



Sandy Spring Townhomes: Limited Site Plan Amendment No. 82016001B in Response to a Violation

Jeffrey Server, Planner Coordinator, Area 3, Jeffrey.Server@Montgomeryplanning.org, 301-495-4513

Sandra Pereira, Supervisor, Area 3, Sandra.Pereira@Montgomeryplanning.org, 301-495-2186

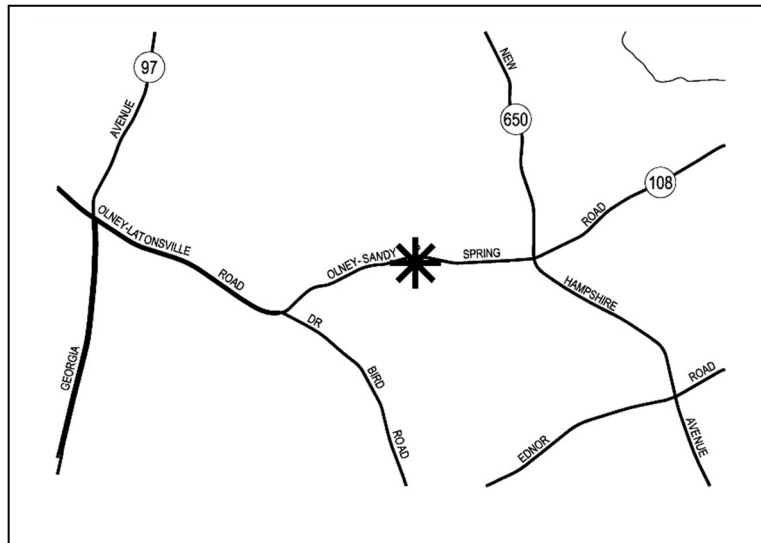
Richard Weaver, Chief, Area 3, Richard.Weaver@Montgomeryplanning.org, 301-495-4544

Staff Report Date: 1/17/20

Description

Limited Site Plan Amendment No. 82016001B:
Request to modify the layout of the turnaround plaza with associated seating and pergolas, modify condition 7b to require a 5'-0" sidewalk, modify condition 8 to update lot numbers that require special treatment and allow beaded vinyl siding at the end walls of highly visible facades, modify steel fencing details, modify the cap on brick piers; located on the south side of Olney Sandy Spring Road (MD Route 108) in between Norwood Road and Meeting House Road; 2.31 acres zoned CRN-0.75 C-0.25 R-0.75 H-45; *2015 Sandy Spring Rural Village Plan*.

- Applicant: Tyler Nichols
- Acceptance Date: September 4, 2019
- Review Basis: Chapter 59



Summary

- Staff recommends Approval of the Limited Site Plan Amendment, with conditions, except for the proposed modification to the subgrade pavement section of the emergency vehicle turnaround plaza, or as approved by DPS Fire Department Access and Water Supply.
- A Notice of Violation (NOV) was issued by DPS on December 19, 2018 listing a number of discrepancies between the Certified Site Plan (CSP) and as-built conditions, including the emergency vehicle turnaround plaza, which was not constructed per the approved subgrade pavement section detail.
- Two Administrative citations were issued by the M-NCPPC on December 23, 2019, requiring remedial action on the emergency vehicle turnaround plaza by March 30, 2020, and on the side facades of high visibility units by May 15, 2020.
- DPS Fire Department Access and Water Supply does not support the Applicant's proposed change to the subgrade pavement section of the emergency vehicle turnaround plaza because the submitted design and installation has not been certified by a geotechnical engineer or sealed by a professional engineer to meet minimum load bearing requirements for either Montgomery County tertiary road standard or MCFRS apparatus.
- No community correspondence received to date.

SECTION 1: RECOMMENDATIONS AND CONDITIONS

Staff recommends approval with conditions of Site Plan Amendment No. 82016001B, Sandy Spring Townhomes, to (1) modify the layout of the emergency vehicle turnaround plaza with associated seating and pergolas; (2) modify condition 7b to require a 5'-0" sidewalk; (3) modify condition 8 to update lots numbers that require special treatment and allow beaded vinyl siding at the end walls for highly visible facades; (4) modify steel fencing details; (5) modify the cap on the brick piers. All site development elements shown on the latest electronic version as of the date of this staff report submitted via ePlans to the M-NCPPC are required except as modified by conditions. All previously approved conditions related to this development which have not been expressly amended by this Application remain in full force and effect.

The following conditions modify the original conditions as follows:

7. Pedestrian & Bicycle Circulation

- b) The Applicant must construct a five-foot wide pedestrian access path connecting with an on-site sidewalk to the Sandy Spring Village community to the south as shown on the Site Plan. A public access easement must be shown on the record plat.

8. Site Design

- a) The exterior architectural character, proportion, materials, and articulation on lots 3-9 must be substantially similar to the schematic elevations shown on Sheets ARCH-820160010, and PERSPECTIVE-820160010, as determined by M-NCPPC Staff. Specifically, the Applicant must provide at a minimum the following building elements:

- a. Lots 3-9

- iii. All front and side facades shall use either masonry, wood, hardy/cement plank board, or beaded vinyl material for siding and trim.
 - vi. Units 3 and 8 shall be stepped back a minimum of 2 feet behind units 4-7.
 - vii. Lots 4-7 shall have a covered porch with columns.
 - viii. The front door locations for the units on lots 4 and 5, and lots 6 and 7 shall be paired as shown on the schematic.

- b. Lots 3, 8, and 9

- i. All unit's sides must include some masonry elements including the façade below the elevation of the finished front entry floor. All side facades shall use either wood, hardy/cement plank board, or beaded vinyl material for the siding and trim. The side materials and finishes shall match those used on the unit's fronts.
 - ii. The façade above the elevation of the first-floor finished floor shall be sided with a hardy/cement plank or beaded vinyl siding.

- 14. Prior to Certified Site Plan, the Applicant must submit a Fire Department Access Plan that is certified by a geotechnical engineer or sealed by a professional engineer as able to meet minimum load bearing requirements for either Montgomery County tertiary road standards or MCFRS apparatus, or as approved by DPS Fire Department Access and Water Supply.

SECTION 2: SITE DESCRIPTION

Site Location, Vicinity, and Analysis

Site Location

The Subject Property is located on the south side of Olney Sandy Spring Road ("MD 108") approximately 250 feet west of Meeting House Road and consists of Lots 1-19 on Record Plat No. 25246 with associated open space for a total of 2.31 acres ("Site" or "Subject Property") (Appendix B). The Subject Property is zoned CRN-0.75 C-0.25 R-0.75 H-45 and is located in the Village Core Neighborhood of the Sandy Spring Rural Village Plan ("Master Plan").



Figure 1: Aerial Map

Site Vicinity

To the east and southeast of the Subject Property is the Sandy Spring Historic District. Important structures in this Historic District include the Sandy Spring National Bank and the Montgomery Mutual Insurance Company buildings which are located in the CRN-0.75 Zone. To the south and west is the Sandy Spring Village condominiums which is a townhome condominium community developed in the 1980s and is located in the RT-10 Zone. North of the Site on the opposite side of MD 108 are the Holly Cottage and Kirk House, both old

residential structures currently occupied by businesses, and are located in the CRN-0.75 Zone. Also, across MD 108 and to the west is a small equestrian farm located in the RNC Zone.

