hope this information helps restore some measure of your confidence in me.

It is important to me that you understand my relationship with Meadowbrook Stables, which began long before I became their attorney. When I first moved to Washington, D.C. in 1992, I lived at 1400 East-West Highway. I discovered the Stables when I was out walking, and started taking riding lessons there in January of 1993. In 1995, I also started teaching riding and horsemanship to young children (ages 5-7). In 1998, I bought one of Meadowbrook's horses. Although I own him, he continues to live and work at Meadowbrook under their boarding agreement that requires all privately owned horses to be available to the lesson program. I moved away from the Meadowbrook neighborhood in 1994 (and in fact, I now sport one of those Virginia license plates you mention in your letter). Still, even though there are many beautiful horse stables in Virginia, I have never left Meadowbrook. And given that I visit the Stables as many as 5 days a week, I am as interested in and committed to the neighborhood as I was when I lived up the street.

You may think it odd that I am relating these personal facts to you, but I want you to understand that my commitment to the Stables, as well as the community around it, goes well beyond mere legal representation. I have undertaken to help Meadowbrook with its proposed renovations, because over the years I have come to know the Stables' General Manager, Honore Hastings, as well as its owner, David Bradley, and I share their dedication to preserving the history and beauty of Meadowbrook Stables, while serving the community and providing the safest and healthiest environment possible for the horses and the public.

With that background, let me turn to your letter. First and foremost, we agree -- Meadowbrook is not a commercial neighborhood -- Nor would we ever want it to be. Meadowbrook has no interest in creating a tourist attraction, extravaganza or other mega-facility. Meadowbrook Stables is, however, a recreational facility that has been operating at its present location since 1930. In its heyday, Meadowbrook was a much larger facility -- occupying a healthy part of what is now Rock Creek Forest. To accommodate the growth of the suburbs, the Stables gave up many acres of property to what is now Meadowbrook Lane, Abilene Drive, and Larry Place. Despite the population growth in its back yard, Meadowbrook has continued for over 60 years to offer equestrian experiences for the community -- a rare thing inside the beltway.

Meadowbrook would like to continue to offer the community around Meadowbrook, as well as other Park patrons this unique experience, but to do so, it must improve its existing structures, and change some of the conditions at the property to increase the safety and efficiency for horses and humans. Meadowbrook's goal, therefore, is not commercialization, but rather preservation of the few (roughly 7) acres of green space it has left, so that it can continue to maintain the health of the horses who live there, and support the community who uses the facility.

Ms. Cowan and Mr. Jochim
August 30, 2001
Page 3

From your letter, it appears that you believe Meadowbrook intends to "expand" the premises or the business. This is not the case. Under its lease with the Maryland-National Capital Park & Planning Commission (the "M-NCPPC"), Meadowbrook is obligated to operate a riding lesson program for the public within the parameters set forth in the Lease. The Lease restricts the total number of horses on the property to 55, its current population. It regulates the hours during which Meadowbrook can offer lessons, the number of hours each horse can work per day, and the number of days per week each horse can work. Apart from the Lease requirements, Meadowbrook, through its owner David Bradley and its General Manager, Honore Hastings, are firmly committed to the well-being of its horses. No horse is ever used more than three hours per day, and most are used two or less hours. Every horse has at least one full day off each week, and any horse that is sick or injured is provided with additional time off in accordance with veterinary recommendations. Given these conditions, it would never be feasible, much less desirable to "expand Meadowbrook's programs." Our horses are currently used to capacity.

The renovations will not expand the amount of riding space either. There are currently four enclosed riding areas at Meadowbrook. After the renovations, there will remain four enclosed riding areas -- three outdoor rings, and one covered ring. Each of the renovated riding rings will be smaller than the existing riding rings (except for the paddock closest to the Barn. That ring will be approximately 35 feet longer than it currently is). The primary reason for reconfiguring and reducing the number of outdoor riding rings at the south end of the property is environmental. The smaller reconfigured rings will have better drainage (to eliminate standing water in the rings) and will have better dust control. They have also been designed to reduce the risk of injury to the horses, both during turn out time and lessons. We believe that these improvements are important, but as a result, Meadowbrook must find another location for a fourth enclosed riding area, just to enable Meadowbrook to maintain its current level of programming. After studying a host of factors, including environmental (trees, storm water management, sediment control), the wishes of neighbors, historic preservation, engineering, as well as operational efficiency, we have proposed placing the covered ring in the area currently occupied by the manure shed.

The three outdoor rings will continue to be used regularly for riding lessons, and the horses will continue to be turned out for exercise in those rings. Thus, neighbors will have the same opportunities to view the horses they currently have. The fourth ring -- the proposed covered ring -- would be used for some regular lessons, and for turn out when the weather prevents turning out the horses in the outdoor rings. I realize that this is a lot of detailed information, but I hope it helps you understand that although the renovations would alter the layout of the riding rings, it will not expand the amount of usable space on the property.

Your letter also raises a number of concerns about traffic and safety in the neighborhood. Once again, Meadowbrook shares this concern. With the large number of children who currently ride at Meadowbrook Stables, it is of great importance to Meadowbrook to assure their safety, as well as the safety of the many Park patrons who walk through the Stables. We have discussed

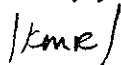
our own traffic and safety concerns, as well as those raised by some of your neighbors with the M-NCPPC, and we have found them to be very responsive. Although there have been no final decisions made yet, I can promise you that we will not go before the Planning Board for approval of our renovation plan until we can offer workable solutions.

Finally, in your letter, you seem to imply that Meadowbrook's owner may wish to "maximize his investment" in Meadowbrook. For each of the past 6 years, David Bradley has spent more money than Meadowbrook Stables has generated in revenue. The proposed renovations would represent an additional expenditure by Mr. Bradley of more than \$1 million. Because Mr. Bradley does not view these expenditures as "an investment," however, he does not expect (nor has he ever received) a return on that "investment."

Mr. Bradley's reasons for supporting Meadowbrook so generously are personal and philanthropic. Mr. Bradley rode at then-neighboring Pegasus Stables as a child. His first job was working as a groom at Meadowbrook, cleaning stalls and caring for the horses. Mr. Bradley learned many life lessons at the Stables, and now that he has found some business success, he has committed to repay the Stables and the community by preserving the institution that gave him so many fond memories. His primary concerns are with preserving the historic venue, improving the aesthetic appearance of the property, and operating a facility that welcomes and provides educational opportunities for the public. He has offered the proposed renovations as a gift to the Park, for the benefit of the community, with no strings attached.

Before closing, I would again like to encourage you to attend the meeting Thursday night at 7pm. If you are unable to do so, or if you just would like additional information, please feel free to contact me at 202-362-5900, Honore Hastings at 301-589-9026, or Bonnie Williams at 703-920-9039. Thank you for sharing your concerns.

Sincerely yours,



Kerry M. Richard

cc: Ms. Honore Hastings
Ms. Bonnie Williams
Mr. Jerry Bush

RECEIVED
011389
AUG 29 2001

8/26/01

Arthur Holmes, Jr.
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

OFFICE OF THE CHAIRMAN
THE DISTRICT OF COLUMBIA
PARK AND PLANNING COMMISSION

The purpose of this letter is to ask you to oppose the expansion of Meadowbrook Stable.

It is reasonable to support the improvement of existing fences, drainage, footings, and buildings, etc.

It is not reasonable to expand the facility and create more neighborhood traffic and safety problems. It's not sound ecology to clear cut trees next to Rock Creek.

Many people walk, jog, and ride bicycles in this neighborhood. The increased traffic resulting from your proposal creates safety problems not only on Meadowbrook Lane but all the nearby streets. Our streets are narrow, and lined with the residents' parked cars. There simply isn't room for more traffic. The safety of joggers, walkers, bicycle riders, and children in strollers is paramount.

Why do you want a commercial "extravaganza" that is out of proportion with the residential nature of Rock Creek Forest? Do you also plan to invite McDonald's and Pizza Hut to run concessions for the hordes of people who will undoubtedly flock here to see the big tourist attraction?

Who appoints you to your position with the Board? Where does your commercial pro-development stance come from? What is your pay-off in wanting to push something forward that people here strongly oppose?

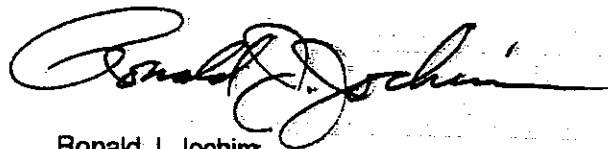
Why don't you build this colossal mega-facility in your neighborhood? Do you think you'll enjoy strange cars parking in front of your house every day? Littering beer bottles and fast food containers on your front lawn? Speeding down your street? Hitting your cat? Your child?

Have you been bothered by mosquitos this summer? I live near the stable. The open, standing pools of water at the back of the stable and, when it rains, inside the corrals, breed mosquitos. My family can't even leave our house in the daytime (not to mention at dusk) without being attacked by mosquitos. Our child has welts from bites on her legs, arms and face. Thank you, Meadowbrook Stable, for contributing to a health problem. If Montgomery County is serious about wanting to prevent West Nile virus, it should shut the stable down.

In my view, when public officials advocate for the financial interests of private business, there is a conflict-of-interest. Sometimes, it takes a legal action by ordinary citizens and years of court proceedings to uncover and expose the reason for this bias. I hope that happens in this case. I certainly would support it.

I think you have a great deal to gain, Mr. Holmes, by simply leaving things alone.

Sincerely,



Ronald J. Jochim

8/26/01

Jerry Bush
Maryland National Capital Park & Planning Commission
3500 Bruner Ave
Silver Spring, Maryland 20901

Mr. Bush:

The purpose of this letter is to ask you to oppose the expansion of Meadowbrook Stable.

It is reasonable to support the improvement of existing fences, drainage, footings, and buildings, etc.

It is not reasonable to expand the facility and create more neighborhood traffic and safety problems.

Many people walk, jog, and ride bicycles in this neighborhood. The increased traffic resulting from your proposal creates safety problems not only on Meadowbrook Lane but the nearby streets. Our streets are narrow, and lined with the residents' parked cars. There simply isn't room for more traffic. The safety of joggers, walkers, bicycle riders, and children in strollers is paramount.

Why do you want a commercial "extravaganza" that is out of proportion with the residential nature of Rock Creek Forest? Do you also plan to invite McDonald's and Pizza Hut to run concessions for the hordes of people who will undoubtedly flock here to see the big tourist attraction?

Who appoints you to your position with the Commission? Where does your commercial pro-development stance come from? What is your pay-off in wanting to push something forward that people here strongly oppose?

Why don't you build this colossal mega-facility in your neighborhood? Do you think you'll enjoy strange cars parked in front of your house every day? Littering beer bottles and fast food containers on your front lawn? Rushing down your street? Hitting your cat? Your child?

Have you been bothered by mosquitos this summer? I live near the stable. The open, standing pools of water in the backpart of the stable property and, when it rains, inside the corrals, breed mosquitos. My family can't even leave our house in the daytime (not to mention at dusk) without being attacked by mosquitos. Our child has welts over her legs, arms and face. Thank you, Meadowbrook Stable, for contributing to a health problem. If Montgomery County is serious about preventing the spread of West Nile virus, it should shut the stable down.

In my view, when public officials advocate for the financial interests of private business, there is a conflict-of-interest. Sometimes, it takes a legal action by ordinary citizens and years of court proceedings to uncover and expose the reason for this bias. I hope that happens in this case. I certainly would support it.

Mr. Bush, I think you have a great deal to gain by simply leaving things alone.

Sincerely,



Ronald J. Jochim



8/26/01

Kerry Richard
Tobin, O'Connor & Ewing
5335 Wisconsin Ave. NW #700
Washington, DC 20015

Mr. Richard:

I am opposed to the expansion of Meadowbrook Stable. It is reasonable to support the improvement of existing fences, drainage, footings, and buildings, etc. It is not reasonable to expand the facility and create more neighborhood traffic and safety problems.

Many people walk, jog, and ride bicycles in this neighborhood. The increased traffic resulting from your proposal creates safety problems not only on Meadowbrook Lane but the nearby streets. Our streets are narrow, and lined with the residents' parked cars. There simply isn't room for more traffic. The safety of joggers, walkers, bicycle riders, and children in strollers is paramount.

Why does your client want a commercial "extravaganza" that is out of proportion with the residential nature of Rock Creek Forest? Does your client also plan to invite McDonald's and Pizza Hut to run concessions for the hordes of people who will undoubtedly flock here to see the big tourist attraction?

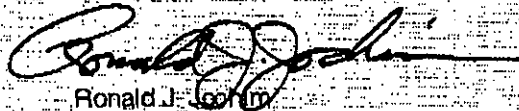
Why don't you build this colossal mega-facility in your neighborhood? Do you think you'll enjoy strange cars parked in front of your house every day? Littering beer bottles and fast food containers on your front lawn? Rushing down your street? Hitting your cat? Your child?

Have you been bothered by mosquitos this summer? I live near the stable. The open, standing pools of water in the back of the stable property and, when it rains, inside the corrals, breed mosquitos. My family can't even leave our house in the daytime (not to mention at dusk) without being attacked by mosquitos. Our child has welts from the bites on her legs, arms and face. Thank you, Meadowbrook Stable, for contributing to a health problem. If Montgomery County is serious about preventing the spread of West Nile virus, it should shut the stable down.

In my view, when public officials advocate for the financial interests of private business there is a conflict of interest. Sometimes, it takes a legal action by ordinary citizens and years of court proceedings to uncover and expose the reason for this bias. I hope that happens in this case. I certainly would support it.

I think your client would be well advised to simply scale down their ambition.

Sincerely,



Ronald J. Johnson

P.S. The Ewing family should be ashamed that your firm has taken such a position.

08/29/2001 14:57 3015894553

PAGE 01

ATTACHMENT 7

8/26/01

Honore Hastings, General Manager
Meadowbrook Associates
8200 Meadowbrook Lane
Chevy Chase, MD 20815

Ms. Hastings:

The purpose of this letter is to express opposition to the expansion of Meadowbrook Stable.

It is reasonable to support the improvement of existing fences, drainage, footings, and buildings, etc. It is not reasonable to expand the facility and create more neighborhood traffic and safety problems. It's not sound ecology to clear cut trees next to Rock Creek.

As you are aware, many people walk, jog, and ride bicycles in this neighborhood. The increased traffic resulting from your proposal creates safety problems not only on Meadowbrook Lane but the nearby streets. Our streets are narrow, and lined with the residents' parked cars. There simply isn't room for more traffic. The safety of joggers, walkers, bicycle riders, and children in strollers is paramount.

Why do you want a commercial "extravaganza" that is out of proportion with the residential nature of Rock Creek Forest? Do you also plan to invite McDonald's and Pizza Hut to run concessions for the hordes of people who will undoubtedly flock here to see the big tourist attraction?

Why don't you build this colossal mega-facility in YOUR neighborhood? Do you think you'll enjoy strange cars parking in front of YOUR house every day? Littering beer bottles and fast food containers on YOUR front lawn? Speeding down YOUR street? Hitting your car? Your child?

Have you been bothered by mosquitos this summer? I live near the stable. The open, standing pools of water at the back of the stable and, when it rains, inside the corrals, breed mosquitos. My family can't even leave our house in the daytime (not to mention at dusk) without being attacked by mosquitos. Our child has warts from bites on her legs, arms and face. Thank you, Meadowbrook Stable, for contributing to a health problem. If Montgomery County is serious about wanting to prevent West Nile virus, it should shut the stable down.

In my view, when public officials advocate for the financial interests of private business, there is a conflict-of-interest. Sometimes, it takes a legal action by ordinary citizens and years of court proceedings to uncover and expose the reason for this bias. I hope that happens in this case. I certainly would support it.

I think we all have a great deal to gain by simply fixing what's broken at the stable and leaving the rest alone.

