

Conditional Use No. 2020-09, Residential Care Facility (Liberty Mill)

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Completed: 9/25/2020

Request: Conditional use approval to construct and operate a residential care facility for over 16 persons.

Location: 19115 Liberty Mill Road, Germantown

Property Size: 3.59 acres

Zoning: Residential 200 (R-200)

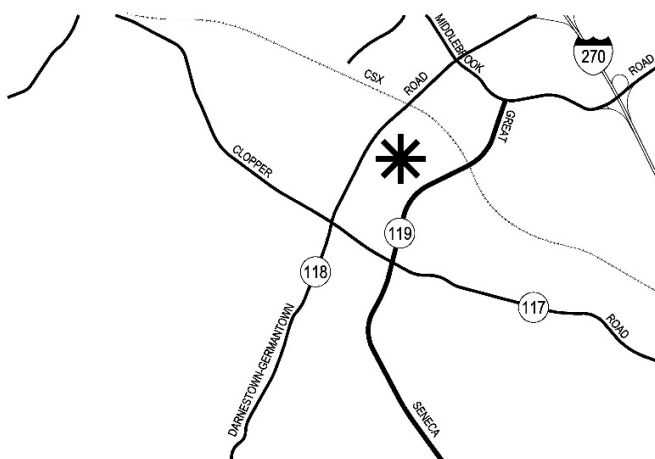
Master Plan: 1989 Germantown Master Plan

Applicant: Flournoy Development Group, LLC

Filing Date: July 7, 2020

Planning Board: October 8, 2020

Hearing Examiner: October 30, 2020



Staff recommends approval of the conditional use application with conditions.

- The applicant requests a 125-bed residential care facility.
- Forest Conservation Plan No. 120170210 will be amended as part of a subsequent preliminary plan of subdivision in accordance with the forest conservation law requirements of Chapter 22A.
- As conditioned, the conditional use conforms to Sec. 59.4.4.7 (development standards for the R-200 zone), Sec. 59.7.3.1 (findings for a conditional use) and Sec. 59.3.3.2.E (use standards for a residential care facility) of the Montgomery County Zoning Ordinance.
- The proposed use is consistent with the 1989 *Germantown Master Plan*.
- The Project complies with Montgomery County Environmental Guidelines, as conditioned.
- There are no significant land use or environmental impacts associated with the request.
- At the time of the publication of the staff report, no communication has been received by staff from community organizations or members of the public.

Section I: Staff Recommendations and Conditions of Approvals

Staff recommends approval of Conditional Use No. 2020-09 to construct and operate a Residential Care Facility for over 16 persons, subject to the following conditions:

- 1) Physical improvements to the Subject Property are limited to those shown on the Applicant's conditional use site plan, landscaping plan, and lighting plan that are part of the submitted Application.
- 2) The maximum number of residential care units is limited to 125 beds in accordance with Montgomery County Zoning Ordinance Section 59.3.3.2.E (Residential Care Facility).
- 3) The maximum number of employees is limited to 35 persons on-duty at one-time.
- 4) Prior to the issuance of any building permit for the subject conditional use, the Applicant must amend or obtain approval of a Preliminary Plan of Subdivision and Record Plat pursuant to Chapter 50 of the Montgomery County Code.
- 5) The Applicant must comply with or amend the Final Forest Conservation Plan No. 120170210 in accordance with the approval or amendment of a Preliminary Plan of Subdivision and Record Plat pursuant to Chapter 50 of the Montgomery County Code.
- 6) At the time of Preliminary Plan of Subdivision, the Applicant must demonstrate compliance with the 2018 *Bicycle Master Plan* recommendations for a minimum 10-foot-wide shared-use side-path along the west side of Liberty Mill Road, or an alternative method of compliance as acceptable by Planning Department staff.
- 7) At the time of Preliminary Plan of Subdivision, the Applicant must demonstrate compliance with requirements to provide a minimum 5-ft. wide sidewalk along the frontage of the Subject Property with Liberty Mill Rd.

Section II: Project Description

A. Background and Location

The Applicant has requested approval of a conditional use to allow the construction and operation of a residential care facility (for over 16 persons) for up to 125 beds in the R-200 zone (Project). The subject property is located at 19115 Liberty Mill Road, Germantown, Maryland (Subject Property or Property).



Figure 1 – Aerial view of the subject Property.

B. Site Description

The Property consists of 3.59 acres and is improved with a 2,584 square foot, two-story single-unit house with detached accessory buildings. While the Property has frontage to both Liberty Mill Road and Dawson Farm road, access to the Property is from Liberty Mill Road via a semi-circular asphalt paved driveway with two entrance aprons to Liberty Mill Road. The exiting improvements are located towards the northwest corner of the Property. Along with three significant trees, the remainder of the property consists primarily of lawn but also ornamental grass, landscape, and a variety of trees.

The Property is encumbered along the southern and part of its western property lines by a 40-foot-wide Washington Suburban Sanitary Commission (WSSC) easement for a 30-inch sewer main. Also,

there exists an overlapping storm drain easement for a 24-foot storm drain line following the southern property line.

The Property is generally rectangular in shape, except that it follows the curvature of Dawson Farm Road on the northern property line. The topography gently slopes from the front of Liberty Mill Road to the rear (eastern property line). There is 269 feet of frontage along Liberty Mill Road and 569 feet of frontage on Dawson Farm Road.

There are no known rare, threatened, or endangered species that exist on this Property. There is a portion of a stream valley buffer on the southeast corner of the Property, which is generated by an off-site stream.

Figure 2 (below) shows the existing Property conditions.

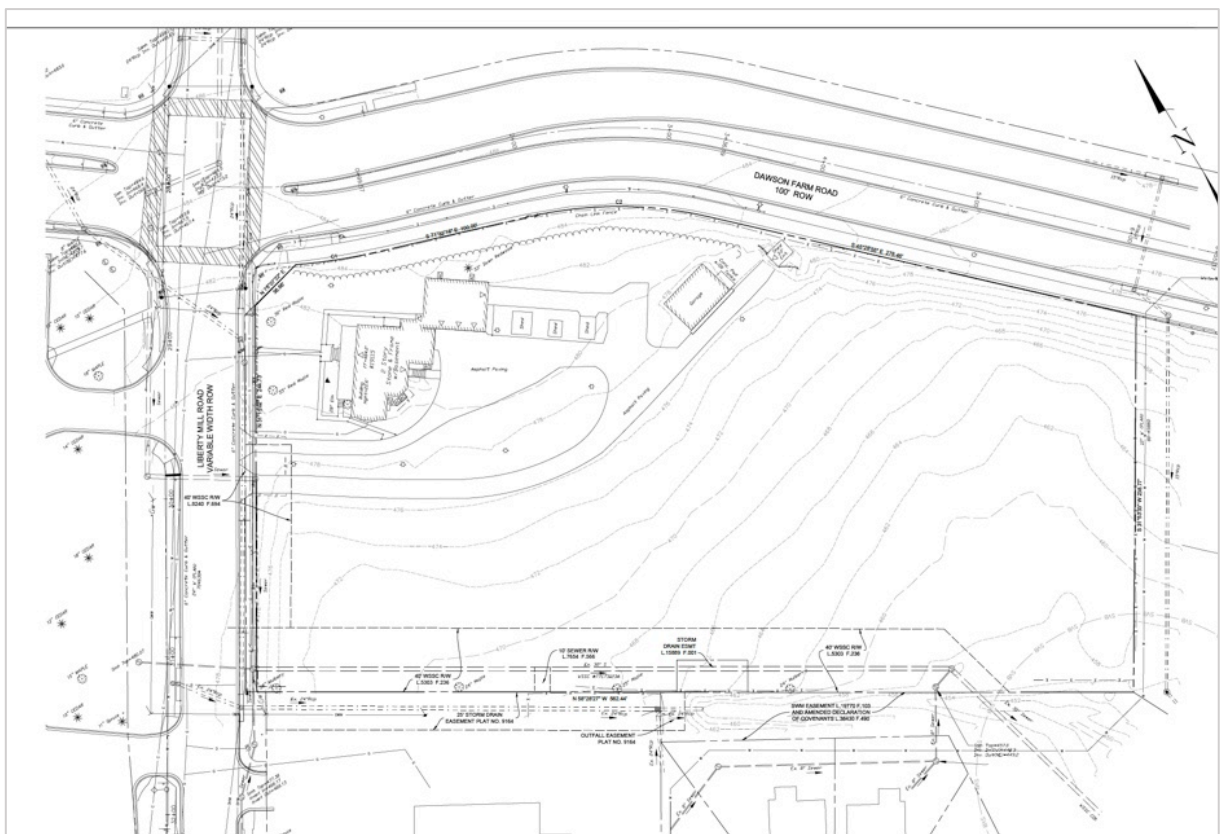


Figure 2 – Subject property and existing conditions.

C. Neighborhood Description

For the purposes of determining the compatibility of the Project, it is necessary to delineate and characterize the surrounding neighborhood. The Applicant has offered a proposed definition of the neighborhood to include the area most likely to be affected by the Project (Figure 3). Staff concurs and accepts this proposed definition of the neighborhood.

The defined neighborhood is comprised of predominantly residential uses consisting of single-unit houses and townhouses in the R-200 zone. Germantown Elementary School is located directly

across Liberty Mill Road to the west and a commercial building (former post office) to the south is used for religious assembly.

Prior approvals associated with the Property include:

- Conditional Use CU2017-02 for a 64-bed residential care facility which was never constructed.
- Preliminary Plan 120170210 for a two-lot subdivision of the Property and associated with CU2017-06 but was never platted.
- Forest Conservation Plan 120170210, which was approved on September 13, 2017 with the aforementioned Preliminary Plan.

There are no other existing conditional uses, and there are no other known pending or proposed development approvals within the defined neighborhood.

D. Zoning and Land Use History

The Property is zoned R-200 and is improved with a single-unit house. The *Germantown Master Plan* (Master Plan) was adopted in 1989 and is applicable for this Property. The Property lies within Analysis Area No. CL-2 of Clopper Village, as noted in the Master Plan. The plan confirmed the residential land use and the R-200 zone for the Property. Prior to the adoption of the 1989 Master Plan, the Property was also zoned R-200.



Figure 3 – Zoning map with subject property (R-200) and the defined neighborhood (red-dashed line).
The only existing conditional uses within the defined neighborhood are associated with the subject property.

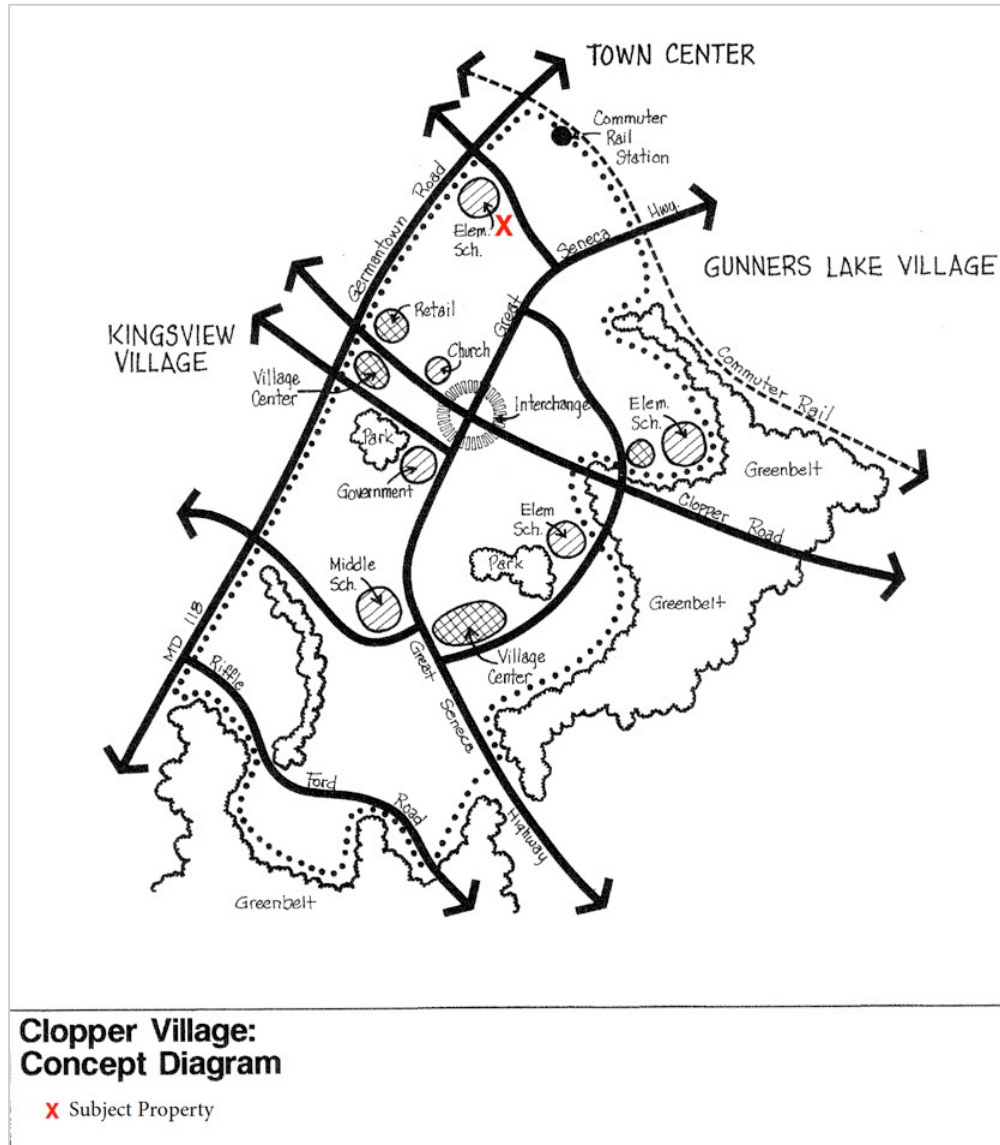


Figure 4 – Subject Property shown within the Clopper Village community of the Germantown Master Plan.

E. Proposed Use

The Project consists of the construction and operation of a residential care facility that will replace a detached single-unit house. The Applicant proposes to provide both assisted living and memory care services. This includes 102 units of assisted living and 17 units of memory care for a total of 119 residential care units. The 119 residential care units will have a total of 125 beds available.

The Project comprises a 98,955 gross square foot, three- to four-story building. The building is configured in a rectangular footprint with three wings and has a pitched roofline. It resembles the style, materials, and massing typically found in an apartment building of similar size in the larger community.

There is a retaining wall placed along the edge of the driveway for an approximate length of 330 feet. This retaining wall varies from zero feet to about four feet in height. A second retaining wall is

placed along the northwest portion of the Property for a length of about 350 feet. It ranges from about zero feet to about five feet in height. This second retaining wall encompasses an outdoor patio and recreation area described in further detail below.

The entire Property is part of the conditional use application. (See conditional use site plan and elevations below.)

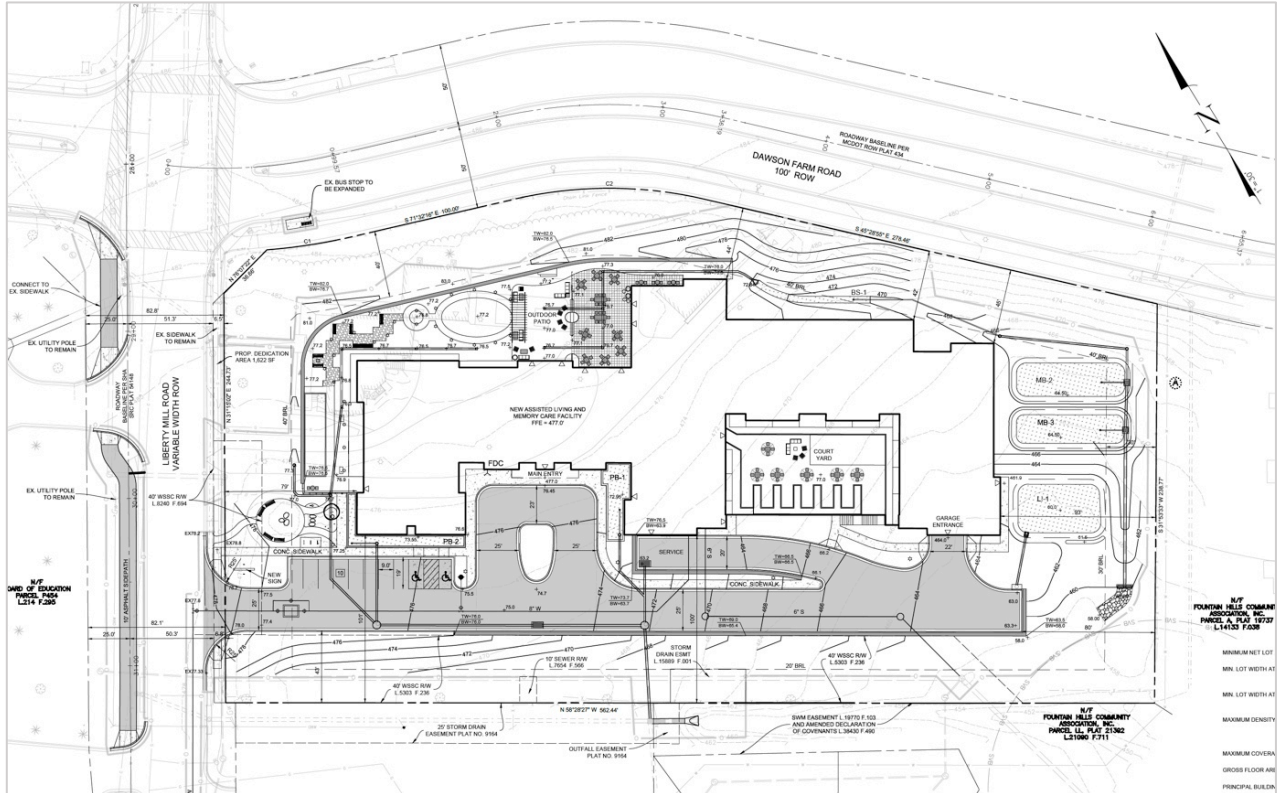


Figure 5 – Proposed site plan.

