



Proposed Category Map Amendments: Montgomery County Comprehensive Water Supply and Sewerage Systems Plan – Six Water/Sewer Service Category Change Requests – 2020-1 Administrative Cases



Katherine E. Nelson, Planner Coordinator, Katherine.Nelson@montgomeryplanning.org (301) 495-4622



Frederick Vernon Boyd, Master Planner, Area 3, Fred.Boyd@montgomeryplanning.org (301) 495-4654



Richard A. Weaver, Chief, Area 3, Richard.Weaver@montgomeryplanning.org (301) 495-4544

Completed: 1/8/2020

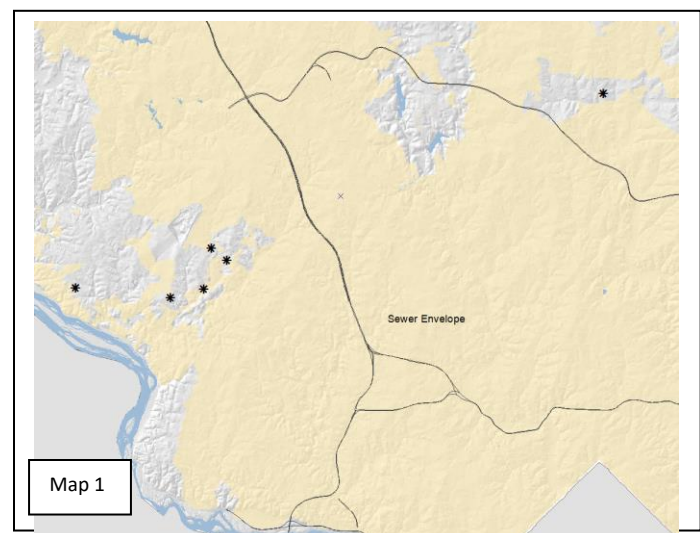
Description

Proposed Amendments:

Montgomery County Comprehensive Water Supply and Sewerage Systems Plan – Six Water/Sewer Category Change Requests

Referred to the Planning Board for a determination of consistency with relevant master and sector plans, with recommendations to the County Executive for final action.

Staff Recommendation: *Transmit Recommendations to County Executive*



Summary

The Planning Board is required by State law to make a Master Plan consistency determination on each Water and Sewer Category Change Request (WSCCR). Map 1 shows the location of properties requesting water and sewer service with an asterisk.

The Planning Board's recommendations will be transmitted to the County Executive for final action. Information and maps of zoning, existing and proposed uses and recommendations from other agencies are shown in the attached packet from the County Executive. (Attachment 1) The recommendations made by Staff on all applications agree with the County Executive's recommendations.

STAFF RECOMMENDATION

Transmit the Planning Board's recommendations to the County Executive.

Water and Sewer Category Change Requests—2020-1 Administrative Amendments

WSSCR 20-OLN-01A: Jay Jong Gou Lim

This two-acre property is in the RE-2 Zone and is located in the Olney Planning Area. The 2005 Olney Master Plan recommends that water service be provided in accord with existing county water service policy. This property and its immediate neighbors to the north and south are surrounded entirely by properties in category W-1. An existing water line in Whitehaven Road serves these properties.

The Water and Sewer Plan recognizes that some areas may be served by public water service without public sewer service. The Plan supports such service in lower density, large lot residential zones, when such service conforms to the applicable master plan. The Olney Master Plan supports service to the subject property, which can connect to an existing water line.

Staff Recommendation: Approve W-1

County Executive Recommendation: Approve W-1

WSSCR 20-TRV-01A: Bates

This two-acre property is in the RE-2 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. While it is immediately adjacent to the sewer envelope included in the 2002 Potomac Subregion Master Plan, the Plan did not include it in the envelope. It is currently surrounded by property in the S-1 or S-3 categories, and a connection point is available on the adjacent property to the north.

The property is located in the Piney Branch Restricted Community Sewer Service Area. The Water and Sewer Plan limits public service in this area and outlines conditions that must be satisfied before public service is provided. One such condition allows single connections for properties that abut existing sewer mains. This provision was recommended in the 2002 Potomac Subregion Master Plan. The Potomac Subregion Master Plan supports service to the subject property under the Piney Branch Restricted Service Policy's abutting mains standard.

Staff Recommendation: Approve S-1

County Executive Recommendation: Approve S-1

WSSCR 20-TRV-02A: Madawaia

This 2.13-acre property is in the RE-2 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. The 2002 Potomac Subregion Master Plan recommends that water service be provided in accord with existing county water service policy. This property confronts properties across River Road in category W-1; a property on the same side of River Road separated only by a pipestem lot entrance is also in category W-1. An existing water line in River Road serves these properties.

The Water and Sewer Plan recognizes that some areas may be served by public water service without public sewer service. The Plan supports such service in lower density, large lot residential zones, when

such service conforms to the applicable master plan. The Potomac Subregion Master Plan supports service to the subject property, which can connect to an existing water line.

Staff Recommendation: Approve W-1

County Executive Recommendation: Approve W-1

WSSCR 20-TRV-04A: Hudgins

This property is in the RE-1 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. The Hudgins property totals 0.85 acres. It is located in the Piney Branch Restricted Community Sewer Service Area. The Water and Sewer Plan limits public service in this area and outlines conditions that must be satisfied before public service is provided. One such condition allows single connections for properties that abut existing sewer mains. This provision was recommended in the 2002 Potomac Subregion Master Plan. There is an existing sewer main in Boswell Lane that abuts the entirety of the Hudgins property. It is therefore eligible for service under Water and Sewer Plan policies for the Piney Branch Restricted Community Sewer Service Area. The properties is eligible for a single hookup.

Staff Recommendation: Approve S-1, single hookup

County Executive Recommendation: Approve S-1, single hookup

WSSCR 20-TRV-06A: Goodman and Dresing

This 1.79 acre property is in the RE-1 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. It is located in the Glen Hills community. The property owners have advised the Department of Permitting Services (DPS) of a public health problem resulting from a septic system failure and have documented that failure for both DPS and the Department of Environmental Protection. The Water and Sewer Plan's policy for Glen Hills allows provision of public sewer service when septic system failures are confirmed. Planning staff supports provision of public sewer service to this property.

Staff Recommendation: Approve S-1

County Executive Recommendation: Approve S-1

WSSCR 20-TRV-07A: Leintu

This three-acre property is in the RE-2 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. It also is located in the Piney Branch Restricted Community Sewer Service Area. The Water and Sewer Plan limits public service in this area and outlines conditions that must be satisfied before public service is provided. One such condition allows single connections for properties that abut existing sewer mains. This provision was recommended in the 2002 Potomac Subregion Master Plan. There is an existing sewer line in Piney Meetinghouse Road that abuts the entirety of this property. It is therefore eligible for service under Water and Sewer Plan policies for the Piney Branch Restricted Community Sewer Service Area. The property is eligible for a single sewer hookup.

Staff Recommendation: Approve S-1, single hookup

County Executive Recommendation: Approve S-1, single hookup

NEXT STEP

The Planning Board's recommendations will be transmitted to the County Executive. Final action by the Executive will follow.

