

Conditional Use No. 2020-07, Landscape Contractor (Metro Grounds)

PE Phillip Estes, AICP, Planner Coordinator, Upcounty Planning, Phillip.Estes@Montgomeryplanning.org, 301-495-2176

BB Benjamin Berbert, Acting Supervisor, Upcounty Planning, Benjamin.Berbert@montgomeryplanning.org, 301-495-4644

CS Carrie Sanders, Interim Division Chief, Upcounty Planning, Carrie.Sanders@montgomeryplanning.org 301-495-4653

Completed: 10/09/2020

Request: Conditional use approval to construct and operate a landscape contractor business.

Location: 3731 Damascus Road, Brookeville, MD 20833

Property Size: 30.35 acres

Zoning: Agricultural Reserve (AR)

Master Plan: Olney Master Plan

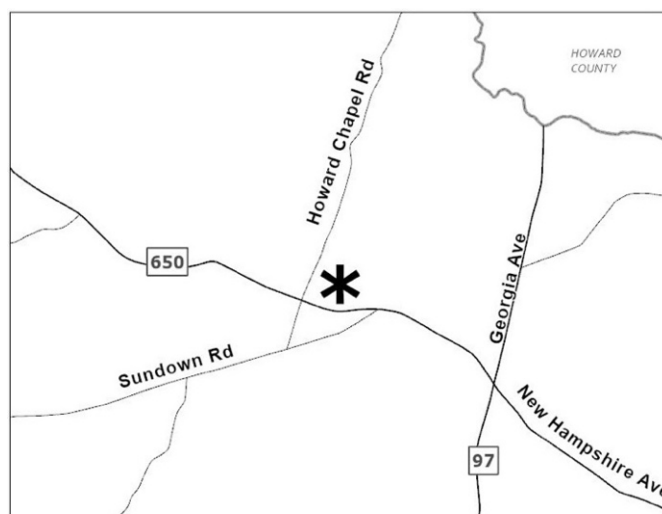
Applicant: Metro Grounds Management, LLC

Filing Date: May 29, 2020

Planning Board: October 22, 2020

Hearing: November 9, 2020

Examiner:



- Staff recommends approval of the conditional use application with conditions.
- A separate staff report discusses the forest conservation law requirements of Chapter 22A.
- As conditioned, the conditional use conforms to the use standards in Sec. 59.3.5.5 (Landscape Contractor), the development standards in Sec. 59.4.2 (Agricultural Reserve - AR Zone), and the findings in Sec. 59.7.3.1 (Conditional Use) of the Montgomery County Zoning Ordinance.
- The proposed use is consistent with the 2005 *Olney Master Plan*.
- The Project complies with *Guidelines for Environmental Management of Development in Montgomery County*, as conditioned.
- There are no significant land use or environmental impacts associated with the request.
- No comments have been received from the public.

Section I: Staff Recommendations and Conditions of Approvals

Staff recommends approval of Conditional Use No. 2020-07 to construct and operate a Landscape Contractor business, subject to the following conditions:

- 1) Physical improvements to the Subject Property are limited to those shown on the Applicant's Conditional Use site plan, landscaping plan, and lighting plan that are part of the submitted Application.
- 2) Prior to the start of business operations, the Applicant must install the screening fence as shown on the site and landscape plans.
- 3) Within six (6) months of the start of business operations or during the following planting season, whichever is sooner, the Applicant must install the landscaping and earthen berm screening as shown on the site and landscape plans.
- 4) The hours of operation and staffing levels are limited as follows:
 - General operations are limited to Monday through Friday from 5:30 a.m. to 5:00 p.m.
 - During the planting seasons of Spring and Summer, operations may occur on Saturdays from 8:00 a.m. to 4:00 p.m.
 - Snow service operations may occur a 24-hour basis, as needed.
 - A maximum of 76 employees are allowed.
- 5) The operators must not utilize vehicles that use air brakes or "jake brakes."
- 6) Prior to the issuance of any building permit for the subject conditional use, the Applicant must obtain approval of a Preliminary Plan Subdivision and Record Plat pursuant to Chapter 50 of the Montgomery County Code.
- 7) Within six (6) months of the issuance of a sediment erosion and control permit, the Applicant must relocate three (3) utility poles out of the road right-of-way (ROW) and into the planned final public utility easement (PUE) area in order to satisfy compliance with the 2018 *Bicycle Master Plan* recommendations.
- 8) At the time of Preliminary Plan of Subdivision, to facilitate a potential future trail connection from Rachel Carson Conservation Park to the Patuxent River trail, the Applicant must demonstrate compliance with the *Countywide Park Trails Plan*.
- 9) The Applicant must comply with the approved forest conservation plan for the subject property.
- 10) Prior to any clearing, grading, or demolition the Applicant must enter into an agreement with the Planning Board to limit impervious surfaces to no more than 10 percent within the Transition Area of the Patuxent River Watershed Primary Management Area.