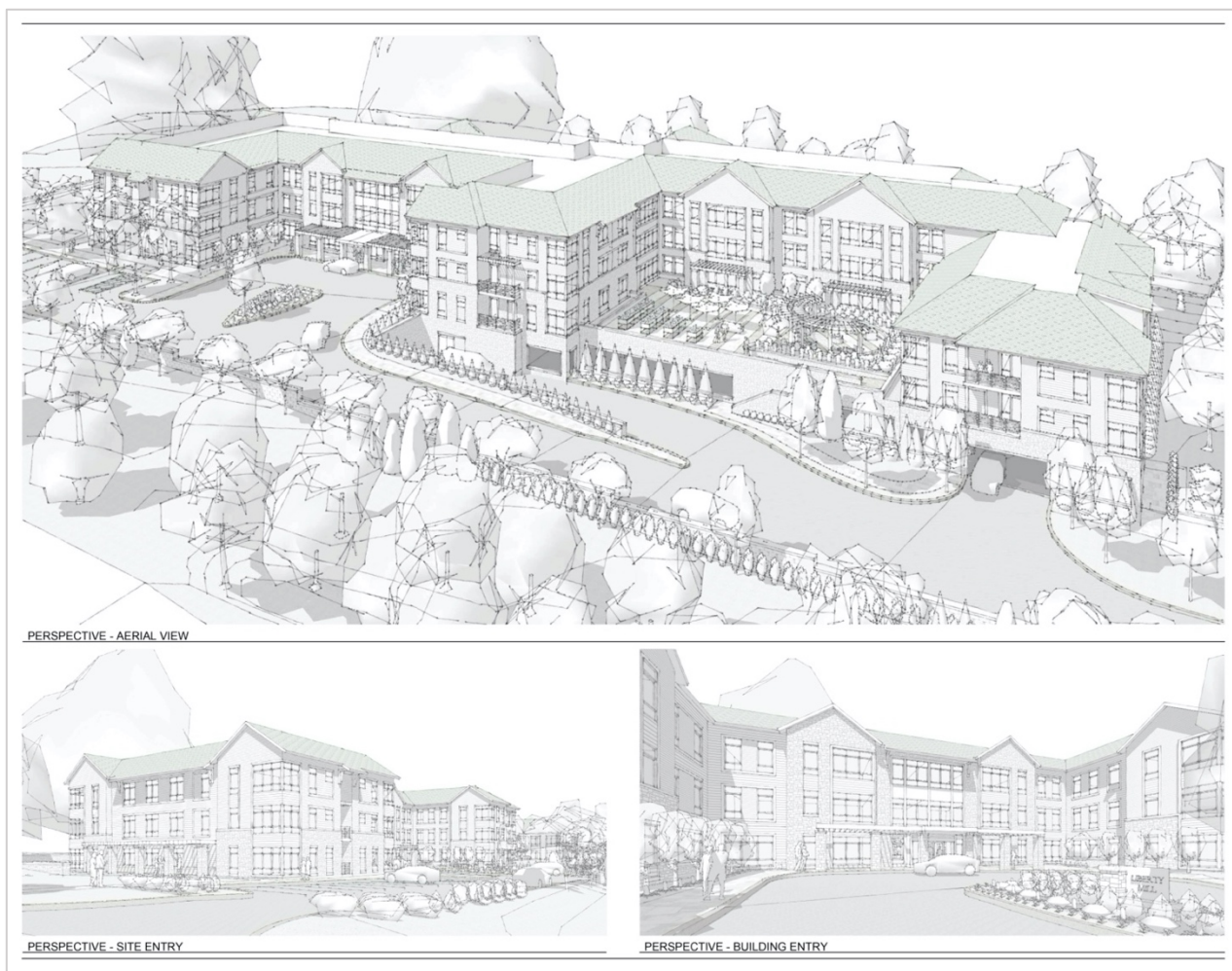


Figure 6 – Perspective elevations. Top: south elevation, Bottom Left: property entrance west elevation, Bottom Right: building entry and passenger loading area on south elevation.

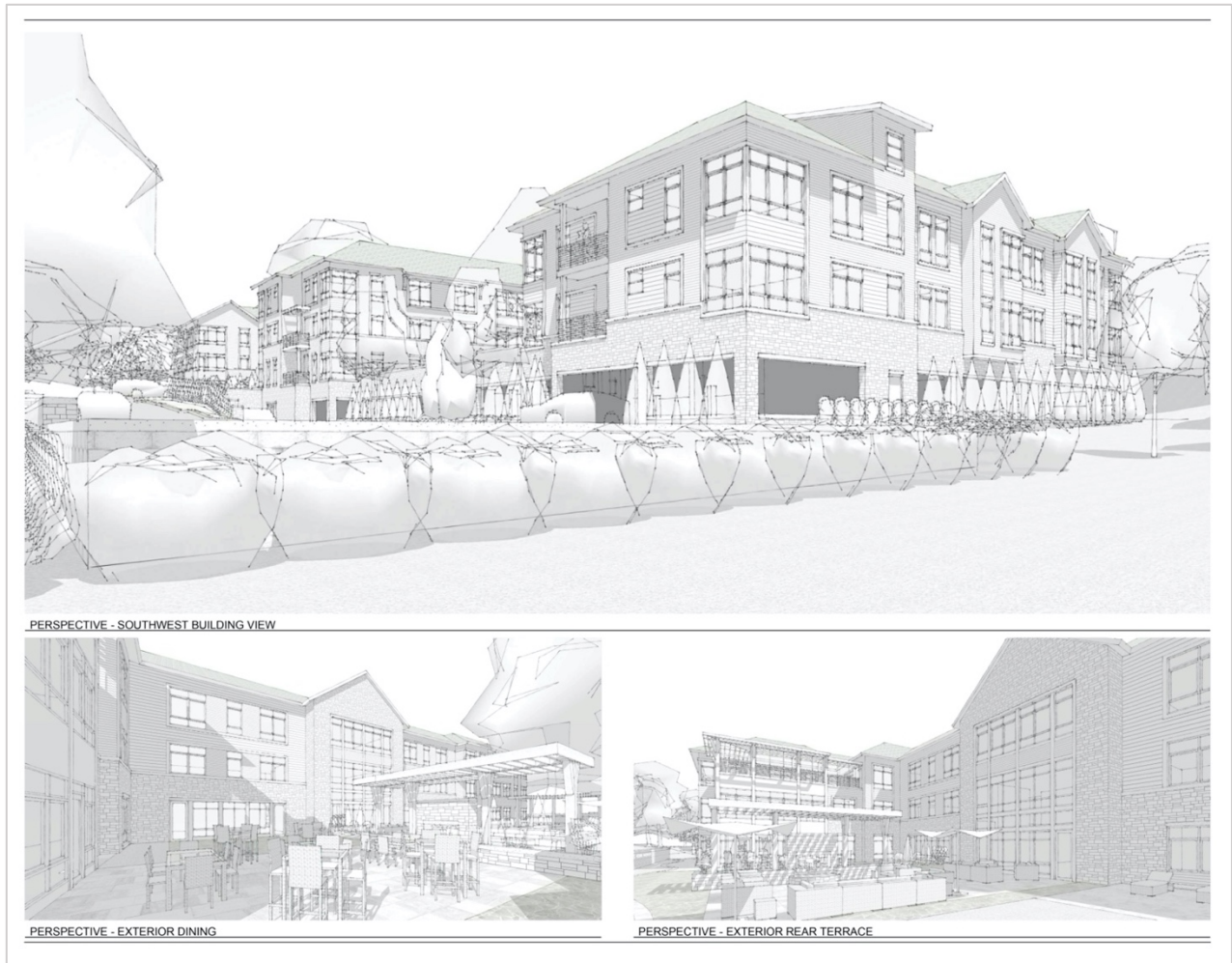


Figure 7 – Perspective elevation of southwest building view, exterior dining, and rear terrace.

Access and Parking

As shown on the site plan (Figure 4), vehicular ingress and egress are consolidated into a single point at Liberty Mill Road via a 25 ft. wide commercial driveway, which leads to the passenger drop-off area, parking area, and truck receiving area. The parking garage consists of 63 partially subterranean parking spaces, with ten surface parking spaces located near the front building entrance. Sixteen long- and short-term bicycle parking spaces are also provided.

Pedestrian access is provided from an existing public sidewalk that runs along Liberty Mill Road to the building's main entrance and passenger receiving area via a concrete sidewalk on the Property.

Landscaping

In addition to the existing woodland strips along the northern, southern, and eastern boundary lines, the Applicant proposes to install additional landscaping to obscure the Project from off-site views. As shown on the landscape plan, proposed are varieties of shade and evergreen trees along the drive aisle and open yard areas to adjacent properties. Shade trees are proposed along the perimeter of the parking area to provide the required tree canopy coverage (See Figure 6 and Table 1 below). In accordance with a subsequent amended forest conservation plan and new preliminary

plan applications, three identified significant trees on the north side of the Property will be retained and monitored by an arborist during the removal of the existing house and other improvements.

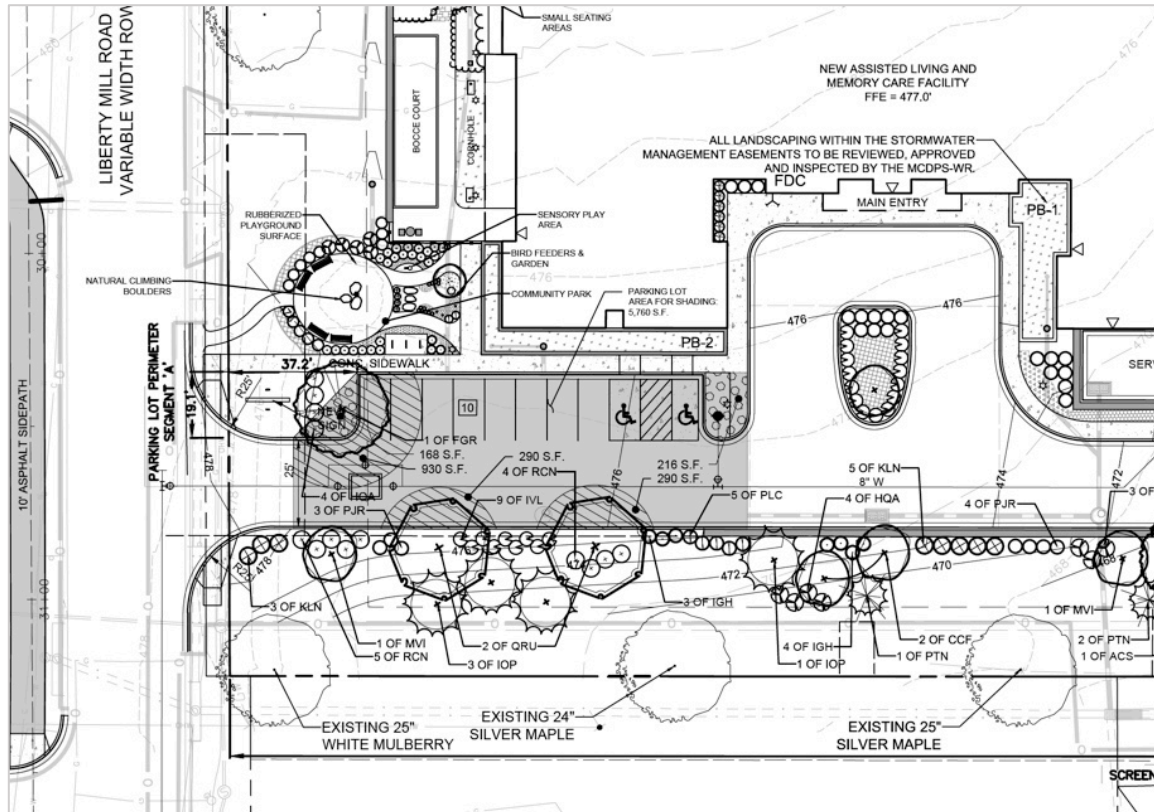


Figure 8 – Landscape plan for the surface parking lot (shaded) near the main entrance of the building.

Table 1 – Parking Lot Landscape Requirements for 10 or More Spaces

Parking Lot Landscape Requirement	Required	Provided
Minimum Landscaped Island Area	100 sq. ft.	168 sq. ft.
Minimum Landscape Area	288 sq. ft. (5% of 5,760 pavement area)	384 sq. ft.
Minimum Shaded Area	1,440 sq. ft. (5% of 5,760 pavement area)	1,510 sq. ft.

Operations

The maximum number of employees at one time is 35. Employees will work in three shifts that change at approximately 7:00 a.m., 3:00 p.m., and 11:00 p.m. The care facility will operate 24 hours every day. The level of care and diversity of services offered are customary to similar facilities and include meal preparation, household chores, managing medications, medical treatments, personal services, and social or recreational activities.

Resident Amenities

In addition to a full-service staff, the facility will provide a diverse and complimentary array of amenities. These include outdoor spaces (discussed below), fitness room, living room, bistro, dining

room, demonstration kitchen, wellness room, medical center, card/pub room, theater, art studio, bar, salon, laundry room, porch, and balconies.

Outdoor Spaces

There are three outdoor spaces proposed: raised courtyard, outdoor patio, and a park as shown on the landscape and lighting plan. The raised courtyard is located above the parking structure and provides for seating, recreation, and planter boxes for gardening. The outdoor patio is located on the north side of the building and provides an area for seating area, a fireplace, and recreation. A playscape is situated on the west side of the building which includes seating, a bird feeding area, and other landscape materials.

Deliveries and Services

Deliveries and services include customary trash and recycling management on an as needed basis and likely at least two to three times each week. Receptacles are located inside the building and will be moved outdoor for service. Other deliveries (packages, food, supplies) will be managed similar to those received at other residential properties. There is a circular driveway and drop-off area located directly adjacent to the front entrance, as well as a truck loading/receiving area located adjacent to the parking area.

Shuttle Services

The Applicant proposes to provide a shuttle service for residents. This will include transportation to appointments and other excursions. Generally, such shuttle services will occur between the hours of 9:00 a.m. and 3:00 p.m., with five shuttle bus runs per week for medical needs, shopping, and other events.

Preliminary Plan

As part of a separate application, the Applicant indicates that a preliminary plan of subdivision application will be submitted pursuant to the approval of this conditional use application. The proposal is to merge the two-existing lots into one lot for the conditional use.

Forest Conservation Plan

This conditional use application is subject to the forest conservation law. On July 24, 2017, a forest conservation plan was approved as part of Preliminary Plan No. 120170210 and Conditional Use No. 2017-02. While this forest conservation plan was completed for a different development project, the impacts of the proposed Project are substantially similar with respect to the forest conservation law (see Attachment 3, FCP 120170210). The existing forest conservation plan remains valid for the Property, and therefore, the forest conservation law is satisfied with this conditional use review. The final forest conservation plan will be revised as part of the subsequent preliminary plan amendment.

Section III: Analysis

A. Development Standards

The following table displays the relevant R-200 development standards for the Property. The conditional use application is applicable to the entire Property. As shown on the Applicant's site plan, the Project complies with the following development standards: Table 2 – Development Standards

Development Standard	Permitted/Required	Provided
Minimum Lot Area	20,000 sq. ft.	156,307 sq. ft.
Minimum Lot Area, Use ¹	3.44 acres (1,200 sq. ft. * 125 beds)	3.59 acres
Minimum Lot Width at Front Building Line	100 ft.	487 ft. (Dawson Farm Rd.) 279 ft. (Liberty Mill Rd.)
Minimum Lot width at Front Lot Line	25 ft.	569 ft. (Dawson Farm Rd.) 269 ft. (Liberty Mill Rd.)
Maximum Density	130 beds ² 1,200 sq. ft. per bed 156,307 sq. ft. / 1,200 = 130	125 beds
Maximum Coverage	25% (39,077 sq. ft.)	25% (39,076 sq. ft.)
Gross Floor Area	Not applicable	98,955 gross sq. ft.
Minimum Front Setback, Principal Building	40 ft.	42 ft. (Dawson Farm Rd.) 79 ft. (Liberty Mill Rd.)
Minimum Side Setback, Principal Building	20 ft.	100 ft. (south)
Minimum Rear Setback, Principal Building	30 ft.	93 ft. (east)
Maximum Height, Principal Building	50 ft.	43 ft. (south)
Parking Facility Minimum Rear Setback	30 ft.	80 ft. (east)
Parking Facility Minimum Side Setback	24 ft.	43 ft. (south)
Vehicle Parking Spaces Required (Residential Care Facility)	49 spaces ³ 0.25 per bed 0.50 per employee	73 spaces ⁴ (0.25 * 125 = 31.25) (0.50 * 35 = 17.5) 31.25 + 17.5 = 48.75
Bicycle Parking Space Required	4 ⁵ long-term spaces	6 short term, 10 long term

¹ Per 59.3.3.2.E.2.c.ii.d.2.i the minimum lot area is 1,200 sq. ft. per bed or 2 acres, whichever is greater.

² Per 59.3.3.2.c.ii.d.2.i maximum density in the R-200 zone is minimum of 1,200 sq. ft. per bed.

³ Per 59.6.2.4.B required parking for a residential care facility.

⁴ Includes 63 spaces in garage parking and 10 surface spaces, accessible parking located inside garage.

⁵ Per ZTA 19-01, 0.1 bicycle parking spaces per employees is required and 95% of required spaces must be long term.

B. Master Plan

The Project is subject to the policies and recommendations contained in the 1989 *Germantown Master Plan*. The Master Plan discusses interrelated themes to address challenges and opportunities with respect to land development, housing, community identity, community facilities, and employment. It establishes six villages distinguished by their own identity and character, to provide a mix of housing types at varying prices, all inter-connected by a functional pedestrian/bikeway/roadway system. A town center was also designated to be developed as the downtown area of Germantown with major retail, offices, high density residential, and a cultural arts center.

The Property is located in Clopper Village area of the Master Plan. Clopper Village is generally located south of the MARC rail line and east of Germantown Road, and extends south to the greenbelt. It also includes the Germantown historic district near the MARC rail station.

The Property is not specifically referenced in the Master Plan; however, it is compatible with the following recommendations contained in the Master Plan:

“The intent of this Plan is to promote a mix of housing types that can accommodate families of varying ages and income levels and allow opportunities for them to continue living in Germantown as their needs and tastes change.”⁶

The Project consists of a residential housing for seniors who need personal services, supervision and assistance with the activities of daily living. The residential care facility provides a needed housing type, in a residential setting, that enables seniors to remain near families in Germantown. Therefore, the Project is consistent with this recommendation.

“The Master Plan identifies the Property as within Analysis Area No. CL-2. Due to its proximity to Dawson Farm Road (an arterial roadway) and being located in a residential area, the Property is “suitable for a child or elderly day-care center, religious facility or other similar use.”⁷

The Project consists of a residential housing for seniors who need personal services, supervision and assistance with the activities of daily living. The proposed residential care facility is similar to an elderly day-care center in that both facilities provide services and activities to assist with daily living for seniors. Such services generally include social activities, health care, meals, and recreation. Both facilities would generate similar morning and afternoon vehicular traffic and deliveries. However, the proposed use is a less intense use because 1) the residents live on-site, 2) generally do not drive personal vehicles, and 3) utilize shuttle services for transportation. Therefore, the Project is consistent with this recommendation.

“The Master Plan provides that the Property is not suitable for special exception uses (conditional uses) that are incompatible with the character of the area, and retail uses should be located elsewhere.”⁸

⁶ Germantown Master Plan, 1989, p. 9.

⁷ Germantown Master Plan, 1989, p. 63.

⁸ Germantown Master Plan, 1989, p. 63.

The proposed building is designed to be compatible with the surrounding residential area. As shown on the elevations above, the building incorporates several residential architectural elements such as gabled roof and residential fashioned windows. The facades incorporate stone elements and painted cement board horizontal siding, materials that are compatible with nearby residential properties. And, no retail or other commercial uses are proposed. Sloping topography, a retaining wall and existing and proposed landscape will effectively screen vehicle movements and the truck receiving area from off-site views. Therefore, the Project is consistent with this recommendation.