Attachment:

1. County Executive Notice of Public Hearing and attached package.



DEPARTMENT OF ENVIRONMENTAL PROTECTION

Marc Elrich
County Executive

Adam Ortiz
Director

December 18, 2019

NOTICE OF AD 2020-1 ADMINISTRATIVE PUBLIC HEARING

TO: Keith Levchenko, Senior Legislative Analyst
County Council

Rich Weaver, Chief, Area Three Planning Team
Maryland - National Capital Park and Planning Commission

Ray Chicca, Manager, Development Services Division
Washington Suburban Sanitary Commission

Heidi Benham, Manager, Well and Septic Section
Department of Permitting Services

Category Change Request Property Owners and Applicants

FROM: George Dizelos, Planner III, Water Supply and Wastewater Unit
Department of Environmental Protection

SUBJECT: **Administrative Public Hearing AD 2020-1 for Water and Sewer Plan Amendments**

DATE & TIME: **Wednesday, January 22, 2020, at 10:00 a.m.**

LOCATION: **DEP Lobby Conference Room**, 255 Rockville Pike, Suite 120, Rockville

Please be advised that the Montgomery County Department of Environmental Protection (DEP) will hold an administrative public hearing as specified above on the following requested category map amendments to the County's 2018 Comprehensive Water Supply and Sewerage Systems Plan:

20-OLN-01A... Jay Jong Sou Lim
20-TRV-01A... Lynne Bates
20-TRV-02A... Atapattu Madawala
20-TRV-04A... Carol and Garven Hudgins
20-TRV-06A... Craig Goodman and Elizabeth Dresing
20-TRV-07A... Wande Leintu

To assist with your review of these proposed actions, DEP has created and posted a PDF to the "Service Area Category Changes" webpage at www.montgomerycountymd.gov/water/supply/category-changes.html. Select the blue "Application Hearing Schedule" tab to expand the section, then scroll down to the "Current Administrative Review Packet" heading. The hearing notice PDF includes the following information for the proposed amendments:

- Information summaries
- Staff reports and recommendations
- Mapping
- Supporting documents, as appropriate

We ask that Council staff provide the posted materials to the Councilmembers for their review. If Council staff members and aides would like to meet with DEP regarding the proposed amendments, call me to arrange a date and time to review the cases before the public hearing. We request that the Council staff submit Councilmembers' comments to DEP no later than the hearing record closing date (see below). Otherwise, we will assume that the Councilmembers agree with administrative approval as recommended for the requests.

We understand that the Montgomery County Planning Board will include this administrative packet for consideration on its agenda.

Attendance at this hearing for agencies, applicants, and others is optional. These requests will be considered at the time specified on page 1. If you wish to comment on a referenced amendment or on the staff recommendations, you may testify at the public hearing, or you may submit written testimony to:

Adam Ortiz, Director, DEP; 255 Rockville Pike, Suite 120; Rockville, MD 20850-4166; or to george.dizelos@montgomerycountymd.gov.

DEP will close the record on January 29, 2020.

Please do not hesitate to contact me at george.dizelos@montgomerycountymd.gov or at 240-777-7755 if you have any questions concerning these category change requests or the schedule provided.

GJD: gjd\\DEPFILES\Data\Programs\Water_and_Sewer\actions-AD\2020\AD-2020-1\ad-hearing-notice-2020-1.docx

cc: Sidney Katz, President, County Council
Casey Anderson, Chairperson, Montgomery County Planning Board
Katherine Nelson, Area 3 Planning Team, M-NCPPC
Jason Sartori, Functional Planning and Policy Division, M-NCPPC
Geoffrey Mason, Parks Planning and Stewardship Division, M-NCPPC
Beth Kilbourne & Rufus Leeth, Development Services Division, WSSC
Luis Tapia, Permit Services Section, WSSC
D. Lee Currey, Director, Water and Science Admin., Maryland Dept. of the Environment
Robert McCord, Secretary, Maryland Department of Planning

Category Change Applicants & Interested Parties

20-OLN-01A... Jay Jong Sou Lim
20-TRV-01A... Lynne Bates
20-TRV-02A... Atapattu Madawala
... David McKee, Benning & Associates, Inc.
20-TRV-04A... Carol and Garven Hudgins
20-TRV-06A... Craig Goodman and Elizabeth Dresing
20-TRV-07A... Wande Leintu

Civic Organizations and Other Public Interest Groups

Audubon Naturalist Society
Greater Glen Mill Community Association
Greater Glen Hills Coalition LLC
Greater Olney Civic Association
Glen Hills Civic Association
Glen Hills Community Coalition
Glen Preservation Foundation
North Potomac Citizens Association
Montgomery County Civic Federation
Montgomery Coalition to Stop Sewer Sprawl
Potomac Highlands Citizens Association
Southeast Rural Olney Civic Association
West Montgomery County Citizens Association

WSSCR 20-OLN-01A: Jay Jong Sou Lim

DEP Staff Recommendation: Approve W-1, Administrative policy V.D.2.a.: Consistent with Existing Plans.

Property Information and Location Property Development	Applicant's Request: Service Area Categories & Justification									
<ul style="list-style-type: none">• 16212 Whitehaven Road., Silver Spring• Lot 55, Block A, Plat 18402 Norbeck Knolls (acct. no. 02949963)• Map tile: WSSC – 222NW02; MD –JS23• West side of Whitehaven Rd., 940 feet North of the intersection with Norbeck Rd.• RE-2 Zone; 2.0 acres• Olney Planning Area Olney Master Plan (2005)• Northwest Branch Watershed (MDE Use IV)• <u>Existing use</u>: Single-Family Home• <u>Proposed use</u>: No Change	<table><tr><th>Existing –</th><th>Requested –</th><th>Service Area Categories</th></tr><tr><td>W-6</td><td>W-1</td><td></td></tr><tr><td>S-6</td><td>S-6 (no change)</td><td></td></tr></table>	Existing –	Requested –	Service Area Categories	W-6	W-1		S-6	S-6 (no change)	
	Existing –	Requested –	Service Area Categories							
	W-6	W-1								
	S-6	S-6 (no change)								
	<u>Applicant's Explanation</u> <i>None provided.</i>									

DEP Staff Report: The applicant has requested approval of water category W-1 to allow for public water service for an existing single-family home. This property is two acres in size and zoned RE-2. The property is located within the County's planned public water service envelope.

M-NCPPC staff concur that the property is within the water service envelope of the 2005 Olney Master Plan. M-NCPPC Parks have concluded that there are no park impacts. WSSC confirms that connecting the property to water service can be supported with a connection to the 12-inch water main in Whitehaven Road which abuts the property. DPS has confirmed the existing well does not meet state potable water standards in turbidity. DEP staff recommendation is for the approval of category W-1, consistent with existing plans.