Site Analysis

The Subject Property is currently developed and built-out consistent with Site Plan No. 82016001A for a total of 19 townhomes. The surrounding properties to the west and south are also townhouse communities, while the Montgomery Mutual commercial buildings are located to the east. The Site is fairly flat with just a slight drop in elevation from north to south. The Site is located in the Northwest Branch watershed, a Use IV-P stream. There are no documented streams, wetlands, or rare or endangered species on or immediately adjacent to the Subject Property.

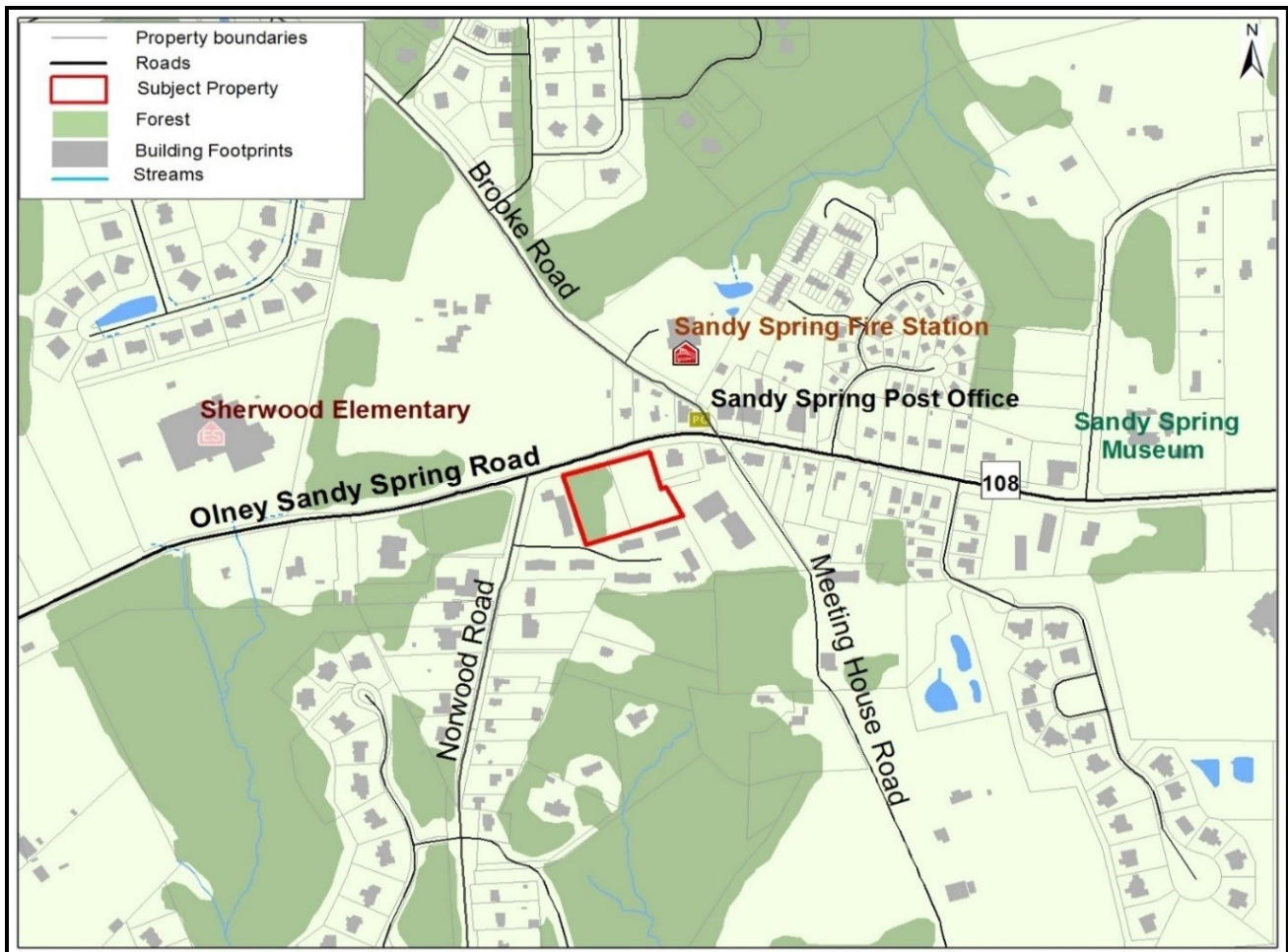


Figure 2: Vicinity Map

SECTION 3: PROJECT DESCRIPTION

Previous Approvals

Site Plan No. 819880600 Montgomery Mutual Computer Center

The Subject Property was part of Site Plan No. 819880600, approved in 1989 allowing construction of two office buildings located on the properties to the southeast of the Subject Property, including the overflow parking that is currently constructed on the Subject Property in accordance with this prior site plan.

Preliminary Plan No. 120090230 Sandy Spring, Parcel B

Preliminary Plan No. 120090230 was approved by Resolution No. 10-02 on March 9, 2010 for a total of 72,121 square feet of office use, 12,238 square feet of childcare use and 1,718 square feet of retail use. The approval included the existing improvements constructed from the original site plan, plus the addition of a 40,000 square foot, three story building with a two-level parking structure on the Subject Property. The additional improvements approved in this preliminary plan have never been constructed.

Preliminary Plan No. 120160030

Preliminary Plan No. 120160030, approved by resolution MCPB No. 16-012 on March 30, 2016, subdivided lot 1 and parcel No. 426 into 19 lots for one-family attached housing, an open space parcel and an outlot for parking.

Site Plan No. 820160010

Site Plan No. 820160010, approved by resolution MCPB No. 16-013 on March 30, 2016, for 19 one-family attached dwellings, associated parking and open space amenities on the Subject Property.

Site Plan No. 82016001A

Site Plan No. 82016001A, approved by resolution MCPB No. 16-108 on October 3, 2016, for revisions to the CRN data table to show the correct minimum lot sizes of 1,926 square feet and changes to the paving material used in the emergency vehicle turnaround from laid pavers to stamped concrete.

Proposal

A Notice of Violation (NOV) was issued by DPS on December 19, 2018 listing a number of discrepancies between the Certified Site Plan and the as-built conditions, including the emergency vehicle turnaround plaza, which was not constructed per the approved site layout and elements, geometry, and subgrade pavement section (Appendices D, E, and F). The Applicant subsequently submitted this Site Plan Amendment in response to the NOV to reconcile the differences between the certified drawings and the as-built conditions. The following modifications were proposed as part of the Amendment:

- the layout and configuration of the emergency vehicle turnaround plaza with seating and pergolas (Figures 3 and 5);
- modify condition 7b to require a 5'-0" wide sidewalk instead of the previously approved 4'-0" width;
- modify condition 8 to update lot numbers that require special treatment and allow beaded vinyl siding at the end walls for highly visible facades of the townhomes on lots 3, 8, and 9;
- modify the ornamental metal fencing details to reflect the configuration that was installed (Figure 4);
- modify the cap on the brick piers from a precast cap to a sloped 30" square bluestone cap in order to reflect what was installed (Figure 4).