C. Transportation

Master-Planned Roadways

Dawson Farm Road is classified as a four-lane arterial road with 100 feet right-of-way (ROW). Liberty Mill Road is classified as a two-lane primary residential street with a 70-foot ROW. As part of the subsequent preliminary plan application, an additional 6.5 to 6.8 feet of width amounting to 1,622 square feet of ROW will be dedicated on the south side of Liberty Mill Road to accommodate sidewalk facilities. All other ROW requirements are met.

Pedestrian and Master Planned Bicycle Facilities

The 2018 *Bicycle Master Plan* recommends a 10-foot-wide shared-use-path (SUP) to be constructed along this segment of Liberty Mill Road, the side of road unspecified. As part of the subsequent preliminary plan, the Applicant will construct the SUP on the north side of Liberty Mill along the frontage of the Germantown Elementary School. This side of the road was chosen as a continuation of the recommended SUP that is to be built on the north side on the section of Liberty Mill Road above Dawson Farm Road. This will additionally provide direct connectivity to Germantown Elementary School.

Public Transit Service

Ride-on routes 71 and 75 provide service directly in front of the Subject Property on Dawson Farm Road. As part of the subsequent Preliminary Plan, the Applicant will reconstruct this bus stop. Additionally, Ride-on route 61 provides service along Germantown Road, approximately 1,000 ft. to the northwest.

Local Area Transportation Review

A transportation statement has been provided along with this application. As shown in Table 3 below, the proposed use will generate a net of 34 a.m. and 49 p.m. peak-hour net new person trips. The trip generation rate falls below the 50-person peak-hour Local Area Transportation Review (LATR) threshold and is exempt from additional review.

Table 3 – Trip Generation

Development	Measure	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Existing Single-Family Home	Dwelling	0	(2)	(2)	(2)	0	(2)
Assisted Living Facility	Employees	23	13	36	19	32	51
Net New Person Trips	--	--	--	34	--	--	49

Trip generation rates are based on the ITE Trip Generation Manual, 10th Edition and adjusted as detailed in the 2017 LATR guidelines.

Circulation and Connectivity

The site will be accessed via a new driveway off Liberty Mill Road. The driveway will provide direct access to the main entrance, service bay, and below grade parking facilities. A lead-in walkway will connect the entrance to the sidewalk along Liberty Mill Road. Access and circulation, as proposed, are safe and adequate for the proposed use.

Therefore, the proposed use is consistent with the 2018 *Master Plan of Highways and Transitways*, and the 2018 *Bicycle Master Plan*.

D. Landscaped Area for Parking Lots

The Project's parking lot landscaped areas, tree canopy and perimeter plantings meet or exceeds the required landscaping as required by Sec. 6.2.9.C as shown on the Applicant's landscape plan and as discussed above in Section II of this report. The submitted Landscape Plan satisfies the requirements of Section 6.2.9.C.1 through 3: Parking Lot Requirements for 10 or more Spaces. This standard is satisfied.

Tree Canopy

The Project meets the 25 percent minimum tree canopy coverage requirement by providing a total of 1,510 square feet of tree canopy coverage for a parking lot pavement area of 5,760 square feet. This standard is satisfied.

Perimeter Planting

The Project meets the perimeter planting requirements through a combination of canopy trees, evergreen trees, large and medium size shrubs and an 8-foot high, composite wood privacy fence with a minimum of at least 10-foot-wide planting area along the entire perimeter of the conditional use site and Property. This standard is satisfied.

E. Lighting

The photometric plan provided by the Applicant shows the projected lighting intensity across the entire Property in foot-candles, locations where lighting fixtures will be mounted, and manufacturer's specifications on the lighting fixtures being proposed.

The lighting plan is adequate and safe for vehicular and employee movement and meets the requirements under Section 59.6.4.4. The proposed lighting serves multiple purposes, including illumination of the site entrance, visibility lighting in the employee parking areas and area lighting near the structures. The photometric plan shows that the lighting will not cause glare on adjoining properties, nor will it exceed the 0.1 foot-candle standard at the side and rear property lines. The lighting, with no direct light or light glare, will not have a negative impact on neighboring properties. The five pole mounted lighting fixtures are mounted at a height of 16-feet above grade and are full cut-off, LED fixtures. This standard is satisfied.

F. General Landscaping and Screening Requirements

The property is within a Residential Detached Zone, R-200, and abuts other properties on two sides within the same zone that are improved with residential and religious institutional uses. Since there are abutting properties improved with residential uses to both the east and south of the property, the Applicant must ensure adequate screening in these directions under Section 6.5.3.C.7. As shown on the Applicant's landscape plans, the general landscaping and screening provide is composed of canopy trees, understory trees, evergreen trees, large and medium shrubs. Adequate

screening is provided along the east and south property lines. Staff concludes that the landscaping meets or exceeds the requirements under Section 59.6.5.3.C.7 (Screening Requirements) and Section 59.6.4.3 (General Landscaping Requirements) as shown on the Applicant's landscape plan. This standard is satisfied.

G. Forest Conservation Plan

As discussed above in Section II, on July 24, 2017, a forest conservation plan was approved as part of Preliminary Plan No. 120170210 and Conditional Use No. 2017-02. However, the approvals were not used, and the property was not redeveloped. While the forest conservation plan was completed for a different development project, the impacts of the proposed Project are substantially similar with respect to the forest conservation law. The existing forest conservation plan remains valid for the Property, and therefore, the forest conservation law is satisfied with this conditional use review. The final forest conservation plan will be revised as part of the subsequent preliminary plan amendment. Therefore, as conditioned this requirement is satisfied.

H. Signage

The Applicant proposes an approximately 40 square feet (5 ft. height by 7 ft. width), double-sided monument sign. The sign's finish materials will coordinate with the building's finish materials and include matching stone and paint, with contrasting letters and logo. The sign is landscaped, illuminated, and located near the driveway entrance. While signage is proposed, it not part of this conditional use application because a separate sign permit is required. Therefore, this standard is not applicable.

I. Environment

As discussed above, there are no known rare, threatened, or endangered species that exist on this Property. No seeps, springs, wetlands or floodplains exist on the Property. However, a stream buffer extends into the Property from an intermittent stream that begins near the southern-most corner of the Property. An ephemeral stream continues northwest, parallel to the southwest boundary of the Property. No development is proposed within the stream buffer. Therefore, these requirements are satisfied.

J. Community Concerns

At the time of the publication of the staff report, no communication has been received by staff from community organizations or members of the public.

Section IV: Compliance with Necessary Findings

Section 59.7.3.1.E, Conditional Use

E. Necessary Findings

1. *To approve a conditional use application, the Hearing Examiner must find that the proposed development:*

- a. *Satisfies any applicable previous approval on the subject site or, if not, that the previous approval must be amended;*

Staff Response: This finding is satisfied. The proposed conditional use will replace Conditional Use CU2017-02. After approval of this conditional use, the Applicant will subsequently amend Preliminary Plan 120170210 and the final forest conservation plan. With the approval of the Project and subsequent preliminary plan of subdivision, the Project complies with the applicable requirements under an approved conditional use.

- b. *Satisfies the requirements of the zone, use standards under Article 59.3 (Uses and Use Standards), and to the extent the Hearing Examiner finds necessary to ensure compatibility, meets applicable general requirements under Article 59.6 (General Development Requirements);*

Staff Response: This finding is satisfied. The Project satisfies applicable provisions under Article 59.3 (Uses and Use Standards) as shown in Section III of this report. The Project satisfies applicable provisions under Article 59.6 (General Development Requirements) as shown in Table 2 of Section III of this report. Therefore, with the approved conditional use, this finding is satisfied.

- c. *Section 59.7.3.1.E.1.c: Substantially conforms with the recommendations of the applicable master plan.*

Staff Response: As discussed in Section III of this report, this finding is satisfied.

- d. *Is harmonious with and will not alter the character of the surrounding neighborhood in a manner inconsistent with the plan.*

Staff response: This finding is satisfied. This finding includes both Master Plan analysis and other compatibility considerations. The Master Plan issues have been discussed in the preceding section. The character of the surrounding area is residential, consisting of single-family attached and detached homes. The Project will not alter the character of the surrounding neighborhood in a manner inconsistent with the master plan because the use is residential in character, design, and is adequately buffered with landscaping, and sufficiently located away from any sensitive land uses or dwelling units. The Property is located opposite the Germantown Elementary School, which is a substantially larger property in land area and building square footage than the Project. With respect to operations and occupancy, the school has a substantially larger impact on the surrounding neighborhood than the Project. Further, the school property and Dawson Farm Road adequately buffers and mitigates the Project from potential off-site impacts to surrounding properties. Therefore, staff concludes that the Project

will be harmonious with and will not alter the character of the surrounding neighborhood in a manner inconsistent with the Master Plan.

- e. *Section 59.7.3.1.E.1.e: Will not, when evaluated in conjunction with existing and approved conditional uses in any neighboring Residential Detached zone, increase the number, intensity, or scope of conditional uses sufficiently to affect the area adversely or alter the predominantly residential nature of the area; a conditional use application that substantially conforms with the recommendations of a master plan does not alter the nature of an area.*

Staff Response: This finding is satisfied. As discussed in Section III of this report, the Project substantially conforms to the policies and recommendations contained in the Master Plan which included a recommendation for this category of use. There are no residential areas that would be adversely affected or altered by the Project because the Project is a residential use in character and the site is sufficiently buffered from existing residential uses. Furthermore, as discussed above in Section II, no other conditional use/special exceptions exist in the defined neighborhood. As such, there would not be an overconcentration of conditional uses in the area.

- f. *Section 59.7.3.1.E.1.f: will be served by adequate public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public facilities. If an approved adequate public facilities test is currently valid and the impact of the conditional use is equal or less than what was approved, a new adequate public facilities test is not required. If an adequate public facilities test is required and:*

- i. *If a preliminary subdivision plan is not filed concurrently or required subsequently, the Hearing Examiner must find that the proposed development will be served by adequate public facilities, including schools, police and fire protection, water, sanitary sewer, public roads, or storm drainage; or*
- ii. *If a preliminary plan of subdivision is filed concurrently or required subsequently, the Planning Board must find that the proposed development will be served by adequate public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, and storm drainage.*

Staff Response: This finding is satisfied. Adequate public services and facilities will be reviewed as part of subsequent preliminary plan of subdivision. As of this time, none of the reviewing agencies have identified any outstanding issues with respect to this requirement.

- g. *Section 59.7.3.1.E.1.g: will not cause undue harm to the neighborhood as a result of a non-inherent adverse effect alone or the combination of an inherent and a non-inherent adverse effect in any of the following categories:*
- i. *The use, peaceful enjoyment, economic value or development potential of abutting and confronting properties or the general neighborhood;*
 - ii. *Traffic, noise, odors, dust, illumination or lack of parking; or*
 - iii. *The health, safety or welfare of neighboring residents, visitors or employees.*

Staff Response: This finding is satisfied. The inherent physical and operational characteristics associated with a senior residential apartment building will not cause undue harm to the neighborhood.

The inherent characteristics include:

- Vehicle and pedestrian trips to and from the Property;
- Parking for residents and employees;
- Varied hours of operation;
- Noise or odors associated with vehicles;
- Noise or odors associated with trash collection and trucks;
- Emergency electrical generator; and
- Lighting.

These characteristics are inherent and typically associated with similar uses and do not exceed what is normally expected for the proposed project. Residential uses adjoining the Property to the south and east are well-buffered from the Project in distance, topography, and by existing and proposed landscape.

Non-inherent characteristics are unique to the physical location, operation, or size of a proposed use. There are no identified non-inherent adverse impacts with the proposed use on the Property.

The Project would not cause undue harm to the neighborhood with regard to inherent or non-inherent characteristics, or combination thereof, or in any of the following categories: the use, peaceful enjoyment, economic value or development potential of abutting and confronting properties or the general neighborhood; traffic, noise, odors, dust, illumination or lack of parking; or the health, safety or welfare of neighboring residents, visitors or employees.

2. *Any structure to be constructed, reconstructed, or altered under a conditional use in a Residential Detached zone must be compatible with the character of the residential neighborhood.*

Staff Response: This finding is satisfied. There is a variety of building scales, forms, and design details exhibited in the neighborhood. The architecture of the Project is residential in design and form. The visual character of the neighborhood is mixed with detached dwellings, townhomes, a public school, and a former post office building used for religious assembly. Therefore, the proposed residential building is not out of character and is compatible with the surrounding residential neighborhoods.

3. *The fact that a proposed use satisfies all specific requirements to approve a conditional use does not create a presumption that the use is compatible with nearby properties and, in itself, is not sufficient to require conditional use approval.*

Staff Response: Acknowledged by the Applicant. As described above in this section of the report, staff concludes that the Project is harmonious with and will not alter the character of the surrounding neighborhood in a manner inconsistent with the master plan.

4. *In evaluating the compatibility of an agricultural conditional use with surrounding Agricultural or Rural Residential zoned land, the Hearing Examiner must consider that the impact does not necessarily need to be controlled as stringently as if it were abutting a Residential zone.*

Staff Response: This finding is not applicable. The Applicant does not propose an agricultural conditional use. The Project is a conditional use approval for a residential care facility.

5. *The following conditional uses may only be approved when the Hearing Examiner finds from a preponderance of the evidence of record that a need exists for the proposed use to serve the population in the general neighborhood, considering the present availability of identical or similar uses to that neighborhood:*

- i. *Filling Station;*
- ii. *Light Vehicle Sales and Rental (Outdoor);*
- iii. *Swimming Pool (Community); and*
- iv. *the following Recreation and Entertainment Facility use: swimming pool, commercial.*

Staff Response: The finding is not applicable. The Project is a not a filling station, light vehicle sales and rental (outdoor), swimming pool (community); or a swimming pool, commercial. The Project is a residential care facility.

6. *The following conditional uses may only be approved when the Hearing Examiner finds from a preponderance of the evidence of record that a need exists for the proposed use due to an insufficient number of similar uses presently serving existing population concentrations in the County, and the uses at the location proposed will not result in a multiplicity or saturation of similar uses in the same general neighborhood:*

- i. *Funeral Home; Undertaker;*
- ii. *Hotel, Motel;*
- iii. *Shooting Range (Outdoor);*
- iv. *Drive-Thru*
- v. *Landfill, Incinerator, or Transfer Station; and*
- vi. *a Public Use Helipad, Heliport or a Public Use Helistop.*

Staff Response: This finding is not applicable. The Project is not a funeral home, undertaker, hotel, motel, shooting range (outdoor), drive-thru, landfill, incinerator, transfer station, public use helipad, heliport or a public use helistop. The Project is a residential care facility.

Section 59.3.3.2.E, Residential Care Facility (Over 16 Persons) Use Standards

2. *Use Standards:*

- c. *Residential Care Facility (Over 16 Persons)*

- i. *Where a Residential Care Facility (Over 16 Persons) is allowed as a limited use, and the subject lot abuts or confronts a property zoned Agricultural, Rural Residential, or Residential Detached that is vacant or improved with an agricultural or residential use, site plan approval is required under Section 7.3.4.*

Staff Response: Not applicable. The Project is allowed as a conditional use, not a limited use.

- ii. *Where a Residential Care Facility (Over 16 Persons) is allowed as a conditional use, it may be permitted by the Hearing Examiner under Section 7.3.1, Conditional Use, and the following standards:*

- a) *The facility may provide ancillary services such as transportation, common dining room and kitchen, meeting or activity rooms, convenience commercial area or other services or facilities for the enjoyment, service or care of the residents. Any such service may be restricted by the Hearing Examiner.*

Staff Response: The Project will provide ancillary services for the enjoyment, service, and care of residents as discussed above in Section II of this report. The Applicant proposes services which are customary (medical, fitness programming, laundry services) along with select elevated-level services (theater, art studio). Additionally, the Applicant will provide regular shuttle service for residents, as described above in this report. As such, the standard is satisfied.

- b) *A group home for children must provide ample outdoor play space, free from hazard and appropriately equipped for the age and number of children who will use the facility.*

Staff Response: Not applicable. The Project is a residential care facility for senior adults (persons aged 62 or older), not children.

- c) *Where residential dwelling units are provided*

1. *the maximum residential density per lot area is 15 units per acre or the maximum density allowed in the zone, whichever is greater; and*
2. *the minimum green area is 50%.*

Staff Response: Not applicable. The Project consists of residential care facility as defined by Section 59.3.3.2.E.1. The proposed living units do not meet the definition of a dwelling unit because the living units do not contain a kitchen. Further, the applicant has proposed the facility contains beds in living units, it will not contain separate kitchens in dwelling units, and that the Project should be reviewed as units of beds rather than dwelling units.

- d) *Where facility size is based on the number of beds, not dwelling units, the following lot area is required:*

1. *In the R, RC, and RNC zones, 2,000 square feet per bed or 5 acres, whichever is greater.*
2. *In all other zones, the minimum lot area is 2 acres or the following, whichever is greater:*
 - i. *in RE-2, RE-2C, RE-1, and R-200 zone: 1,200 square feet per bed;*
 - ii. *in R-60, R-90, and R-40 zone: 800 square feet per bed;*
 - iii. *in TLD, TMD, THD, R-30, and R-20 zone: 600 square feet per bed; and*

iv. in R-10: 300 square feet per bed

Staff Response: The Project is based on the number of beds, not dwelling units. It is located in the R-200 zone and the lot is 156,307 square feet in area. Accordingly, the maximum yield is 130 beds ($156,307 \div 1,200 = 130$). As described above in Section II of this report, the Project proposes 125 beds. Therefore, this standard is satisfied.

e) The minimum side setback is 20 feet.

Staff Response: The Property is located on a corner lot with two front yards, one rear yard, and one side yard. The proposed side yard setback is 101 feet, which is at least 20 feet. This standard is satisfied.

f) In the R-10 and R-20 zones, the development standards of the apartment building type apply, except as modified by Section 3.3.2.E.2.c.

Staff Response: Not applicable. The Project is not located in the R-10 or R-20 zone. It is located in the R-200 zone.

g) Independent dwelling units must satisfy the MPDU provisions of Chapter 25 (Section 25.A-5).

Staff Response: Not applicable. The Project consists of residential care facility as defined by Section 59.3.3.2.E.1. The proposed living units do not meet the definition of dwelling unit because the living units do not contain a kitchen.

h) In a continuing care retirement community occupancy of any independent dwelling unit is restricted to persons 62 years of age or older, with the following exceptions:

- 1. the spouse of a resident, regardless of age;*
- 2. another relative of a resident, 50 years of age and older;*
- 3. the resident widow, widower, or other surviving relative of a resident who dies while residing at the continuing care retirement community, is allowed to remain even though the resident widow, widower, or other surviving relative has not reached the age of 62.*
- 4. A minimum of 80% of the dwelling units must be occupied by at least one person per unit who is 55 years of age or older.*

Staff Response: Not applicable. This Project is not a Continuing Care Retirement Community.

i) Height, density, coverage, and parking standards must be compatible with surrounding uses; the Hearing Examiner may modify any standards to maximize the compatibility of the building with the residential character of the surrounding neighborhood.