Agency Review Comments

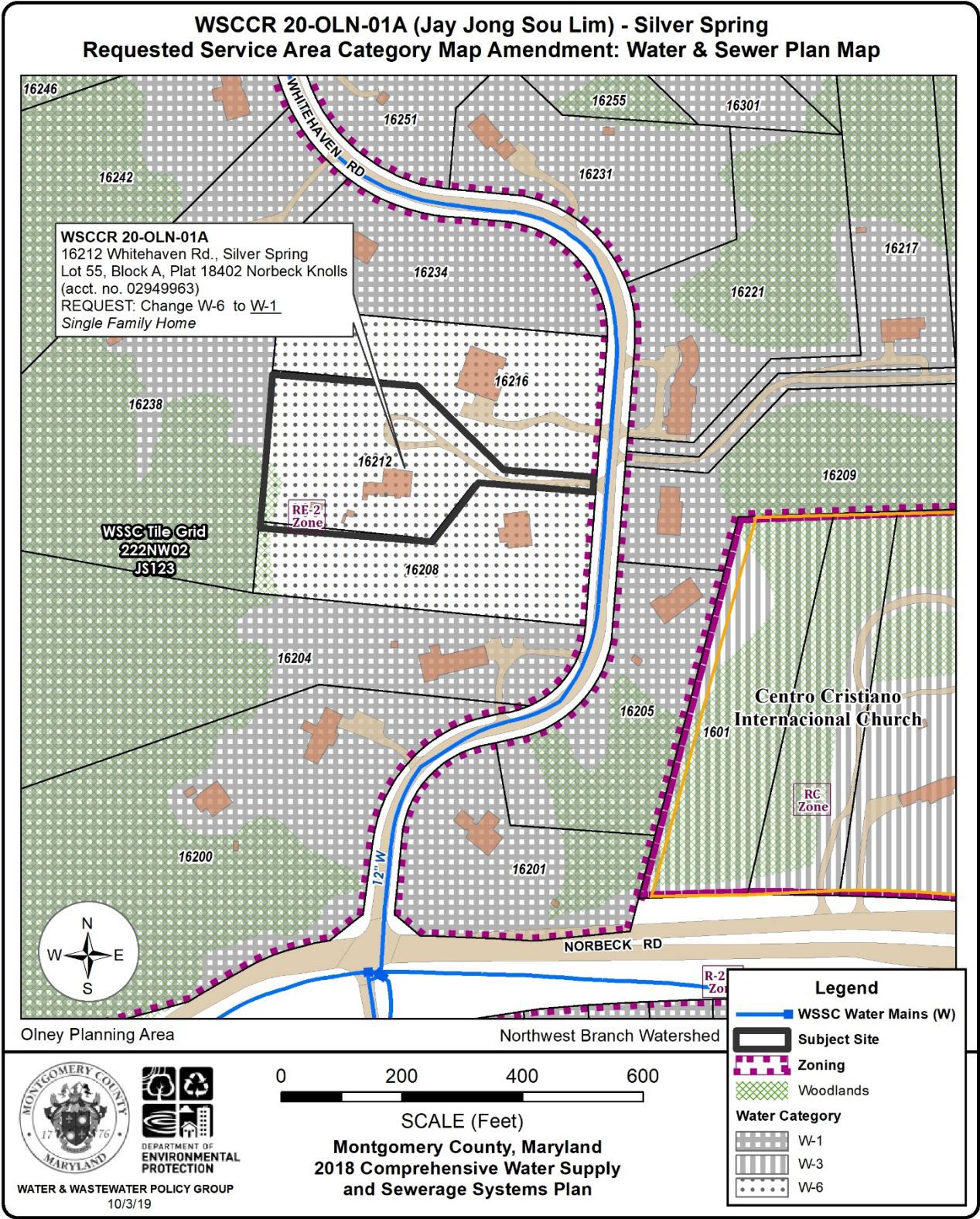
DPS: The water quality report submitted to DPS indicated that at the time of testing, the turbidity did not meet state potable water standards. The turbidity was shown to be 354 NTUs and the standard is 10 NTUs. The well was negative for bacteria and not tested for nitrate levels, which are the other two water standards reviewed to issue a certificate of potability.

M-NCPPC – Planning Dept.: This two-acre property is in the RE-2 Zone and is located in the Olney Planning Area. The 2005 Olney Master Plan recommends that water service be provided in accord with existing county water service policy. This property and its immediate neighbors to the north and south are surrounded entirely by properties in category W-1. An existing water line in Whitehaven Road serves these properties. The Water and Sewer Plan recognizes that some areas may be served by public water service without public sewer service. The Plan supports such service in lower density, large lot residential zones, when such service conforms to the applicable master plan. The Olney Master Plan supports service to the subject property, which can connect to an existing water line.

M-NCPPC – Parks Planning: No park impacts.

WSSC - Water: Water pressure zone: 560A. A 12-inch water line in Whitehaven Road abuts the property (contract no. 1982-5314A). Local service is adequate. Program-sized water main extensions (16 inches in diameter or greater) are not required to serve the property.

WSSC - Sewer: *(not requested)*



WSSCR 20-TRV-01A: Lynne Bates

DEP Staff Recommendation: Approve S-1, for one sewer hookup only under the Piney Branch restricted sewer access policy. The provision of a single sewer hookup cannot support the subdivision of this property into more than one building lot. Administrative policy V.D.2.a: Abutting Mains.

Property Information and Location Property Development	Applicant's Request: Service Area Categories & Justification						
<ul style="list-style-type: none">• 12101 Glen Mill Rd., Potomac• Parcel P963, Wickham & Pottinger (acct. no. 00864925)• Map tile: WSSC – 215NW10; MD –FQ33• East side of Glen Mill Rd. north of Piney Branch crossing, 730 ft north of the intersection with Lloyd Rd.• RE-1 Zone; 2.02 acres• Travilah Planning Area Potomac Master Plan (2002)• Watts Branch Watershed (MDE Use I), Piney Branch subwatershed (Mont. Co. SPA)• <u>Existing use</u>: Single-Family Home (built 1957)• <u>Proposed use</u>: No Change	<table><tr><th colspan="2"><u>Existing – Requested – Service Area Categories</u></th></tr><tr><td>W-1</td><td>W-1 (no change)</td></tr><tr><td>S-6</td><td>S-1</td></tr></table> <p><u>Applicant's Explanation</u></p> <p>“The current home’s septic system (expanded at prior date) is showing indications of failure (overflow within the lower rooms of the house). The lot is within a Special Protection Watershed [(Piney Branch)] which now stipulates the use of a sewer system. The creek runs through the property (Piney Branch Creek). Sale of the property would most likely be to a buyer desiring a larger home than the existing residence (due to surrounding development). The current septic system would not support a larger home, even if repair were possible. “</p>	<u>Existing – Requested – Service Area Categories</u>		W-1	W-1 (no change)	S-6	S-1
<u>Existing – Requested – Service Area Categories</u>							
W-1	W-1 (no change)						
S-6	S-1						
<p><u>DEP NOTES:</u></p> <ul style="list-style-type: none">• Neither the Piney Branch SPA nor the Piney Branch restricted sewer access policy <u>stipulate</u> public sewer service.							

DEP Staff Report: The applicant has requested approval of sewer category S-1 to allow for public sewer service for an existing single-family home, or optional replacement home. The property is just over two acres in size, and zoned RE-1. Sewer service to this property must adhere to the Piney Branch restricted sewer access policy as it is located within the Piney Branch Watershed and Special Protection Area (SPA). Although the property is outside of the planned sewer envelope, the property abuts an existing sewer main to the north. The house on this property, built in 1957, predates the abutting sewer main, built in 2007; therefore, this request satisfies the abutting mains policy. Properties that satisfy the abutting mains policy are eligible for restricted public sewer service under the Piney Branch restricted sewer service policy. As service here is proposed for only one sewer hookup, recordation of the Piney Branch Sewer Agreement Recommendations covenant is not required. Note that the restricted sewer access policy stipulates that service from an abutting mains hookup may not allow for the subdivision or resubdivision of a property into more than one building lot.

With respect to the applicant's explanation for this request, the location of this property within the Piney Branch SPA does not stipulate the use of public sewer service. Neither does Piney Branch traverse this property.

M-NCPPC staff concur that the property abuts a sewer main to the north. M-NCPPC Parks have concluded that there are no park impacts. WSSC has confirmed that sewer service to this property can be supported with the connection to the existing sewer system that runs along the northern boundary of the property. DEP staff recommendation is for the approval of restricted sewer category S-1, abutting mains.

Agency Review Comments

DPS: The owner contacted DPS in July 2019 with concerns about the existing septic system. The house has been vacant for an extended period of time. While a site visit did not confirm an immediate public health threat or nuisance outside the home, area for a full onsite replacement appeared limited due to a broad draining swale, steep slopes and proximity to a stream.