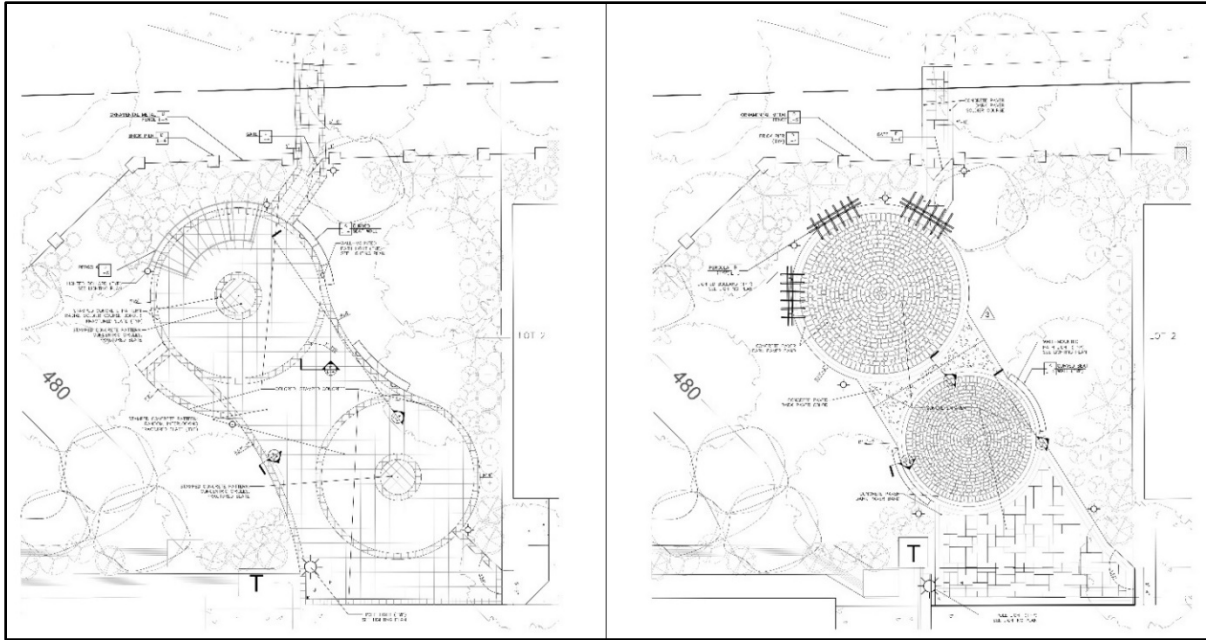


Figure 3: Emergency Vehicle Turnaround Plaza with Seating and Pergolas
(left previously approved, right proposed)

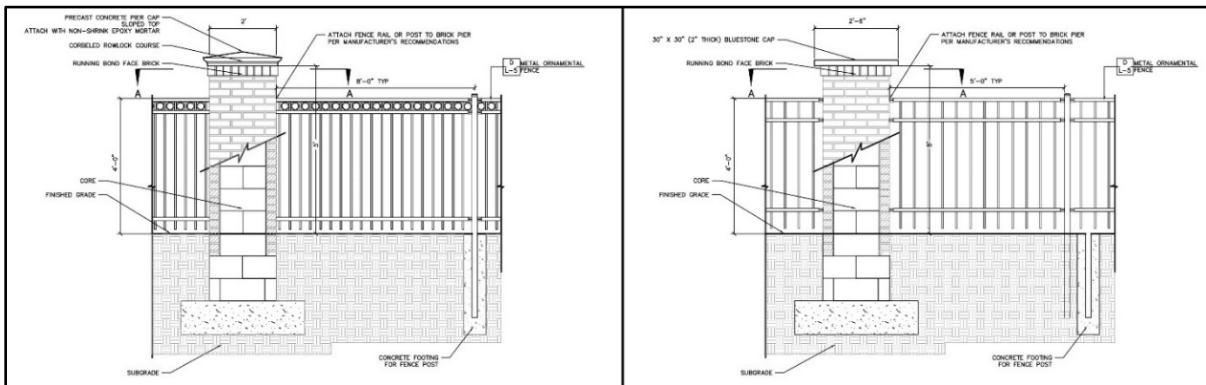


Figure 4: Metal Fencing and Pier Cap (left previously approved, right proposed)

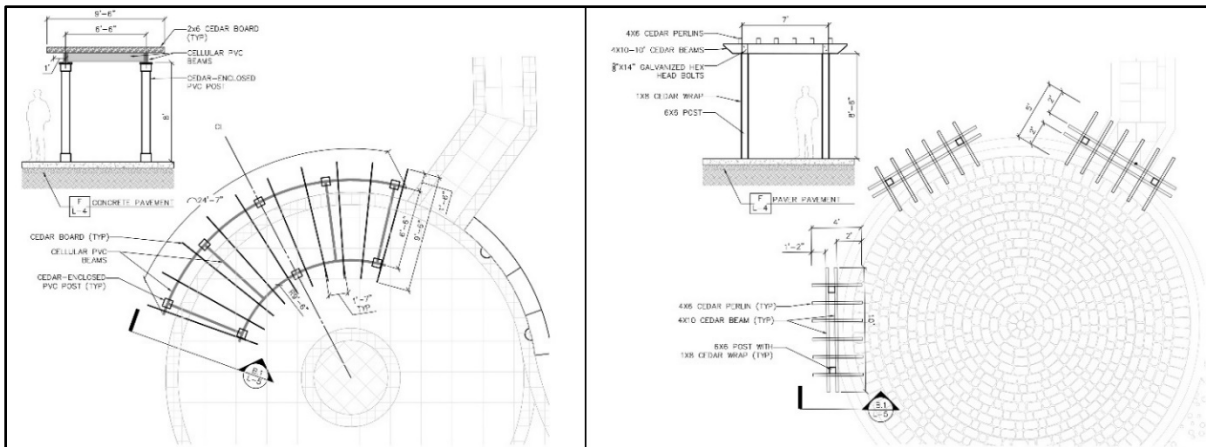


Figure 5: Pergola Layout (left previously approved, right proposed)

Two Administrative citations were issued by the M-NCPPC on December 23, 2019, requiring remedial action on the emergency vehicle turnaround plaza by March 30, 2020, and on the side facades of high visibility units by May 15, 2020 (Appendix F). This Amendment addresses changes to the side facades of high visibility units. However, changes to the subgrade pavement section of the emergency vehicle turnaround plaza are not supported by DPS Fire Department Access and Water Supply because the submitted design and installation has not been certified by a geotechnical engineer or sealed by a professional engineer to meet minimum load bearing requirements for either Montgomery County tertiary road standard or MCFRS apparatus (Appendix A). Table 1 below provides a summary of all items listed in the NOV and citations with the corrective action proposed including amending the Certified Site Plan (CSP) dated October 27, 2016 under the subject application for items that Staff supports, or complying with approved CSP for items which staff cannot support.