Staff Responses: This finding is satisfied. As described above in Section II, the Project satisfies all applicable development standards for the R-200 zone. The Project consists of a 125-bed facility in a new three- to four-story 42-foot height residential building. There exists a variety of height, density, coverage, and architecture in the neighborhood. The visual character of the neighborhood is varied with detached dwellings, townhomes, an elementary school, a former post office building and open space. Most of the proposed parking is located in a subterranean garage, with only ten surface spaces provided near the primary building entrance. The Project is sufficiently buffered with landscape and by distance from adjoining uses. Therefore, the proposed residential care use, building, and parking configuration is not out of character and is compatible with the surrounding neighborhood.

- j) *In the AR zone, this use may be prohibited under Section 3.1.5, Transferable Development Rights.*

Staff Response: Not applicable. The Project is not located in the AR zone. It is located in the R-200 zone.

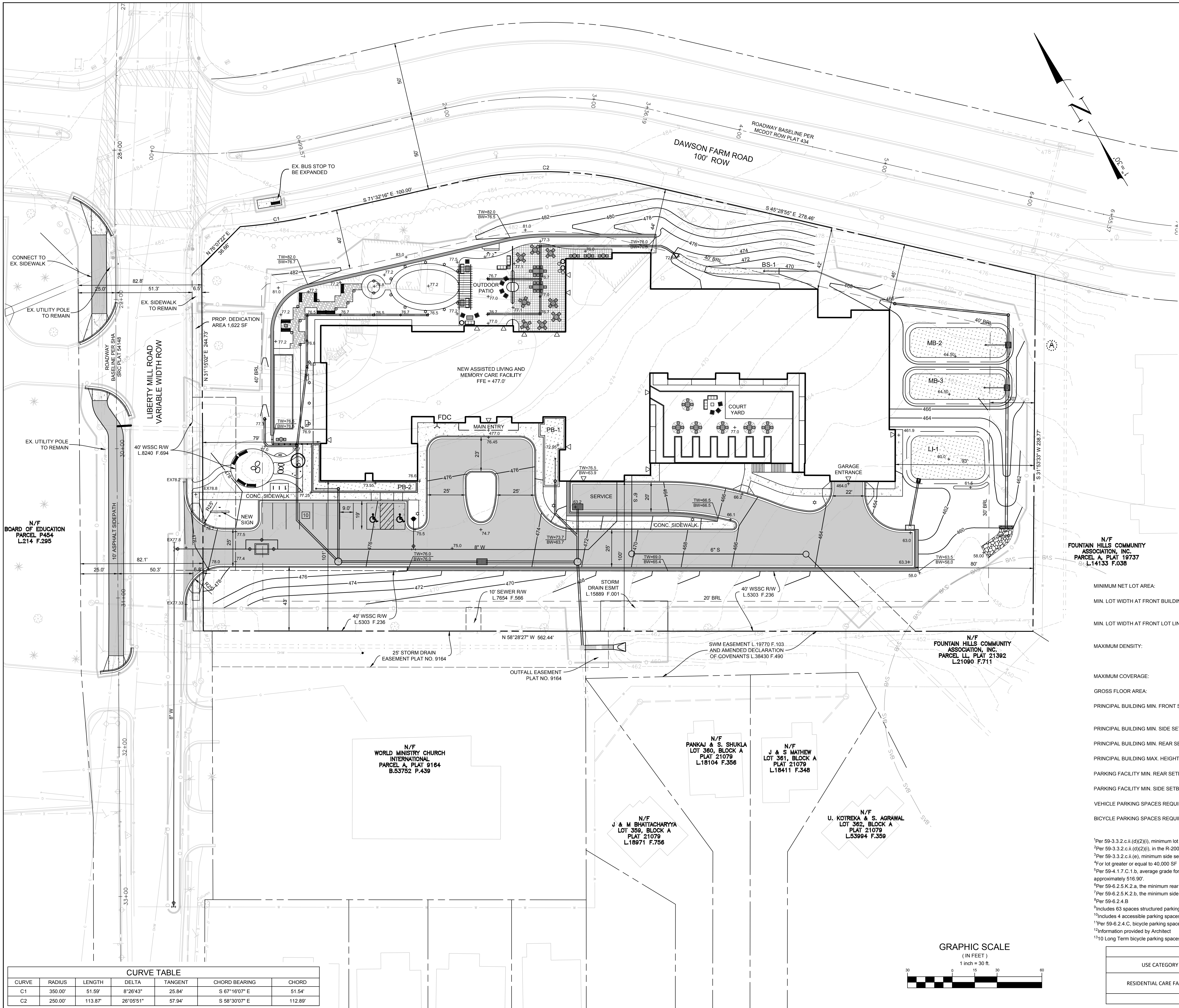
Section V: Conclusion

The proposed residential care facility, as recommended in Section I of this report, satisfies all applicable requirements for the approval of a conditional use as specified in the Montgomery County Zoning Ordinance and is consistent with the recommendations of the 1989 *Germantown Master Plan*. Planning staff RECOMMENDS APPROVAL of Conditional Use No. 2020-09.

Attachments

1. Site plan, building elevations and schematic design, landscape/lighting plan.
2. Site photographs.
3. Forest Conservation Plan 120170210.

NO.	DESCRIPTION	DATE



DEVELOPMENT STANDARDS: R-200 ZONE
59-4.4.7
PROPOSED LOT 1

	PERMITTED/REQUIRED	PROVIDED PER THIS PLAN
MINIMUM NET LOT AREA:	2 ACRES ¹	3.59 ACRES (156,307 SF)
MIN. LOT WIDTH AT FRONT BUILDING LINE:	100 FT	487 FT (DAWSON FARM) 279 FT (LIBERTY MILL)
MIN. LOT WIDTH AT FRONT LOT LINE:	25 FT	569 (DAWSON FARM) 269 FT (LIBERTY MILL)
MAXIMUM DENSITY:	1,200 SF/BED ² 130 BEDS (156,307 SF/1,200 SF/BED)	125 BEDS
MAXIMUM COVERAGE:	25% (39,077 SF)	25% (39,076 SF) ²
GROSS FLOOR AREA:	N/A	98,955 GSF ²
PRINCIPAL BUILDING MIN. FRONT SETBACK:	40 FT	42 FT (DAWSON FARM) 79 FT (LIBERTY MILL)
PRINCIPAL BUILDING MIN. SIDE SETBACK:	20 FT ³	100 FT (SOUTH)
PRINCIPAL BUILDING MIN. REAR SETBACK:	30 FT	93 FT (EAST)
PRINCIPAL BUILDING MAX. HEIGHT:	50 FT ⁴	42 FT ⁵
PARKING FACILITY MIN. REAR SETBACK:	30 FT ⁶	80 FT (EAST)
PARKING FACILITY MIN. SIDE SETBACK:	24 FT ⁷	43 FT (SOUTH)
VEHICLE PARKING SPACES REQUIRED:	50 ⁸	73 ^{9,10}
BICYCLE PARKING SPACES REQUIRED:	0 ¹¹	6 (SHORT TERM) 10 (LONG TERM) ¹²

¹Per 59-3.3.2.c.i.(d)(2)(i), minimum lot area is 2 acres
²Per 59-3.3.2.c.i.(d)(2)(i), in the R-200 zone: 1,200 SF per bed
³Per 59-3.3.2.c.i.(e), minimum side setback is 20 FT
⁴For lot greater or equal to 40,000 SF
⁵Per 59-4.1.7.C.1.b, average grade for building height calculation = 474.90'. Per project architect, mean height between the eaves and roof ridge is approximately 516.90'.
⁶Per 59-6.2.5.K.2.a, the minimum rear parking setback equals the minimum rear setback for the detached house.
⁷Per 59-6.2.5.K.2.b, the minimum side parking setback equals 2 times the minimum side setback for the detached house.
⁸Per 59-6.2.4.B
⁹Includes 63 spaces structured parking garage.
¹⁰Includes 4 accessible parking spaces.
¹¹Per 59-6.2.4.C, bicycle parking spaces for Residential Care Facilities based upon number of dwelling units. No dwelling units are proposed.
¹²Information provided by Architect
¹³10 Long Term bicycle parking spaces provided within structured parking garage.

USE CATEGORY	VEHICLE PARKING SCHEDULE ⁸		
	MIN. RATE	MEASUREMENT	PARKING REQUIRED
RESIDENTIAL CARE FACILITY	0.25 PER BED	125 BEDS	31.25
	0.5 PER EMPLOYEE	35 EMPLOYEES	17.5
TOTAL REQUIRED			49



LIBERTY MILL ROAD
Schematic Design
May 1st, 2020



Liberty Mill Road Unit Matrix

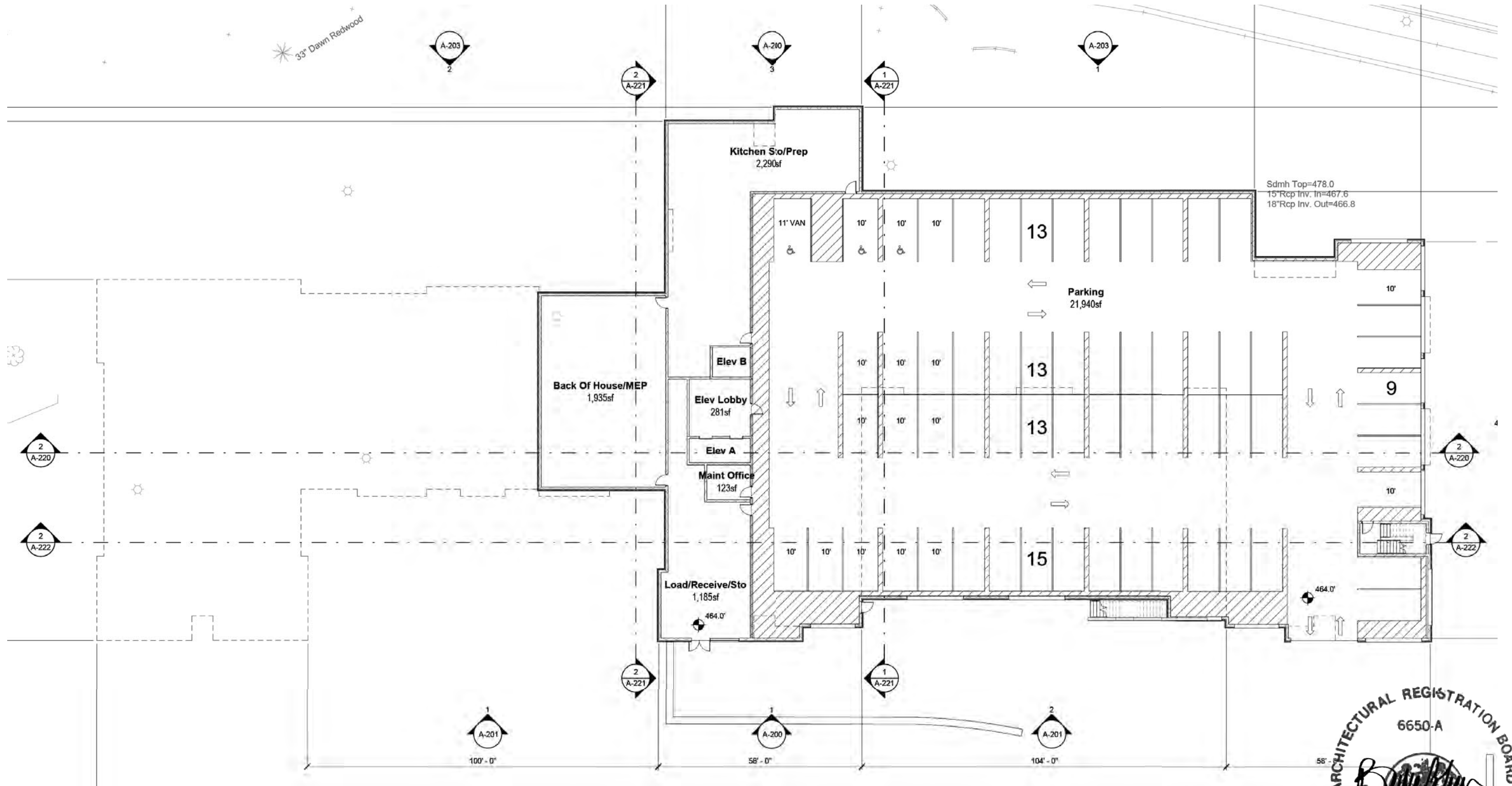
Last updated: April 20, 2020

	Assisted Living			Memory Care			Units/floor	Floor GSF
	ST	JR1	1B	ST	JR1	1B		
Unit GSF	400 GSF	500 GSF	550-700 GSF	400 GSF	500 GSF			
Garage	--	--	--	--	--	--	--	22,373 GSF
Service/BOH	--	--	--	--	--	--	--	6,503 GSF
1st Floor	25	5	8	0	0	0	38	32,730 GSF
2nd Floor	30	7	8	0	0	0	45	32,378 GSF
3rd Floor	10	3	6	13	4	0	36	27,344 GSF
Total	65	15	22	13	4	0	119	98,955 GSF
% of total	54.6%	12.6%	18.5%	10.9%	3.4%	0.0%		(does not include garage)
Total by type	102 UNITS			17 UNITS				
% by type	85.7%			14.3%				

Avg GSF/unit831.6 GSF

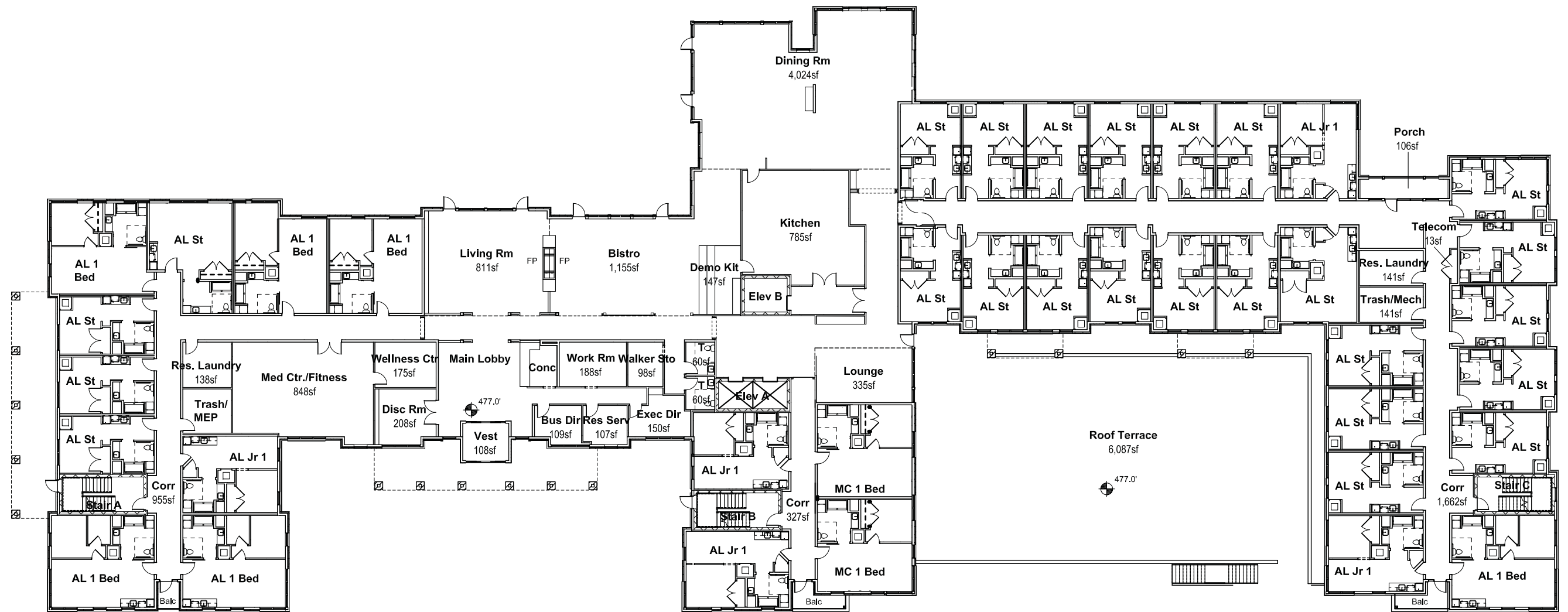
(1 NEIGHBORHOOD OF 17)