Sincerely,



Ronald J. Jochim

134

8/26/01

Honore Hastings, General Manager
Meadowbrook Associates
8200 Meadowbrook Lane
Chevy Chase, MD 20815

Ms. Hastings:

The purpose of this letter is to express opposition to the expansion of Meadowbrook Stable.

It is reasonable to support the improvement of existing fences, drainage, footings, and buildings, etc. It is not reasonable to expand the facility and create more neighborhood traffic and safety problems. It's not sound ecology to clear cut trees next to Rock Creek.

As you are aware, many people walk, jog, and ride bicycles in this neighborhood. The increased traffic resulting from your proposal creates safety problems not only on Meadowbrook Lane but the nearby streets. Our streets are narrow, and lined with the residents' parked cars. There simply isn't room for more traffic. The safety of joggers, walkers, bicycle riders, and children in strollers is paramount.

Why do you want a commercial "extravaganza" that is out of proportion with the residential nature of Rock Creek Forest? Do you also plan to invite McDonald's and Pizza Hut to run concessions for the hordes of people who will undoubtedly flock here to see the big tourist attraction?

Why don't you build this colossal mega-facility in your neighborhood? Do you think you'll enjoy strange cars parking in front of your house every day? Littering beer bottles and fast food containers on your front lawn? Speeding down your street? Hitting your cat? Your child?

Have you been bothered by mosquitos this summer? I live near the stable. The open, standing pools of water at the back of the stable and, when it rains, inside the corrals, breed mosquitos. My family can't even leave our house in the daytime (not to mention at dusk) without being attacked by mosquitos. Our child has welts from bites on her legs, arms and face. Thank you, Meadowbrook Stable, for contributing to a health problem. If Montgomery County is serious about wanting to prevent West Nile virus, it should shut the stable down.

In my view, when public officials advocate for the financial interests of private business, there is a conflict-of-interest. Sometimes, it takes a legal action by ordinary citizens and years of court proceedings to uncover and expose the reason for this bias. I hope that happens in this case. I certainly would support it.

I think we all have a great deal to gain by simply fixing what's broken at the stable and leaving the rest alone.

Sincerely,



Ronald J. Jochim

August 22, 2001

Jerry Bush
Maryland National Capital Park & Planning Commission
9500 Brunett Avenue
Silver Spring, MD 20901

Dear Mr. Bush:

I have resided in Rock Creek Forest since 1985. I am concerned about the expansion of the Meadowbrook Stables, and I strongly oppose the plans.

This is not a commercial neighborhood. Let me repeat -- this is not a commercial neighborhood.

It is a quiet, small, low-crime neighborhood with wide open spaces along Meadowbrook Lane, in a park setting with unique woods, and Rock Creek along side of it. The entrance to our neighborhood requires driving on a small bridge, over a Rock Creek tributary, with trees on both sides. Small. Quiet. Low crime.

This is not a commercial neighborhood. Let me repeat -- this is not a commercial neighborhood.

The horse stable's proposed plans are overbearing, unrealistic, environmentally unsound, aesthetically offensive, and unsafe for residents and visitors.

No one wants to have our community's treasured view of the back woods near the creek obliterated by a huge, covered facility. No one wants two dozen mature trees cut down. That is a lot of trees. No one wants a commercial "enterprise" in a residential neighborhood (except of course, those few who wish to maximize their investment, regardless of the hardship imposed on everyone else).

Do you remember the promises that were made to our Rock Creek Forest neighborhood by Montgomery County and the State of Maryland when our access by car to our own neighborhood streets (via East West Highway) was cut off by the installation of a concrete median divider? We were assured that Meadowbrook Lane would remain our local, neighborhood road.

When traveling west on East West Highway, there are only 2 streets that access our entire neighborhood. Meadowbrook Lane is one of them. No one here wants to increase the traffic on Meadowbrook Lane. We are already overburdened with traffic on Meadowbrook Lane. I walk my young child daily up and down Meadowbrook Lane. Every car - no exaggeration -- speeds on this street. The County police do not come here to enforce the 15 mph zone. The Maintenance Facility employees speed not only with their own cars, but when driving county trucks and equipment. There is already a steady barrage of speeding cars with District of Columbia license plates and Virginia license plates barreling up and down Meadowbrook Lane, weekdays and weekends, day and night, to reach the basketball courts and soccer fields as fast as they can. No one wants more traffic here. It's already a safety hazard for parents, children, and elderly people who live and walk in the neighborhood.

This is not a commercial neighborhood. Let me repeat -- this is not a commercial neighborhood.

(continued on next page)

Mr. Bush, have you forgotten that most all of our streets in Rock Creek Forest have no sidewalks? Do you know what that means? For the children who live here, it means they must walk in the streets. No choice. They walk in the streets. Every day.

Perhaps you're not familiar with another unusual feature of our neighborhood – most all of the homes on the streets running perpendicular to the horse stable have no garage. So everyone parks in the street, on both sides. This leaves only one open lane for cars driving on Washington Avenue, Blaine Drive, Larry Place, Colston Drive etc. Our children have to enter the street (in order to walk anywhere) by stepping out into the street between parked cars. Are you aware of how serious and hazardous this is?

No one wants to jeopardize the lives of the children who live in Rock Creek Forest, by doubling or tripling the number of visitor cars traveling on the streets near the horse stable. A child entering the middle of a street from between parked cars is rarely seen by drivers. With only one open lane for driving, drivers in our neighborhood are constantly swerving in and out to get by each other. No one wants more cars here. It's dangerous enough already.

Let me conclude by saying that having a horse stable in our neighborhood has its pros and cons. One of the only benefits for people here is that we can enjoy seeing the horses outdoors in the riding rings. Building a covered riding facility defeats the whole purpose of having a stable here.

This is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

Ms. Bush, given the safety concerns and negative environmental impact, what could you possibly be thinking when you lend support to such a poorly thought out pie-in-the-sky expansion plan? We don't live in Kentucky bluegrass country. We live in Rock Creek Forest. How about coming down to earth?

Respectfully,



Belita Cowan
2728 Washington Avenue
Chevy Chase, Maryland

FAXED

August 22, 2001

Kerry Richard
Tobin, O'Connor & Ewing
5335 Wisconsin Ave NW #700
Washington D.C. 20015

Dear Mr. Richard:

I have resided in Rock Creek Forest since 1985. I am concerned about the expansion of the Meadowbrook Stables, and I strongly oppose the plans. Your client knows about, and anticipates, opposition from the neighborhood.

Rock Creek Forest is not a commercial neighborhood. Let me repeat -- this is not a commercial neighborhood.

It is a quiet, small, low-crime neighborhood with wide open spaces along Meadowbrook Lane, in a park setting with unique woods, and Rock Creek along side of it. The entrance to our neighborhood requires driving on a small bridge, over a Rock Creek tributary, with trees on both sides. Small. Quiet. Low crime.

This is not a commercial neighborhood. Let me repeat -- this is not a commercial neighborhood.

The horse stable's proposed plans are overbearing, unrealistic, environmentally unsound, aesthetically offensive, and unsafe for residents and visitors.

No one wants to have our community's treasured view of the back woods near the creek obliterated by a huge, covered facility. No one wants two dozen mature trees cut down. That is a lot of trees. No one wants a commercial "enterprise" in a residential neighborhood (except of course, those few who wish to maximize their investment, regardless of the hardship imposed on everyone else).

Perhaps you and your law firm were not here when promises were made to our Rock Creek Forest neighborhood by Montgomery County and the State of Maryland when our access by car to our own neighborhood streets (via East West Highway) was cut off by the installation of a concrete median divider. We were assured that Meadowbrook Lane would remain our local, neighborhood road.

When traveling west on East West Highway, there are only 2 streets that access our entire neighborhood. Meadowbrook Lane is one of them. No one here wants to increase the traffic on Meadowbrook Lane. We are already overburdened with traffic on Meadowbrook Lane. I walk my young child daily up and down Meadowbrook Lane. Every car - no exaggeration -- speeds on this street. The County police do not come here to enforce the 15 mph zone. The Maintenance Facility employees speed not only with their own cars, but when driving county trucks and equipment. There is already a steady barrage of speeding cars with District of Columbia license plates and Virginia license plates barreling up and down Meadowbrook Lane, weekdays and weekends, day and night, to reach the basketball courts and soccer fields as fast as they can. No one wants more traffic here. It's already a safety hazard for parents, children, and elderly people who live and walk in the neighborhood.

This is not a commercial neighborhood. Let me repeat -- this is not a commercial neighborhood.

(continued on next page)

Page 2

Mr. Richard, have you forgotten that most all of our streets in Rock Creek Forest have no sidewalks? Do you know what that means? For the children who live here, it means they must walk in the streets. No choice. They walk in the streets. Every day.

Perhaps you're not familiar with another unusual feature of our neighborhood -- most all of the homes on the streets running perpendicular to the horse stable have no garage. So everyone parks in the street, on both sides. This leaves only one open lane for cars driving on Washington Avenue, Blaine Drive, Larry Place, Colston Drive etc. Our children have to enter the street (in order to walk anywhere) by stepping out into the street between parked cars. Are you aware of how serious and hazardous this is?

No one wants to jeopardize the lives of the children who live in Rock Creek Forest, by doubling or tripling the number of visitor cars traveling on the streets near the horse stable. A child entering the middle of a street from between parked cars is rarely seen by drivers. With only one open lane for driving, drivers in our neighborhood are constantly swerving in and out to get by each other. No one wants more cars here. It's dangerous enough already.

Having a horse stable in our neighborhood has its pros and cons. One of the only benefits for people here is that we can enjoy seeing the horses outdoors in the riding rings. Building a covered riding facility defeats the whole purpose of having a stable here.

This is not a commercial neighborhood. Let me repeat -- this is not a commercial neighborhood.

Ms. Richard, given the safety concerns and negative environmental impact, what could you possibly be thinking when you lend support to such a poorly thought out pie-in-the-sky expansion plan? We don't live in Kentucky bluegrass country. We live in Rock Creek Forest. Ask your client to come down to earth.

Respectfully,



Belita Cowan
2728 Washington Avenue
Chevy Chase, Maryland

August 22, 2001

Honore Hastings
Meadowbrook Associates
8200 Meadowbrook Lane
Chevy Chase, MD 20815

Dear Ms. Hastings:

I have resided in Rock Creek Forest since 1985. I am concerned about the expansion of the Meadowbrook Stables, and I strongly oppose the plans.

As you know, Rock Creek Forest is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

It is a quiet, small, low-crime residential neighborhood with wide open spaces along Meadowbrook Lane, in a park setting with unique woods, and Rock Creek along side of it. The entrance to our neighborhood requires driving on a small bridge, over a Rock Creek tributary, with trees on both sides. Small. Quiet. Low crime. Homes.

This is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

The horse stable's proposed plans appear overbearing, unrealistic, environmentally unsound, aesthetically offensive, and unsafe for residents and visitors.

No one wants to have our community's treasured view of the back woods near the creek obliterated by a huge, covered facility. No one wants two dozen mature trees cut down. That is a lot of trees. No one wants a commercial "enterprise" in a residential neighborhood (except of course, those few who wish to maximize their investment, regardless of the hardship imposed on everyone else).

Surely you were here when promises were made to our Rock Creek Forest neighborhood by Montgomery County and the State of Maryland, when our access by car to our own neighborhood streets (via East West Highway) was cut off by the installation of a concrete median divider? We were assured that Meadowbrook Lane would remain our local, neighborhood road.

When traveling west on East West Highway, there are only 2 streets that access our entire neighborhood. Meadowbrook Lane is one of them. No one here wants to increase the traffic on Meadowbrook Lane. We are already overburdened with traffic on Meadowbrook Lane. I walk my young child daily up and down Meadowbrook Lane. Every car - no exaggeration – speeds on this street. The County police do not come here to enforce the 15 mph zone. The Maintenance Facility employees speed not only with their own cars, but when driving county trucks and equipment. There is already a steady barrage of speeding cars with District of Columbia license plates and Virginia license plates barreling up and down Meadowbrook Lane, weekdays and weekends, day and night, to reach the basketball courts and soccer fields as fast as they can. No one wants more traffic here. It's already a safety hazard for parents, children, and elderly people who live and walk in the neighborhood.

This is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

(continued on next page)

Page 2

Ms Hastings, have you forgotten that most of our streets in Rock Creek Forest have no sidewalks? Do you know what that means? For the children who live here, it means they must walk in the streets. No choice. They walk in the streets. Every day.

Perhaps you've forgotten another unusual feature of our neighborhood – most of the homes on the streets running perpendicular to the horse stable have no garage. So everyone parks in the street, on both sides. This leaves only one open lane for cars driving on Washington Avenue, Blaine Drive, Larry Place, Colston Drive etc. Our children have to enter the street (in order to walk anywhere) by stepping out into the street between parked cars. Are you aware of how serious and hazardous this is?

No one wants to jeopardize the lives of the children who live in Rock Creek Forest, by doubling or tripling the number of visitor cars traveling on the streets near the horse stable. A child entering the middle of a street from between parked cars is rarely seen by drivers. With only one open lane for driving, drivers in our neighborhood are constantly swerving in and out to get by each other. No one wants more cars here. It's dangerous enough already.

Let me conclude by saying that having a horse stable in our neighborhood has its pros and cons. One of the only benefits for people here is that we can enjoy seeing the beautiful horses outdoors in the riding rings. Building a covered riding facility defeats the whole purpose of having a stable here.

Ms. Hastings, given the safety concerns and negative environmental impact, what could you possibly be thinking of when you propose a pie-in-the-sky expansion plan? We don't live in Kentucky bluegrass country. We live in Rock Creek Forest. How about coming down to earth?

Respectfully,



Belita Cowan
2728 Washington Avenue
Chevy Chase, Maryland

Arthur Holmes, Jr. Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
011356
AUG 27 2001

KARIMA,
HAVE A RESPONSE
prepared. *[Signature]* 27 AUG '01
August 22, 2001

ATTACHMENT 7

Dear Mr. Holmes, Jr:

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

I have resided in Rock Creek Forest since 1985. I am concerned about the expansion of the Meadowbrook Stables, and I strongly oppose the plans.

This is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

It is a quiet, small, low-crime neighborhood with wide open spaces along Meadowbrook Lane, in a park setting with unique woods, and Rock Creek along side of it. The entrance to our neighborhood requires driving on a small bridge, over a Rock Creek tributary, with trees on both sides. Small. Quiet. Low crime.

This is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

The horse stable's proposed plans are overbearing, unrealistic, environmentally unsound, aesthetically offensive, and unsafe for residents and visitors.

No one wants to have our community's treasured view of the back woods near the creek obliterated by a huge, covered facility. No one wants two dozen mature trees cut down. That is a lot of trees. No one wants a commercial "enterprise" in a residential neighborhood (except of course, those few who wish to maximize their investment, regardless of the hardship imposed on everyone else).

Do you remember the promises that were made to our Rock Creek Forest neighborhood by Montgomery County and the State of Maryland when our access by car to our own neighborhood streets (via East West Highway) was cut off by the installation of a concrete median divider? We were assured that Meadowbrook Lane would remain our local, neighborhood road.

When traveling west on East West Highway, there are only 2 streets that access our entire neighborhood. Meadowbrook Lane is one of them. No one here wants to increase the traffic on Meadowbrook Lane. We are already overburdened with traffic on Meadowbrook Lane. I walk my young child daily up and down Meadowbrook Lane. Every car - no exaggeration – speeds on this street. The County police do not come here to enforce the 15 mph zone. The Maintenance Facility employees speed not only with their own cars, but when driving county trucks and equipment. There is already a steady barrage of speeding cars with District of Columbia license plates and Virginia license plates barreling up and down Meadowbrook Lane, weekdays and weekends, day and night, to reach the basketball courts and soccer fields as fast as they can. No one wants more traffic here. It's already a safety hazard for parents, children, and elderly people who live and walk in the neighborhood.