Table 1: NOV and Citations

NOV – December 19, 2018 (Appendix D)	
1. Violation 1: 8-26 Conditions of Permit	
2. Violation 2: 50-10.6.A Violation of Site Plan Requirements	
3. Violation 3: 59-7.3.4.H.4 Failure to Comply with Approved Site Plan	
NOV Punch List – January 15, 2019 (Appendix E)	Corrective Action
• Provide lot number clarification for Lots 3, 4, 5, 22, 7, 8, & 9 from the previous designation.	Amend CSP
• Installation of beaded vinyl siding instead of fiber cement siding.	Amend CSP
1. Emergency vehicle turnaround a) was installed with pavers instead of stamped concrete. b) The pavers and subgrade do not comply with the CSP.	a) Amend CSP b) Comply with approved CSP
2. Layout and configuration of the emergency vehicle turnaround differs from the CSP in terms of geometry, materials, and paving patterns and details.	Amend CSP
3. A building permit is required for all fencing installed on-site.	N/A
4. The caps on the brick piers are bluestone instead of precast concrete.	Amend CSP
5. The single curved pergola was installed as three separate smaller pergolas.	Amend CSP
6. Seat walls were replaced with non-continuous arched walls which differ in locations, size, height, and length.	Amend CSP
7. Lighting for the common open space and turnaround plaza was not installed as per the CSP for locations, fixtures, or shields.	Amend CSP
8. The metal fencing and gate were not installed between the brick piers at all required locations as shown on the CSP.	Amend CSP
9. The landscaping was not completed as per the CSP. Provide confirmation that the LA supervised installation of the boulders and that the boulders are set 1/3 of their height into the ground.	Amend CSP
10. Submit certifications from a Structural Engineer and a Geotechnical Engineer for all structural elements and materials.	Comply with approved CSP
11. Complete all sidewalks at 5'-0" width.	Amend CSP
12. Bio-retention areas MB-1, MB-2, and MB-3 were not completed.	Comply with approved CSP
13. Benches were not installed in designated locations.	Amend CSP

14. Picnic tables were not installed between bio-retention areas MB-1 and MB-2.	Amend CSP
15. HOA board and management contacted to determine if there are any complaints or issues that pertain to SPES.	N/A
16. Final permanent connections need to be made by PEPCO for the site lighting.	N/A
Citation No. SP010 – December 23, 2019 (Appendix F)	Corrective Action
1. Failure to comply with Planning Board Condition 8b to install fiber cement siding on high visibility units 3, 8, & 9.	Amend CSP
2. Construction of the emergency vehicle turnaround was not constructed per the specifications shown in the CSP.	Comply with approved CSP

Community Outreach

The Applicant has complied with all submittal and noticing requirements, and Staff has not received correspondence from any citizens or community groups as of the date of this report.

SECTION 4: ANALYSIS AND FINDINGS

The proposed Amendment does not alter the previous findings, except as modified below.

3. *The locations of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

Open Space, Landscaping and Lighting

The open space and landscaping will remain safe, adequate, and efficient. While there are minor adjustments to the landscaping around the emergency vehicle turnaround plaza, they are *de minimis*. The adjustments to the landscaping, seating, and pergolas help to improve the plaza as they frame the public open space, provide comfortable areas for seating, and increase the amount and variety of plantings, while being made in response to minor shifts in the location of the hardscape materials.

Pedestrian and Vehicular Circulation

As conditioned, the pedestrian and vehicular circulation will remain safe, adequate, and efficient. The Amendment proposes modifications to the layout and configuration of the emergency vehicle turnaround plaza and a modification to condition 7b to require a 5'-0" wide sidewalk instead of the previously approved 4'-0" width. All sidewalks within the Subject Property are 5'-0" in width. The modification of condition 7b updates all pedestrian connections to having a uniform width. Staff supports the proposed modifications to the emergency vehicle turnaround plaza, except for the proposed modification to the subgrade pavement section which does not meet minimum load bearing requirements for either Montgomery County tertiary road standard or MCFRS apparatus (Appendix A). The emergency vehicle turnaround plaza must be constructed as per the subgrade pavement section as shown on the approved Fire Department Access Plan dated Feb 18, 2016 .

4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.*

The beaded vinyl siding at the end walls for highly visible facades of the townhomes on Lots 3, 8, and 9 are compatible with the existing structures on-site as well as the existing developments adjacent to the Property. The vinyl siding matches the material that was used for all the facades on the other townhomes within the Subject Property, which provides architectural compatibility. The development meets all setbacks for the CRN-0.75 C-0.25 R-0.75 H-45 zoning.

CONCLUSION

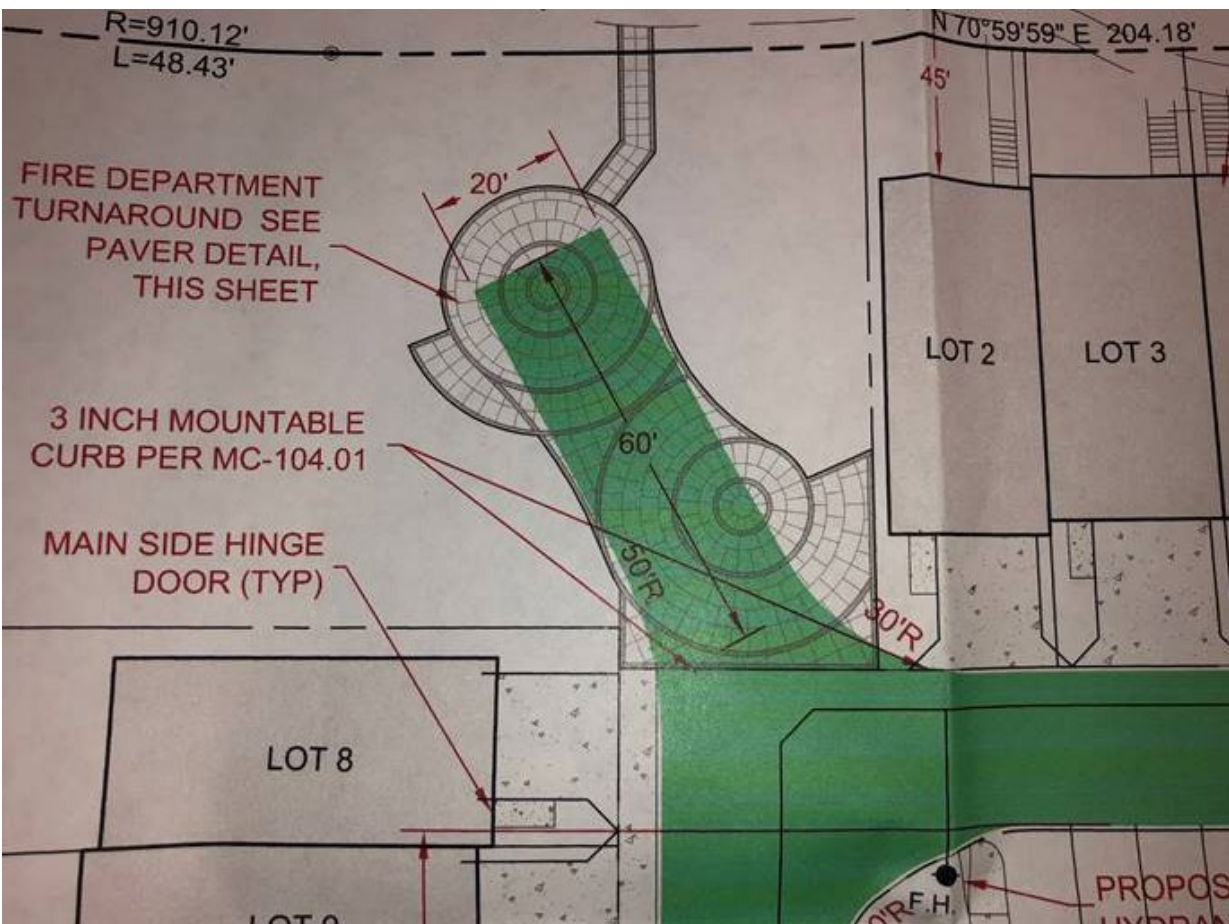
This Application meets all requirements established by the CRN-0.75 C-0.25 R-0.75 H-45 zone. As conditioned, the locations of open spaces, landscaping, and pedestrian and vehicular circulation systems are adequate, safe, and efficient. Therefore, Staff recommends approval of this Limited Site Plan Amendment, except for the subgrade pavement section of the emergency vehicle turnaround plaza, subject to the conditions contained at the beginning of this report.