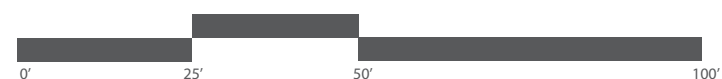


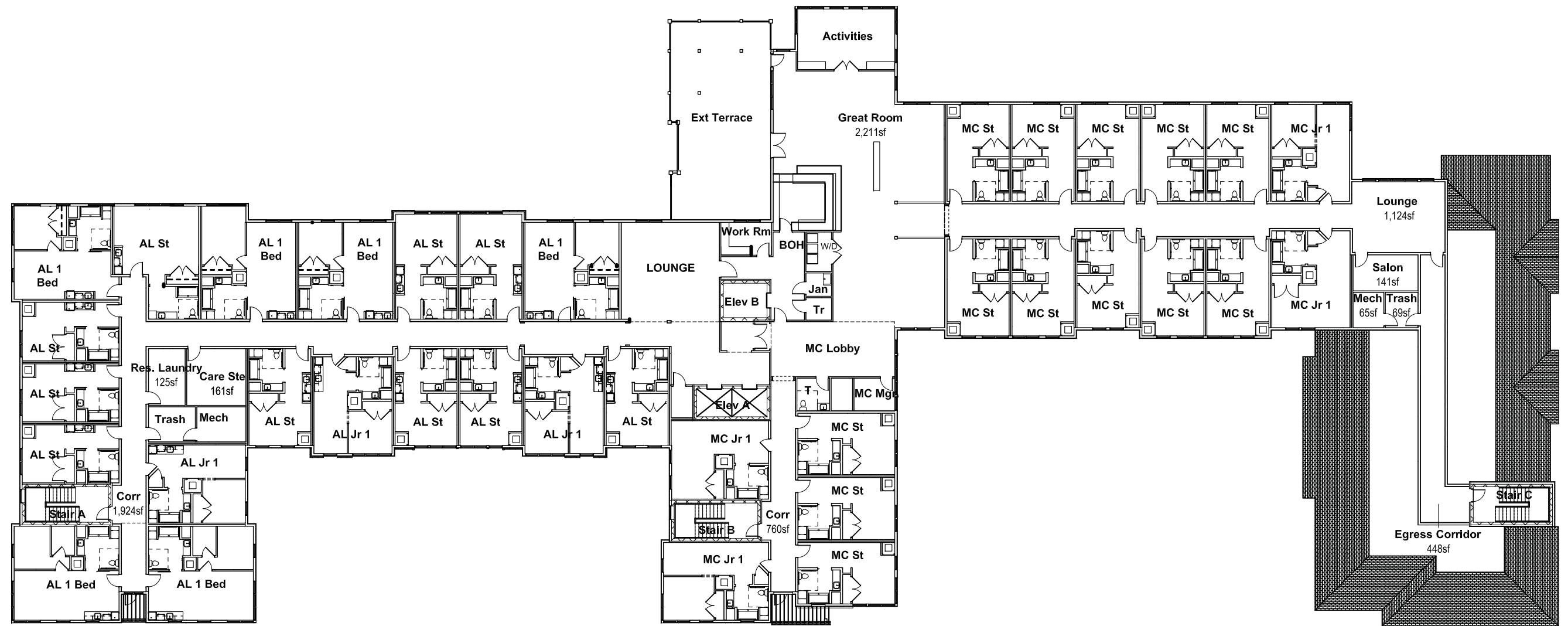
GARAGE PLAN



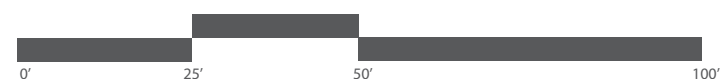


FIRST FLOOR PLAN





THIRD FLOOR PLAN





PERSPECTIVE - AERIAL VIEW



PERSPECTIVE - SITE ENTRY



PERSPECTIVE - BUILDING ENTRY

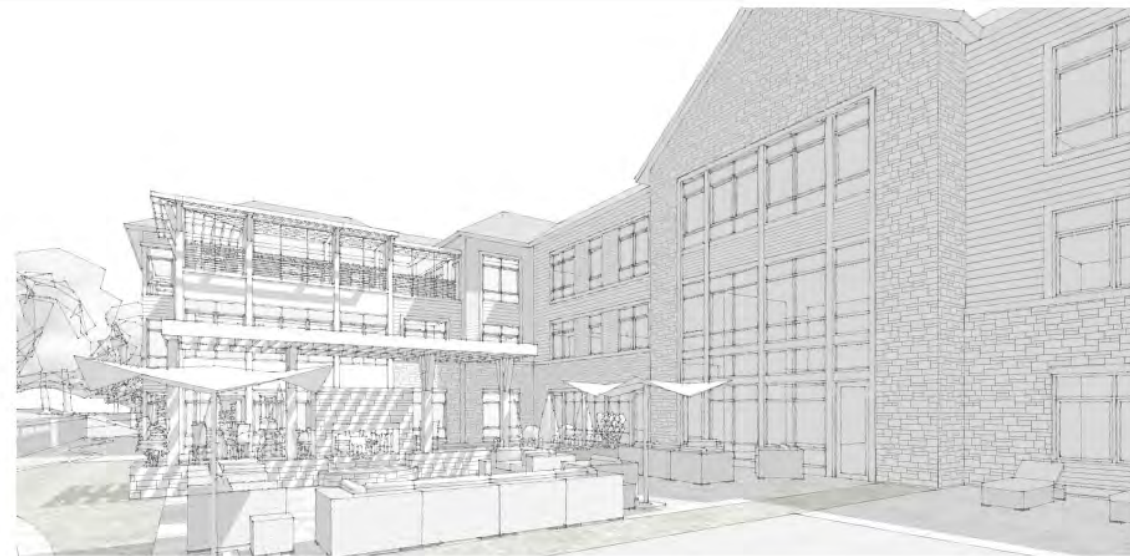
PERSPECTIVE VIEWS



PERSPECTIVE - SOUTHWEST BUILDING VIEW



PERSPECTIVE - EXTERIOR DINING



PERSPECTIVE - EXTERIOR REAR TERRACE

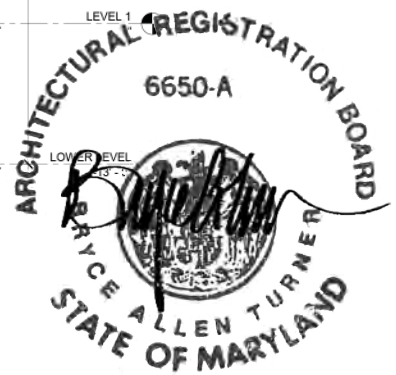
PERSPECTIVE VIEWS



2 SOUTH ELEVATION - S2
A-201 1/8" = 1'-0"



1 SOUTH ELEVATION - S1
A-201 1/8" = 1'-0"



BUILDING ELEVATIONS

Flournoy
COMPANIES

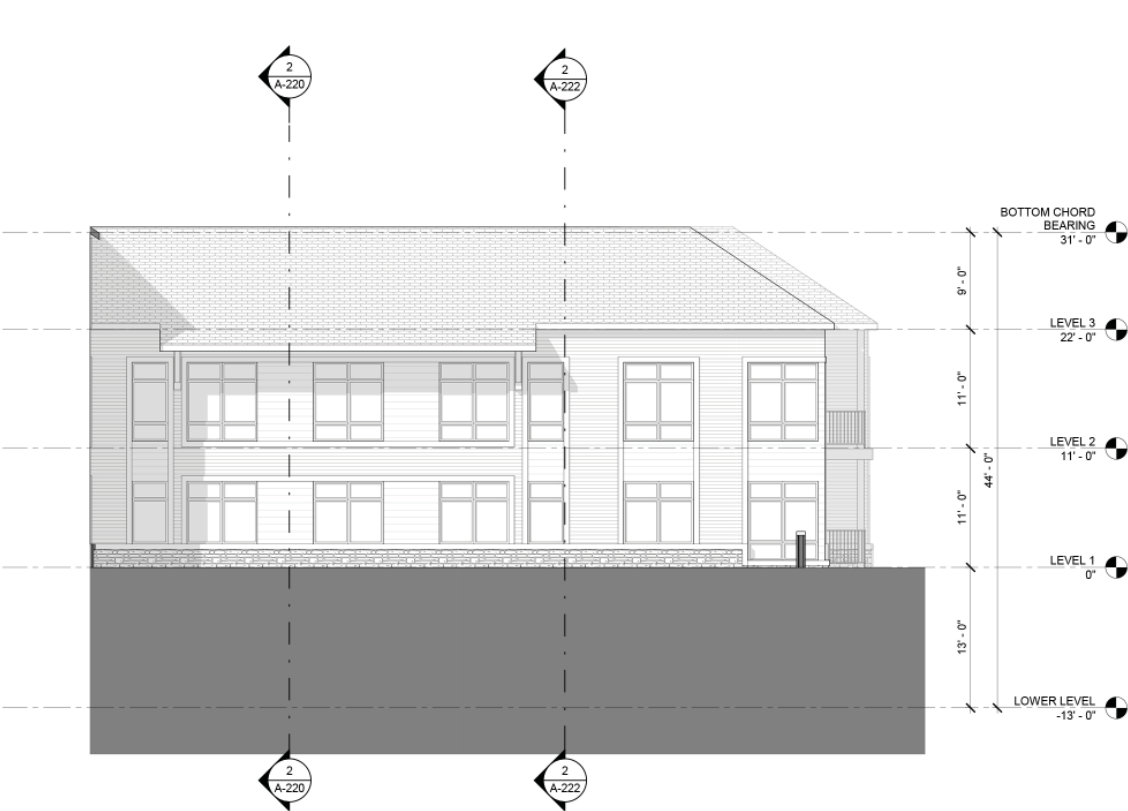
LIBERTY MILL ROAD
SCHEMATIC DESIGN
May 1st, 2020
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A-9



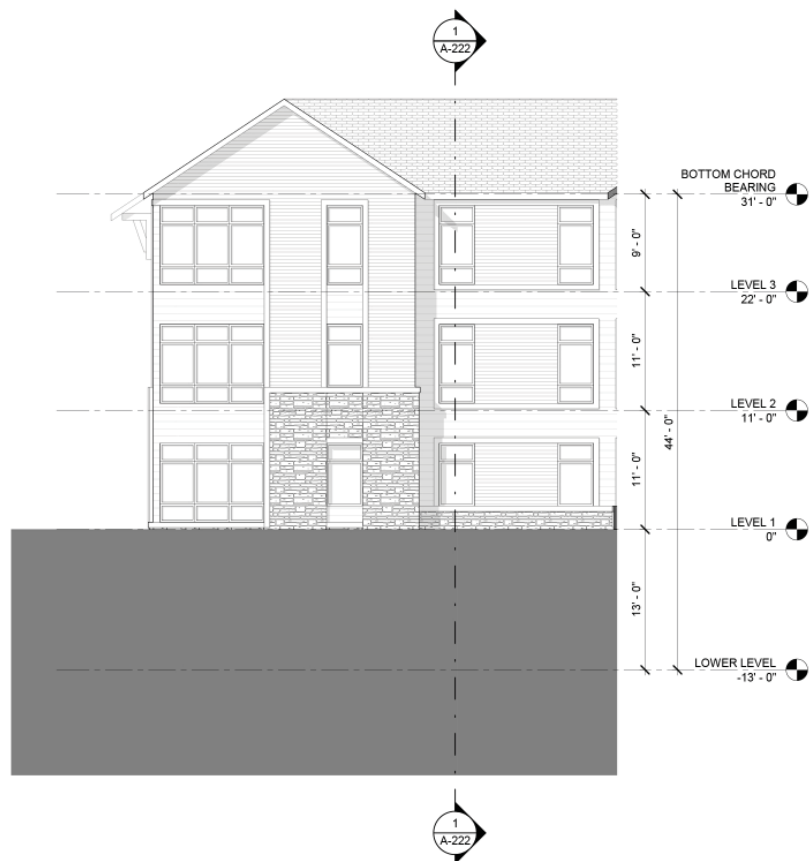
4 WEST ELEVATION - W2

A-202 1/8" = 1'-0"



3 WEST ELEVATION - W1

A-202 1/8" = 1'-0"



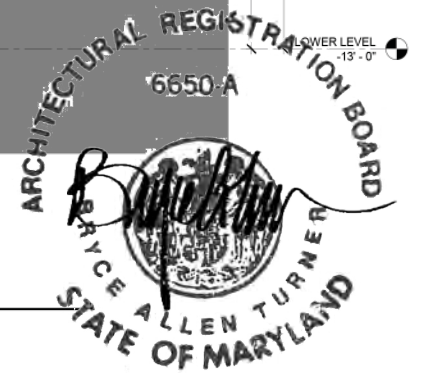
2 EAST ELEVATION - E2

A-202 1/8" = 1'-0"



1 EAST ELEVATION - E1

A-202 1/8" = 1'-0"



BUILDING ELEVATIONS

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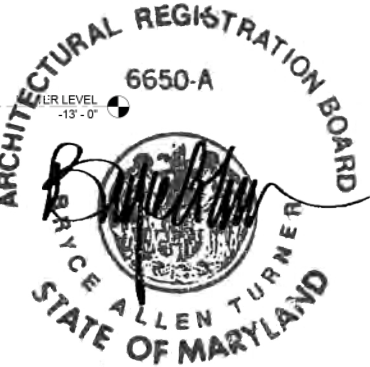
A-10



2 NORTH ELEVATION - N2
A-203 1/8" = 1'-0"



1 NORTH ELEVATION - N1
A-203 1/8" = 1'-0"



BUILDING ELEVATIONS

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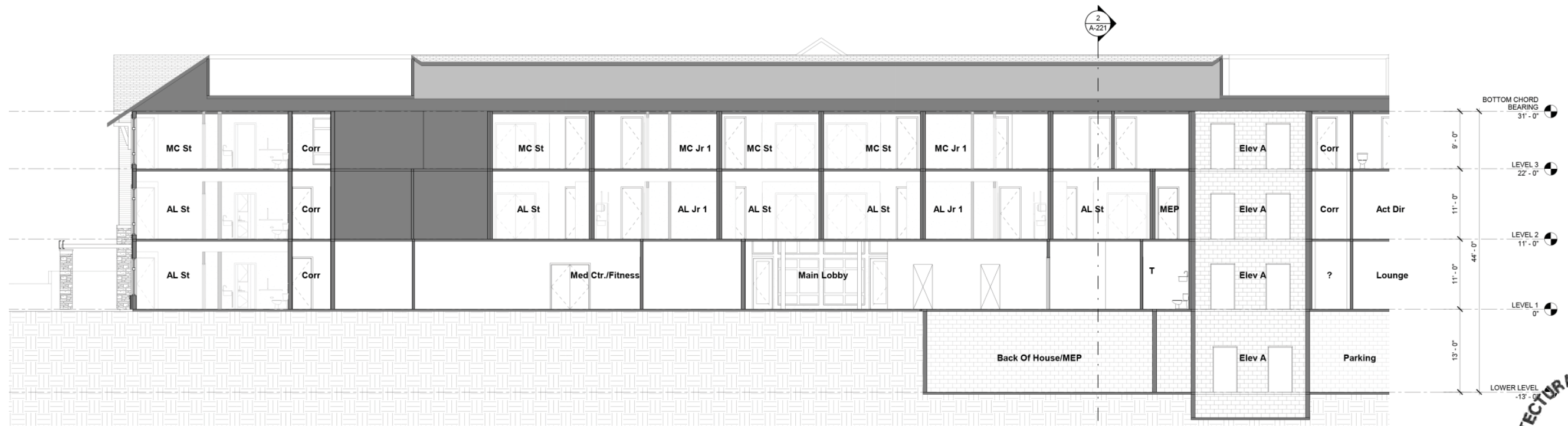
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A-11



2 BUILDING SECTION 1B
A-220 1/8" = 1'-0"



1 BUILDING SECTION 1A
A-220 1/8" = 1'-0"



BUILDING ELEVATIONS

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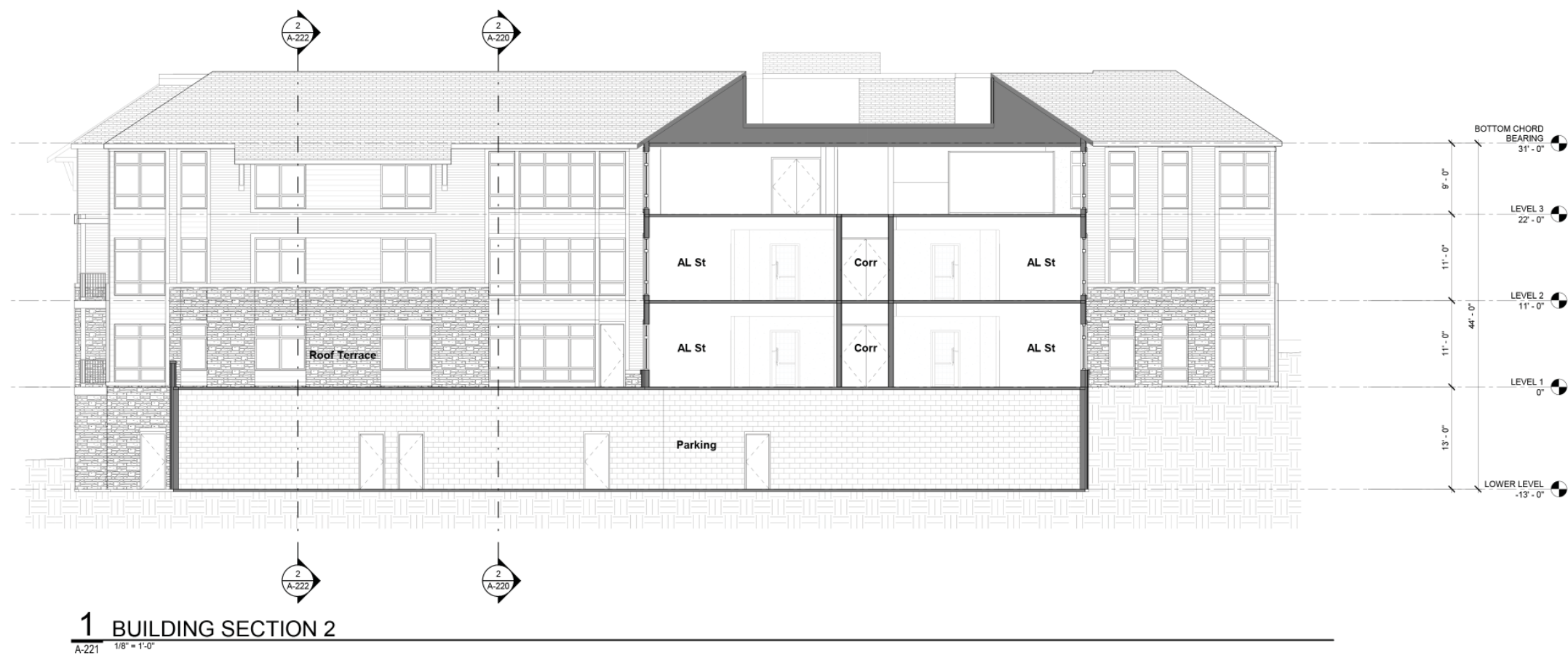
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A-14

Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the Laws of the State of Maryland, Lic. No. 615
Exp. Date: 09.10.2021

OWNER:

CAROLYN H. O'DELL
REVOCABLE TRUST
19115 LIBERTY MILL ROAD
GERMANTOWN, MD 20874

APPLICANT:

FLOURNOY DEVELOPMENT GROUP
1100 BROOKSTONE CENTER PKWY
COLUMBUS, GA 31904
(706) 324-4000

CONTACT: CHARLIE SABIN
Charlie.Sabin@flournoydev.com

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP EU341

WSSC 226NW13

LIBER 36179 FOLIO 283

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL P515 CHESTNUT RIDGE

PROJ. MGR KDJ

DRAWN BY CEB

SCALE 1" = 30'