This is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

(continued on next page)

Mr. Holmes, have you forgotten that most all of our streets in Rock Creek Forest have no sidewalks? Do you know what that means? For the children who live here, it means they must walk in the streets. No choice. They walk in the streets. Every day.

Perhaps you're not familiar with another unusual feature of our neighborhood – most all of the homes on the streets running perpendicular to the horse stable have no garage. So everyone parks in the street, on both sides. This leaves only one open lane for cars driving on Washington Avenue, Blaine Drive, Larry Place, Colston Drive etc. Our children have to enter the street (in order to walk anywhere) by stepping out into the street between parked cars. Are you aware of how serious and hazardous this is?

No one wants to jeopardize the lives of the children who live in Rock Creek Forest, by doubling or tripling the number of visitor cars traveling on the streets near the horse stable. A child entering the middle of a street from between parked cars is rarely seen by drivers. With only one open lane for driving, drivers in our neighborhood are constantly swerving in and out to get by each other. No one wants more cars here. It's dangerous enough already.

Let me conclude by saying that having a horse stable in our neighborhood has its pros and cons. One of the only benefits for people here is that we can enjoy seeing the horses outdoors in the riding rings. Building a covered riding facility defeats the whole purpose of having a stable here.

This is not a commercial neighborhood. Let me repeat – this is not a commercial neighborhood.

Ms. Holmes, given the safety concerns and negative environmental impact, what could you possibly be thinking of when you lend support to such a poorly thought out pie-in-the-sky expansion plan? We don't live in Kentucky bluegrass country. We live in Rock Creek Forest. How about coming down to earth?

Respectfully,



Belita Cowan
2728 Washington Avenue
Chevy Chase, Maryland



Haymarket
Veterinary
Service

equine & P.O. Box 1005
small Haymarket, VA
animal 20168
ambulatory (703) 754-3309

RECEIVED
011271
AUG 10 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Office of the Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

7 August, 2001

Dear Sir,

The Management of Meadowbrook Stables has requested that I review and comment on the proposed improvements to their facility.

Haymarket Veterinary Service has been pleased to provide health care for the horses at Meadowbrook for the past several years. The staff has always done an exceptional job in caring for these animals and consistently places their needs in the forefront.

I wholeheartedly endorse the proposed improvements to the property. It is very challenging to manage a facility with such a large horse population on a property of this size. These improvements will be of great benefit to the horses, especially by providing a protected riding area, as well as much needed areas for turn-out.

Meadowbrook Stables has a long history as a respected part of both the local and equestrian communities. These improvements will help to preserve the historic character of Meadowbrook, at the same time creating a safer and more attractive facility for both the horses and the neighborhood.

Sincerely,

Caroi L Sabo, DVM

4527 Harrison Street, N.W.
Washington, D. C. 20015

July 27, 2001

Chairman Arthur Holmes, Jr.
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20901

RECEIVED
011204
JUL 30 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Re: Meadowbrook Stables Renovation Plan

Dear Chairman Holmes and Members of the Planning Board:

I write to enthusiastically support the proposed renovation plan for Meadowbrook Stables. I have been fortunate enough to ride at Meadowbrook for the last three years after a twenty-three year hiatus. I chose Meadowbrook after carefully researching the different stables in the metropolitan area. Meadowbrook embodies all of the traits that I was looking for, including excellent care for the horse, the best teaching available, and a desire to reach out to the community

Meadowbrook trains its riders in "horsemanship", not just riding. The stable's philosophy is to teach the student to ride, care for, and respect horses. The trainers at Meadowbrook embrace and further this philosophy while providing interesting, challenging, and safe lessons. Finally, Meadowbrook reaches out to the community by sponsoring lessons for at risk children, by allowing the public broad access to the horses, and by responding to issues raised by the residents in the surrounding neighborhood.

The enhancements proposed in the renovation plan will make Meadowbrook an even brighter star in Montgomery County's constellation of recreational resources. The willingness of Mr. David Bradley to pay for and make a gift of the renovations make the plan even more irresistible. Great effort has been made to accommodate the needs of the stable and the concerns and opinions of the neighborhood, an approach that the general manager, Honore Hastings, has taken during her entire tenure.

I urge you to approve this plan. If you have any questions, do not hesitate to contact me at (202) 686-2653. Thank you for your consideration of this letter.

Sincerely,

Mary C. Kennedy

Mary C. Kennedy

SIERRA CLUB



103 North Adams Street
Rockville, MD 20850

Phone (301) 294-0466
Fax (301) 762-3382

RECEIVED
01136
JUL 18 2001

July 18, 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Mr. Arthur Holmes, Jr, Chair
Montgomery Planning Board

Reply To:
2812 Blue Spruce Ln.
Silver Spring, MD 20906

Dear Mr. Holmes,

On behalf of the Sierra Club, I am writing to request that the Planning Board delay its decision on the approval of the Covered Riding Ring at Meadowbrook Stables, which is on the Planning Board's agenda for this Thursday, July 19, 2001.

The public has not had adequate opportunity to review these plans. These plans were first presented to a limited group of residential neighbors of the stables on July 9, 2001. Only residents immediately adjacent to the stables, and those that happened to read a sign posted at the stables, had notice of the July 9th meeting. It is premature for the Planning Board to vote on these plans without adequate opportunity for the community to review them and respond. We request a 30-day delay so that the public can become informed about the merits and possible impacts of this project.

Meadowbrook Associates, Inc.'s plans include construction of a 100' x 200'-covered riding ring that will result in the destruction of at least 25 mature trees within feet of the creek bed. Protection of riparian buffer and flood plain is an objective of the Chesapeake Bay agreement. We need time to review the plans and assess the environmental and other impacts of this project. It is essential that the public have time to review a project of this magnitude in the heart of Rock Creek Park.

We respectfully request that the Planning Board defer action on these plans until a later date.

Sincerely,

Jim Fary

Jim Fary, Chair
Conservation Committee

... To explore, enjoy, and protect the nation's scenic resources...

James & Linda Karson
8205 Meadowbrook Lane
Chevy Chase, MD 20815
301-589-5770

RECEIVED
01137
JUL 18 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

July 18, 2001

Office of the Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20901

Via fax: 301-495-1320

RE: Meadowbrook Associates, Inc.
8200 Meadowbrook Lane, Chevy Chase, MD 20815
Meadowbrook Stables Proposed Improvement
July 19, 2001

Since 1984, we have been Meadowbrook Lane homeowners, living adjacent to and facing Meadowbrook Stables. We support the proposed Meadowbrook Stable improvements and truly appreciate the funding gift from Meadowbrook Associates, Inc. to the Maryland National Capital Park and Planning Commission and the community.

When the purchasing this house, we had concerns that the park and stables acreage might one day be replaced by residential construction—like so much other land in the area. We researched and were pleased to learn that the meadow and Meadowbrook Stables would be preserved because it is historic property of the Maryland National Capital Park and Planning Commission that has been leased as a stable since the 1930s.

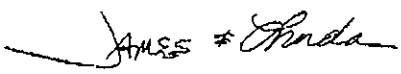
Finding this ideal location with a country-like setting, preserved on Rock Creek within a major metropolitan area that is just seven miles from the White House, was a key factor in our decision to purchase the house. Meadowbrook Stables has been a good neighbor to us for 17 years. We now have two daughters who love to visit the horses at the stables daily. Our lives are truly enriched by the preservation of this working stable across the street.

We believe that the proposed project will improve the landscaping, dust control, sound, and lighting at the stables. Moreover, the plans should enhance the aesthetics for participants, spectators, visitors, and the neighborhood. We view these enhancements as a way to preserve the equestrian experience for generations to come.

To those who oppose the generous gift for the proposed improvements we say—Meadowbrook Stables was in this neighborhood long before the houses were built. Any decision to buy homes in this area should have factored in the park, stables, and the activities that go with these sites.

One final recommendation to opponents—Don't look a million-dollar gift horse (stable!) in the mouth.

Sincerely,



James & Linda Karson

c: Honore D. Hastings, General Manager (fax 301-589-4553)



Sharrow - 1

July 17, 2001

Office of the Chairman
Montgomery County Planning Board
M-NCPPC
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
011138
JUL 18 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARKLAND PLANNING COMMISSION

Dear Gen. Holmes and Members of the Board:

I would like to voice my enthusiastic, unqualified support for proposed improvements by Meadowbrook Associates, Inc. to Meadowbrook Stables in Chevy Chase, MD.

My family lives approximately 1 mile from Meadowbrook Stables in Martins 4th Addition to Chevy Chase where my husband and I purchased our home in 1978. Because my children have been taking riding lessons at Meadowbrook Stables since 1989, I have long term, detailed, first-hand knowledge of the operation of this facility. This beautiful, historic property serves a unique and vital function in the Chevy Chase neighborhood and has provided my "city" children, and countless others, with the opportunity to know, to love, to care for, to learn about, and to ride horses.

Over the many years I have been involved with horses, I have come to realize that this facility is unique, not only because it is located in an urban area, but also because it serves a broader base of participants than most riding stables. Not only can students of all ages learn to ride horses, those with interest can participate in horse shows without the requirement of horse purchase. In addition, the current management has demonstrated a commitment to underserved members of the community through the FLOC and STEP/IHAD programs. The covered ring will be welcomed by those of all ages and abilities who ride at Meadowbrook Stables.

However, the positive impact of Meadowbrook Stables is not limited to those who participate in riding programs. Rather the facility serves and welcomes all citizens. Families with children of all ages visit the horses. I have seen children barely old enough to talk who know the horses' names. Walkers and bikers stop to watch the horses running and playing in the rings. Early weekend mornings joggers and bikers stop at Meadowbrook Stables to get water, use the restrooms and enjoy the horses. The pedestrian plaza and fountain will surely increase the non-rider enjoyment of the facility.

The citizens and taxpayers of Montgomery County are indeed fortunate that the current management of Meadowbrook Stables is offering to make so many needed improvements at no expense to the taxpayer. This is clearly a wonderful example of a public:private partnership. The plans reflect great concern for the citizens, the neighborhood and the

Sharrow - 2

environment. The improvements will preserve and enhance a unique, historic facility which serves so many of the citizens of Montgomery County. I urge the Board to accept this generous gift. Indeed, the long term value to the citizen's of Montgomery County will far exceed the initial value of the gift. Future generations of children from all backgrounds will be able to experience the special childhood experiences which Meadowbrook Stables has provided my children.

It is important that Meadowbrook Stables undergo the proposed improvements in order to preserve and enhance the functionality of this beautiful, historic facility which provides unique educational opportunities to our community's children, and which provides so much enjoyment to all those who pass by the facility. Because the proposed ring renovations will significantly reduce dust from the rings, I urge the board to use all means available to ensure that this facet of the renovations is completed as soon as possible.

The attachment outlines my views on specific aspects of the proposed renovations.

Sincerely,



Susan Sharrow
7208 Chestnut St.
Chevy Chase, MD 20815

Cc: Meadowbrook Associates

Sharrow – Attachment

Date: 07/13/2001

To: Members of the Montgomery Planning Board


The following are my responses to information presented and questions raised at the public meeting regarding Enhancements to Meadowbrook Stables which was held Monday, July 9, 2001.

1. The proposed work, most of it to be provided at no expense to Montgomery County taxpayers, is appropriate, has been planned with sensitivity to the neighborhood and the environment, and should be approved and completed as soon as possible.
2. Parking. This is not a part of the plans from Meadowbrook Associates, but is a critical matter which should be addressed by the Park Service. The installation of the new hiker/biker trail has effectively removed about 30% of the available parking for the stables. It was clear at the public meeting that all felt this was a problem. It was further clear that no solution would satisfy everyone. However, replacing the parking removed by the hiker/biker trail is imperative for safety reasons and to minimize parking in the surrounding neighborhood. Likewise, the Park Service should improve signage for the stable parking. The "Stable Parking Only" signs are only about 1 foot high, and routinely ignored by hikers and bikers on the weekend.
3. Kiosk. This structure is inappropriate and should be removed from the plans, or moved to a less visible location.
4. Ring Renovation. Meadowbrook Associates and the Park Service jointly plan to reconfigure and renovate the rings. This renovation will significantly reduce dust in the rings, will provide more ring watering capabilities (which will further reduce dust) and will also reduce light and noise in the immediate neighborhood. The ring renovation will provide significant, immediate improvement to the stable environment and should occur as soon as possible.
5. The perimeter fence. This feature is absolutely critical to provide an appropriate level of safety for motorists, pedestrians, neighbors of the stable and the horses who live at Meadowbrook Stables. The fence, as designed, will not block any of the current views. The objections that the security fence will prevent after closing access to the facility is invalid as it is my understanding that all park facilities are off limits after hours. There are no valid objections to this feature which outweigh the improved safety the fence will provide.

6. New Utility Building. This proposal is wonderful as it will eliminate the current unsightly view of shavings and manure that are an integral part of the stable operation. The trucks which deliver shavings and remove manure enter the facility during normal working hours so the proposed access for these vehicles (an existing road) is entirely appropriate and will further enhance the safety of stable visitors and patrons. The design of the utility building is excellent and compliments the historic barn structure.

7. The covered arena. The design is beautiful. The function is appropriate. The placement is wonderful as it compliments the barn without overshadowing it.

Thank you for the opportunity to express my views.


Susan Sharrow
7208 Chestnut St.
Chevy Chase, MD 20815

ATTACHMENT 77/19
1

MONTGOMERY COUNTY COUNCIL
ROCKVILLE, MARYLAND

OFFICE OF THE COUNCIL PRESIDENT

July 17, 2001

Mr. Arthur Holmes, Jr., Chairman
Maryland National Capital Park and
Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

RECEIVED
011135
JUL 17 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Art:

I am writing on behalf of a constituent of mine, Judith M. Koenick of Chevy Chase, Maryland, who, along with some of her neighbors, are very concerned about certain problems involved in the maintenance of the Meadowbrook Stables.

Apparently a meeting is scheduled to be held between the Planning Commission and Meadowbrook Associates on Thursday, July 19th, at 10:15 AM. Ms. Koenick feels that this does not allow the residents of the area time to prepare their comments or revise their schedules so they would be able to attend. She would very much appreciate having the meeting postponed. Is this possible?

In any case, I would appreciate it if you would have one of your staff members contact her to discuss her concerns. She may be reached on 301-518-1143. (She informed a member of my staff that she had tried to reach a member of your office by telephone but did not receive a return call.) Her address is: 2714 Washington Avenue, Chevy Chase, Maryland 20815.

Thank you for your assistance.

Sincerely,

Blair G. Ewing
Blair G. Ewing
Council President



152



MONTGOMERY COUNTY COUNCIL
ROCKVILLE, MARYLAND

OFFICE OF THE COUNCIL PRESIDENT

July 17, 2001

Mr. Arthur Holmes, Jr., Chairman
Maryland National Capital Park and
Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Dear Art:

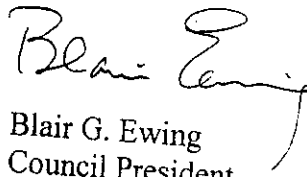
I am writing on behalf of a constituent of mine, Judith M. Koenick of Chevy Chase, Maryland, who, along with some of her neighbors, are very concerned about certain problems involved in the maintenance of the Meadowbrook Stables.

Apparently a meeting is scheduled to be held between the Planning Commission and Meadowbrook Associates on Thursday, July 19th, at 10:15 AM. Ms. Koenick feels that this does not allow the residents of the area time to prepare their comments or revise their schedules so they would be able to attend. She would very much appreciate having the meeting postponed. Is this possible?

In any case, I would appreciate it if you would have one of your staff members contact her to discuss her concerns. She may be reached on 301-518-1143. (She informed a member of my staff that she had tried to reach a member of your office by telephone but did not receive a return call.) Her address is: 2714 Washington Avenue, Chevy Chase, Maryland 20815.

Thank you for your assistance.