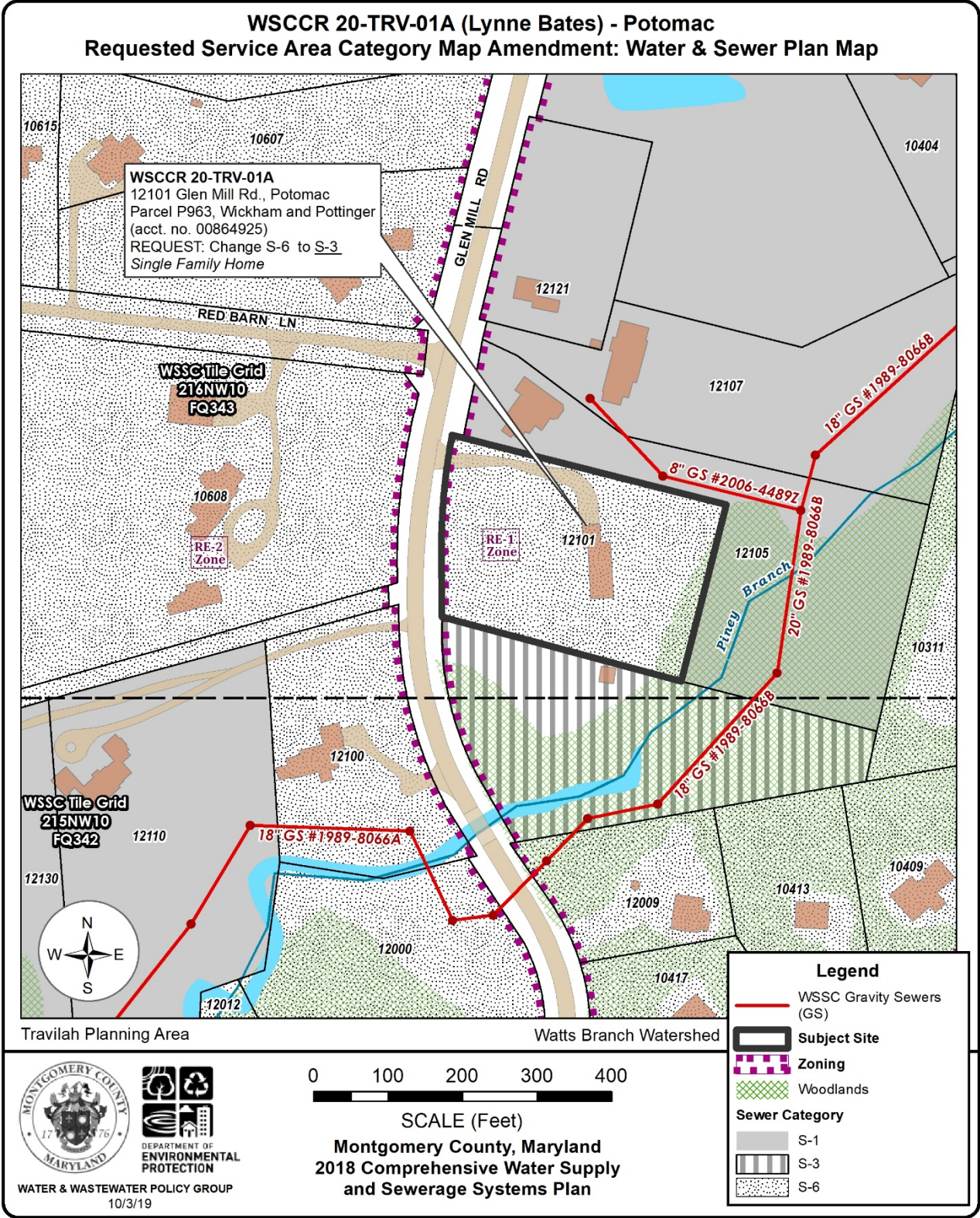
M-NCPPC – Planning Dept.: This two-acre property is in the RE-2 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. While it is immediately adjacent to the sewer envelope included in the 2002 Potomac Subregion Master Plan, the Plan did not include it in the envelope. It is currently surrounded by

property in the S-1 or S-3 categories, and a connection point is available on the adjacent property to the north. If DPS has received notice of septic problems on this property, it should be eligible for connection.

M-NCPPC – Parks Planning: No Park Impacts.

WSSC - Water: *(not requested)*

WSSC - Sewer: Basin: Watts Branch. There is an existing sanitary sewer system that runs along the northern boundary of the project site. A 4" sewer house connection (SHC) STUB was previously constructed under WSSC contract DA4489Z06 to serve this property. The homeowner can connect to this stub to receive sewer service. Average wastewater flow from the proposed development: 300 GPD minimum. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.



WSSCR 20-TRV-02A: Atapattu Madawala

DEP Staff Recommendation: Approve W-1, Administrative policy V.D.2.a.: Consistent with Existing Plans.

Property Information and Location Property Development	Applicant's Request: Service Area Categories & Justification						
<ul style="list-style-type: none">• 13301 River Road., Potomac• Lot 83, Plat 18638 Beallmount (acct. no. 02975197)• Map tile: WSSC – 216NW13; MD –EQ33• East side of River Rd., 450 ft north of the intersection with Drews Court• RE-2 Zone; 2.13 acres• Travilah Planning Area Potomac Master Plan (2002)• Watts Branch Watershed (MDE Use I)• <u>Existing use</u>: Unimproved• <u>Proposed use</u>: Single-Family Home	<table><tr><th colspan="2">Existing – Requested – Service Area Categories</th></tr><tr><td>W-6</td><td>W-1</td></tr><tr><td>S-6</td><td>S-6 (no change)</td></tr></table> <u>Applicant's Explanation</u> "To use public water that is available along River Road for a new single-family residence that is to be built."	Existing – Requested – Service Area Categories		W-6	W-1	S-6	S-6 (no change)
Existing – Requested – Service Area Categories							
W-6	W-1						
S-6	S-6 (no change)						

DEP Staff Report: The applicant has requested approval of water category W-1 to allow for public water service for a new single-family home. The property is 2.13 acres in size, and zoned RE-2. The property is located within the County's planned public water service envelope.

M-NCPPC staff concur that the property is within the planned public water service envelope, consistent with the 2002 Potomac Subregion Master Plan. M-NCPPC Parks have concluded that there are no park impacts. WSSC has confirmed water service can be provided by the abutting water main in River Road.

DEP staff recommendation is for the approval of water category W-1, consistent with existing plans.

Agency Review Comments

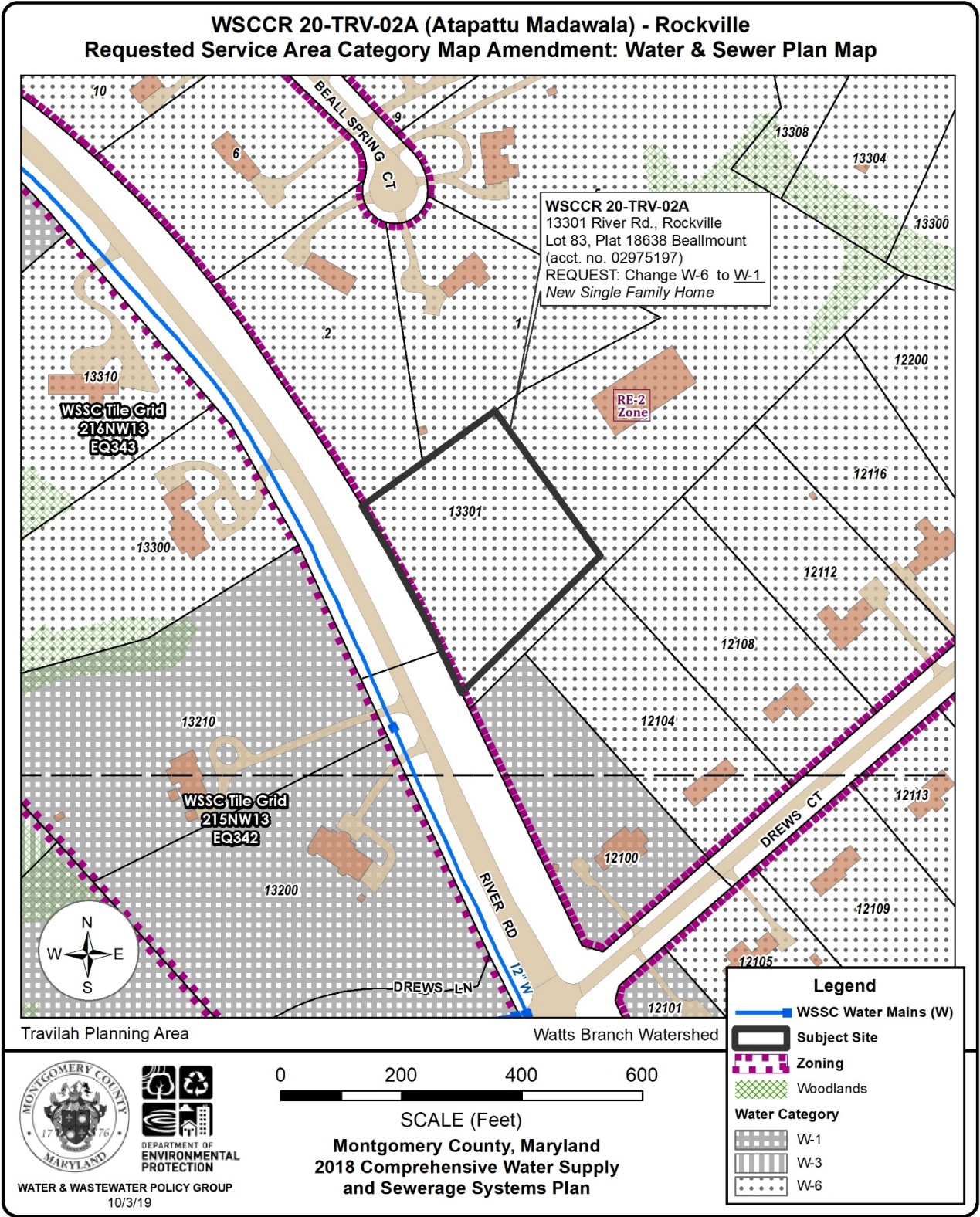
DPS: An initial and two alternate well sites have been approved for this property, however, DPS does not object to the use of public water.