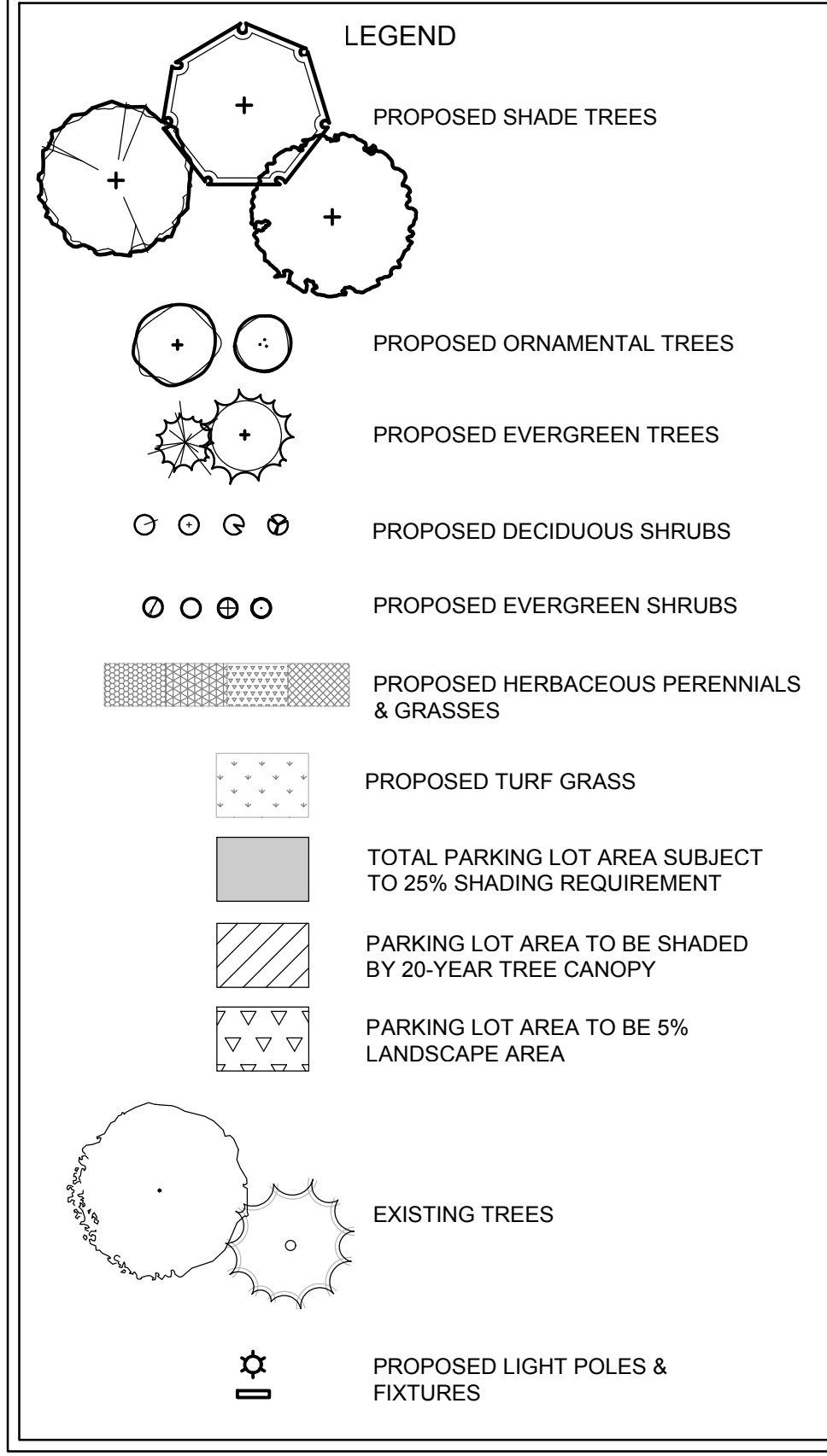
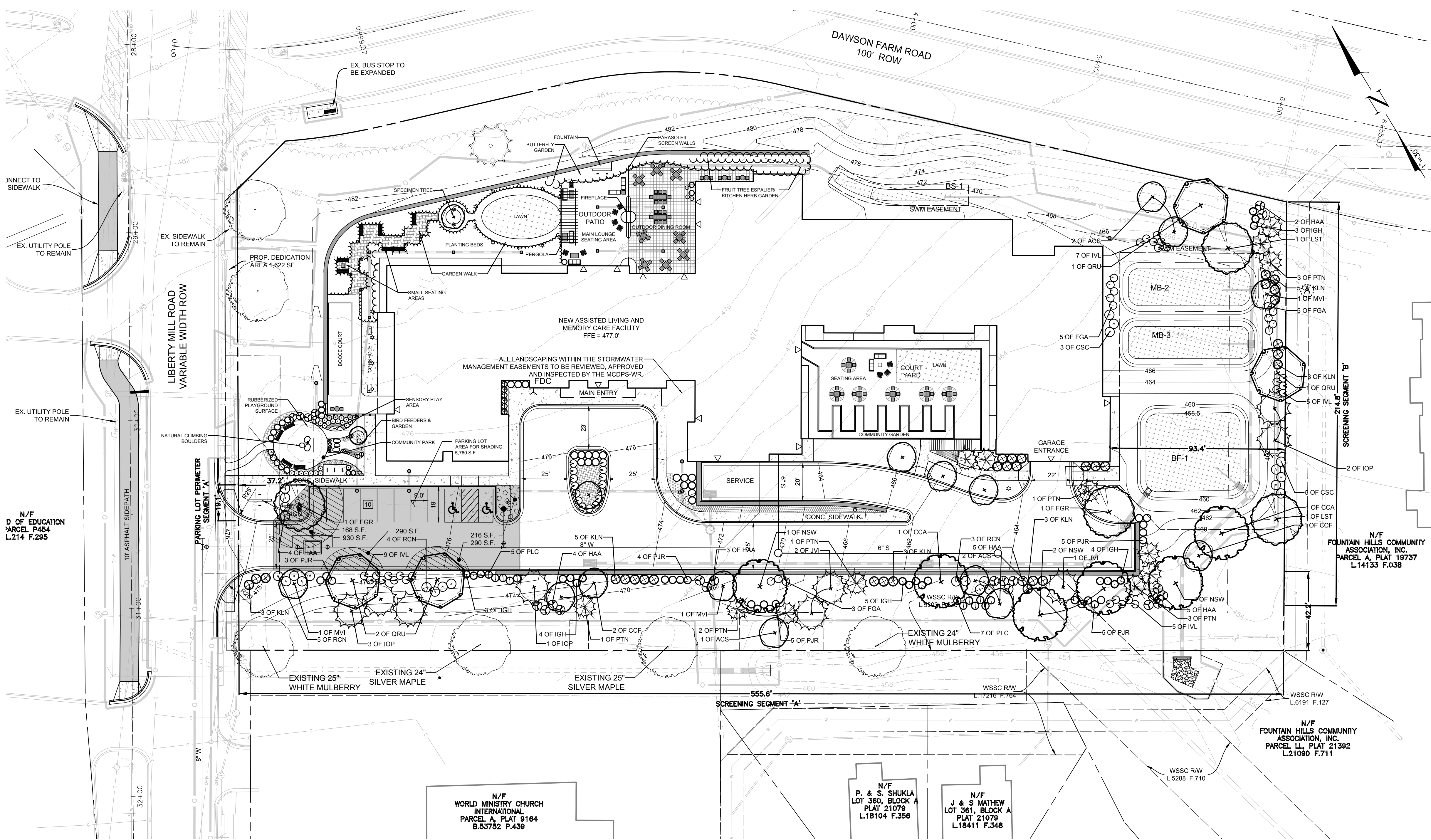
DATE 4.30.2020

LANDSCAPE & LIGHTING PLAN

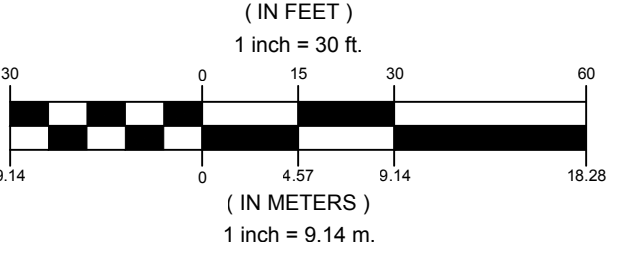
L2.01

PROJECT NO. 2015.244.24

SHEET NO. 1 OF 5



GRAPHIC SCALE



PARKING LOT REQUIREMENTS FOR 10 OR MORE SPACES 2014 MONTGOMERY COUNTY ZONING ORDINANCE

Section 59-6.2.9.C.1. Landscaped Area

Minimum Landscaped Island Area Required	= 100 s.f.
Minimum Landscaped Island Area Provided	= 168 s.f.
Parking Lot Pavement Area	= 5,760 s.f.
Landscape Area required (5% of Total Pavement Area)	= 288 s.f.
Total Landscape Area provided	= 384 s.f.

SHADING FOR PARKING LOT PAVEMENT Section 59-6.2.9.C.2. Tree Canopy

BOTANICAL NAME	COMMON NAME	20 YEAR CANOPY (DIA. IN FEET)*
Fagus grandifolia	American Beech	46
Quercus rubra	Northern Red Oak	35

*20-year canopy diameters are calculated as shown in the Montgomery County Trees Technical Manual (September 1992), Appendix C, 'Plant Species Information: Montgomery County Maryland Landscape Tree Evaluation Criteria'.

Parking Lot Pavement Area	= 5,760 s.f.
Shaded Area required (25% of Total Pavement Area)	= 1,440 s.f.
Total Shaded Area provided	= 1,510 s.f.

PARKING LOT PERIMETER LANDSCAPING REQUIREMENTS SECTION 59-6.2.9.C.3.

1. Perimeter planting area for a property that abuts a public right-of-way	REQUIRED/ PERMITTED	PROVIDED
PERIMETER SCREEN A - 20 L.F.		
i. Minimum width	6'	37'
ii. Minimum hedge height	3'	3'
iii. Canopy trees	30' o.c. 1 tree	1 tree

SCREENING REQUIREMENTS 2014 MONTGOMERY COUNTY ZONING ORDINANCE SECTION 59-6.5.2.C		
	REQUIRED/ PERMITTED	PROVIDED
7. General Building with a Non-Industrial Use	SCREENING A (556' SEGMENT) - OPTION B	
Minimum Landscape Dimensions (depth)	12'	42'
Canopy Trees	2 per 100' = 12 trees	12 trees*
Understory or Evergreen Trees	4 per 100' = 23 trees	23 trees
Large Shrubs	8 per 100' = 45 shrubs	45 shrubs
Medium Shrubs	12 per 100' = 67 shrubs	67 shrubs
7. General Building with a Non-Industrial Use	SCREENING B (215' SEGMENT) - OPTION B	
Minimum Landscape Dimensions (depth)	12'	93'
Canopy Trees	2 per 100' = 5 trees	5 trees
Understory or Evergreen Trees	4 per 100' = 9 trees	9 trees
Large Shrubs	8 per 100' = 18 shrubs	18 shrubs
Medium Shrubs	12 per 100' = 26 shrubs	26 shrubs

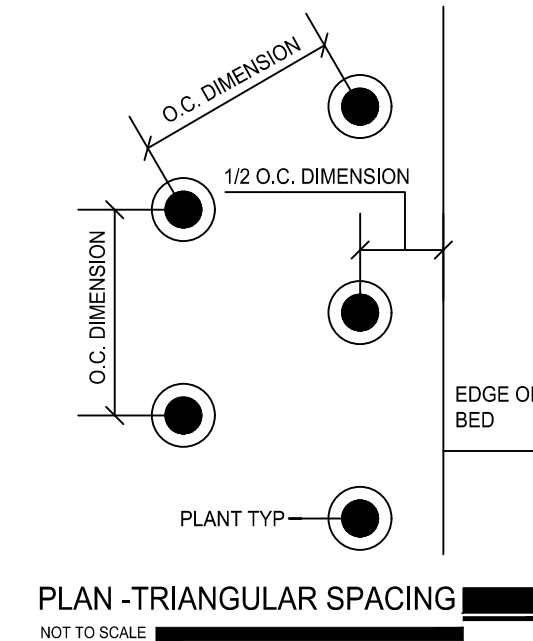
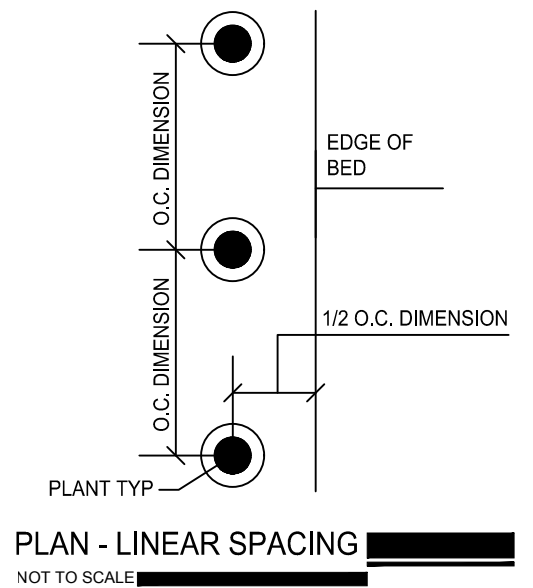
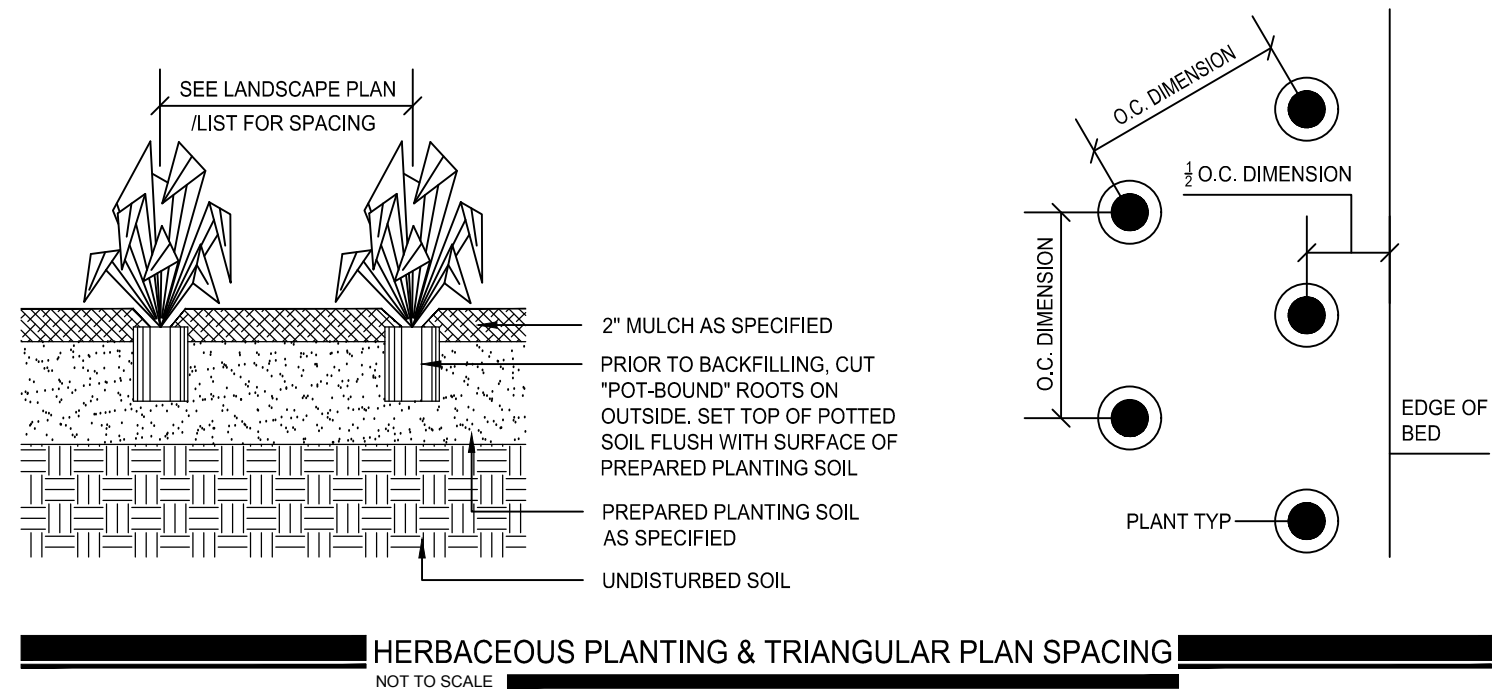
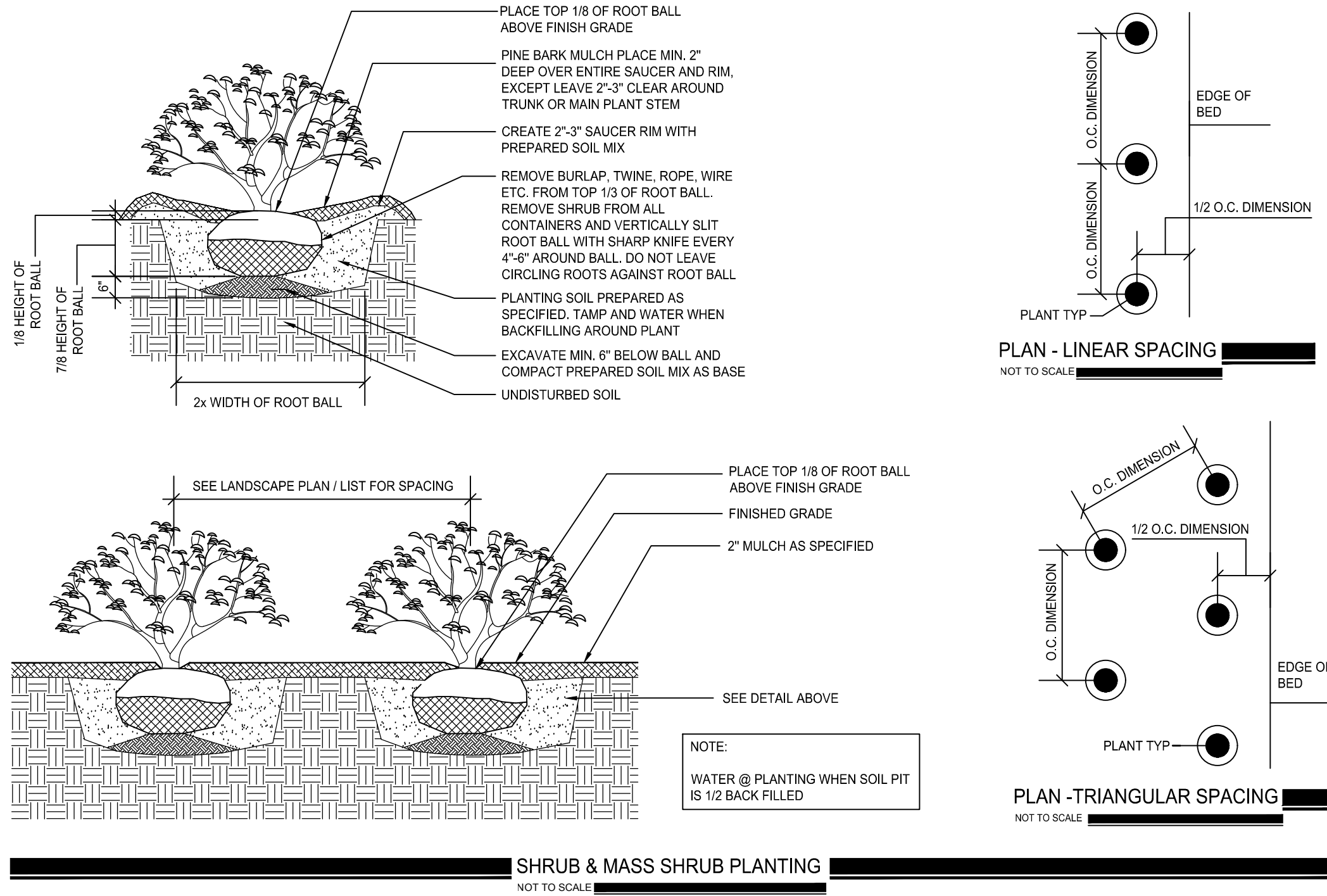
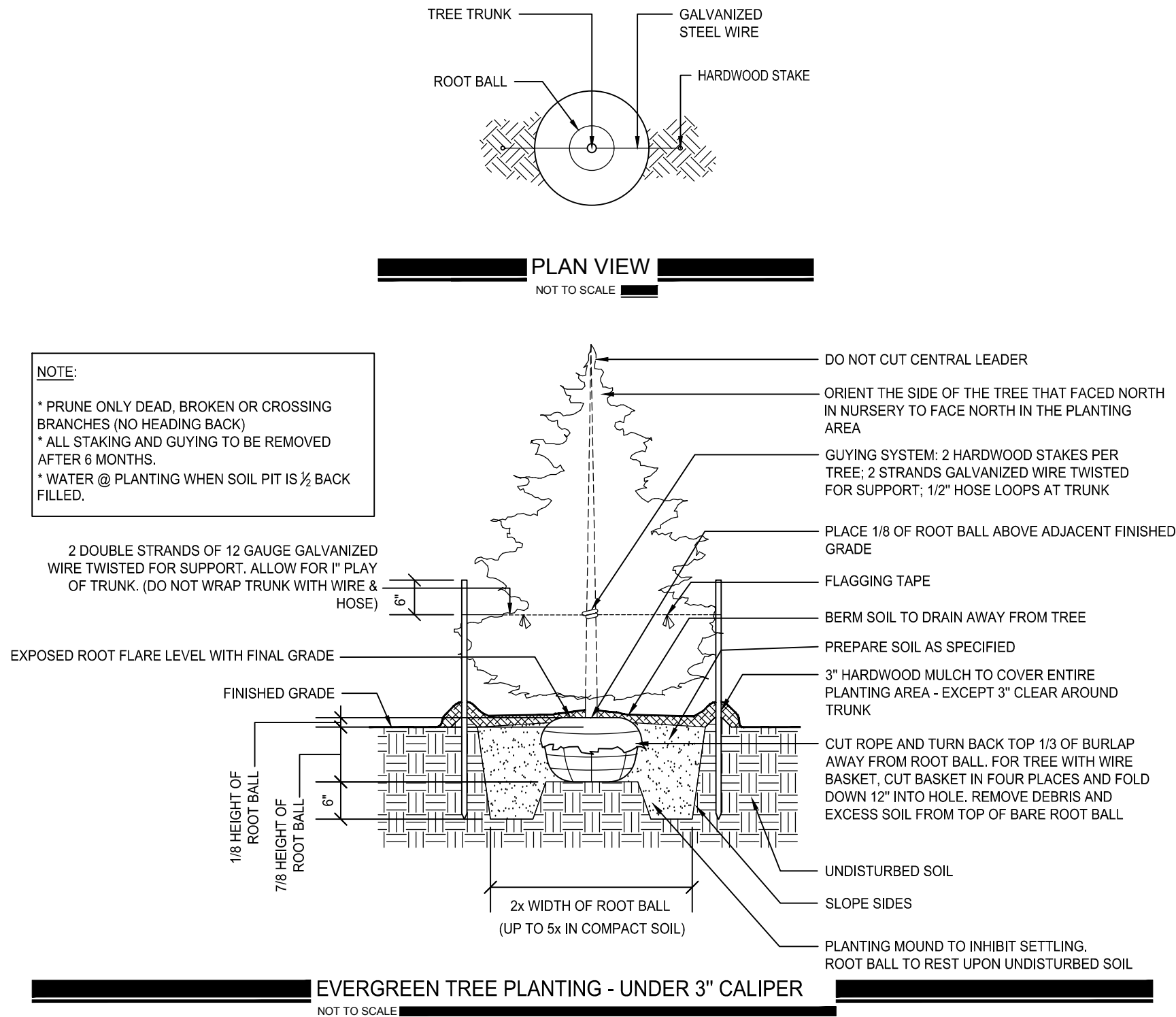
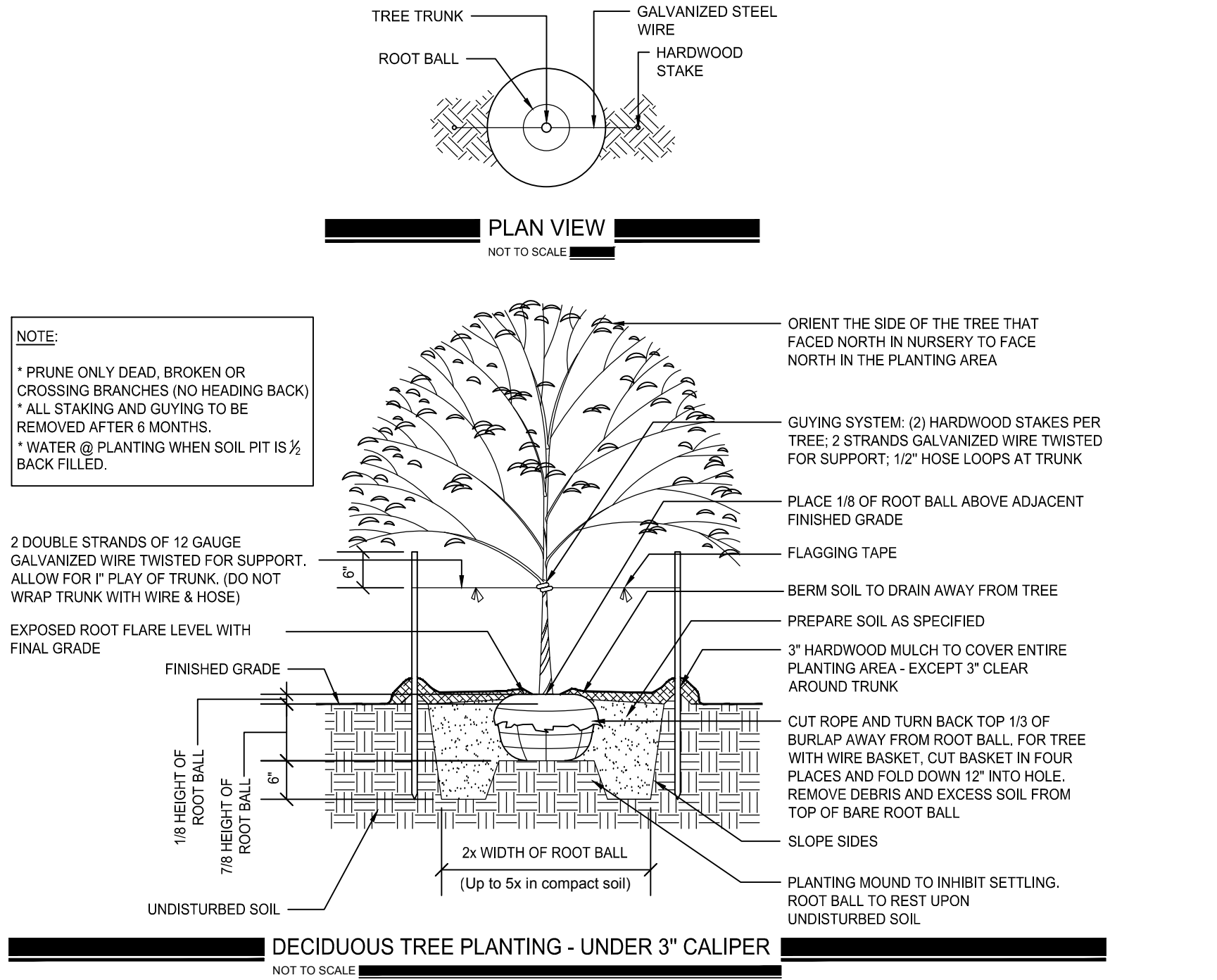
* The existing four (4) specimen trees in Screening Segment A are to remain and count towards the Canopy Tree requirement.