Sincerely,


Blair G. Ewing
Council President



*Thomas S. Goldbaum
Frances L. Wetzel
5012 Baltan Road
Bethesda, Maryland 20816*

July 16, 2001

Office of the Chairman
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland 20910

RECEIVED
011139
JUL 18 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Re: Proposed Development Plan for Meadowbrook Stables

Dear Sir:

We are writing to express our strong support of the proposed renovation and improvements to Meadowbrook Stables. This renovation represents an almost unparalleled enhancement of the Maryland park system's equestrian facilities and will benefit countless park users, both now and in the years to come. Meadowbrook Associates and Mr. Bradley are to be applauded for their community spirit, their commitment to the community's future, and – most certainly – their unprecedented generosity.

Our family has been a member of the Meadowbrook riding community for the past six years, when our oldest daughter first began taking lessons at the Stables. Our younger daughter started in the lesson program four years ago. Meadowbrook has consistently provided a safe and welcoming environment for our girls to learn equestrian skills. In addition, however, through Meadowbrook's teaching and community outreach programs, our daughters have learned many invaluable life lessons – lessons of responsibility, of caring, and of sharing with those less fortunate in one way or another than themselves. For these reasons, we were very excited to learn that

10

Office of the Chairman
July 16, 2001
Page 2

Meadowbrook Associates and the Park and Planning Commission were considering a renovation and expansion of the physical plant.

At the architect's presentation on Monday, July 9, 2001, both the beauty and the functionality of the project were immediately apparent. Each of the proposed new structures pays careful homage to the wonderful architectural detail of the historic barn building. We firmly believe that the finished project will be a visual feast.

In every respect, the proposed renovation represents a significant improvement to the facility and its ongoing operations – each of which will be enjoyed every day by countless area residents. Perhaps most importantly, many of these proposed changes will make the facility safer for its many users – most of whom are children. The perimeter fencing, the redirection of traffic out of the equestrian /pedestrian areas, and the improved lighting system are among the needed safety enhancements now under consideration.

The proposed renovations also will allow for a tremendous enhancement of Meadowbrook's riding program. The addition of the covered riding arena will permit riders to ride safely and comfortably even in inclement weather. For the hundreds of students enrolled in the lesson program, this is a significant and a much needed improvement. Finally, the proposed equestrian/pedestrian plaza would prove to be a welcoming resting-place for the many runners, walkers, and casual visitors who stop in the barn every day.

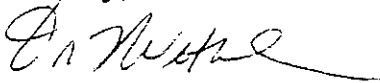
As native Washingtonians, we each often enjoyed the many offerings of the Meadowbrook and Pegasus stables. As parents, we take great pleasure in watching our own daughters participate in the wonderful teaching program at Meadowbrook. We are thrilled to see that, with the

Office of the Chairman
July 16, 2001
Page 3

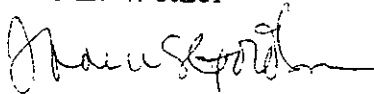
proposed renovation, this historic property will be restored to its original grandeur. More important than this link with the past, however, is the vital link that the renovation will provide to the future. At its heart, the proposed Development Plan envisions that this wonderful historic property will continue to be enjoyed by children and area residents, and remain an integral part of the community, for many, many years to come.

We commend Mr. Bradley and Meadowbrook Associates for their tireless efforts on behalf of the community, and urge the Commission to adopt the Plan.

Sincerely,



Frances L. Wetzel



Thomas S. Goldbaum

cc: Jerry Bush
Administrative Supervisor
Maryland National Park and Planning Commission
9500 Brunett Avenue
Silver Spring, Maryland 20901

7/19

#

8215 Larry Place
Chevy Chase, Maryland 20815
July 13, 2001

Chairman
Montgomery County Department of Park & Planning
Maryland - National Capital Park & Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

RECEIVED
011130
JUL 16 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Re: Meadowbrook Stables Proposed Development Plan

Sir:

This is to express my opposition to the development plans proposed for Meadowbrook Stables. I will not be able to attend the July 19 meeting in person. I have been a neighbor of Meadowbrook Stables for 18 years and I believe the present level of activity there has reached the limit of what this residential area can sustain.

I was not able to attend the July 9, 2001 public information meeting, but I did take time from my job to visit the planning office handling this project. Staff was extremely courteous and helpful in explaining the plans and what steps are contemplated to reduce the impact on our neighborhood.

However, I believe the basic assumption underlying the presentation of the project is fundamentally flawed: how will the owners of Meadowbrook Stables pay for the extensive proposed improvements without increasing revenues from classes and perhaps other commercial activities, such as enlarging their retail operation and/or opening a refreshments concession. We neighbors are assured that management of the stables will not increase levels of activity despite addition of a covered ring, three new paddocks, a formal jumping course, numerous viewing area and covered bleachers, information kiosk and additional parking. I have been informed that the stable management has said that they cannot increase the number of classes or students as they are limited by the number of horses that can be accommodated in the existing barn. However, I also understand that stable management has not made a formal commitment to this end, nor have they promised not to increase the number of school horses available by reducing the number of private horses boarded in the barn.

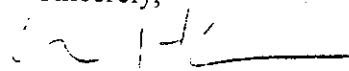
I am opposed to the plan as presented until we neighbors receive assurances on the following issues:

1. There will be no appreciable increase in the area of the leased premises used;
2. There will be no additional shows, indoors or outdoors, or commercial activity after the development;
3. The numbers of classes, hours and/or students or other activities will not increase;
4. Adequate steps have been taken to protect the surrounding grass and wooded land from the impact of additional development in the midst of an active flood plain. The current drainage area is unsatisfactory, with festering puddles and pond water that breeds insects during most of the summer.
5. Adequate provisions will be made for parking for visitors during shows and classes at current levels.

In the 18 years I have lived in this community, I have enjoyed the presence of the stables in the neighborhood and hope they will continue to operate at their present size and level of activity.

Thank you for your attention. Please call me at 301-589-5387 if I may provide further information.

Sincerely,



Martha H. Oppenheim

7/19
#1

8215 Larry Place
Chevy Chase, Maryland 20815
July 15, 2001

Chairman
Montgomery County Department of Park & Planning
Maryland - National Capital Park & Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

RECEIVED
JUL 16 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Re: Meadowbrook Stables Proposed Development Plan

Sir:

This is to express my opposition to the development plans proposed for Meadowbrook Stables. I will not be able to attend the July 19 meeting in person. I have been a neighbor of Meadowbrook Stables for 18 years and I believe the present level of activity there has reached the limit of what this residential area can sustain.

I was not able to attend the July 9, 2001 public information meeting, but I did take time from my job to visit the planning office handling this project. Staff was extremely courteous and helpful in explaining the plans and what steps are contemplated to reduce the impact on our neighborhood.

However, I believe the basic assumption underlying the presentation of the project is fundamentally flawed: how will the owners of Meadowbrook Stables pay for the extensive proposed improvements without increasing revenues from classes and perhaps other commercial activities, such as enlarging their retail operation and/or opening a refreshments concession. We neighbors are assured that management of the stables will not increase levels of activity despite addition of a covered ring, three new paddocks, a formal jumping course, numerous viewing area and covered bleachers, information kiosk and additional parking. I have been informed that the stable management has said that they cannot increase the number of classes or students as they are limited by the number of horses that can be accommodated in the existing barn. However, I also understand that stable management has not made a formal commitment to this end, nor have they promised not to increase the number of school horses available by reducing the number of private horses boarded in the barn.

159

I am opposed to the plan as presented until we neighbors receive assurances on the following issues:

1. There will be no appreciable increase in the area of the leased premises used;
2. There will be no additional shows, indoors or outdoors, or commercial activity after the development;
3. The numbers of classes, hours and/or students or other activities will not increase;
4. Adequate steps have been taken to protect the surrounding grass and wooded land from the impact of additional development in the midst of an active flood plain. The current drainage area is unsatisfactory, with festering puddles and pond water that breeds insects during most of the summer.
5. Adequate provisions will be made for parking for visitors during shows and classes at current levels.

In the 18 years I have lived in this community, I have enjoyed the presence of the stables in the neighborhood and hope they will continue to operate at their present size and level of activity.

Thank you for your attention. Please call me at 301-589-5387 if I may provide further information.

Sincerely,



Martha H. Oppenheim



Re: Meeting on Monday, July 9, 2001, 7:00pm-9:00pm

From:

Mr. Owen F. Powers
2810 Abilene Drive
Chevy Chase, MD
20815
301-587-9275

To:

The Maryland-National Capital Park and Planning Commission

Attention:
Office of the Chairman,
Montgomery County Planning Board
8787 Georgia Avenue, Silver Spring, MD 20901

RECEIVED
01120
JUL 13 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Chairman,

I regret not being able to attend the referenced meeting. Unfortunately this date is likely to be one that conflicts with vacation plans of other interested area residents. In spite of this, I would like to take the opportunity to contribute my opinion and observations in this letter as offered to do so in the meeting's announcement flier. I have questions concerning the scope of, and progress to date of, the proposed Meadowbrook Stables plans. I also request that this letter be read at that meeting, and that it be made part of the minutes of that meeting. In addition, I request that the minutes of the meeting be made available in a reasonable time period following the meeting.

My questions and comments are:

1) Is this proposed project the same as the project plan that was subject of a MNPPC Historic Landmark Commission hearing referred to as the "Demolition of shed and other building renovations at Meadowbrook Stable" or something to that effect?

2) If they are the same project plans, then what, if any buildings will be demolished? Are the minutes from that hearing available? Why wasn't that meeting advertised at least as diligently as this informational meeting?

3) Are the newly constructed trails and pond located along Meadowbrook Road and near the corral closest to Rock Creek part of the Meadowbrook Stables project?

4) Referring to the new trails and curb:

- Are the new trails meant to be used by horses and if so who is responsible for cleaning up after the horses?
- The construction of the trail's curb appears not to take into account any drainage considerations and the water runoff is flowing into the wooded area south of the existing corrals. Is that by design or does it need to be addressed?

5) Referring to the new pond:

- Is the pond operating correctly?
- Is the pond's design meant to have the discharge pipes submerged under the creek waters during rainstorms and then as a result, have those same pipes become intake pipes? This design results with the pond filling up with water from the creek. This has occurred, and the water runoff then flows into the adjacent road and then into the woods and ballfields south of the pond.

(161)

- Is the pond meant to be a publically accessible pond that would require compliance with Montgomery County Code (Section 36-3) i.e. requiring a fence and sign similar to those at the existing pond?

6) Since 1994 when my family moved to 2810 Abilene Drive the standing water and the dust generated from the lack of a properly functioning footing in the existing corrals have been persistent problems. Hopefully the new corrals will address those problems. Will a product be used in the new corrals like or similar to ARENA_RX that is designed to control the dust from the horse corral footing?

7) The standing water and resulting problems, especially the creation of more mosquito breeding grounds, have increased since the construction of the trail and pond. Are insecticides or pesticides used or plan to be used to control those problems? Will area residents be forewarned if chemicals are to be applied?

8) Last year, by Email, I reported dead and dying fish that I observed in Rock Creek to the Maryland EPA twice before inspectors were sent to investigate. Is there a better way to report problems associated with Rock Creek Park? I have not found out who the responsible party was that allegedly introduced the mosquito pesticide Permethrin into the waters of Rock Creek. That pesticide allegedly resulted in a total fishkill. How can I be assured that measures are being taken to prevent similar incidents from occurring?

9) The Meadowbrook Stables grounds are surrounded by archeologically important Native American workshops, camps and agricultural sites and have been designated as such by the National Historic Trust. Have all compliance associated with any construction around those sites been cleared with the National Historic Trust as well as the appropriate Federal and State of Maryland authorities who are mandated to be concerned with the protection of those sites?

In my opinion, having an employee of the MNPPC, the Montgomery County Archeologist, give the final and or only ok to proceed with construction around those sites, in all due respect, appears to be a case of "the fox watching the hen house." I believe an independent scientist or appropriate authority make any recommendation concerning construction on or near those historic sites and also define the extent of the area the sites might cover.

10) Finally, I would like to comment that I am happy to see the interest in preserving Rock Creek Park, one of the oldest National Parks. Any preservation project should also address environmental issues like those of the invasive plants and vines that have been destroying the woods in the vicinity of the Meadowbrook Stables. Also, the issue of the animal waste should be addressed since that would inevitably runoff from Meadowbrook Stables and into Rock Creek Park and ultimately the Chesapeake Bay Watershed.

The generous offer made by owner of Meadowbrook Associates, of donating funds, appears to be self serving and a conflict of interest, if the funds are used only for projects that the Meadowbrook Associates support and do not address some of the broader issues that have been outlined in this letter.

I am eager to elaborate on any of these issues and statements that I have made in this letter. I am also eager to listen to any proposed solutions and the proposals that will be put forth at the meeting(s) to be held regarding the Meadowbrook Stables renovation projects.

Sincerely,


Owen F. Powers

ATTACHMENT 77/19
#1

Re: Meeting on Monday, July 9, 2001, 7:00pm-9:00pm

From:

Mr. Owen F. Powers
2810 Abilene Drive
Chevy Chase, MD
20815
301-587-9275

To:

The Maryland-National Capital Park and Planning Commission

Attention:

Office of the Chairman,
Montgomery County Planning Board
8787 Georgia Avenue, Silver Spring, MD 20901

RECEIVED
07/12/01
JUL 13 2001

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Chairman,

I regret not being able to attend the referenced meeting. Unfortunately this date is likely to be one that conflicts with vacation plans of other interested area residents. In spite of this, I would like to take the opportunity to contribute my opinion and observations in this letter as offered to do so in the meeting's announcement flier. I have questions concerning the scope of, and progress to date of, the proposed Meadowbrook Stables plans. I also request that this letter be read at that meeting, and that it be made part of the minutes of that meeting. In addition, I request that the minutes of the meeting be made available in a reasonable time period following the meeting.

My questions and comments are:

- 1) Is this proposed project the same as the project plan that was subject of a MNPPC Historic Landmark Commission hearing referred to as the "Demolition of shed and other building renovations at Meadowbrook Stable" or something to that effect?
- 2) If they are the same project plans, then what, if any buildings will be demolished? Are the minutes from that hearing available? Why wasn't that meeting advertised at least as diligently as this informational meeting?
- 3) Are the newly constructed trails and pond located along Meadowbrook Road and near the corral closest to Rock Creek part of the Meadowbrook Stables project?
- 4) Referring to the new trails and curb:
 - Are the new trails meant to be used by horses and if so who is responsible for cleaning up after the horses?
 - The construction of the trail's curb appears not to take into account any drainage considerations and the water runoff is flowing into the wooded area south of the existing corrals. Is that by design or does it need to be addressed?
- 5) Referring to the new pond:
 - Is the pond operating correctly?
 - Is the pond's design meant to have the discharge pipes submerged under the creek waters during rainstorms and then as a result, have those same pipes become intake pipes? This design results with the pond filling up with water from the creek. This has occurred, and the water runoff then flows into the adjacent road and then into the woods and ballfields south of the pond.

(163)

- Is the pond meant to be a publically accessible pond that would require compliance with Montgomery County Code (Section 26-3) i.e. requiring a fence and sign similar to those at the existing pond?

6) Since 1994 when my family moved to 2810 Abilene Drive the standing water and the dust generated from the lack of a properly functioning footing in the existing corrals have been persistent problems. Hopefully the new corrals will address those problems. Will a product be used in the new corrals like or similar to ARENA_RX that is designed to control the dust from the horse corral footing?

7) The standing water and resulting problems, especially the creation of more mosquito breeding grounds, have increased since the construction of the trail and pond. Are insecticides or pesticides used or plan to be used to control those problems? Will area residents be inconvenienced if chemicals are to be applied?

8) Last year, by Email, I reported dead and dying fish that I observed in Rock Creek to the Maryland EPA twice before inspectors were sent to investigate. Is there a better way to report problems associated with Rock Creek Park? I have not found out who the responsible party was that allegedly introduced the mosquito pesticide Permethrin into the waters of Rock Creek. That pesticide allegedly resulted in a total fishkill. How can I be assured that measures are being taken to prevent similar incidents from occurring?