M-NCPPC – Planning Dept.: This 2.13-acre property is in the RE-2 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. The 2002 Potomac Subregion Master Plan recommends that water service be provided in accord with existing county water service policy. This property confronts properties across River Road in category W-1; a property on the same side of River Road separated only by a pipestem lot entrance is also in category W-1. An existing water line in River Road serves these properties. The Water and Sewer Plan recognizes that some areas may be served by public water service without public sewer service. The Plan supports such service in lower density, large lot residential zones, when such service conforms to the applicable master plan. The Potomac Subregion Master Plan supports service to the subject property, which can connect to an existing water line.

M-NCPPC – Parks Planning: No Park Impacts.

WSSC - Water: Water pressure zone: 480A. A 12-inch water line in River Road abuts the property (contract no. 83-5667A). No public extension is required. Local service is adequate. Program-sized water main extensions (16 inches in diameter or greater) are not required to serve the property.

WSSC - Sewer: *(not requested)*



WSSCR 20-TRV-04A: Carol and Garven Hudgins Jr.

DEP Staff Recommendation: Approve S-1, for a single sewer hookup only under the Piney Branch restricted sewer access policy. The provision of a single sewer hookup cannot support the subdivision of this property into more than one building lot. Administrative policy V.D.2.a: Abutting Mains.

Property Information and Location Property Development	Applicant's Request: Service Area Categories & Justification						
<ul style="list-style-type: none">• 10419 Boswell Ln., Potomac• Parcel P635, Wickham and Pottinger (acct. no. 00055531)• Map tile: WSSC – 217NW10; MD –FR31• North side of Boswell Ln., 480 ft. West of the intersection with Glen Mill Road• RE-1 Zone; 37,026 sq.ft.• Travilah Planning Area Potomac Master Plan (2002)• Watts Branch Watershed (MDE Use I), Piney Branch subwatershed (Mont. Co. SPA)• <u>Existing use</u>: Single-Family Home (built 1953)• <u>Proposed use</u>: No change	<table><tr><th colspan="2"><u>Existing – Requested – Service Area Categories</u></th></tr><tr><td>W-1</td><td>W-1 (no change)</td></tr><tr><td>S-6</td><td>S-1</td></tr></table> <p><u>Applicant's Explanation</u></p> <p>"Applicant would like the option to use the existing public sewer line on Boswell Lane."</p>	<u>Existing – Requested – Service Area Categories</u>		W-1	W-1 (no change)	S-6	S-1
<u>Existing – Requested – Service Area Categories</u>							
W-1	W-1 (no change)						
S-6	S-1						

DEP Staff Report: The applicant has requested approval of sewer category S-1 to allow for public sewer service for an existing single-family home. The property is 0.85 acres in size, and zoned RE-1. The property abuts a low-pressure sewer main in Boswell Lane. Sewer service to this property must adhere to the Piney Branch restricted sewer access policy as it is located within the Piney Branch Watershed and Special Protection Area (SPA). Although the property is outside of the planned sewer envelope, the property abuts an existing sewer main. The house on this property, built in 1953, predates the abutting sewer main, built in 2016; therefore, this request satisfies the abutting mains policy. Properties that satisfy the abutting mains policy are eligible for restricted public sewer service under the Piney Branch restricted sewer service policy. As service here is proposed for only one single sewer hookup, recordation of the Piney Branch Sewer Agreement Recommendations covenant is not required. This parcel smaller than the minimum RE-1 zoning standard of 40,000 square feet. Regardless, the restricted sewer access policy stipulates that service from an abutting mains hookup may not allow for the subdivision or resubdivision of a property into more than one building lot.

M-NCPPC staff concur that the property abuts a sewer main in Boswell Lane. M-NCPPC Parks have concluded that there are no park impacts. WSSC has confirmed that sewer service to this property can be supported with the sewer main in Boswell Lane, however the system may require modifications. DEP staff recommendation is for the approval of restricted sewer category S-1, properties abutting mains.

Agency Review Comments

DPS: This property has a permitted 4 bedroom septic system from 1969. In 2005 the property owner contacted DPS regarding failure of the existing septic system. A failure was not confirmed but the property was found to be wet and DPS concluded that the septic system was likely contaminating the groundwater due to shallow groundwater observed during perc tests on the neighboring property.