LANDSCAPE PLANT LIST							
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL	HGT	ROOT	SPACING
SHADE TREES							
CCA	2	Carpinus caroliniana	American Ironwood	2 1/2"-3" cal		B&B	AS SHOWN
FGR	2	Fagus grandifolia	American Beech	2 1/2"-3" cal		B&B	AS SHOWN
LST	2	Liquidambar styraciflua	Sweetgum	2 1/2"-3" cal.		B&B	AS SHOWN
NSW	4	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	2 1/2"-3" cal		B&B	AS SHOWN
QRU	4	Quercus rubra	Red Oak	2 1/2"-3" cal		B&B	AS SHOWN
ORNAMENTAL AND EVERGREEN TREES							
ACS	5	Amelanchier canadensis 'Sprizam'	Spring Glory Serviceberry		8-10' ht.	B&B	AS SHOWN
CCF	3	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud		8-10' ht.	B&B	AS SHOWN
IOP	6	Ilex opaca	American Holly		8-10' ht.	B&B	AS SHOWN
JVI	3	Juniperus virginiana	Eastern Red Cedar		7-8' ht.	B&B	AS SHOWN
MVI	3	Magnolia virginiana	Sweetbay Magnolia		8-10' ht.	B&B	AS SHOWN
PTN	11	Pinus taeda 'Nana'	Nana Loblolly Pine		7-8' ht.	B&B	AS SHOWN
DECIDUOUS AND EVERGREEN SHRUBS							
CSC	8	Cornus sericea 'Cardinal'	Cardinal Red Twig Dogwood		36-42"	#5 cont.	6' o.c.
FGA	13	Fothergilla gardenii 'Blue Mist'	Blue Mist Fothergilla		30-36"	#3 cont.	4' o.c.
HAA	23	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea		36-42"	#5 cont.	5' o.c.
IGH	19	Ilex glabra 'Chamzin'	Nordic Inkberry		30-36"	#3 cont.	3' o.c.
IVL	26	Itea virginica 'Henry's Garnet'	Henry's Garnet Virginia Sweetpire		30-36"	#3 cont.	3' o.c.
KLN	22	Kalmia latifolia 'Nipmuck'	Nipmuck Mountain Laurel		36-42"	#5 cont.	5' o.c.
PJR	22	Pieris japonica 'Variegata'	Variegated Lily of the Valley		36-42"	#5 cont.	4' o.c.
PLC	12	Prunus laurocerasus 'Chestnut Hill'	Chestnut Hill Cherry Laurel		30-36"	#3 cont.	4' o.c.
RCN	12	Rhododendron x 'Nova Zembla'	Nova Zembla Rhododendron		36-42"	#5 cont.	5' o.c.

Note: Plant counts are provided for the convenience of the contractor. The plan dominates on any discrepancies between the table and the plan. Contractor is responsible for verifying the counts and bringing any discrepancies to the attention of the landscape architect and client before proceeding.

PLANTING NOTES

- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE, INCLUDING SHRUBS AND GROUND COVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION, THROUGHOUT THE ONE YEAR GUARANTEE PERIOD.
- CONTRACTOR SHALL LAY OUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- QUANTITIES AS SHOWN ON THE PLAN SHALL GOVERN OVER PLANT LIST QUANTITIES. CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERTED BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
- ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL RECEIVE TAG FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY AMERICANHORT. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR IS RESPONSIBLE FOR SOIL TESTING AND PREPARATION AS OUTLINED IN THE CURRENT EDITION OF THE LANDSCAPE SPECIFICATION GUIDELINES OF THE LANDSCAPE CONTRACTORS ASSOCIATION OF MD-DC-VA (LCA). PREPARATION SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO, THE ADDITION OF SOIL AMENDMENTS, FERTILIZERS AND SUPPLEMENTAL TOPSOIL AS INDICATED BY TESTING; AND SUBGRADE, FINAL GRADE AND FINISH GRADE SOIL PREPARATION.
- WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS UNLESS OTHERWISE NOTED. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
- NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS.
- TREES SHALL BE LOCATED A MINIMUM OF 3 FEET FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS, UNDER BUILDING OVERHANGS, OR IN DRAINAGE SWALES. SHRUBS PLANTED NEAR HVAC UNITS TO BE LOCATED SO THAT SHRUBS AT MATURITY WILL MAINTAIN 1-FOOT AIRSPACE BETWEEN UNIT AND PLANT.
- CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
- TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- ALL TREE PITTS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- MULCH IS TO BE DOUBLE SHREDDED HARDWOOD BARK FOR TREES AND SHRUBS.
- CROWN OF ROOT FLARE SHALL BE 1/2" - 3" HIGHER (AFTER SETTLING) THAN ADJACENT SOIL.
- TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-HALF ON ALL B&B PLANT MATERIAL.
- SHRUBS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS WHERE MASSING IS INDICATED.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT FLARE TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER AND M-NCPPC. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY AT ALL CURB, GUTTERS AND SIDEWALKS) DAILY DURING INSTALLATION.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR ON A MONTHLY BASIS. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- CONTRACTOR SHALL BE RESPONSIBLE TO REGRADE, HYDRO-SEED, STRAW MULCH, AND TACK ALL LAWN AREAS DISTURBED AS THE RESULT OF HIS WORK.
- CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST 10 WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE FROM THE LANDSCAPE SPECIFICATION GUIDELINES BY THE LANDSCAPE CONTRACTORS ASSOCIATION MD-DC-VA (LCA), CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.
- ANY PLANTING WHICH IS SHOWN ADJACENT TO CONDENSER UNITS SHALL BE PLANTED AS REQUIRED TO SCREEN THE UNITS. SHOULD THE CONDENSER UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE PLAN IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL THE MATERIALS AROUND THE CONDENSERS AND TO ADJUST OTHER ADJACENT PLANTING ACCORDINGLY.
- FOR INFORMATION REGARDING APPROPRIATE PLANTING PERIODS FOR DIFFERENT SPECIES, SEE THE LATEST EDITION OF THE LANDSCAPE SPECIFICATION GUIDELINES FROM THE LANDSCAPE CONTRACTORS ASSOCIATION OF MD-DC-VA PART 1-EXTERIOR LANDSCAPE INSTALLATION, SECTION 1.12 (A-G) AT WWW.LCAMDDCVA.ORG.



Civil Engineers
Land Planners
Landscape Architects
Land Surveyors

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Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the Laws of the State of Maryland, Lic. No. 615
Exp. Date: 09.10.2021

OWNER:
CAROLYN H. O'DELL
REVOCABLE TRUST
19115 LIBERTY MILL ROAD
GERMANTOWN, MD 20874

APPLICANT:
FLOURNOY DEVELOPMENT GROUP
1100 BROOKSTONE CENTER PKWY
COLUMBUS, GA 31904
(706) 324-4000
CONTACT: CHARLIE SABIN
Charlie.Sabin@fournoydev.com

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP EU341 WSSC 226NW13

LIBER 36179 FOLIO 283

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL P515
CHESTNUT RIDGE

PROJ. MGR	KDJ
DRAWN BY	CEB
SCALE	NTS
DATE	4.30.2020

LANDSCAPE & LIGHTING PLAN

NOTES & DETAILS

L2.02
PROJECT NO. 2015.244.24
SHEET NO. 2 OF 5

Professional Certification

I hereby certify that these documents were prepared
or approved by me, and that I am a duly licensed
Professional Landscape Architect under the Laws of
the State of Maryland, Lic. No. 615
Exp. Date: 09.10.2021

OWNER:

CAROLYN H. O'DELL
REVOCABLE TRUST
19115 LIBERTY MILL ROAD
GERMANTOWN, MD 20874



REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP EU341

WSSC 226NW13

LIBER 36179 FOLIO 283

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL P515
CHESTNUT RIDGE

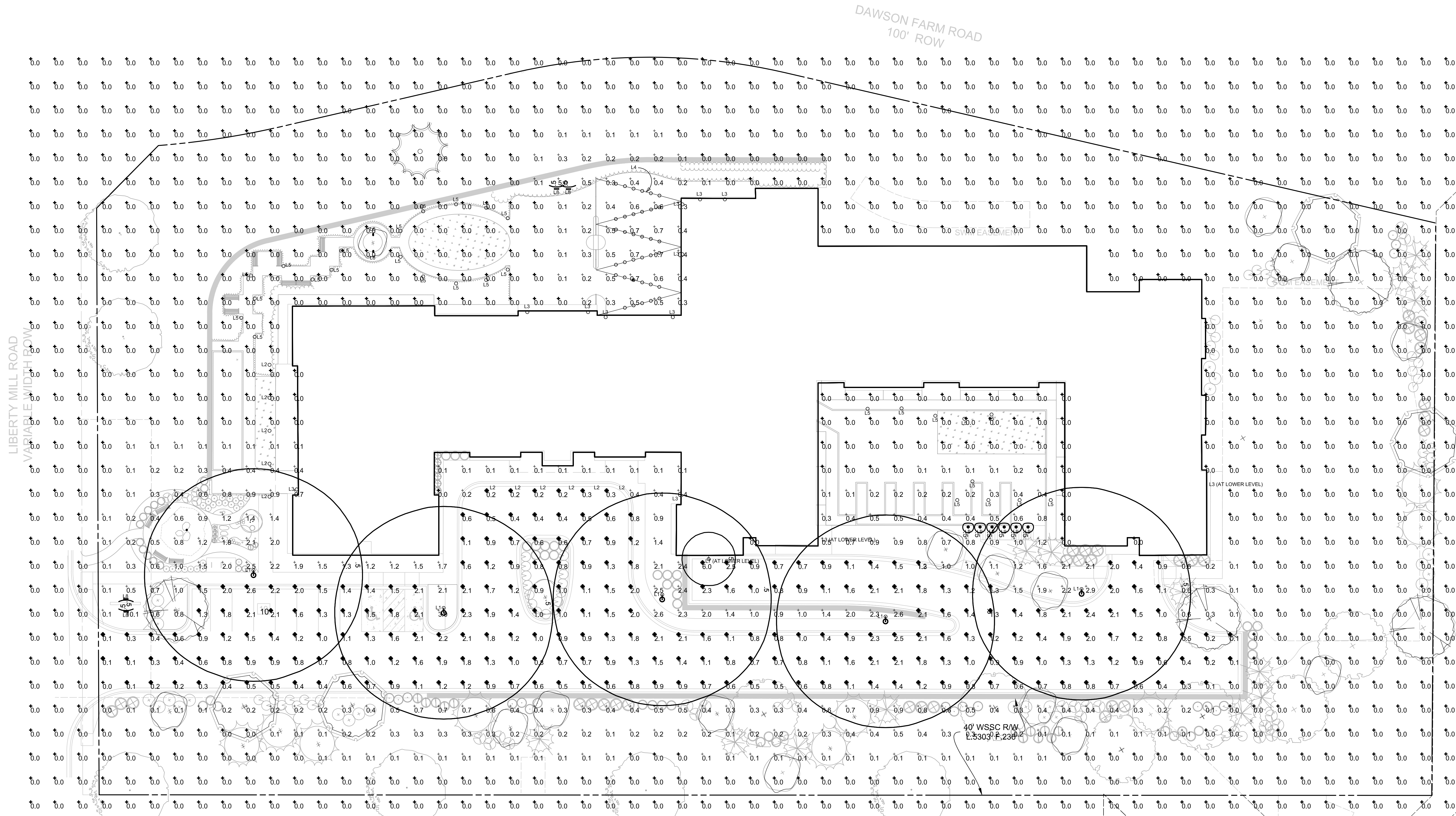
PROJ. MGR	KDJ
DRAWN BY	CEB
SCALE	1"= 20'
DATE	4.30.2020

**LANDSCAPE & LIGHTING
PLAN**

L2.03

PROJECT NO. 2015.244.24

SHEET NO. 3 OF 5



Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename
	5	L1	SINGLE	13294	127.2	0.720	CXF480-G2-5N5-16, 16ft Mtg Ht	PHILIPS LIGHTING, LITTLESTOWN	CXF480-G2-5N5-16.IES
	35	L4	SINGLE	74	1.47	0.720	DSW-DSC7-PLED-S14-27K FILAMENT, 12ft Mtg Ht	PRIMUS	L051504704.IES
	2	L6	SINGLE	267	36.11	0.720	BL711-H, Ground Mounted, Aimed 60° Up	HADCO LIGHTING	BL711-35HSP.ies
	4	L8	SINGLE	4616	65.6	0.720	MX_12_40K_120_U_CES_12, 2ft Setback, 45° Tilt	INSIGHT LIGHTING INC.	MX 12 40K 100 U CES 48 W.ies
	6	L9	SINGLE	33	1.6	0.720	DAL1DW-H	PHILIPS-HADCO LIGHTING	DAL1D-1.7LW-12.ies
	1	L7	SINGLE	1243	16	0.720	LMH020-3000-30G9-00000TW		WHS16-1250LM - FLAT.ies