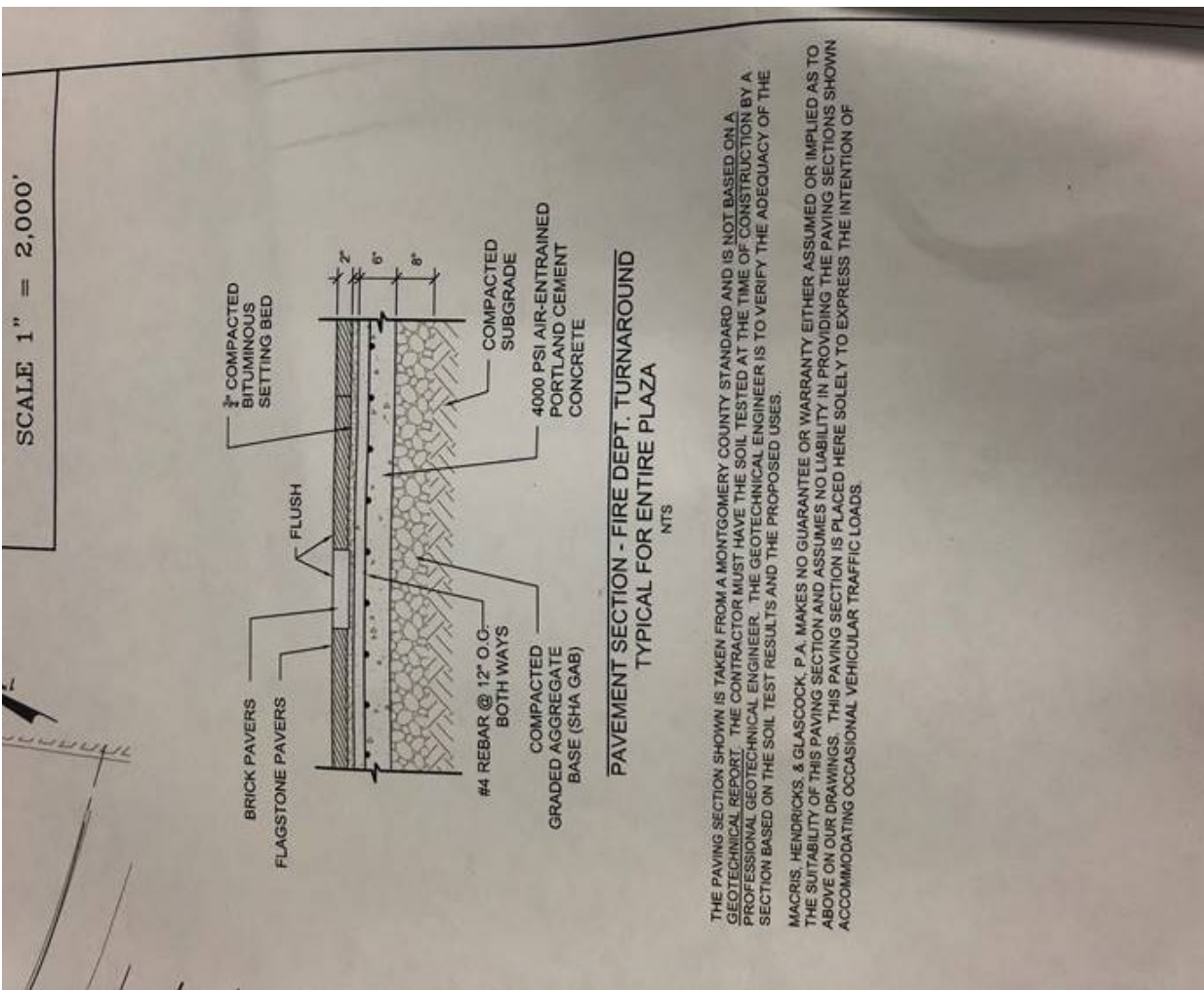
APPENDICES

- A. DPS Fire Department Access and Water Supply correspondence
- B. Record Plat
- C. Statement of Justification
- D. NOV
- E. NOV Punch List
- F. Citations