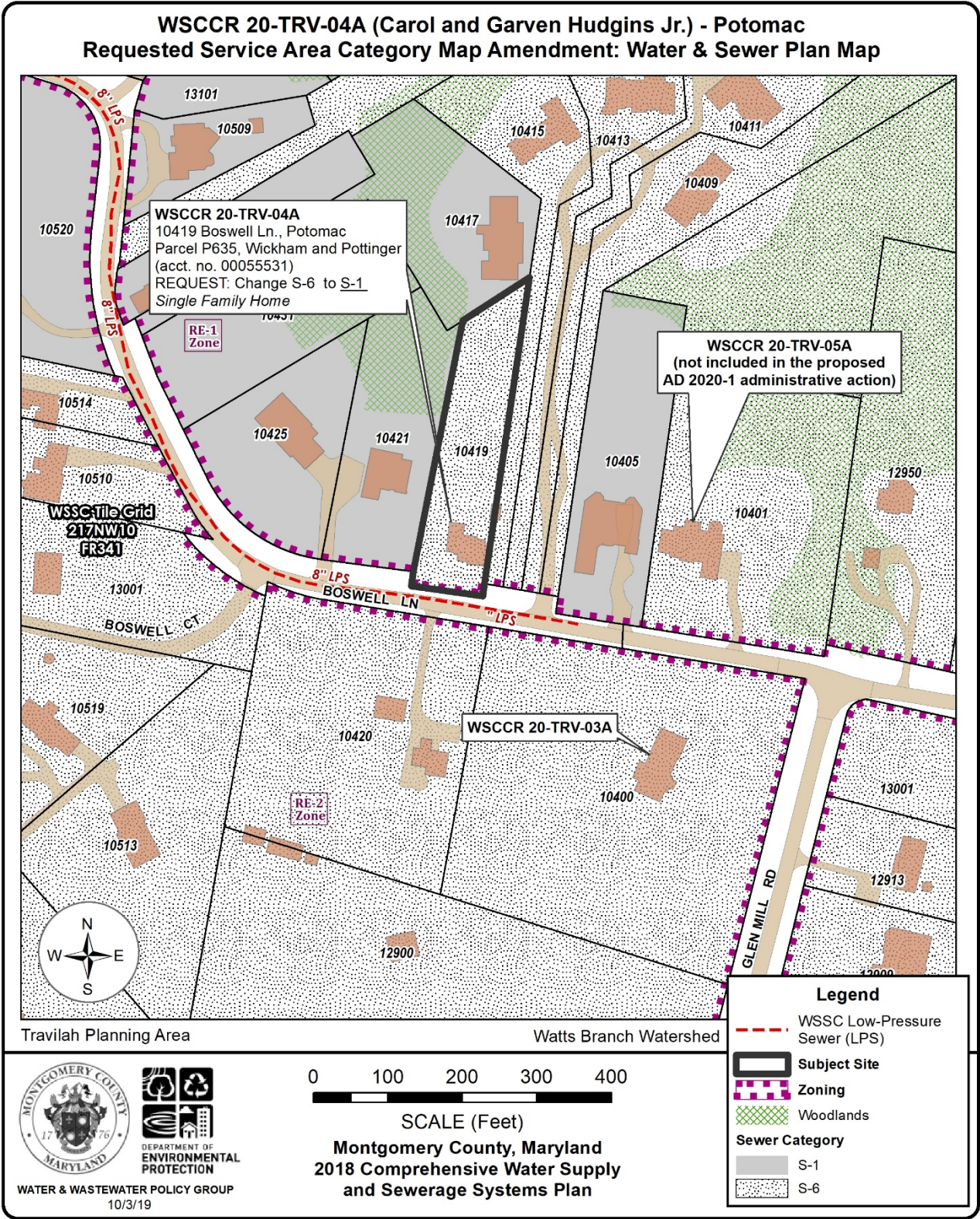
M-NCPPC – Planning Dept.: These properties (20-TRV-03A and 20-TRV-04A) are in the RE-1 Zone and are located in the Travilah Planning Area, part of the Potomac Subregion. The Arora property totals 3.7 acres and the Hudgins property totals 0.85 acres. These properties are located in the Piney Branch Restricted Community Sewer Service Area. The Water and Sewer Plan limits public service in this area and outlines conditions that must be satisfied before public service is provided. One such condition allows single connections for properties that abut existing sewer mains. This provision was recommended in the 2002 Potomac Subregion Master Plan. There is an existing line in Boswell Lane that abuts the entirety of the Hudgins property and the northwest corner of the Arora property. These properties are therefore eligible for service under Water and Sewer Plan

policies for the Piney Branch Restricted Community Sewer Service Area. The properties are eligible for a single hookup; the Arora property may not be subdivided under this policy.

M-NCPPC – Parks Planning: No Park Impacts.

WSSC - Water: *(not requested)*

WSSC - Sewer: BASIN: Watts Branch. There is an existing 1.5-inch low pressure sewer in Boswell Lane that abuts the property (contract no. 2007-4595Z) and it may be able to take the additional flow from the property. Average wastewater flow from the proposed development: 280 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.



WSSCR 20-TRV-06A: Craig Goodman and Elizabeth Dresing

DEP Staff Recommendation: Approve S-1, for a single sewer hookup only. The provision of a single sewer hookup for the relief of a failed onsite system cannot support the subdivision of this property into more than one building lot. Administrative policy V.D.2.a.: Public Health Problems.

Property Information and Location Property Development	Applicant's Request: Service Area Categories & Justification						
<ul style="list-style-type: none">• 12801 Spring Dr., Rockville• Lot 9, Block 2, Glen Hills Sec 3 (acct. no. 00078064)• Map tile: WSSC – 217NW10; MD –FR31• South East corner of the intersection of Spring Drive and Circle Drive• RE-1 Zone; 1.79 acres• Travilah Planning Area Potomac Master Plan (2002)• Watts Branch Watershed (MDE Use I), Piney Branch subwatershed (Mont. Co. SPA)• <u>Existing use</u>: Single-Family Home (built 1965)• <u>Proposed use</u>: No change	<table><tr><th colspan="2"><u>Existing – Requested – Service Area Categories</u></th></tr><tr><td>W-1</td><td>W-1 (no change)</td></tr><tr><td>S-6</td><td>S-1</td></tr></table> <p><u>Applicant's Explanation</u></p> <p><i>None provided.</i></p> <p>DEP NOTE: DEP WSWU issued an expedited connection request on August 6th, 2019 for the relief of a failed septic system at this property. (see pages 15-19)</p>	<u>Existing – Requested – Service Area Categories</u>		W-1	W-1 (no change)	S-6	S-1
<u>Existing – Requested – Service Area Categories</u>							
W-1	W-1 (no change)						
S-6	S-1						

DEP Staff Report: The applicant has requested approval of sewer category S-1 to allow for public sewer service for the relief of a failing septic system. This property is 1.79 acres in size and zoned RE-1. The county's water and sewer plan policies allow for the provision of public sewer service for the relief of failing septic systems for properties outside the planned sewer service envelope. DEP has issued an expedited sewer connection request on August 6, 2019, for the relief of the failed septic system.

Sewer service to this property must adhere to the Piney Branch restricted sewer access policy as it is located within the Piney Branch Watershed and Special Protection Area (SPA). Although the property is outside of the planned sewer envelope, DPS has notified DEP of a failed septic system at this location. Properties with documented septic system failures are eligible for restricted public sewer service under the Piney Branch restricted sewer service policy. As service here is proposed for only one sewer hookup, recordation of the Piney Branch Sewer Agreement Recommendations covenant is not required. Note that the restricted sewer access policy stipulates that service provided to relieve a failed septic system may not allow for the subdivision or resubdivision of a property into more than one building lot.

Sewer service for this property must also conform with service policies established for the Glen Hills study area. Again, the existence of a documented septic system failure as verified by DPS allows the County to consider the provision of public sewer service in this case.

M-NCPPC staff support the relief of the failing septic system by connecting the property to public sewer service. M-NCPPC Parks have concluded that there are no park impacts. WSSC confirms that the property can be served by the abutting sewer main in Spring Drive. DEP staff recommendation is for the approval of category S-1 for the relief of a failed septic system.

Agency Review Comments

DPS: A septic system failure was confirmed on this property in August 2019.

M-NCPPC – Planning Dept.: This 1.79 Acre property is in the RE-1 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. It is also located in the Glen Hills community. The property owners have advised the Department of Permitting Services of a public health problem resulting from a septic system failure and have documented that failure for both DPS and the Department of Environmental Protection. The Water and Sewer Plan's policy for Glen Hills allows provision of public sewer service when septic system failures are confirmed. Planning staff supports provision of public service to this property.

M-NCPPC – Parks Planning: No Park Impacts.

WSSC - Water: *(not requested)*

WSSC - Sewer: BASIN: Watts Branch. An 8-inch sewer line in Spring Drive abuts the property (contract no DA3976X04). Average wastewater flows from the proposed development: 300 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.



DEPARTMENT OF ENVIRONMENTAL PROTECTION

Marc Elrich
County Executive

Adam Ortiz
Director

MEMORANDUM

August 6, 2019

TO: Ray Chicca, Division Leader, Development Services Division
Luis Tapia, Unit Coordinator, DSG Permit Services
Washington Suburban Sanitary Commission

FROM: George Dizelos, Environmental Planner, Water Supply and Wastewater Unit
Department of Environmental Protection

SUBJECT: Public Health Problems

We request WSSC's assistance in expediting the provision of public service to the following property:

Sewer Service: 12801 Spring Drive, Rockville

Property I.D.:	Lot 9, Block 2, Glen Hills Sec 3; acct.no. 00078064	– (SDAT tax map: FQ43)
Owner:	Elizabeth Dresing	Water Category: W-1 Sewer Category: S-6
WSSC grid:	216NW10	Zoning/Size: RE-1, 1.77 acres
Planning Area:	Travilah	Watershed: Watts Branch

The Department of Permitting Services (DPS), Well and Septic Section, has advised this office of a public health problem, a septic failure, at the subject property (see the attached memorandum). DPS recommended relief of this problem by connecting the site to public sewer service. An existing 8"-diamater sewer main abuts the property along Spring Drive.