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Parking Lot	Illuminance	Fc	1.14	6.0	0.0	N.A.	N.A.	10ft Grid
Site	Illuminance	Fc	0.14	10.1	0.0	N.A.	N.A.	10ft Grid

IES ROAD REPORT
PHOTOMETRIC FILENAME : CXFXK60-G2-5N5-16.IES

LUMINAIRE CLASSIFICATION SYSTEM (LCS) GRAPH

Luminaire Lumens

Uplight

3550
2663
1775
888

100
90
80
60
30
0

Back Front

Luminaire Lumens:
Front: Low=472.0, Medium=2569.8, High=3550.4, Very High=54.7
Back: Low=472.0, Medium=2569.8, High=3550.4, Very High=54.7
Uplight: Low=0.0, High=0.0

BUG Rating : B4-U0-G2

Ordering Code		Type 2				Type 3				Type 4				Type 5						
LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD				
Time	Time	Time	Time	Time	Time	Time	Time	Time	Time	Time	Time	Time	Time	Time	Time	Time				
Ordering Code	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD				
Ordering Code	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD	LEAD				
CEC02-03-N16	32	320	35	40004	4.034	117	81	100-02	4.202	114	81	100-02	3.918	116	81	100-03	3.803	108	81	100-01
CEC02-03-N16	32	320	51	40004	5.800	114	81	100-02	5.876	117	81	100-02	5.537	108	81	100-02	5.388	105	81	100-01
CEC02-03-N16	32	320	51	40004	5.876	117	81	100-02	5.952	120	81	100-02	5.613	111	81	100-02	5.464	108	81	100-01
CEC02-03-N16	48	320	52	40004	5.952	120	81	100-02	6.028	123	81	100-02	5.689	114	81	100-02	5.540	110	81	100-01
CEC02-03-N16	48	320	52	40004	6.028	123	81	100-02	6.104	126	81	100-02	5.760	117	81	100-02	5.611	113	81	100-01
CEC02-03-N16	48	320	52	40004	6.104	126	81	100-02	6.180	129	81	100-02	5.839	120	81	100-02	5.690	116	81	100-01
CEC02-03-N16	48	320	52	40004	6.180	129	81	100-02	6.256	132	81	100-02	5.915	123	81	100-02	5.766	119	81	100-01
CEC02-03-N16	48	320	52	40004	6.256	132	81	100-02	6.332	135	81	100-02	5.991	126	81	100-02	5.842	122	81	100-01
CEC02-03-N16	48	320	52	40004	6.332	135	81	100-02	6.408	138	81	100-02	6.067	129	81	100-02	5.918	125	81	100-01
CEC02-03-N16	48	320	52	40004	6.408	138	81	100-02	6.484	141	81	100-02	6.143	132	81	100-02	6.004	128	81	100-01
CEC02-03-N16	48	320	52	40004	6.484	141	81	100-02	6.560	144	81	100-02	6.219	135	81	100-02	6.080	131	81	100-01
CEC02-03-N16	48	320	52	40004	6.560	144	81	100-02	6.636	147	81	100-02	6.295	138	81	100-02	6.159	134	81	100-01
CEC02-03-N16	48	320	52	40004	6.636	147	81	100-02	6.712	150	81	100-02	6.371	141	81	100-02	6.236	137	81	100-01
CEC02-03-N16	48	320	52	40004	6.712	150	81	100-02	6.788	153	81	100-02	6.449	144	81	100-02	6.312	140	81	100-01
CEC02-03-N16	48	320	52	40004	6.788	153	81	100-02	6.864	156	81	100-02	6.525	147	81	100-02	6.389	143	81	100-01
CEC02-03-N16	48	320	52	40004	6.864	156	81	100-02	6.940	159	81	100-02	6.601	150	81	100-02				

[illegible]

LAMPING:
Lamp is replaced with feature. Philips TLV-E 12W Capsule lamp. Up to 89% energy saving when compared to a 100W Capsule halogen lamp. Long lifetime of 15,000 hours. Operating temperature range is between -20°C and 30°C (ambient). Suitable for use in enclosed luminaires when the case temperature (T_{case}) remains below 70 °C max. Total lumens = 1050lm. Lower wattage lamps are acceptable.

ELECTRICAL ASSEMBLY:
8-watt acousthalogen (GL) with 100° C high temperature fluorine coated inside wires. 120 volt failure is pre-wired with 3-pigtail of 18-2 AWG, 100° C, SPT-1W wire. Low voltage quick disconnect lamp PLVCS (included) for easy hook-up to the low voltage supply cable, not included. 12 Volt system requires remote transformer, not included.

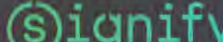
WARRANTY:
Five-year limited warranty.

CERTIFICATION:
ETL listed to U.S. safety standards for wall locations. cETL listed to Canadian safety standards for wall locations. Manufactured to ISO 9001:2008 Standards.

Width:
2" (51mm)

Depth:
3.39" (87mm)

Max. Weight:
0.25 lb



Proshield, enameled glass lens. Reflector is Stamped Hannovershire Aluminum.

LAMPING: Philips 12V LED 1-2W Capsule lamp. Up to 88% energy savings when compared to a 10W Capsule halogen lamp. Long lifetime of 15,000 hours (B50/L3.70). Operating Temperature: -40°C to +50°C and +85°C (optional). Suitable for use in environments where the lamp temperature is 175° (nominal value is 85°). Total Lumens: a 100W. Low voltage caps are accessible.

TECHNICAL ASSUMPTION:

- Six-pin capsule type (G4) with 250° C max. temperature for cold coated leads. 12 volt fixture is pre-wired with 6-gauge pigtail of 18-2 AWG, 105° C, SPT-1W wire. Low voltage quick connector (rating is 12V) included for easy hook-up to the low voltage supply cable, not included. 12 Volt system requires remote transformer, not included.

INSTALLATION & MOUNTING:

- Two 1/8" holes for mounting.
- All wood screws (supplied) via key slots.

WARRANTY:

Five-year limited warranty.

CERTIFICATIONS:

UL listed to US safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

Height:	Width:	Depth:	Weight:
3 1/2" (91mm)	5 1/2" (139mm)	1 3/8" (35mm)	0.3lb.



Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the Laws of the State of Maryland, Lic. No. 615

Exp. Date: 09/10/2021

OWNER:

CAROLYN H. O'DELL
REVOCABLE TRUST
19115 LIBERTY MILL ROAD
GERMANTOWN, MD 20874

APPLICANT:
FLOURNOY DEVELOPMENT GROUP
1100 BROOKSTONE CENTER PKWY
COLUMBUS, GA 31904
(706) 324-4000

CONTACT: CHARLIE SABIN
Charlie.Sabin@flournoydev.com

[illegible]

TAX MAP EU341 WSSC 226NW13

LIBER 36179 FOLIO 283

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL P515
CHESTNUT RIDGE

PROJ. MGR	KDJ
DRAWN BY	CEB
SCALE	NTS
DATE	4.30.2020

LANDSCAPE & LIGHTING PLAN

NOTES & DETAILS
2.04
PROJECT NO. 2015.244.24
SHEET NO. 4 OF 5

ATTACHMENT 2
Site Photos
Conditional Use No. 2020-09



Figure 1 - Northeasterly view of property interior from Liberty Mill Road toward Dawson Road with woodland strip to remain.



Figure 2 - Northeasterly view of property interior from Liberty Mill Road.

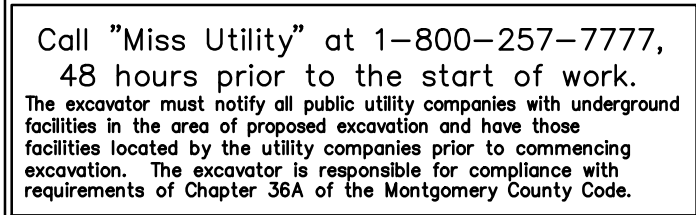
ATTACHMENT 2
Site Photos
Conditional Use No. 2020-09




Figure 3 - View of single-unit house at northwest corner of the property (to be removed) with mature tree to remain.



Figure 4 – Southeasterly view of property along Liberty Mill Road with woodland strip of trees to remain.





MHG

9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279

Macris, Hendricks & Glascock, P.A.
Engineers ■ Planners
Landscape Architects ■ Surveyors

Phone 301.670.0840
Fax 301.948.0693
www.mhgapa.com

Proj. No.
KDJ

Date 8/8/17 Scale 1"=3'

Project No. 15,244.11 Sheet 1 of 1

Pre-Construction

3. Temporary protection devices must be maintained and installed by the property owner for the duration of construction project and must not be altered without prior approval from the Forest Conservation Inspector. No equipment, trucks, materials, or debris may be stored within the tree protection fence areas during the entire construction project. No vehicle or equipment area is permitted. Tree protection must not be removed without prior approval of Forest Conservation Inspector.
6. Forest retention area signs must be installed as required by the Forest Conservation Inspector, or as shown on the approved plan.
7. Long-term protection devices must be installed per the approved plan. Installation will occur at the appropriate time during the construction project. Refer to the approved plan regarding the long-term protection measures to be installed.

During Construction

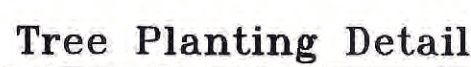
8. Periodic inspections by the Forest Conservation Inspector will occur during the construction project. Corrections and repairs to all tree protection devices, as determined by the Forest Conservation Inspector, must be made within the timeframe established by the Forest Conservation Inspector.
9. The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understorey, ground cover, and any other undisturbed areas shown on the approved plan. Remedial actions to restore these areas will be determined by the Forest Conservation Inspector and those corrective actions must be made within the timeframe established by the Forest Conservation Inspector.

Post-Construction

10. After construction is completed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective measures, which may include:
 - a. Removal and replacement of dead and dying trees
 - b. Pruning of dead or declining limbs
 - c. Soil aeration
 - d. Fertilization
 - e. Watering
 - f. Wound repair
 - g. Clean up of retention areas including trash removal
11. After the final inspection and completion of all corrective measures the Forest Conservation Inspector will request all temporary trees and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both DPS and the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed.



1. Attachment of signs to trees is prohibited. Should be attached only to temporary tree protection fence as shown in fence detail.
2. Signs should be properly maintained.
3. Avoid injury to roots when placing posts for the signs.
4. Signs should be posted to be visible to all construction personnel from all directions.

NOTES:

1. The 0.07 acre Planting Area will be planted with the above plant material at a rate of 200 1" caliper trees/acre x 0.07 acres = 14 trees
2. The mix of trees planted shall be 70% dominant species (10 trees) and 30% understory species (4 trees) planted 12' to 15' on-center.
3. Shrub species shall be planted at a rate of a third the rate of trees = 5 shrubs. Shrubs are to be evenly distributed over the planting area and among the trees.

DEVELOPER'S CERTIFICATE

The Undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. 120170210, including financial bonding, forest planting, maintenance and all other applicable agreements.

Developer's Name: Arden Courts of Germantown MD, LLC Bryan Palmer
Company Contact Person

Address: 7361 Calhoun Place, Suite 300, Rockville, MD 20855
Phone: 410-453-8537
Email: bpalmer@hcr.manorcare.com

Signature: _____

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND COUNTY FOREST CONSERVATION LEGISLATION.

RECOGNIZED AS QUALIFIED PROFESSIONAL
BY MD. DEPT. OF NATURAL RESOURCES
COMAR 08.19.06.01

QUALIFIED PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND COUNTY FOREST CONSERVATION LEGISLATION.

NO.	DATE	DESCRIPTION	BY

Planting:

1. a. Owner shall contact MC Planning Department staff before planting.
1. b. Contractor to mow deforestation area and remove all invasive plants, mulch (e.g. mulberry trees) and any herbicide, only if determined to be needed by MC Planning Department staff. Contractor to eliminate competition of weed seed prior to planting. MC Planning Dept. Inspector will determine if additional measures are needed.
2. All plant material shall be approved by the Owner or duly approved representative. If plant material is not available, substitutions may be made with prior approval from the developer and MC Planning Dept.
3. Size and standards of plant material's shall conform to latest edition of "USA Standards for Nursery Stock", by the American Association of Nurserymen, Inc. (AAN).
4. All plants shall be placed so as not to obstruct drainage.
5. Plants shall be installed randomly in a triangular or staggered pattern (not in a grid). Plants shall be spaced minimum 8'-12 feet on center (See details).
6. Slow release fertilizer (Osmocote® 10-10-10-S) shall be applied the time of planting at the rate of 600 lbs. per acre. If Osmocote is not available, other fertilizers or other means of fertilization to be determined during pre-planting meeting.
7. Where field conditions exist which would adversely affect plant performance, or interfere with proper planting procedure, the contractor shall notify the Owner prior to installation of plant material.
8. All trees are to be located a minimum distance of 5' from any power lines, 5' from any building, 5' from any driveway, 10' from a fire hydrant, 15' from any public street light, and 10' from any driveway aprons.
9. Remove litter and debris as required during the first growing season and at the beginning of the second growing season.
10. Plants shall be installed only between the months of January and February and between September and December when the ground is not frozen.
11. All disturbed areas within the Forest Conservation agreement to be seeded with Southern Tier Consulting, Inc. (716-868-3120), Native/Naturalized Wildflower Seed Mix (Northeast) at a rate of 23 pounds per acre.
12. After planting is complete, MNCPSC Inspector must inspect the planted area to determine if planted area is acceptable. If not acceptable, the contractor may be required that additional measures are needed in order for the planted area to be acceptable. In the event the contractor is required to take up to one-half of the financial security may be released if stock and planting is in good condition for the duration of the warranty/maintenance/warranty period from the time of installation with MNCPSC acceptance. Any replacement must be installed as above.
13. See top soil specifications this sheet for restoring disturbed areas within the proposed conservation easements to ensure proper soil planting.

Maintenance:

1. The plant material shall be maintained by the owner/developer for two (2) years after the completion. Maintenance shall consist of:
 - A. Remove and replace all dead or diseased vegetation.
 - B. Remove all invasive non-native plants.
 - C. Necessary watering, fertilization, or pest control.
 2. Mowing shall not occur unless performed under a valid M-NOPPC maintenance and management agreement.
 3. Deer protection measures as seen necessary.
2. Maintenance of the offorestation/reforestation area for a period of two years is required per the Montgomery County Department of Planning and Public Works. During this period the health and vigor of the plantings shall be monitored and may include the need to specify actions to correct existing problems. The following inspection schedule shall be carried out:
- Year 1 and 2 - Two inspections per year: Inspection in Spring (March/April) and in Summer (June), and in-spect at the end of the growing season (September/October).
- At the end of the second year the survival rate of all the offorestation/reforestation area shall be a minimum standard of 80% (80% of the total number of the total trees planted per acre (whichever is greater). Additional material may need to be planted to bring the total count up to the required survival rate.
3. At the end of the maintenance period a final inspection shall be set up at the site with the Owner or owner's representative and a third party to ensure that the required offorestation/reforestation survival rate is achieved.

INSPECTIONS

All field inspections must be requested by the applicant

Field Inspections must be conducted as follows:

Plans without Planting Requirements:

1. After the limits of disturbance have been staked and flagged, but before any clearing or grading begins.
2. After necessary stress reduction measures have been completed and protection measures have been installed, but before any clearing and grading begin and before release of the building permit.
3. After completion of all construction activities, but before removal of tree protection fencing, to determine the level of compliance with the provision of the forest conservation.

Additional Requirements for Plans with Planting Requirements

4. Before the start of any required reforestation and afforestation planting.
5. After the required reforestation and afforestation planting has been completed to verify that the planting is acceptable and prior to the start the maintenance period.
6. At the end of the maintenance period to determine the level of compliance with the provisions of the planting plan, and if appropriate, release of the performance bond.

* Tree Planting and Maintenance Calendar

	+J	+F	M	A	M	J	J	A	S	O	+N	+D
Transplant of 2" DBH or Greater												
Planting Seedlings, Whips												
Minimum Monitor												
Fertilizer (if needed)+												
Water+												
Pruning												

Key:

— Recommended Optimal Time

— Recommended with Additional Care

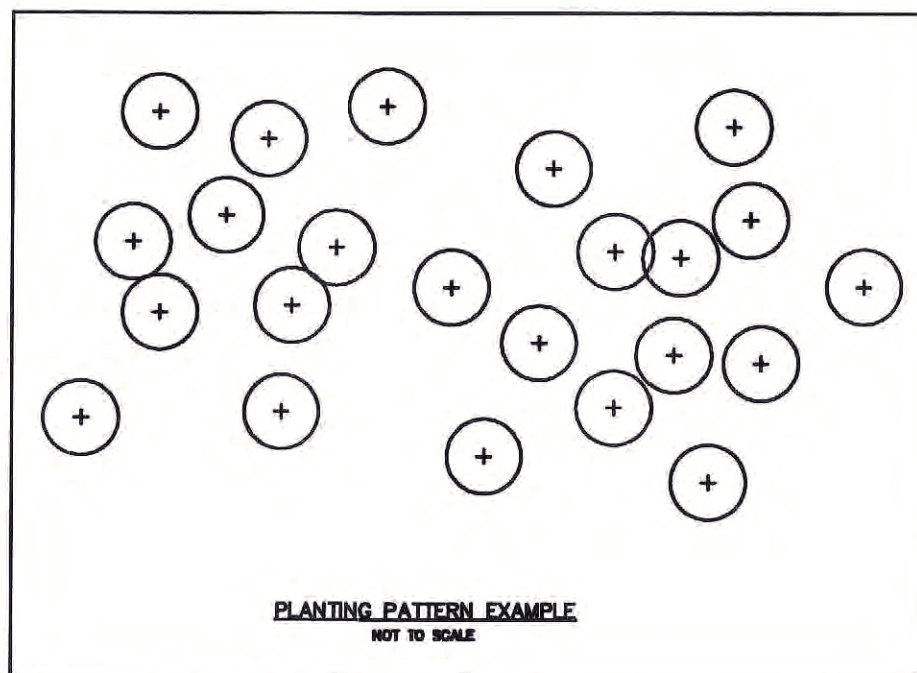
— Recommended

+ — Dependent Upon Site Conditions

++ — Dependent Upon Site Conditions. **Weekly** Watering is Strongly Recommended From May through October Unless Weekly Rainfall equals 1".

NOTES:

- Activities during November — February depend on ground conditions.
- No full planting of Oaks and Pines.
- The planting and care of trees will be most successful when coordinated with the local conditions. This calendar summarizes some of the recommended time frames for basic reforestation and stress reduction activities.



Call "Miss Utility" at 1-800-257-7777,
48 hours prior to the start of work.
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

FINAL FOREST CONSERVATION PLAN
CHESTNUT RIDGE
ARDEN COURTS-GERMANTOWN
Liber 36179 Folio 283
9TH ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND



Macris, Hendricks & Glascock, P.A.
Engineers ■ Planners
Landscape Architects ■ Surveyors

Glascocock, P.A.
Surveyors

Phone 301.670.0840
Fax 301.948.0693
www.mhopa.com

Proj. Mgr. KDJ	Designer FCJ
Date 8/8/17	Scale 1"=30'
Project No. 15.244.11	Sheet 2 of 2