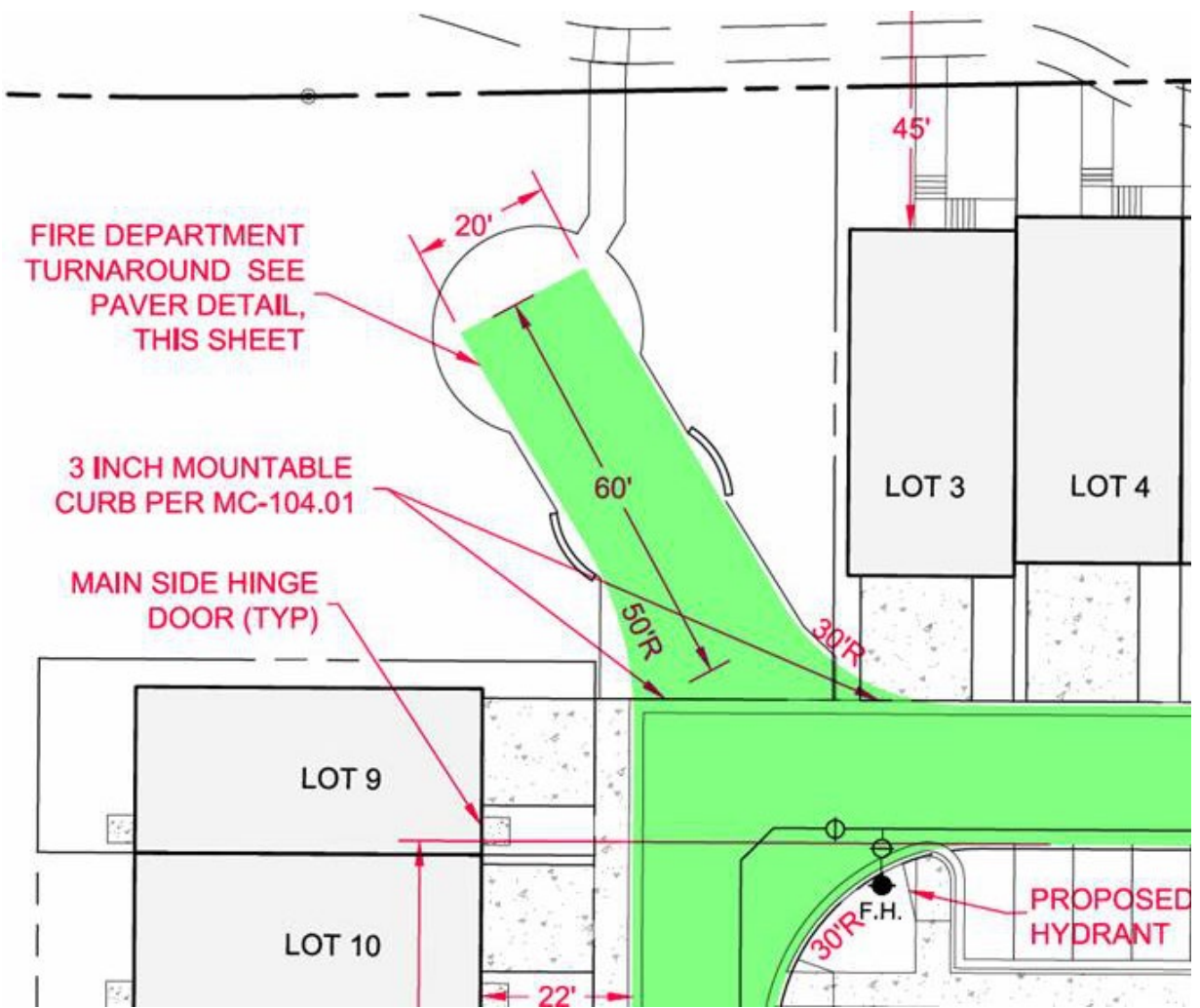
From: [LaBaw, Marie](#)
To: [Server, Jeffrey](#)
Cc: [Pereira, Sandra](#)
Subject: RE: Sandy Spring Townhomes Site Plan Amendment
Date: Thursday, January 16, 2020 7:45:10 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

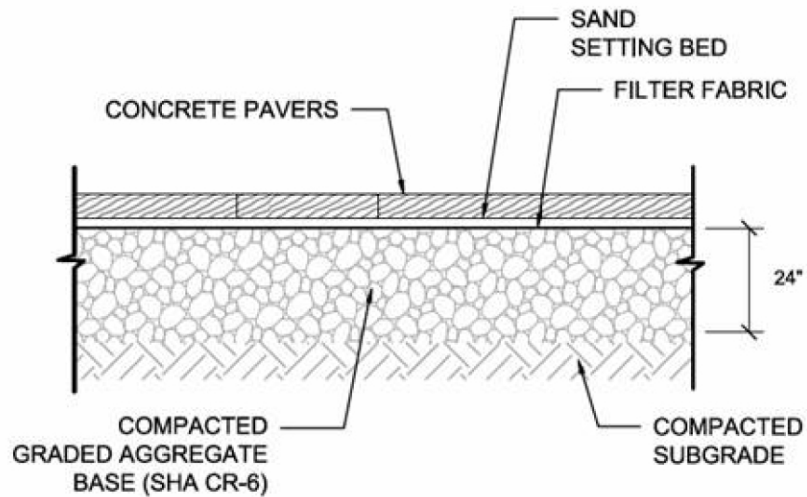
Below are the relevant details from the Feb 18, 2016 approved fire department access plan. As per Montgomery County Executive Regulation 8-16, everything in green (including the corner where Lot 2 meets the pedestrian plaza) is designated as fire department vehicular access and therefore must meet minimum load bearing requirements for either Montgomery County tertiary road standard or MCFRS apparatus, no less than 85 kips, whichever the applicant chooses to meet.





These are the comparable details from the Sept 23, 2019 ePlans submittal:





PAVEMENT SECTION - FIRE DEPT. TURNAROUND
TYPICAL FOR ENTIRE PLAZA
 NTS

MACRIS, HENDRICKS, & GLASCOCK, P.A. MAKES NO GUARANTEE OR WARRANTY EITHER ASSUMED OR IMPLIED AS TO THE SUITABILITY OF THIS PAVING SECTION AND ASSUMES NO LIABILITY IN PROVIDING THE PAVING SECTIONS SHOWN ABOVE ON OUR DRAWINGS. THIS PAVING SECTION IS PLACED HERE SOLELY TO EXPRESS THE INTENTION OF ACCOMMODATING OCCASIONAL VEHICULAR TRAFFIC LOADS.

You will notice a significant difference in the subgrade section. The latest submittal was not certified by a geotechnical engineer or sealed by a professional engineer as able to meet required load bearing minimums.

S Marie LaBaw PhD, PE
Fire Department Access and Water Supply
Department of Permitting Services
 255 Rockville Pike, 2nd Floor
 Rockville, MD 20850
 (240) 773-8917 Office
Marie.LaBaw@montgomerycountymd.gov

Appendix C



Civil Engineers
Land Planners
Land Surveyors
Landscape Architects

9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
(301) 670-0840
www.mhgpa.com

August 12, 2019

Mr. Rich Weaver
Planning Area 3, Chief
8787 Georgia Avenue
Silver Spring, MD 20910

Site Plan Amendment 82016001B
Sandy Spring Townhomes
MHG Project No. 2014.189.11

Mr. Weaver,

On behalf of the Applicant, Nichols Development, we hereby submit an application for a Limited Major Site Plan Amendment for the Planning Board's Consent Agenda for the Sandy Spring Townhomes project in Sandy Spring, Maryland. The original Certified Site Plan was approved on May 25, 2016 under plan number 820160010 and included a new 19 new townhomes and associated open spaces. Plan amendment number 82016001A was approved on October 10, 2016 to reconcile a typographical error in the development standards table.

An additional Site Plan Amendment is being submitted to reconcile several minor site, building and landscape adjustments made during construction of the project, listed below:

- Modification to steel fencing details
- Modification to cap on brick piers
- Modification of design to turnaround plaza including seating design and pergola locations.
- Modification to conditions 7b to require a 5'-0" sidewalk.
- Modification of condition 8 to allow beaded vinyl siding.

As demonstrated in this statement and the documents submitted the amendments being sought are minor in nature and will not affect the overall nature and character of the project. This amendment does not include changes to the approved use, height or density associated with the project. The development will maintain compliance with the applicable requirements of the Zoning and Subdivision Ordinances as well as the Sandy Spring Rural Village Plan.

In accordance with the checklists provided by Area 3 Staff, these amendments do not require a pre-submission community meeting, however the property will be noticed and posted in accordance with the Montgomery Planning Development Review Procedures.

We appreciate the help and guidance that has been provided by Staff leading up to this submission, and look forward to working further towards approval of this amendment. Please let us know if you have any questions or need additional information.

Sincerely,

Patrick G. La Vay, P.E.