Section II: Project Description

A. Background and Location

Accepted for filing on May 29, 2020 and pursuant to Section 59.7.3.1, the Applicant has requested approval of a conditional use to allow the construction and operation of a landscape contractor business in the AR zone (Project). The subject property is located at 3731 Damascus Road, Brookeville, Maryland (Subject Property or Property).



Figure 1 – Aerial view of the subject Property and surrounding area.

B. Site Description

The Property consists of 30.35 acres and is improved with a 1,314 square foot single-family house with a detached accessory building. Existing fields are used for crops and a turf farm. Access is from Damascus Road from a gravel driveway about 270 feet east of Howard Chape Road. There is a second asphalt apron and gravel driveway entrance approximately 570 feet east of Howard Chapel Road which provides truck and equipment access for the planting fields.

A farm pond is present in the northwest quadrant of the Property at the headwaters of an unnamed perennial stream that flows north. A large forested area around the pond and stream is within the stream valley buffer on the northern portion of the Property. The Property is generally flat and

gently slopes downward northerly from Damascus Road toward the forested area. A narrow strip of trees and shrubs lines the western property line along Howard Chapel Road for about 630 feet north of Damascus Road where it meets with the forested area for about 750 feet north to the northern boundary of the Property. The forested area continues along the entire length of the northern property line. A wooded strip of trees and shrubs follow the eastern property line screening the Property from off-site views to the east. A few mature trees exist around the house and its driveway.

C. Neighborhood Description

For the purposes of determining the compatibility of the Project, it is necessary to delineate and characterize the surrounding neighborhood. The Applicant has offered a proposed definition of the neighborhood to include the area most likely to be affected by the Project, which is comprised of property generally located within 1,500 feet of the Property (Figure 3). Staff concurs and accepts this proposed definition of the neighborhood.

The boundary of the defined neighborhood is comprised of a predominantly rural area just west of the crossroad community of Unity with the vast majority of the land to the north, west, northeast, and southwest in the AR zone. The remainder of the surrounding area along Damascus Road is in the R-200 zone. The Property is in the Unity neighborhood of the Sunshine/Unity area, a neighborhood with undefined borders from Georgia Avenue, west along Damascus Road to Howard Chapel Road.

There are no prior conditional use applications associated with the Property. There are three known conditional uses within the defined neighborhood:

- CU2015-04 was approved on January 11, 2016 for a landscape contractor business (Greenskeeper) located at 3309 Damascus Road.
- S-2463 was approved on January 17, 2002 to permit the summer seasonal operation of a child day care center for 125 campers and 32 staff at 4015 Damascus Road.
- S-1779 was approved in March 1990 to permit charitable use residential camp (Carol Jean Cancer Foundation) at 4015 Damascus Road. S-1779 has since been revoked.

Unity Park Neighborhood Park is located across from the Property on Damascus Road. It is a 1.5-acre M-NCPPC park and is improved with a playground and parking lot.

There is a designated historic resource (23/033-000A, Bleakwood) located at 3730 Damascus Road, which is across Damascus Road from the Property. The resource consists of a relatively unaltered two-story, frame house built in 1877. There are no other known designated historic sites on or near the Property.

Howard Chapel Road, which runs along the western boundary of the Property, is a Rustic Road, as designated in the 1996 *Rustic Roads Functional Master Plan*.

There are no known rare, threatened, or endangered species that exist on the Property.

There are no known pending or proposed development approvals within the defined neighborhood vicinity.

A Natural Resources Inventory (NRI No. 420192170) was approved on August 12, 2019.