9) The Meadowbrook Stables grounds are surrounded by archeologically important Native American workshops, camps and agricultural sites and have been designated as such by the National Historic Trust. Have all compliance associated with any construction around those sites been cleared with the National Historic Trust as well as the appropriate Federal and State of Maryland authorities who are mandated to be concerned with the protection of those sites?

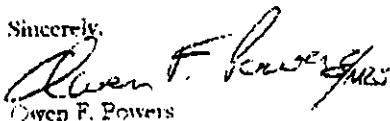
In my opinion, having an employee of the MNCPPC, the Montgomery County Archeologist, give the final and or only ok to proceed with construction around those sites, in all due respect, appears to be a case of "the fox watching the hen house." I believe an independent scientist or appropriate authority make my recommendation concerning construction on or near those historic sites and also define the extent of the area the sites might cover.

10) Finally, I would like to comment that I am happy to see the interest in preserving Rock Creek Park, one of the oldest National Parks. Any preservation project should also address environmental issues like those of the invasive plants and vines that have been destroying the woods in the vicinity of the Meadowbrook Stables. Also, the issue of the animal waste should be addressed since that would inevitably runoff from Meadowbrook Stables and into Rock Creek Park and ultimately the Chesapeake Bay Watershed.

The generous offer made by owner of Meadowbrook Associates, of donating funds, appears to be self serving and a conflict of interest, if the funds are used only for projects that the Meadowbrook Associates support and do not address some of the broader issues that have been outlined in this letter.

I am eager to elaborate on any of these issues and statements that I have made in this letter. I am also eager to listen to any proposed solutions and the proposals that will be put forth at the meeting(s) to be held regarding the Meadowbrook Stables renovation projects.

Sincerely,


Owen F. Powers



MEADOWBROOK
Stables

November 9, 2001

Dear Neighbor:

This letter follows up on the September 24 public meeting concerning Meadowbrook's proposed renovation project. As you know, it has always been and continues to be most important to Meadowbrook and its owner David Bradley to maximize the total community welfare with this project. Your comments and concerns expressed over the past few months have played an important role in helping us to get a feel for the collective sense of this community, and we all appreciate the time and attention you have given to this project. Over the past several weeks we have attempted to find ways to incorporate your feedback and to adapt our plans to accommodate your goals.

During this process, two facts have become self-evident: First, there is a great diversity of interests in the neighborhood, and second, the task of finding "A+" answers to each of your concerns is complex, maybe impossible. We hope we have arrived at a plan that addresses the largest concerns, preserves that which you may like most about the property, and continues to meet our operating needs.

At the September 24 meeting, we learned that neighbors want to be more involved in the activities at the Stables. To achieve this result Meadowbrook is adopting the following programs and policies, effective immediately.

A. Quarterly Neighborhood Afternoons at the Stables

Every quarter, we will invite you to come spend an afternoon with us at the Stables. Bring your families and spend time enjoying the Stables, interacting with the horses and getting to know our staff. Look for details of our first neighborhood afternoon in the near future.

B. Priority Registration for Group Lessons

Beginning with our next registration, we will make a certain number of group lesson spaces available for neighbors on a priority registration basis. We hope to develop a list of families who have been closed out of our programs in the past (prior to the

165

registration) so that we can plan our group lessons accordingly. Please let us know if you wish to be on this list.

C. Regular Informal Conversations with Immediate Neighbors

For those of you most directly impacted by our operations, we would like to invite you to participate in regular conversations with us to discuss issues that concern all of us. We hope that these conversations will be in addition to, and not in place of any other communication. You are always welcome and, in fact, invited to contact our General Manager, Honore Hastings, with any questions or concerns about the Stables.

In addition, you are invited to join our newly created e-group by e-mailing MB-Neighbors@yahoogroups.com. If you prefer to communicate privately with us, you may e-mail MB-Neighbors-owner@yahoogroups.com. We will use this e-group to share information about lessons, Neighborhood Days, and other matters we believe will be of interest to you, and we hope you will use this e-group to share your thoughts with us.

The remainder of my letter outlines our responses to issues raised since we first presented the renovation plans at a Public Information Meeting on July 9. Some responses represent changes to the plans originally presented (Section I). In addition, we are providing you with written assurances based on the list generated at the September 24 public meeting (Section II). Finally, at various points, some of you have asked questions that we could not fully answer. We have included those questions and the answers in Section III.¹

I. CHANGES/ADDITIONS TO THE PLANS IN RESPONSE TO NEIGHBOR CONCERNS.

The original plans described renovations that included, generally, the reconfiguration of the existing riding rings; re-designed footings, irrigation, electrical and sound systems for those rings; restoration of the historic farrier shed; relocation and replacement of the existing manure and shavings sheds with a building designed to be more efficient and to blend with the architectural style of the barn; construction of a covered riding ring, also designed to match the architectural style of the barn; and installation of a number of safety features (perimeter fencing, gates, horse-safe footings, lighting, etc). The points below list the changes, additions and/or deletions to the original plans that we will make in response to neighbor concerns.

¹ In various places throughout this letter, we refer to the Maryland-National Capital Park and Planning Commission (the "Commission"). Although we have tried to accurately state the Commission's views, we do not speak for the Commission. In particular, the Commission must speak for itself on matters of policy and on decisions that affect the commitment or allocation of public resources.

A. Layout of the Premises and Aesthetics

1. Eliminate (instead of relocating) the existing second entrance road (presently across from Washington Avenue).
2. Move the covered ring north by 20 feet (by moving the administrative space from the south end to the north end of the structure).
3. Maintain the "plaza" as a car-free zone to provide safer travel for horses and pedestrians, but reduce the "attractiveness" of it.
4. Reduce the size of the kiosk, from a four-sided structure to a two-sided structure, and place it in a manner that does not interfere with the view of the barn from the neighborhood.
5. Eliminate proposed new trees along Meadowbrook Lane to preserve the neighbors' view of the paddocks and the horses.
6. Leave a 50-foot buffer between Rock Creek and the perimeter fencing.
7. Leave perimeter/paddock fencing natural, instead of painted white.
8. Plant trees in front of the interior parking lot and at other locations to maximize the "rustic charm" and "woody feel" of the premises and reduce visibility of parking area.
9. Use other landscaping and design elements to support rustic/woody feel of the Stables.
10. Install horse-safe rubberized footings in "plaza" area, but choose muted design and colors.
11. Simplify the fountain.

B. Traffic/Safety

1. Install stop-signs (3-way) at Washington Avenue intersection
2. Install a pedestrian crosswalk between the Stables' east parking lot, and the pedestrian entrance to the Stables (nearest the barn).
3. Support greater enforcement efforts by Park & Planning Police.
4. Conduct an education campaign for our students concerning the speed-limit and pedestrian safety.
5. Encourage car-pooling by students/parents.
6. Continue to work with the neighbors and the Commission to develop effective solutions to general Park traffic, safety and parking issues.
7. For the three (3) Washington Bridle Trails Association ("WBTA") horse shows each year, we will work with the Commission to identify sufficient parking space to avoid the need for participants to use the neighborhood streets for parking.
8. Require WBTA to retain traffic control officers and/or supplement the WBTA volunteers to direct traffic and parking during horse shows.
9. Require WBTA to educate its patrons about traffic hazards and parking restrictions in the neighborhood.
10. Provide 20-25 spaces of over-flow parking for students in the interior of the Facility to avoid students parking in the neighborhood when the Meadowbrook Lane lot is full.

11. Secure additional off-street parking for students during registration, provide staff to direct parking at those times, and advise students/parents not to park in the neighborhood at any time.
12. Coordinate with the Commission's scheduling for Candy Cane City Shelter and/or ball-field events to avoid holding WBTA horse shows, and/or Stables' lesson registration on days when other large events are scheduled.

C. Environmental Concerns

1. Plant more trees than we remove, but at locations designed not to block the neighbors' views of horses.
2. Plant trees/shrubs in accordance with Chesapeake Foundation recommendations in the buffer zone between Rock Creek and the perimeter fencing to assist in soil retention and reduce sediment run-off.
3. Choose tree types, size and planting location with input from neighbors.
4. Undertake to care for and maintain the trees we plant to protect them from diseases and the spread of poison ivy, etc.
5. Install child- and horse-safe fencing around the storm water management pond created by the Hiker/Biker Trail. (Permission to do this has already been requested.)

II. ASSURANCES FROM MEADOWBROOK ASSOCIATES, INC.

A. Business – Usage

As a response to neighbors' concerns that traffic and congestion will increase because of the expected increased "attractiveness" of the renovated premises, we offer the following assurances that may be added to our lease for a minimum of five years, as a condition to operating:

1. For as long as Meadowbrook Associates, Inc. ("MAI") is the leaseholder, MAI will adhere to its present mission, which is two-fold: 1] to operate a riding lesson program open to the general public and to groups who might not otherwise have the opportunity to ride or learn about horses, including kids who live in the city and kids with debilitating illnesses, in a supportive, friendly and inclusive atmosphere; and 2] to provide excellent care for all the animals in its charge throughout every stage of their lives.
2. MAI will continue to be responsive to opportunities for children in need to participate in MAI's programs – without regard to ability to pay.
3. If the proposed plan is approved, MAI will commit to at least a five-year lease term for the premises.
4. After the renovations are complete, MAI will maintain the same hours of operations as before the renovations. These hours will fluctuate depending on the season (as they always have), but they will not be permanently expanded or reduced.
5. After the renovations are complete MAI will hold no more than eighty (80) group lessons per week.

- 6. After the renovations are complete, MAI will maintain its current class size policies.
- 7. MAI's usage of the premises and specific programs will continue consistently with pre-renovation usage and programs.
- 8. MAI will not hold more than the current three (3) horse shows per year on the premises.
- 9. MAI will not increase the number of horses living on the premises.
- 10. MAI will take prudent and reasonable steps to assure the security of the premises, including the covered ring.

B. Traffic and Parking

- 1. MAI will educate its students, parents, and employees concerning the importance of driving slowly and safely on Meadowbrook Lane.
- 2. MAI will educate its students, parents and employees concerning proper parking on the premises.
- 3. MAI does not want the Stables to become a tourist attraction, and will not take steps that could reasonably be expected to create a tourist attraction.
- 4. MAI will continue to support and participate in Commission efforts to create a comprehensive parking plan that addresses the needs of the neighborhood, general Park users, and the Stables.
- 5. MAI will comply with all applicable laws, regulations and procedures, both in completing the renovations and in operating the facility in the future. This includes all required archeological and environmental requirements, among other things.

C. Environmental Concerns

- 1. The reconfiguration of the existing riding rings, together with the re-designed and upgraded irrigation systems, drainage systems and footings, will substantially improve current dust, standing water and runoff conditions.
- 2. MAI will work with the Commission to control the opportunities for mosquitoes to breed on the premises, in accordance with Commission guidelines.

III. ANSWERS TO QUESTIONS THAT REQUIRED RESEARCH

Q. Did the Commission comply with governing laws relating to archeological preservation when it completed the expansion of the storm/water management pond this Spring?

A. Yes. The Commission submitted the project to all appropriate offices for review. When a neighbor raised the possibility that archeological artifacts may have been found at the worksite, the Commission called in two different archeologists to review the claim and inspect the worksite. They concluded that the rocks removed from the worksite had no archeological significance, and determined that the pond work was properly completed.

Q. Is the Storm Water Management Pond functioning properly?

A. Yes. In response to neighbor inquiries concerning the pond, the Commission engineers, as well as our engineers met and assessed the function of the pond. They all concluded that it is functioning as it was designed to function.

Q. Will the road to Candy Cane City (and other parts of the Park) continue to flood?

A. Yes. The storm water management pond was never intended to prevent flooding. The Park is located in a flood plain along Rock Creek. When Rock Creek rises, the area will flood. This is part of the natural function of Rock Creek and the flood plain.

Q. What will happen to the Stables if David Bradley leaves? Are there any restrictions on future uses of the Stables?

A. There is no absolute prohibition against changing the use of the facility after the end of MAI's lease. As long as MAI's lease is in effect, the leaseholder is obligated to operate a riding program open to the public. There are 4 years remaining in the current term of the lease, and MAI has an option to extend the current lease for an additional five (5) years. MAI also has the right to terminate the current lease with one (1) year of notice. MAI will seek certain changes in a new lease, primarily to the rent structure and the capital improvement provisions. MAI will not seek to change any of the current restrictions on the size or volume of its business operations, or to make any changes inconsistent with the assurances offered above.

If MAI leaves the premises, the Commission could theoretically find an adaptive use for the facility, but it would not do so until it first exhausted all possibilities of finding another Stables operator or self-operating the facility with Commission staff. There are two reasons for this. First, the barn and the farrier shed are historic buildings, and thus they could not easily be converted, demolished or removed. Also, although the existing rings could be converted to soccer or baseball fields, it would require a substantial effort, and substantial funds to do so.

Second, although there is no prohibition on changing the use of the property, there are restrictions. Specifically, before the Commission or anyone could change the use of the premises, the proposed change would have to be submitted to and approved by the National Capital Planning Commission – a federal agency.

The Commission is not likely to pursue such a change of use unless it cannot find another suitable operator when MAI's lease ends. In completing the renovation plans, MAI has designed the improvements with an eye to making the property easier to maintain and operate, so that when MAI leaves the premises in the future, the Commission will be more likely to be able to attract a new Stables operator.

Q. What is going to be done about the current traffic and parking problems?

A. The Commission is presently conducting a traffic and parking study of the whole Park area, including the Stables, Candy Cane City, the Hiker/Biker Trail, and the Meadowbrook Maintenance Facility. When the study is complete, the Commission will consider both short-term and long-term solutions to the problems as identified by the study. The Commission has assured us that it will work with us and the neighbors to adopt solutions that best meet everyone's needs. We are committed to participating in this process and cooperating with the Commission, Park users, and neighbors to find solutions that maximize the total community welfare.

We hope that with our commitment to the changes and assurances described above, you may decide to support our renovation plans. Most importantly, we hope that you come away from this process with a firm belief in our desire to be good neighbors, and our commitment to continue serving you to the best of our ability. We look forward to hearing from you by e-mail, phone or letter. Our contact information is listed below.

Thank you again for all your patience and your efforts to work with us.

Sincerely yours,



Kerry M. Richard

Ms. Honore Hastings
General Manager
Meadowbrook Associates, Inc.
8200 Meadowbrook Lane
Chevy Chase, MD 20815
(301) 589-9026
(301) 589-4553 (FAX)
e-mail: hastingshd@aol.com

Ms. Bonnie Williams
1300 Army Navy Drive, Apt. 503
Arlington, VA 22202-2007
(703)- 920-9039
(703) 920-7822 (FAX)
e-mail: bjwms@erols.com

Ms. Kerry Richard
Tobin, O'Connor & Ewing
5335 Wisconsin Avenue, Suite 700
Washington, DC 20015
(202) 362-5900
(202) 362-5901 (FAX)
e-mail: kmrichard@dstlaw.com

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

November 14, 2001

MEMORANDUM

TO: Jerry Bush, Administrative Supervisor
Department of Park and Planning

FROM: Ronald C. Welke, Supervisor
Transportation Planning *R. Welke*

SUBJECT: Meadowbrook Stables-Parking Analysis

In response to your request, I have reviewed the availability of parking for the Meadowbrook Stables facility and also the adjacent park facilities, including Candy Cane City, the recreation center, and nearby ballfields.

Based upon my review of the proposed plan for modification to Meadowbrook Stables, I am satisfied that parking for their typical activities can be accommodated on-site and with exclusive "permit" use of the existing 22 spaces across Meadowbrook Lane from the complex. These spaces should be clearly signed for "Stable Parking Only" and enforced by Park Police. Additional parking for special events, held three to six times per year, can also be handled on-site by using the grass area north of the stables and some "unofficial" parking areas typically used for employee parking and storage.