Appendix D

	MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES 255 Rockville Pike, 2nd Floor Rockville, Maryland 20850-4166	NOTICE OF VIOLATION Case# 403265 Permit Type SITE PLAN Permit Number 820160017
---	---	---

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On December 19, 2018 the recipient of this NOTICE: TYLER NICHOLS
 who represents the permittee/defendant,
 is notified that a violation of Montgomery County Code, Section(s) as noted below
 exists at: 1010 OLNEY SANDY SPRING RD SANDY SPRING MD, 20860

	<u>VIOLATION</u>	<u>CORRECTIVE ACTION</u>
Violation 1: 8-26	CONDITIONS OF PERMIT	Comply with conditions of approved permits, applicable building codes, and zoning regulations.
Violation 2: 50-10.6.A	Violation of site plan requirements	Site Plan Violation (Enforcement of Chapter/Notice of Violation)
Violation 3: 59-7.3.4.H.4	Failure to comply with approved site plan	Site Plan Violation (Zoning/Site Plan)

Violation 4:

Violation 5

Violation Comments / Remarks: 1. Open space plaza layout and materials are not in compliance with site plan.
 2. Landscaping not complete.
 3. Lighting is missing and not energized throughout site.

Corrective Action / Remarks: Bring all violations into compliance.

See attached Inspection Report(s) for additional violations and/or required corrective actions

☐ An Inspection fee of \$0.00 is required in addition to any application fee(s).
 Compliance Time: 01/21/2019 Re-Inspection Date(s): 01/21/2019 Code/Edition:

Failure to comply with this notice may result in the issuance of one or more civil citations seeking fines of \$500.00.

☐ **A STOP WORK ORDER** is also issued this date at the above referenced project. All construction activities on these premises must cease immediately. Only those activities required to correct violations may continue. Written permission is required to resume construction.

ISSUED BY: JAMES NICHOLS  12/19/2018
 Printed Name Signature Date
 Phone No: 240-678-1787
RECEIVED BY: Tyler Nichols  12/19/18
 Printed Name Signature Date
 Phone No: _____ Sent by Registered Mail/Return Receipt On: _____

RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION

Appendix E

Sandy Spring Townhomes [820160010/A] NOV Punch List. This list was generated to provide further clarification for and should be attached to the NOV issued and received by the Developer's Representative on December 19, 2018. The issues identified herein that do not meet the requirements of the Certified Site Plan (CSP) Amendment must be fully addressed by the Certified Site Plan (CSP) Amendment to be generated from a meeting to be held between the Developer and M-NCPPC (at a date to be determined). Some incomplete CSP requirements are related to/have been delayed by "planting season" requirements and are not referenced in this punch list. The Developer is responsible for completing these incomplete requirements according to the existing and/or future revised CSP approved by MNCPPC.

Lot number clarification: The original lot designations for those lots along Route 108/Olney Sandy Spring Road (moving west to east – left to right across the CSP – were Lots 2, 3 & 4 in the first stick and Lots 5, 6 & 7 in the second stick with Lot 2 being the closest lot to the common open space/turn-around plaza (located in the northwest corner of the property/project). The end lot of the stick of townhouses just south of the plaza was identified as lot 8. This is important since the "O" (original) Resolution detailed specific requirements for Lots 2, 7 and 8 (all end units on the 3 sticks of townhouses closest to Route 108/Olney Sandy Spring Road and what might be considered as "Highly Visible"). In the various reiterations of the lots, in the A Amendment, Lots 2, 3 & 4 became Lots 3, 4 & 5 and Lots 5, 6 & 7 became Lots 2, 7 and 8. And Lot 8 became Lot 9. The final plat reflects the change of Lot 5 to 6 and then finally to Lot 22. The important result is that the original lots reflected in the original CSP (Lots 2, 7 & 8), ultimately became Lots 3, 8 & 9 at the conclusion of the project. These changes are reflected in the plans provided below:

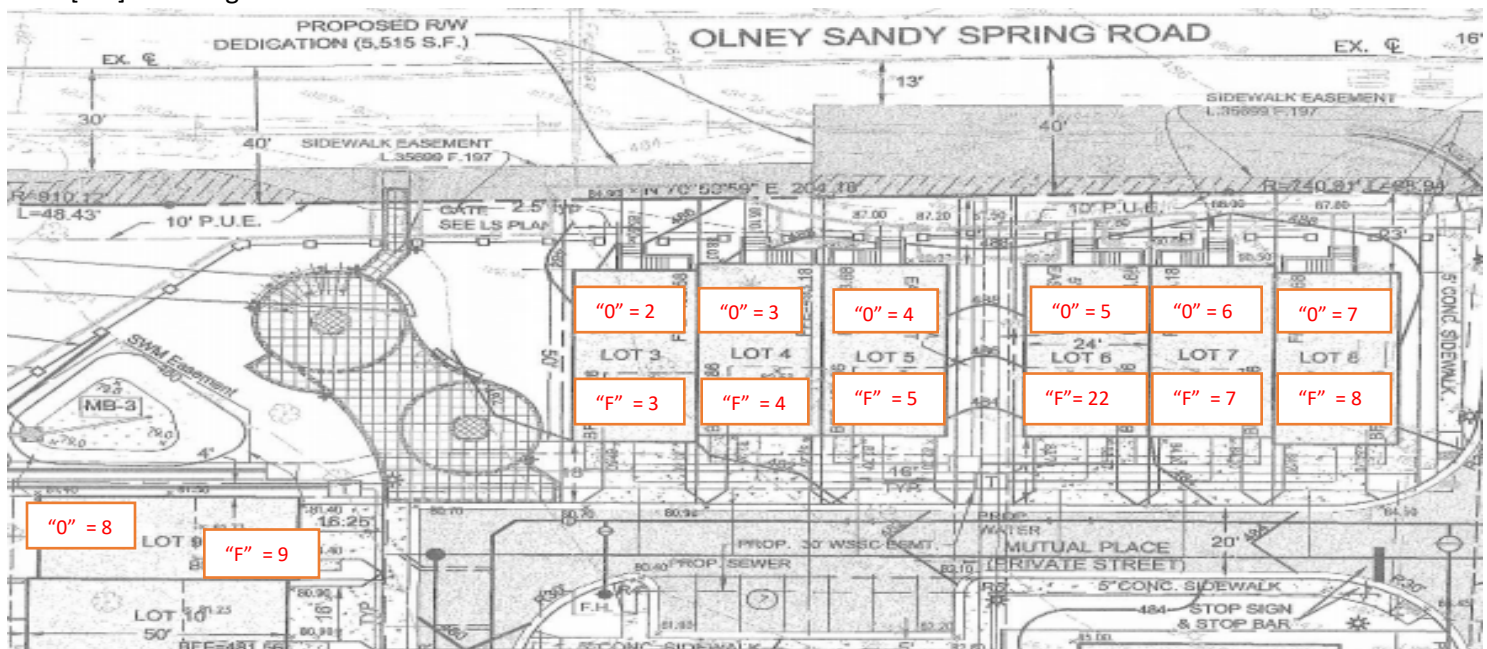
The importance being that on Pages 4 & 5 of the original Resolution, the following requirements were stipulated on Page 4, #8. Site Plan:

- b. Lots 2, 7, and 8
- All unit's sides must include some masonry elements including the façade below the elevation of the finished front entry floor. All side facades shall use either wood or simulated wood plank material for the siding and trim subject to staff approval. The side materials and finishes shall match those used on the unit's fronts.
 - The façade above the elevation of the first floor finished floor shall be sided with a hardy/cement plank siding.
 - Provide a minimum of eight windows or alternative architectural features providing the impression of a window on the side wall.