Although this property is designated as category S-6 in the County's Water and Sewer Plan, DPS acknowledgment of a public health problem is sufficient justification to warrant the expedited provision of public sewer service, regardless of the existing service area category. The property owners will need to file a request with DEP for a service area change from S-6 to S-1.

The confirmation of a septic system failure is a condition that allows for the provision of public sewer service under the Water and Sewer Plan's sewer service policies for the Glen Hills area. In addition, this property abuts and predates the existing sewer main along Spring Drive, another sewer service condition for the Glen Hills area. Given the presence of the abutting sewer main, consideration of a new septic system to replace the existing, failed system is not warranted, assuming the property owner wants to pursue public sewer service. WSSC permit records indicate that the property has public water service.

Given these conditions, it is reasonable to relieve this public health hazard by expediting the provision of public sewer service. **WSSC does not need to wait for the approval of a Water and Sewer Plan amendment to provide public sewer service; public service via the WSSC's system should be provided as soon as**

Intergovernmental Affairs Division • Water Supply and Wastewater Unit

Rockville Center, Suite 120 • 255 Rockville Pike • Rockville, Maryland 20850-4166 • 240-777-7716 • FAX 240-777-7715

Ray Chicca and Luis Tapia, WSSC
August 6, 2019

Page 2

possible. We would appreciate your assistance in this matter.

Neither DEP nor DPS staff can initiate a WSSC service application on the property owner's behalf. To begin the application process for public service, the property owner will need to contact the WSSC Permit Services Section at either 301-206-4003 or onestopshop@wsscwater.com. Additional information is available at the WSSC-Permits website at <https://www.wsscwater.com/business--construction/permit-services.html>.

If you have any questions, or if there are significant problems related to provision of public service, please contact me at George.Dizelos@montgomerycountymd.gov or 240-777-7755.

Attachments (see pages 3 and 4)

\\DEPFILES\Data\Programs\Water_and_Sewer\well-septic\HEALTHAZ\CASE\S\spring-dr-12801--septic\Spring-Drive-12801-Expedite Sewer.docx

cc: Lisa Sine, Sharon Spruill and April Snyder, Permit Services Unit, WSSC
Steve Shofar and Alan Soukup, Water Supply and Wastewater Unit, DEP
Heidi Benham and Jared Sluzalis, Well and Septic Section, DPS
Richard Weaver and Katherine Nelson, Area 3 Planning Team, M-NCPPC
Montgomery Coalition to Stop Sewer Sprawl
Glen Hills Civic Assoc.
West Montgomery County Citizen's Assoc.
Greater Glen Hills Coalition LLC
Glen Hills Community Coalition
Elizabeth Dresing

Ray Chicca and Luis Tapia, WSSC
August 6, 2019

Page 3



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Hadi Mansouri
Acting Director

August 6th, 2019

TO: George Dizelos
Water Supply & Wastewater Unit
Department of Environmental Protection
255 Rockville Pike, 1st floor
Rockville, Maryland 20850

FROM: Heidi Benham
Well and Septic Section
Dept. of Permitting Services
255 Rockville Pike, 2nd floor
Rockville, Maryland 20850

SUBJECT: Request for Sewer Connection

LOCATION: 12801 Spring Drive
Rockville, MD 20850
Tax Map Grid: FQ43
WSSC Grid: 216 NW 10

The owner of the subject property has requested our assistance in obtaining an expedited sewer connection due to a failing septic system. The septic system was serviced on 9/1/16 and was not functioning properly at that time as documented by King and Sons Septic Service.

The county inspector, Jared Sluzalis, and King and Sons Septic Service met at the property on 8/1/19 and the existing septic trenches were exposed. The inspector observed heavy mottling in the soil (redoximorphic features) and sewage in one of the trenches.

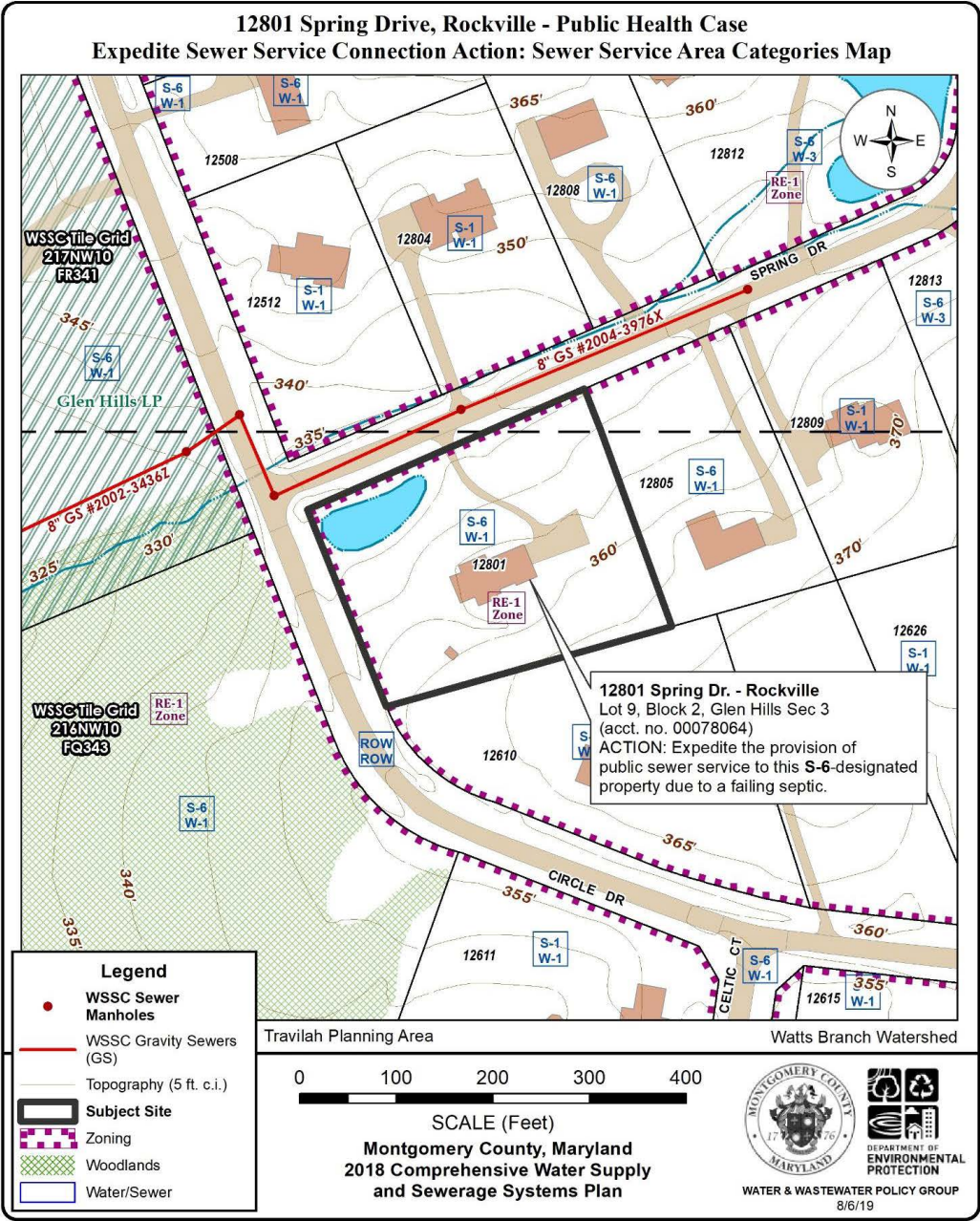
This property is currently designated as sewer category S-6.