In order to meet the parking needs of users of the hiker-biker trail; the availability on weekends of the maintenance depot's employee parking lot outside the fenced area should be pursued. This lot is conveniently located near the hiker/biker trail and will provide 68 additional parking spaces for this use. Parking in the residential neighborhood should be discouraged by all users at all times.

Additional paved parking for the recreation center, Candy Cane City, and the nearby ballfields could be provided by using existing grass areas next to the entrance road and Beach Drive. However, these grass areas are now used informally during periods of peak activity and continued use in this manner may be a more desirable alternative.

RCW:cmd

Meadowbrook Stables.doc


THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Department of Park and Planning, Montgomery County, Maryland
9500 Brunett Avenue • Silver Spring, Maryland 20901

October 17, 2001

MEMORANDUM

TO: Ron Welke

FROM: Jerry Bush, Administrative Supervisor 

SUBJECT: Parking Analysis - Meadowbrook Local Park & Vicinity

Per our previous conversation, I would like you to do a parking analysis of the Rock Creek Stream Valley Unit #2 in the vicinity of Meadowbrook Local park, Meadowbrook Stables, and Meadowbrook Maintenance Yard. Attached for your use in performing this analysis are the following documents:

- Map showing the area in question with associated facilities including parking areas.
- Information chart on the Commission-operated facilities in the area.
- A separate submission from the stables operator, Meadowbrook Associates, Inc. (MAI), describing stables operations.
- The results of a traffic analysis conducted by MCV Associates during the week of 9/16/01-9/22/01.

Prompting the need for this analysis is a proposal from MAI to perform significant improvements to the stables including the addition of a covered riding ring. Some neighbors have cited existing problems with parking spillover into the neighborhood streets off Washington Avenue. They have serious concerns that the stables project will only exacerbate these problems, despite assurances from MAI that programs will not be expanded. Current problems include the following.

- Early arrivers for hiker-biker trail use take parking spaces across the street from the stables, convenient to the trail, forcing stables patrons to use neighborhood streets, park illegally along Meadowbrook Lane, or park at and walk from the parking lot near the recreation center.
- Any stables use in excess of regularly scheduled programs, such as lesson/class registration, brings in far too many cars for the 22 space lot across from the stables

to handle. Riding shows, which occur three weekends per year, are another such example. Trucks with horse trailers use the grass area just north of the stables. Cars are directed by stables staff to the employee lot at the maintenance yard and wherever they can find legal parking.

- Though prohibited by a Settlement Agreement between the Commission and selected complainants from the Rock Creek Forest community, the employee parking lot next to the maintenance yard is unofficially used (evenings and weekends) for trail parking and some overflow parking from the stables (as described above). The Commission has proposed to the neighborhood to seek an official amendment to the Settlement Agreement to permit use of this lot on a regular basis to alleviate current parking problems as well as to head off future problems anticipated by the neighborhood.

- Illegal parking in the vicinity of the ballfields and recreation center at "Candy Cane City" is common. Particularly heavy use in this area causes people to park illegally along Meadowbrook Lane as far out as the lower riding ring of the stables. I recently drove through this area and found that all designated parking spaces and all available grass areas next to the ballfields and recreation center including much of the parking lot across the bridge were taken, due primarily to an event at the recreation center. No other permit use and very little drop-in use of the other facilities was going on at the time.

- We have no counts on how much parking can be attributed to hiker-biker trail use. Trail users can gain access to the trail at several locations along Meadowbrook Lane or Beach Drive convenient to parking. A recent observation by stables' staff revealed that the employee lot at the maintenance yard was parked to capacity for what appeared to be an unsanctioned trail ride event.

In conversations and meetings with the neighbors, we have offered up several suggestions for mitigating the existing parking problems including the following.

- As above, officially amend the Settlement Agreement regarding the use of the maintenance yard employee lot and direct the public to use this lot either regularly or when other lots are full.

- Work with the Park Permits Office in ensuring that the recreation center and ballfields are not permitted on weekends that horse shows are held at the stables (requires one-year notice in advance of designated seasons for ballfield use or individual dates for recreation center use).

- Use the grass area above the stables during lesson registration and at other times when it is known that parking conflicts may occur.

- Through signing and education, direct trail users to lots along Beach Drive that provide convenient trail access.



- Require the stables to provide and pay for traffic control and parking enforcement by our Park Police officers during horse shows.

Therefore, I am asking you to evaluate the parking situation in view of these proposed measures.

I hope this information is sufficient to enable you to perform this analysis. If you need additional information or clarification, please call.

Attachments



10/17/01

FACILITY INFORMATION - MEADOWBROOK LOCAL PARK AND VICINITY

Meadowbrook Local Park - Meadowbrook Lane

FACILITY	HOURS OF OPERATION	CAPACITY	PARKING	PROGRAM NOTES
Recreation Center	10 AM-11 PM	150	67 spaces - shared w/ballfields, playground, basketball, & tennis + 20 spaces across bridge on Beach Drive	<ul style="list-style-type: none"> - Used primarily weekday evenings and weekends - Rec uses it M-F throughout summer during the day - Weekend use very heavy - Use by permit only
Baseball Field #1 (youth)	9 AM-Dusk April-Nov ¹	No defined limit ²	Same as above	<ul style="list-style-type: none"> - Adult play precludes use of both softball fields - Used primarily on weekday evenings and weekends
Softball Fields #2 & #3	9 AM-Dusk April-Aug ¹	No defined limit ²	Same as above	<ul style="list-style-type: none"> - Football overlay precludes softball use in fall - #3 field held for recreation center permittees, 2-6 PM (weekends only) - #2 field can't be permitted to adults if #1 baseball is in use - Used primarily on weekday evenings and weekends
Football (overlay on softball fields #2 & #3)	9 AM-Dusk Sept-Nov ¹	No defined limit ²	Same as above	<ul style="list-style-type: none"> - Used only in fall - Use precludes use of softball #2 & #3
Soccer #8 (youth)	9 AM-Dusk April-Nov ¹	No defined limit ²	Same as above	<ul style="list-style-type: none"> - Permitted for youth games or practices
Playground	Dawn-Dusk	No Defined Limit ²	Same as above	
Basketball Courts (2)	Dawn-11PM	40-50 (est)	Same as above	<ul style="list-style-type: none"> - Courts lighted for night play
Tennis Courts (4)	Dawn-11 PM	16-20 (est)	Same as above	<ul style="list-style-type: none"> - Courts lighted for night play

1 - Hours and seasons facilities can be permitted

2 - No means of controlling or determining maximum number of participants or spectators - 50 spaces per ballfield is a recently applied standard

FACILITY INFORMATION - MEADOWBROOK LOCAL PARK & VICINITY (cont)

Meadowbrook Local Park - Beach Drive

FACILITY	HOURS OF OPERATION	CAPACITY	PARKING	PROGRAM NOTES
Softball Fields (3)	9 AM-Dusk April-Nov ¹	No defined limit ²	21 spaces 8-10 additional spaces is possible	- Ready access to Meadowbrook Lane facilities via hiker-biker trail or vice versa - Used primarily weekday evenings and weekends

Rock Creek Stream Valley Unit #2

FACILITY	HOURS OF OPERATION	CAPACITY	PARKING	PROGRAM NOTES
Hiker-Biker Trail East West Hwy to District	Dawn-Dusk	No defined limit ²	No dedicated parking- access from any parking lots along Meadowbrook Lane and Beach Drive	- Connects major hiker-biker route extending north to Rockville and south to and into DC
Soccer Fields (2)	9 AM-Dusk April-Nov	No defined limit ²	42 spaces	- Location near East West Highway somewhat isolates this field from other facilities - Used primarily on weekday evenings and weekends

1 - Hours and seasons facilities can be permitted
 2 - No means of controlling or determining number of participants or spectators - 50 spaces per ballfield is a recently applied standard

FACILITY INFORMATION - MEADOWBROOK LOCAL PARK & VICINITY (cont)

Meadowbrook Lane - Other

FACILITY	HOURS OF OPERATION	CAPACITY	PARKING	PROGRAM NOTES
Meadowbrook Maintenance Yard	6:45 AM-3:30 PM M-F	- currently 74 employees - total capacity unknown	68 spaces - employee lot outside fence 14 spaces - employee and visitor lot inside fence	- Use of employee lot (outside fence) is currently restricted to business hours for yard by a Settlement Agreement with the Rock Creek Forest community - Trail access convenient from this lot; stables access somewhat distant but practical
Meadowbrook Stables	Provided under separate cover	Program capacity limited contractually by # of horses stabled and by industry practices affecting use and treatment of horses	22 spaces (lot across Meadowbrook Lane) Employee parking is on stables grounds	- Program information provided under separate cover

1 - Hours and seasons facilities can be permitted

2 - No means of controlling or determining number of participants or spectators - 50 spaces per ballfield is a recently applied standard

Meadowbrook Associates, Inc.
OPERATIONAL STATEMENT

At the request of the Maryland-National Capital Park & Planning Commission (the "Commission"), Meadowbrook Associates, Inc. ("MAI") submits this Operational Statement setting for Meadowbrook Stables, 8200 Meadowbrook Lane, Chevy Chase, MD 20815 (the "Facility"). This statement describes the available parking space at the Facility, and MAI's parking needs. In addition, it describes the methodology and results of a two-week survey of Facility parking, conducted from September 28, 2001 through October 14, 2001. Finally, this statement analyzes the potential impact of the proposed renovations on the parking situation at the Facility.

DESCRIPTION OF THE FACILITY'S CURRENT PARKING SPACE

The Facility currently contains three designated parking areas. The first area ("Lot 1") is located on the east side of Meadowbrook Lane, across from the barn. Lot 1 is an improved, off-street lot, containing 22 lined parking spaces, and it is currently designated as "Stables Only" parking. There is no method or effort to enforce the "Stables Only" directive.

The second area ("Lot 2") is located in front of the barn, on the west side of Meadowbrook Lane. For at least the past ten (10) years, Lot 2 has consisted of an off-street, unlined parking area, sufficient to hold approximately 9 cars. This past spring, the hiker/biker trail was installed across the entrance to Lot 2. As a result, cars parking in Lot 2, must turn in and back out across an active pedestrian path. To minimize the risk of accidents, Meadowbrook has discouraged the use of Lot 2 by its patrons, but some cars park in Lot 2 daily. Once again, there is no method or formal effort to regulate who parks in Lot 2. Lots 1 and 2 contain a total of 31 spaces and are the only lots presently used by customers of the Facility.

The third parking area (the "Employee Lot") is currently a shared-use area located in the interior of the Facility. The Employee Lot contains space for up to 16 cars and 2 horse trailers to park. Technically, the area could hold up to 20 more cars, but riding students (mostly children) and horses must cross through the area to get from the barn to the riding rings, and thus, for safety reasons, MAI restricts the use of this parking area to Employees and others who have been duly alerted to the presence of children and horses. MAI staff supervises and regulates parking in the Employee Lot.

DESCRIPTION OF MAI'S CURRENT PARKING NEEDS

Employee Parking

MAI operates a working 55-horse barn 7 days a week, and 365 days a year. The minimum number of employees required to care for the horses' daily needs is 6. One of those employees lives on the premises, and the others are generally scheduled to work from 5:00am to 2:00pm. Two workers are scheduled to work in the barn from

approximately 2:00pm until the close of business daily. Thus, even on days when the Facility is closed to the public, MAI requires 6 employee parking spaces daily.

MAI maintains office hours from 11:00am to 7:00pm Tuesday through Friday, and from 8:30 am to 3:00pm on Saturday and Sunday. There is an average of 3 people scheduled to work in the office during office hours. Thus, MAI requires 3 additional employee parking spaces during office hours, bringing the total to 9.

In addition, MAI teaches horseback-riding in a group lesson program open to the public on Tuesday through Friday afternoons (between the hours of 3:30pm and 9:30pm), and Saturday and Sunday mornings (between 8:30am and 1:30pm). A copy of the weekly lesson schedule is attached at Exhibit 1. Peak lesson hours occur between 5:00 pm and 7:00 pm on Tuesday, Thursday and Friday, and between 10:00 am and 11:00am on Saturday and Sunday. During peak lesson hours, MAI employs 4-6 instructors, who park in the Employee Lot. Two of the instructors are full-time employees whose cars are already included in those counted above. Instructors arrive for work after the primary barn help has left for the day. Thus, at the busiest times, a maximum of 11 employees are working, and parking in the Employee Lot.

Customer Parking

Approximately 350 students ride in the group lesson program each week, but the maximum number of students who ride at any one time is 23. This occurs on Fridays at 5:00pm. On Tuesday and Thursday from 5:00pm to 7:00pm, there are as many as 21 students riding. Assuming for the sake of analysis that every student drives to lessons in a separate car, there are sufficient spaces to accommodate all students between Lot 1 and Lot 2 (which offers a total of 31 spaces). In practice, many students do not require parking.¹ Parents often drop their children off for lessons and return to collect them after the lesson. In addition, students frequently carpool to and from lessons. As a result, while a simple count of the number of students provides a worst case parking scenario, it is not an accurate indicator of normal parking needs.

Special Events

Three weekends per year, one in May, one in July, and one in October, MAI hosts the Washington Bridle Trails Association ("WBTA") horse shows. During these events, MAI students, as well as other local area riders come to the Facility to compete in various riding classes held throughout the weekend.

During the WBTA horse shows, the Employee Lot is dedicated to large horse trailers, and MAI's employees park their cars on the grass west of the barn. Other horse trailers also park on the grass on the field north of the barn. At past shows, exhibitors and spectators have parked cars in Lots 1 and 2. In addition, some cars have parked on the field north of

¹ For example, according to MAI's two-week parking survey, on Friday evenings at 5:30pm, when 23 students are scheduled to be riding, the average number of cars parked was 15.5.

the barn, on the neighborhood streets surrounding the Facility, and in the Meadowbrook Maintenance Facility lot (located approximately 100 yards to the south of the Facility).

In response to recent neighbor concerns about traffic congestion and safety on Meadowbrook Lane during horse shows, WBTA and MAI implemented a different parking plan for the most recent horse show, held on October 20-21, 2001. Approximately four weeks before the horse show, WBTA sent parking information and a map to everyone on WBTA's mailing list. WBTA posted 3 parking signs at different locations at the Facility, and finally, WBTA recruited 3 volunteers to direct traffic, starting at 6:30am, and continuing until 10:00am each day. One person greeted incoming trailers and cars, directing trailers to park in the field north of the Barn, or in the Employee Lot, and directing cars to park in Lot 1, in the northern-most part of the field north of the barn, or in the paved lot located south of the Facility at the Meadowbrook Maintenance Facility. A second person worked at Lot 2, which was converted to a rider drop-off area in which parents were permitted to stop and unload children and gear before moving to more remote parking. The third volunteer stood at the intersection of Washington Avenue and Meadowbrook Lane and asked cars not to park on the neighborhood streets. After 10:00am and throughout each day, at least 1 volunteer continued to roam through the parking areas to observe and address any potential parking problems.

There was sufficient parking for all horse trailers, exhibitors and spectators all weekend, without resorting to neighborhood street parking.

TWO-WEEK PARKING SURVEY: Methodology

Between September 28, 2001 and October 14, 2001, MAI attempted to record the total number of cars parked in Lot 1 and Lot 2 every half hour, starting at 10:00am and ending at 8:00pm, Tuesday through Friday, and from 8:00am through 2:00pm Saturday and Sunday. MAI then determined the average number of parked cars for each half hour period, for each day of the week. A table showing the averages is attached at Exhibit 2.