And on Page 5, continuing with #8. Site Plan:

- Side walls must provide a minimum of one of the following architectural elements: a three dimensional element such as bay windows, a variation of wall planes or a hipped roof with dormers, or must provide a double wide window or non-functioning French door.
- Trim and banding similar to that shown on the schematic shall be provided between the top of the top finished floor and the bottom of the attic.

There are other requirements, but they all appear in compliance. The biggest discrepancy appears to be the use of vinyl siding in lieu of "hardy/cement plank siding". The following is the "A" Amendment Sheet C-1, with Original ["O"] & Final ["F"] Lot designations as indicated:



Other issues that don't comply/meet the MNCPPC CSP and MCDPS requirements are:

1. Changed emergency vehicle "turn-around plaza" area to typical pavers. This does not meet the stamped concrete requirement (changed to stamped concrete in 82016001A amendment). The installed pavers do not comply with CSP 820160010 in size or color (see details on Sheets L-3 & L-4, etc.) and concrete base (gravel and sand base installed). Refer to photos on pages 5 – 7.
2. Layout/configuration of emergency vehicle "turn-around plaza" does not agree with what is shown on CSP drawings (ensure compliance with Fire Equipment requirements). Note (as stated above): Original CSP 820160010 called for Radial Stone Flagstone Pavers and Belden Brick, etc., with specific layout sizes/details as shown on Sheet L-3; "A" Amendment [82016001A] changed the "turn-around plaza" to stamped concrete. The installed pavers do not comply/meet either design.
3. Building permit required for ALL fencing installed on site. Please provide fence permit number(s) for all fencing asap.



A permit is required to install any type of fence in Montgomery County. Replacement of an existing fence, ORIGINALLY INSTALLED WITH A FENCE PERMIT, with the same kind of fence in the same location at the same height, does not require a fence permit. If an existing fence was not installed with a fence permit, the replacement fence must have a fence permit.

Link to apply for fence permit(s): <https://permittingservices.montgomerycountymd.gov/DPS/general/Home.aspx>

4. Fencing column "caps" are flagstone in lieu of the precast concrete caps shown on the CSP and columns adjacent to address 1010 exhibit a significant lean as though subgrade/footing freezing/heaving has occurred.
5. Arched, continuous double support trellis ("Pergola") shown on the CSP was replaced with three separate trellises. Refer to CSP drawing Sheets L-2, L-3 and details on Sheet L-5.
6. Seating wall(s) shown on the CSP were replaced with non-continuous arched walls (differing in location, size, height, length, etc. from what is shown/required on the CSP). Ensure change is acceptable/complies with fire equipment requirements. (Sheet L-4)
7. Lighting shown on the CSP in the "common open space/turn-around plaza" (i.e., bollard and step) have not been installed except in the masonry walls and then (in the wall locations) improper lighting fixtures were installed (not as shown on the CSP – in type or location). Also, ensure 90-degree shields are installed inside the fixture lensed area for two site pole light fixtures closest to the southern site boundary as required/called for in the Resolution/on the CSP.
8. Metal fencing and gate not installed between brick columns in all required locations as shown on CSP (e.g., fencing at the park and in front of lots 5 & 22, and gate at the sidewalk from park area towards Olney Sandy Spring Rd).
9. Landscaping has not been completed. While it could/should have been installed during the last growing season (i.e., in the Fall when the 15th building final trigger was reached), it should now be completed during the next growing season (in the Spring). Review/discuss site and townhouse unit landscaping to ensure the landscaping is installed as shown/specified on the CSP. Also, provide confirmation that Landscape Architect was present to supervise installation of landscape boulders and that the boulders are set into the ground to at least one-third of their height (refer to CSP Sheet L-5). Evidence observed that boulders were not set as required.
10. Submit certifications from a Structural Engineer and a Geo-Technical Engineer for all concrete, core materials, grouts, mortars, footing dimensions, reinforcement, soil compaction, pavement sections and verification of the brick and stone paving specified as appropriate for the designated vehicular and pedestrian uses (Pursuant to "Design Notes" on sheet L-4).
11. Complete installation of all sidewalks. This includes the 5' concrete sidewalk and pad that extends to and surrounds the "picnic area" (between yet to be completed bio-retention areas MB-1 & MB-2) and also extends offsite (NOTE: 5' NOT 4' wide) to the existing parking lot which is part of the adjacent community - identified as Sandy Spring Village Condominiums on the CSP.
12. Bio-retention areas (MB-1, MB-2 – at picnic table area and MB-3 – at plaza) have not yet been completed (to be installed/completed under the direction of DPS SWM).
13. Benches not installed in locations designated in the CSP.
14. Picnic table not installed between bio-retention areas MB-1 & MB-2 as shown on the CSP.
15. HOA board/management company contacted (Friday, December 28th & Monday, December 31, 2018) to determine if there are any complaints/outstanding issues relevant to SPES that require resolution. [Jim Koss, Oakbrook Management Company, cell: 301-651-2182; jimk@oakbrookmgmt.com] Discussed first HOA Meeting/election of BOD to occur on Monday, January 14, 2019.
16. Final/permanent connections to be made by PEPCO to site lighting. Electricity currently being supplied by temporary connection to adjacent property site lights (owned by same owner per Developer Contact).



Front of Lot 9 (originally Lot 8)
1021 Mutual Place, Sandy Spring, MD 20860



Right side (facing Route 108) and front of Lot 9
1021 Mutual Place, Sandy Spring, MD 20860



Right side (facing Route 108) and front of Lot 9
1021 Mutual Place, Sandy Spring, MD 20860



Right side of Lot 3 (originally Lot 2)
1014 Olney Sandy Spring Road, Sandy Spring, MD 20860



Front and right side of Lot 3
1014 Olney Sandy Spring Road
Sandy Spring, MD 20860



Beaded vinyl siding on front of Lot3; NOTE: Typical for all 3 Lots where "hardy/ cement plank siding is required per Resolution.



Front of Lot 8 (originally Lot 7)
1002 Olney Sandy Spring Road
Sandy Spring, MD 20860



Front of Lot 8 (originally Lot 7)
1002 Olney Sandy Spring Road
Sandy Spring, MD 20860



Front view of townhouses along Olney Sandy Spring Road with Lot 8 on left

The following photos show the open space/turn-around plaza area:





No evidence of a concrete base as required in the Certified Site Plan (See details provided on Sheet L-4)



No evidence of required concrete base (Sheet L-4) – only CR6 base with sand setting bed



Sidewalk at east/left side of Lot 8/1002 Olney Sandy Spring Road (Route 108) and Lead walks at townhouses along Route 108

email: josh.kaye@montgomeryplanning.org

Date _____