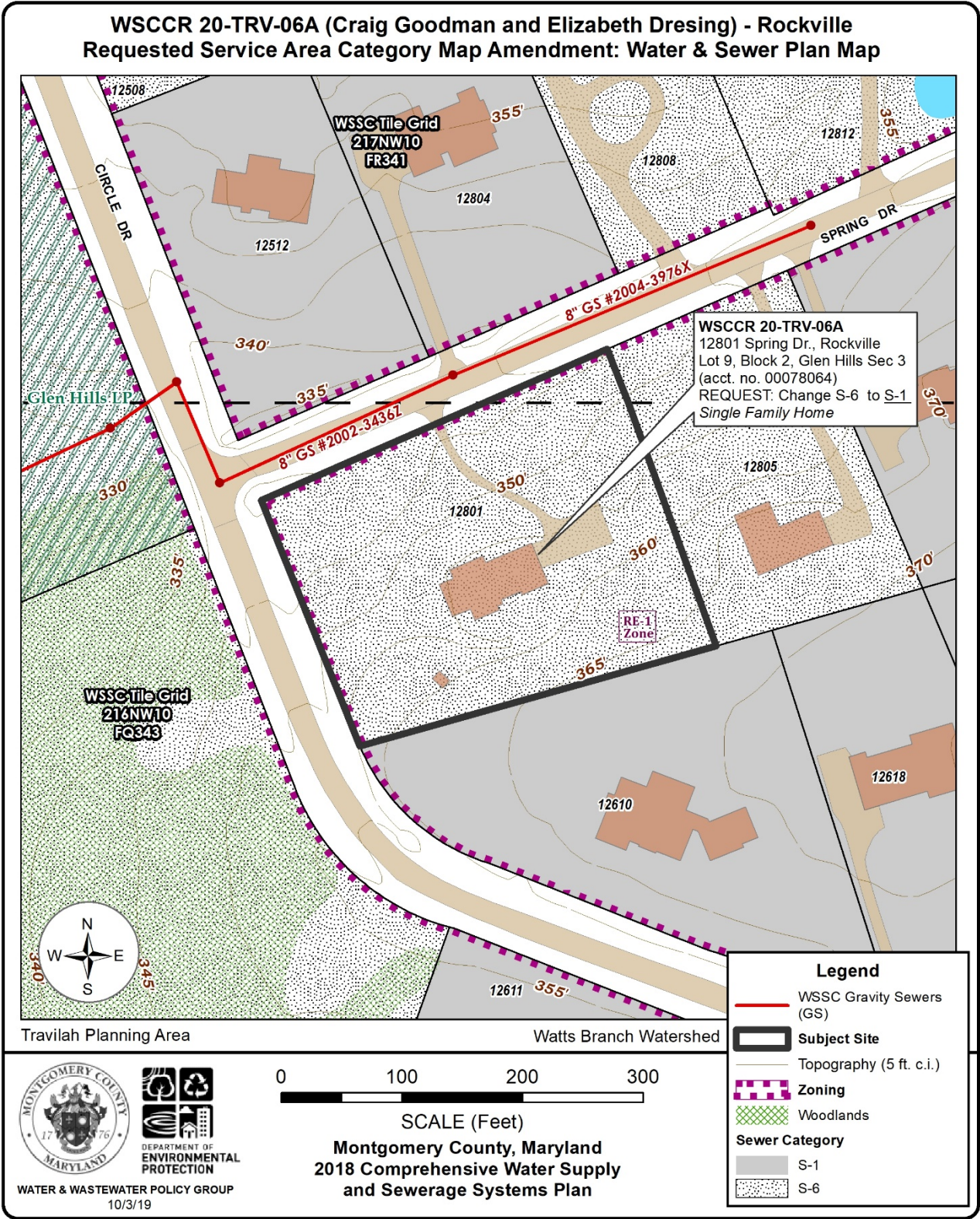
If I can be of further assistance, please contact me at 240-777-6318.

cc: File

Ray Chicca and Luis Tapia, WSSC
August 6, 2019

Page 4





WSSCR 20-TRV-07A: Wande Leintu

DEP Staff Recommendation: Approve S-1, for a single sewer hookup only under the Piney Branch restricted sewer access policy. The provision of a single sewer hookup from an abutting main cannot support the subdivision of this property into more than one building lot. Administrative policy V.D.2.a: Abutting Mains.

Property Information and Location Property Development	Applicant's Request: Service Area Categories & Justification				
<ul style="list-style-type: none"> 12007 Piney Meetinghouse Rd., Potomac Lot 35, Piney Glen Farm (acct. no. 01814618) Map tile: WSSC – 215NW11; MD –FQ12 West Side of Piney Meetinghouse Rd., 660 ft. north of the intersection with Piney Glen Lane. RE-2 Zone; 3.02 acres Travilah Planning Area Potomac Master Plan (2002) Watts Branch Watershed (MDE Use I), Piney Branch subwatershed (Mont. Co. SPA) <u>Existing use</u>: Single-Family Home (built 1979) <u>Proposed use</u>: No change 	<p><u>Existing – Requested – Service Area Categories</u></p> <table> <tr> <td>W-1</td><td>W-1 (no change)</td></tr> <tr> <td>S-6</td><td>S-1</td></tr> </table> <p><u>Applicant's Explanation</u></p> <p>"Our sewer system is quite old, and we have a Sewer Main right in front of, and abutting our property that we would like to connect to. Our next door neighbors at 12009, 12015, 12020, etc... are all W1."</p>	W-1	W-1 (no change)	S-6	S-1
W-1	W-1 (no change)				
S-6	S-1				

DEP Staff Report: The applicant has requested approval of sewer category S-1 to allow for public sewer service for an existing single-family home. The property is just over 3 acres in size, and zoned RE-2. The property is located outside the planned sewer service envelope. The property abuts a sewer main in Piney Meetinghouse Road. Sewer service to this property must adhere to the Piney branch Sewer Agreement Recommendations as it is located within the Piney Branch Special Protection Area.

Sewer service to this property must adhere to the Piney Branch restricted sewer access policy as it is located within the Piney Branch Watershed and Special Protection Area (SPA). Although the property is outside of the planned sewer envelope, the property abuts an existing sewer main. This lot, established by plat in 1978, and the house on this lot, built in 1979, both predate the abutting sewer main, built in 1991; therefore, this request satisfies the abutting mains policy. Properties that satisfy the abutting mains policy are eligible for restricted public sewer service under the Piney Branch restricted sewer service policy. As service here is proposed for only one sewer hookup, recordation of the Piney Branch Sewer Agreement Recommendations covenant is not required. Note that the restricted sewer access policy stipulates that service provided from an abutting sewer main may not allow for the subdivision or resubdivision of a property into more than one building lot.

M-NCPPC staff concur that the property abuts a sewer main in Piney Meetinghouse Road. M-NCPPC Parks have concluded that there are no park impacts. WSSC has confirmed that sewer service to this property can be supported with the abutting sewer main in Piney Meetinghouse Road. DEP staff recommendation is for the approval of sewer category S-1, properties abutting mains.

Agency Review Comments

DPS: This property has a permitted 5 bedroom septic system from 1978 and a marginal septic reserve area identified.

M-NCPPC – Planning Dept.: This three-acre property is in the RE-2 Zone and is located in the Travilah Planning Area, part of the Potomac Subregion. It also is located in the Piney Branch Restricted Community Sewer Service Area. The Water and Sewer Plan limits public service in this area and outlines conditions that must be satisfied before public service is provided. One such condition allows single connections for properties that abut existing sewer mains. This provision was recommended in the 2002 Potomac Subregion Master Plan.

There is an existing line in Piney Meetinghouse Road that abuts the entirety of this property. It is therefore eligible for service under Water and Sewer Plan policies for the Piney Branch Restricted Community Sewer Service Area. The property is eligible for a single hookup.

M-NCPPC – Parks Planning: No Park Impacts.

WSSC - Water: *(not requested)*

WSSC - Sewer: BASIN: Western Branch. A 10-inch sewer line in Piney Meetinghouse Rd. abuts the property (contract no. 1990-8410A). Average wastewater flow from the proposed development: 280 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.