CONCLUSIONS FROM SURVEY

At no point did the average number of cars in Lots 1 and 2 combined exceed the available number of spaces. On Sunday September 30, 2001, there was a Cancer Walk in the Park, which noticeably increased the number of cars parked in Lots 1 & 2, and on the surrounding streets. In particular, at 10:00am and 11:00am on that day, the total number of cars parked in Lots 1 & 2 reached its high point for the survey of 30 cars. Although MAI has no ability to determine the identity or purpose of car parkers, it is clear that at least some of those cars were not associated with the Facility, as the maximum number of people riding between 10:00am and 11:00am was 20.

Although the total number of MAI students riding at any one time never exceeds 23, and is usually much lower, the total number of cars parked did exceed 23 on both Saturday and Sunday mornings.

PROJECTED IMPACT OF PROPOSED RENOVATIONS ON FACILITY PARKING

MAI Parking Needs: Employee Parking

Assuming MAI's renovations are approved and completed, its needs for employee parking should remain constant. MAI has no plans to increase its business or its number of employees. Thus it expects to need parking for a maximum of 11 employees at a time, plus 2 horse trailers.

Customer Parking

Once again, MAI does not expect to increase the number of students riding at the Facility, so its demand for customer parking should remain fixed. Nevertheless, the parking configuration will change. After the renovations, Lot 2 will no longer exist. Thus, there will be only 22 spaces for cars along Meadowbrook Lane, a loss of 9 spaces.

Even with the loss of the Lot 2 parking spaces, MAI will be able to accommodate all its parking needs. Lot 1 will continue to hold 22 cars. In addition, part of the proposed renovations includes the relocation of the Employee Lot to the south end of the property. As proposed, that Employee Lot will hold 18 cars, more than MAI requires at its peak usage time for employees. In addition, although MAI does not plan to construct another exclusive parking area in the interior of the premises, there is space in the current design for up to an additional 20 cars to park safely when necessary. See modified site plan attached at Exhibit 3. Based on the survey, MAI does not believe that it will need to use the additional parking on a regular basis. Nevertheless, if Lot 1 fills up, MAI will have 25 - 30 extra spaces it can make available in the interior of the Facility on an as-needed basis to keep its customers from having to park in the neighborhood.

If parking demands at Lot 1 grow (because of an increase in non-Facility users) to the point that it is full on a regular basis, MAI is prepared to provide regular parking for its customers who board or lease horses at the Facility in the Employee Lot. There is an average of 14 customers who either board or lease, and the movement of that many customers to the interior lots should ease any potential congestion in Lot 1.

MAI believes that Lot 1 alone would be sufficient to meet its normal operating parking needs, if it could simply enforce the "Stables Only" parking signs. To alleviate neighbor concerns about park users parking on their streets, however, MAI does not currently plan to seek enforcement of these rules.

Of course, long term, MAI hopes the Commission can identify additional parking areas away from the Facility to which to direct non-Facility Park users. If hikers, bikers, runners and others are directed to parking away from the Facility, MAI would begin enforcing its "Stables Only" parking signs at Lot 1, and it should then have fully adequate parking for its business.

EXHIBITS

- 1. Lesson Schedule**
- 2. Survey Results**
- 3. Modified Site Plan**

MAI FACILITY PARKING
Survey Averages

Time	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
8:30AM	X ¹	X	X	X	X	10.5	11
9:00AM	X	X	X	X	X	13	18
9:30AM	X	X	X	X	X	14.5	24
10:00AM	X	2.5	0	3	3	24.5	27
10:30AM	X	X	X	X	X	25	28
11:00AM	X	0	0	0	0	19	28.5
11:30AM	X	X	X	X	X	24	24
12:00PM	X	2.5	2	2	2	12.5	24
12:30PM	X	X	X	X	X	18	16
1:00PM	X	4	2.5	3	1	10	12
1:30PM	X	X	X	X	X	7	6
2:00PM	X	2.5	2	2	0	5	12
2:30PM	X	X	X	X	X	4	8
3:00PM	X	4.5	2	0	4	4	5
3:30PM	X	6	5	4	9.5	X	X
4:00PM	X	8.5	11	4	10	X	X
4:30PM	X	10	11	12	17	X	X
5:00PM	X	18	19	16	20	X	X

¹ "X" indicates that no reading was recorded for the time slot. MAI's office staff was responsible for recording the parking data, and thus, if the MAI office was closed, no results were recorded. For example, the Facility is closed on Mondays. Likewise, Office staff does not report to work until at least 10:00AM on weekdays, and leaves at 3pm on Saturdays and Sundays. On week days, before the start of lessons (4:00PM Tuesday through Friday), parking data was recorded hourly, instead of every 30 minutes.

EXHIBIT 2MAI FACILITY PARKING
Survey Averages

5:30PM	X	17	18	18	16	X	X
6:00PM	X	18	18	17	17.5	X	X
6:30PM	X	15	16	16	13.5	X	X
7:00PM	X	20	16	19	12	X	X
7:30PM	X	13	9	X	7	X	X
8:00PM	X	10	3	13	X	X	X

NOTE: The survey results recorded above reflect the data collected in good faith by employees of MAI. The survey should not be considered a scientific survey, however. The data was collected by a number of different employees, and although it was collected and recorded within the time frame specified, it was not collected at precise intervals. In addition, the survey includes data collected from September 28, 2001 through October 14, 2001. Thus, for some entries, the averages are based on 3 days worth of data, and for others it is based on two days.



MEADOWBROOK
Stables

Meadowbrook Stables' Fall 2001 Lesson Timetable

	SATURDAY	SUNDAY
9:00am	Gary TB TBA CONNEMARA Robin BEGINNER	Stephanie CONNEMARA TBA BEGINNER TBA W/T/C
10:00am	Gary QH TBA SHETLAND Robin WALK/TROT - 1	Stephanie MINIATURE TBA WALK/TROT - 2 TBA TBA
10:00am	YOUNG HORSEMANSHIP W/T/C	YOUNG HORSEMANSHIP W/T - 1
11:00am	Gary WELSH TBA TBA Robin WALK/TROT/CANTER	Stephanie WELSH TBA TBA TBA TBA
11:00am	YOUNG HORSEMANSHIP BEG	YOUNG HORSEMANSHIP W/T - 2

Meadowbrook Stables reserves the right to reassign student/s to another class if enrollment is 3 or less.

Meadowbrook Stables reserves the right to change instructors without notification.

Note: Horse Breeds indicate flat and jumping classes.

188

Meadowbrook Stables' Fall 2001 Lesson Timetable

	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY
4:00pm	YOUNG HORSEMANSHIP W/T - 1	YOUNG HORSEMANSHIP MINI	YOUNG HORSEMANSHIP W/T - 2	YOUNG HORSEMANSHIP W/T - 1
4:00pm	Miranda QH Stephanie W/T/C Gary BEG	Miranda QH Stephanie SHETLAND Gary WALK/TROT - 2	Katie QH Stephanie ST.C. Gary WALK/TROT - 1	Katie QH Stephanie MINIATURE Gary WALK/TROT - 2
5:00pm	Miranda TB Stephanie WALK-TROT-1 Gary MINIATURE	Miranda THOROUGHBRED Stephanie ST. C. Gary W/T/C	Katie TB Stephanie TBA Gary BEG	Katie WELSH Stephanie W/T/C Gary SHETLAND
5:00pm	YOUNG HORSEMANSHIP W/T - 2	YOUNG HORSEMANSHIP BEG	YOUNG HORSEMANSHIP ST. C.	YOUNG HORSEMANSHIP W/T - 2
6:00pm	Miranda GRAND PRIX Stephanie WALK-TROT-2 Gary WELSH	Miranda WARBLOOD Stephanie STEP Gary MINIATURE	Katie GRAND PRIX Stephanie SHETLAND Gary WELSH	Katie CONNEMARA Stephanie T. C. Gary WALK/TROT - 1
7:00pm	Miranda ADV ADULT Gary CONNEMARA Anne INTRO to DRESSAGE		Katie ADV ADULT Stephanie FLOC (CLOSED) Anne DRESSAGE	

Meadowbrook Stables reserves the right to reassign student/s to another class if enrollment is 3 or less.

Meadowbrook Stables reserves the right to change instructors without notification.

Note: Horse Breeds indicate flat and jumping classes.

189

Meadowbrook Lane North of Washington Ave

Time	NB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	1	0	0	0	3	0	0
1:00	0	0	1	0	4	0	0
2:00	0	1	0	1	0	1	2
3:00	1	0	2	0	1	1	0
4:00	0	0	1	1	2	1	4
5:00	4	20	18	19	19	22	3
6:00	13	63	43	51	57	59	11
7:00	32	53	38	36	39	56	49
8:00	91	33	38	46	50	43	42
9:00	64	39	42	39	36	38	78
10:00	70	45	38	40	32	54	83
11:00	88	47	37	25	28	41	102
12:00	93	42	47	27	37	39	106
13:00	98	38	49	37	37	90	77
14:00	86	67	89	88	74	117	68
15:00	63	45	98	53	43	100	76
16:00	73	34	83	75	49	59	67
17:00	82	36	73	68	66	84	54
18:00	36	41	104	88	62	89	46
19:00	9	16	19	12	27	19	24
20:00	17	12	18	13	18	9	20
21:00	3	14	10	8	10	3	14
22:00	1	7	5	5	2	10	5
23:00	0	2	0	0	1	1	5
Total	925	655	853	732	697	936	936

Meadowbrook Lane North of Washington Ave

Time	SB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	2	3	1	2	0	1	0
1:00	3	0	0	0	1	1	0
2:00	0	1	2	1	1	2	1
3:00	0	1	0	0	0	1	2
4:00	0	9	12	11	6	10	1
5:00	28	45	51	47	46	44	10
6:00	48	19	7	20	16	18	18
7:00	47	32	18	32	25	35	40
8:00	48	44	54	38	29	29	68
9:00	89	31	76	49	34	37	89
10:00	97	36	55	36	28	51	105
11:00	96	41	46	34	32	59	92
12:00	62	37	57	45	38	131	92
13:00	93	50	76	40	40	78	74
14:00	68	53	98	72	51	69	101
15:00	90	50	68	76	71	75	74
16:00	82	58	101	108	64	98	65
17:00	50	54	119	82	86	97	47
18:00	28	49	55	56	66	68	43
19:00	23	33	29	30	29	28	22
20:00	16	20	20	23	21	16	21
21:00	9	18	4	15	15	19	20
22:00	8	5	5	5	8	13	21
23:00	0	4	0	1	4	1	10
Total	987	693	954	823	711	981	1016

Meadowbrook Lane South of Washington Ave

Time	NB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	0	0	0	0	0	0	0
1:00	0	0	0	0	0	0	0
2:00	0	0	0	0	0	0	0
3:00	0	0	0	0	0	0	0
4:00	0	0	0	0	0	0	0
5:00	0	4	2	5	5	6	0
6:00	1	20	17	22	17	20	2
7:00	0	11	11	9	6	13	3
8:00	20	5	5	7	13	10	2
9:00	2	10	11	7	13	10	9
10:00	3	14	9	13	18	18	4
11:00	7	14	14	2	8	11	3
12:00	2	10	8	4	14	19	2
13:00	0	8	6	7	10	13	1
14:00	3	38	35	43	43	39	2
15:00	3	11	12	8	5	9	0
16:00	1	1	5	9	0	2	2
17:00	3	0	2	0	0	2	0
18:00	0	0	1	1	0	0	2
19:00	0	2	0	0	0	0	0
20:00	1	0	0	0	1	0	0
21:00	2	0	0	0	0	1	0
22:00	0	0	0	0	0	0	0
23:00	0	0	0	0	0	0	0
Total	48	148	138	137	153	173	32

Meadowbrook lane South of Washington Ave

Time	SB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	0	0	0	0	0	1	0
1:00	0	0	0	0	0	0	0
2:00	0	0	0	0	0	0	0
3:00	0	0	0	0	0	0	0
4:00	0	1	2	1	4	1	0
5:00	18	43	45	43	39	42	0
6:00	7	10	2	11	6	5	1
7:00	0	10	4	7	8	16	1
8:00	2	11	11	10	16	8	4
9:00	2	14	12	4	8	16	4
10:00	7	4	9	6	16	13	3
11:00	5	12	12	7	11	21	10
12:00	0	14	10	8	17	18	7
13:00	3	20	21	21	19	26	3
14:00	7	15	10	11	9	11	2
15:00	3	2	3	2	2	2	1
16:00	1	2	3	3	0	2	1
17:00	3	0	2	0	0	2	1
18:00	0	0	1	2	1	3	0
19:00	0	2	0	0	1	1	1
20:00	1	0	0	0	0	0	1
21:00	0	0	0	0	0	0	0
22:00	0	0	0	0	0	2	0
23:00	0	0	0	0	0	0	0
Total	59	160	147	136	157	190	40

Washington Avenue

Time	EB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	3	4	4	0	1	3	0
1:00	2	1	0	0	1	0	0
2:00	3	0	0	0	0	1	0
3:00	0	0	1	0	0	2	2
4:00	0	1	1	2	0	1	2
5:00	0	2	3	1	2	2	1
6:00	2	4	1	4	5	4	5
7:00	2	10	4	15	11	17	10
8:00	6	22	11	16	12	23	26
9:00	18	16	20	17	12	19	31
10:00	19	18	27	19	17	16	40
11:00	20	22	26	11	8	24	41
12:00	28	15	23	19	15	21	56
13:00	32	20	35	31	12	23	43
14:00	38	15	34	20	17	19	26
15:00	29	31	30	30	23	39	27
16:00	28	47	18	28	43	44	27
17:00	28	29	35	42	26	26	32
18:00	38	47	37	42	31	55	29
19:00	22	29	31	35	39	43	19
20:00	19	25	16	22	23	19	22
21:00	9	17	17	16	16	18	19
22:00	3	11	3	12	11	12	21
23:00	5	8	1	3	5	11	21
Total	354	394	378	385	330	442	500

Washington Avenue

Time	WB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	0	0	3	0	0	0	0
1:00	1	0	0	0	6	0	0
2:00	0	0	1	0	1	0	0
3:00	0	2	0	1	1	0	3
4:00	2	0	2	0	0	0	1
5:00	1	0	1	1	3	1	2
6:00	1	14	7	5	8	9	5
7:00	5	49	23	30	42	38	15
8:00	24	47	25	32	34	58	50
9:00	30	35	32	30	29	36	35
10:00	15	27	25	23	25	25	49
11:00	34	22	17	19	16	32	36
12:00	42	21	14	17	13	27	38
13:00	46	28	30	11	22	13	32
14:00	27	16	31	22	21	27	29
15:00	23	25	43	33	32	41	27
16:00	30	28	23	34	35	41	22
17:00	21	18	26	25	27	21	26
18:00	32	38	22	28	26	51	29
19:00	16	22	25	24	28	15	25
20:00	8	15	6	9	12	18	15
21:00	12	11	6	10	11	9	5
22:00	2	13	3	4	7	9	15
23:00	1	9	4	1	0	8	7
Total	373	440	369	359	399	479	466

Playground Lane

Time	NB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	0	0	0	0	0	0	0
1:00	0	0	0	0	0	0	0
2:00	0	0	0	0	0	0	0
3:00	0	0	0	0	0	0	0
4:00	0	0	0	0	0	0	1
5:00	1	8	9	8	5	7	1
6:00	43	2	3	2	1	3	4
7:00	21	7	7	9	4	8	10
8:00	29	3	9	6	3	10	19
9:00	39	11	16	16	3	7	29
10:00	59	12	15	16	2	14	53
11:00	78	13	16	7	2	9	73
12:00	60	13	15	13	5	59	39
13:00	61	10	16	9	11	93	51
14:00	67	7	49	5	10	42	40
15:00	71	8	20	25	6	18	80
16:00	63	15	35	46	18	25	38
17:00	53	22	66	56	26	51	42
18:00	32	15	54	27	22	45	36
19:00	6	3	28	6	10	5	17
20:00	2	2	7	3	2	2	2
21:00	2	0	0	1	2	1	9
22:00	0	0	0	1	0	1	1
23:00	0	1	1	0	1	0	0
Total:	687	152	366	256	133	400	545

Playground Lane

Time	SB						
	9/16/01 Sun	9/17/01 Mon	9/18/01 Tue	9/19/01 Wed	9/20/01 Thu	9/21/01 Fri	9/22/01 Sat
0:00	0	0	0	0	0	0	0
1:00	0	0	0	0	0	0	0
2:00	0	0	0	0	0	0	0
3:00	0	0	0	0	0	0	0
4:00	0	0	0	0	0	0	0
5:00	0	1	1	0	1	0	1
6:00	10	8	11	9	6	6	0
7:00	11	3	4	6	4	8	10
8:00	17	6	5	2	2	7	8
9:00	50	1	9	9	3	4	8
10:00	37	12	11	13	3	9	32
11:00	42	11	11	12	1	11	57
12:00	35	16	21	7	6	12	46
13:00	85	9	12	16	8	30	74
14:00	72	9	20	8	10	71	37
15:00	78	7	11	15	4	50	51
16:00	34	14	57	21	10	58	72
17:00	60	13	53	57	9	32	43
18:00	67	14	28	26	27	35	27
19:00	17	13	79	34	24	54	30
20:00	2	4	3	2	6	2	8
21:00	5	1	2	2	2	1	16
22:00	1	0	7	4	2	0	2
23:00	0	1	1	0	1	1	0
Total:	623	143	346	243	129	391	522

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Department of Park and Planning, Montgomery County, Maryland
9500 Brunett Avenue • Silver Spring, Maryland 20901

November 20, 2001

Mr. Richard G. Hawes
Director of Facilities Management
Montgomery County Public Schools
7361 Calhoun Place, Suite 400
Rockville, Maryland 20855

Dear Mr. Hawes:

The Maryland-National Capital Park and Planning Commission administers a number of park facilities off East West Highway and Beach Drive in Chevy Chase. Included are several ballfields, basketball and tennis courts, a playground, a recreation center, Meadowbrook Stables, and the Rock Creek Hiker-Biker Trail, which extends from Rock Creek Regional Park into the District, eventually connecting with the Capital Crescent Trail. These are very popular and well used park amenities.

With the recent extension of the Rock Creek Hiker-Biker Trail from East West Highway to the District line, and improvements to the facilities in Meadowbrook Local Park (aka: Candy Cane City), traffic and parking problems along Meadowbrook Lane, in particular, have worsened. There are regular parking conflicts on evenings and weekends during the ball season when all facilities are being used concurrently. Due to the difficulty of building new parking lots in the flood plain of any stream valley, we are looking at existing parking lots in the vicinity of Meadowbrook Local Park that could provide some relief from the parking problems we are experiencing.

The parking lot at Rollingwood Elementary School off Beach Drive is being considered as one of several possible solutions for our over-parking problems. The lot is relatively convenient to a lighted crossing on Beach Drive that leads to the hiker-biker trail and other facilities across the stream. As an existing resource, it represents a practical, cost effective means of addressing a parking problem that is, admittedly, ours to resolve, but for the benefit of the public. We anticipate that this lot would be needed year around on the weekends, but primarily during the spring, summer, and fall months.

I would like an opportunity to speak with you on this matter as soon as possible. Please contact me at the above address or by calling 301-495-2516. Thank your in advance for your prompt consideration of this matter.

Sincerely,

Jerry Bush
Administrative Supervisor

cc: Merle Steiner, Isiah Leggett's Office

Re: N/A 12/2/87
For Secretary-Treasurer

UNITED STATES DISTRICT COURT
FOR THE DISTRICT OF MARYLAND

CITIZENS FOR THE PRESERVATION OF :
ROCK CREEK PARK, ET AL., :

Plaintiffs, :

vs. :

Civil Action No. :
JFM 87-2069 :

MARYLAND NATIONAL CAPITAL PARK :
AND PLANNING COMMISSION, ET AL., :

Defendants. :

SETTLEMENT AGREEMENT

This Agreement between the Plaintiffs, Citizens for the Preservation of Rock Creek Park, et al., and the Defendants, the Maryland-National Capital Park and Planning Commission ("the Commission"), et. al., resolves all matters between the parties in the above-captioned case.

1. All of the Plaintiffs agree to dismiss the above-captioned case against all of the Defendants.
2. The Commission (hereinafter "the Defendant") agrees to the design and development changes and the operational changes and conditions for the Meadowbrook Maintenance Facility ("MMF") set forth below.

Design and Development Changes

3. Attached to this Settlement Agreement and made a part hereof is a Plan A which sets forth a diagram of the Landscape/Reforestation Plan for the MMF with numbered locations referred to in this Agreement, and which sets forth in detail the landscape plan, including specification

of the location of plantings and the species of each planting which the Defendant hereby agrees to implement.

4. Unless expressly noted otherwise, all plantings to be made pursuant to this Agreement shall be maintained by the Defendant, including timely replacements of such plantings which do not survive. All planting and maintenance of such plantings shall be done in accordance with accepted horticultural and arboricultural standards and practices.

5. The location of the plantings which are shown on Plan A will be field-staked. The community representatives of the Community Committee as set forth below in Paragraph 17, shall be notified of the field staking and have the opportunity to review the staking.

6. Defendants will eliminate by regrading, as part of implementing the landscape plan, the problem of standing water in the area near lots 46D, 71 through 74 as shown on Plan A.

7. At approximately Location 1, as shown on Plan A, the Defendant will install a conspicuous sign which notifies vehicles that the roadway leads solely to the MMF and not to the Candy Cane City. The sign shall also describe the hours of operation of the MMF. If such signing does not stop unauthorized vehicles from traveling or parking on the roadway, particularly after MMF is closed, the Defendant agrees to review, through the Community Committee, what

Handwritten initials/signature
200

other steps could be taken, including the need for a gate at Location 1 on Plan A.

8. Defendant shall construct a gate at Location 2, as shown on Plan A, to preclude entry to the employee parking lot after the MMF facility is closed.

9. Upon request of the homeowners of lots 101 through 95 in Location 3, as shown on Plan A, the Defendant shall provide the homeowner with evergreen ivy plants to be planted and maintained by the homeowner for the purpose of covering the existing MMF fence with ivy.

10. Defendant shall plant and maintain evergreen ivy by the wall of the vehicle service building in Location 4, as shown on Plan A.

11. Defendant agrees to construct an earth berm of no less than five (5) feet in height and approximately thirty (30) feet in width across Location 5, as designated on Plan A, running from the end of the bins to the end of the parking lot designated Location 6. The berm shall be sufficient to accommodate a staggered row of evergreen trees, as set forth in Plan A.

12. The number of bins to be constructed in Location 7, as designated on Plat A, is to be reduced from six to four.

13. The four bins located on the MMF shall normally contain mulch, top soil, wood chips, sand and other similar type materials.

[Handwritten signature]
201

14. Defendant shall remove the dilapidated building in Location 8, as designated on Plan A.

15. Defendant agrees to complete all design and development changes described in the preceding paragraphs of this Agreement by April 30, 1988, unless weather prevents such completion. If the weather prevents complete implementation by this date, the changes shall be completed thereafter as expeditiously as possible in accordance with accepted horticultural and arboricultural standards and practices. It is understood by both parties that the construction of the bins and all related work may not be completed by April 30, 1988.

16. The Director of Parks, by Memo dated November 25, 1987 to the Community, set down the Department's current operating procedures implemented to address the neighborhood's concerns. If any substantial changes are to be made to the procedures, Defendant agrees that before implementing any such changes the Defendant shall notify the Community in a timely manner through the Community Committee of those proposed changes. This provides the Community an opportunity to comment on those changes through the Community Committee.

12/18
202

Administration

17. Parties shall form a Community Committee. This Committee shall be comprised of two members of the Department of Parks of the Defendant Commission as designated by the Director of Parks and two members of the community chosen by the plaintiffs. The initial representatives for the plaintiffs shall be Ned Hege and Joseph McGovern.

18. The Community Committee shall meet monthly until April 30, 1988. Following this time, meetings shall be held on an as needed basis, but in any event, no less than one every ninety (90) days, unless the Committee determines less frequent meetings are acceptable. Upon request of two Committee members, a meeting shall be held within five (5) business days.

19. The purpose of this Community Committee shall be to administer the Settlement Agreement, provide a mechanism for the community to make its concerns known to the Defendant, provide a mechanism for the Commission and the MMF supervisors to inform the community of changes envisioned or planned, and to provide a means for improving relations between the Defendant, its employees and the community. It is the goal of the parties that Community Committee shall be the sole vehicle for the community and the Defendant to make known their concerns for resolution of those concerns.


503

20. In an effort to ensure that the Community Committee achieves its purposes, Plaintiffs agree that, for one year from the date this Agreement is executed, the Committee shall be the sole vehicle for the community to make its concerns known to the Defendant for resolution of those concerns. Therefore, if any member of the community has a concern about the MMF, such concern shall be addressed solely to the community representatives of the Community Committee who will in turn bring such concerns to the attention of the Committee.

21. Defendant agrees that matters which are the subject of the administration and enforcement of this Agreement, which matters are not resolved by the Community Committee, at the request of a Community Representative, shall be placed upon the public agenda of the Montgomery County Planning Board for discussion at the public session, at which the Community may be heard.

22. This Agreement expresses a full and complete settlement of all claims, including attorneys' fees, and shall forever release and discharge the Commission, its agents, servants and employees from any and all claims, damages, including attorneys fees, that Plaintiffs had, ever had or may have, arising out of expansion of the Meadowbrook Maintenance Facility up through the date of this Settlement Agreement. However, it is understood, that the Plaintiffs may seek a court order or other relief if any matter related to the enforcement of this Agreement is not resolved to the

204 [Signature]

Plaintiffs' satisfaction, after exhaustion of the procedures provided in this Agreement.

23. This Agreement may be amended in writing by the concurrence of Defendant Commission and the Community Committee.

MARYLAND NATIONAL CAPITAL PARK
AND PLANNING COMMISSION

By: Thomas H. Countee Jr. 12/4/88
Thomas H. Countee
Executive Director

Attest: A. Edward Navarre
SECRETARY - TREASURER

CITIZENS FOR THE PRESERVATION
OF ROCK CREEK PARK

BY:

Judith M. Koenick

Howard and Nancy Smith
Howard and Nancy Smith

Edwin and Gloria Hege
Edwin and Gloria Hege

Jerry and James H. Boissau
Jerry and James H. Boissau

Joseph and Fern McGovern
Joseph and Fern McGovern

Judith S. Karp
Judith S. Karp

Dinesh R. Joshi
Dinesh R. Joshi

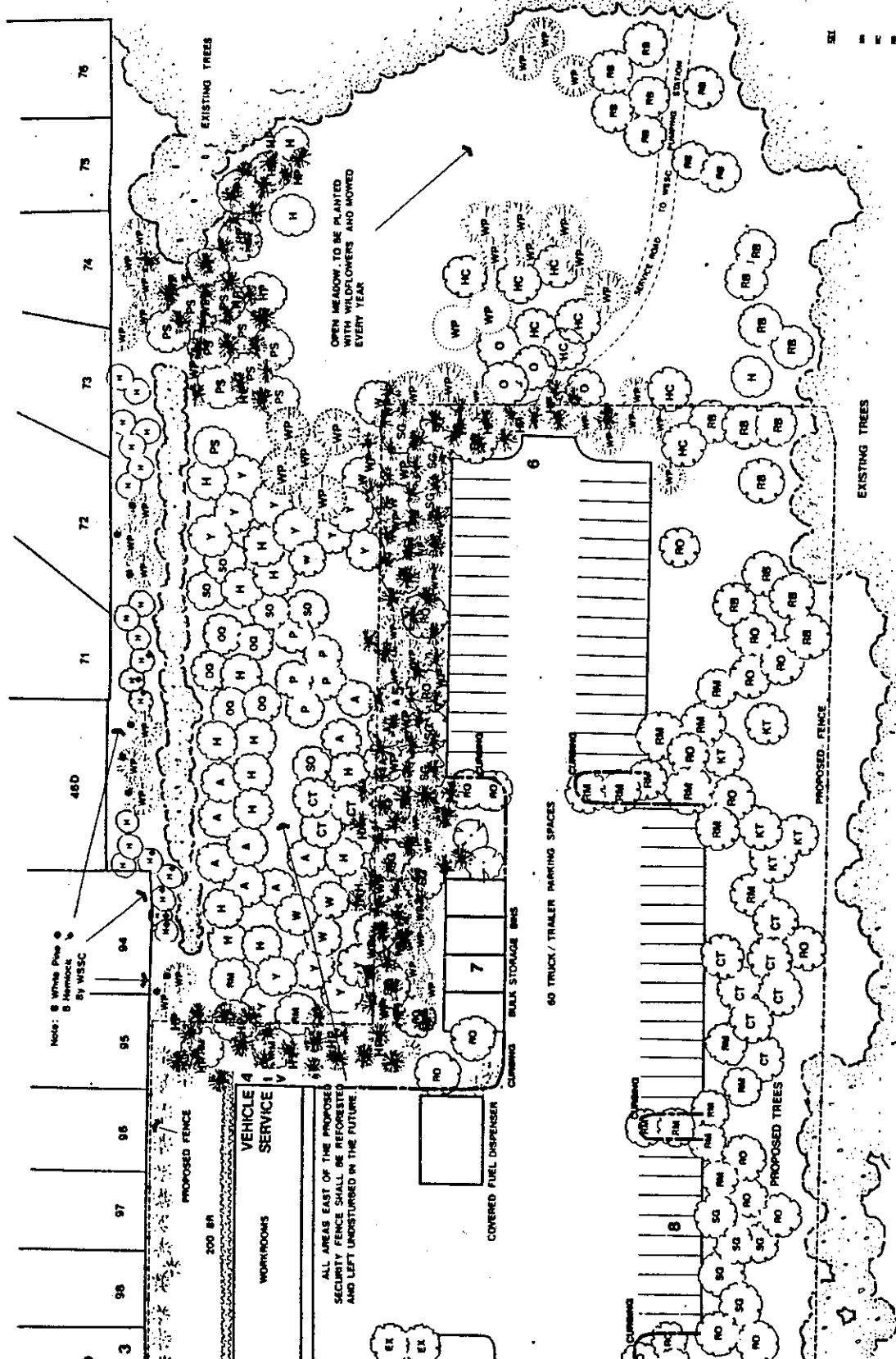
300
205

ATTACHMENT 11

Steven Nagel

Steven Nagel

BN
206



RESTORATION PLAN MAINTENANCE YARD

SCALE: 1" = 30'
 M-NCPPC Sept. 1985
 E & D Division
 Dale Armstrong
 Leam T. Tran

Plan A

EXISTING PLANTING SPECIES

- 1. Elm
- 2. Oak
- 3. Elm
- 4. Elm
- 5. Elm
- 6. Elm
- 7. Elm
- 8. Elm
- 9. Elm
- 10. Elm
- 11. Elm
- 12. Elm
- 13. Elm
- 14. Elm
- 15. Elm
- 16. Elm
- 17. Elm
- 18. Elm
- 19. Elm
- 20. Elm

SYMBOL	SCIENTIFIC NAME	COMMON NAME
A	ACTINISARIS	ACTINISARIS
H	HELIOPSIS	HELIOPSIS
V	VITIS	VITIS
Y	YUCCA	YUCCA
W	WALNUT	WALNUT
A	AMALANCA	AMALANCA
C	CASTANEA	CASTANEA
T	TAXUS	TAXUS
S	SALIX	SALIX
O	OSYRIS	OSYRIS
P	PRUNUS	PRUNUS
R	RUPESTRIS	RUPESTRIS
M	MORUS	MORUS
N	NANUS	NANUS
K	KALIMERIS	KALIMERIS
L	LARIX	LARIX
G	GONOLYPTIS	GONOLYPTIS
E	ELAEAGNUS	ELEAGNUS
X	XANTOXYLUM	XANTOXYLUM