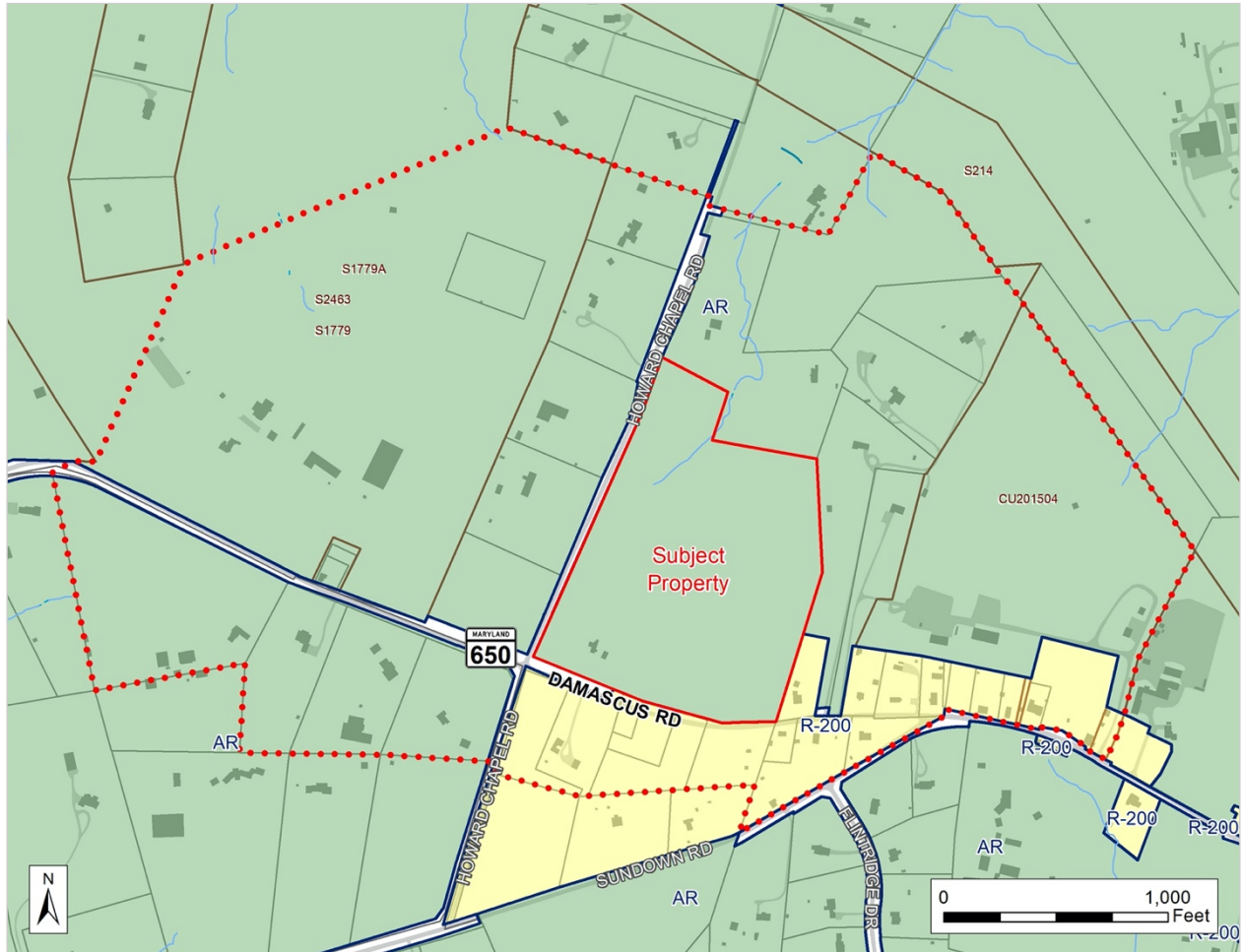


Figure 2 – Zoning map of subject Property with defined neighborhood (red-dashed line) and conditional uses located within the defined neighborhood.

D. Zoning and Land Use History

The Property is zoned AR and is improved with a single-family residence and is used for growing crops and a turf farm. The *Olney Master Plan (Master Plan)* was adopted in 2005 and is applicable for this Property. The Property lies within the Unity community in the Northern Olney area as described in the *Master Plan* (see Figure 3). The *Master Plan* reconfirmed the agriculture zoning (AR) for the Property. There are no specific *Master Plan* recommendations for the Property.

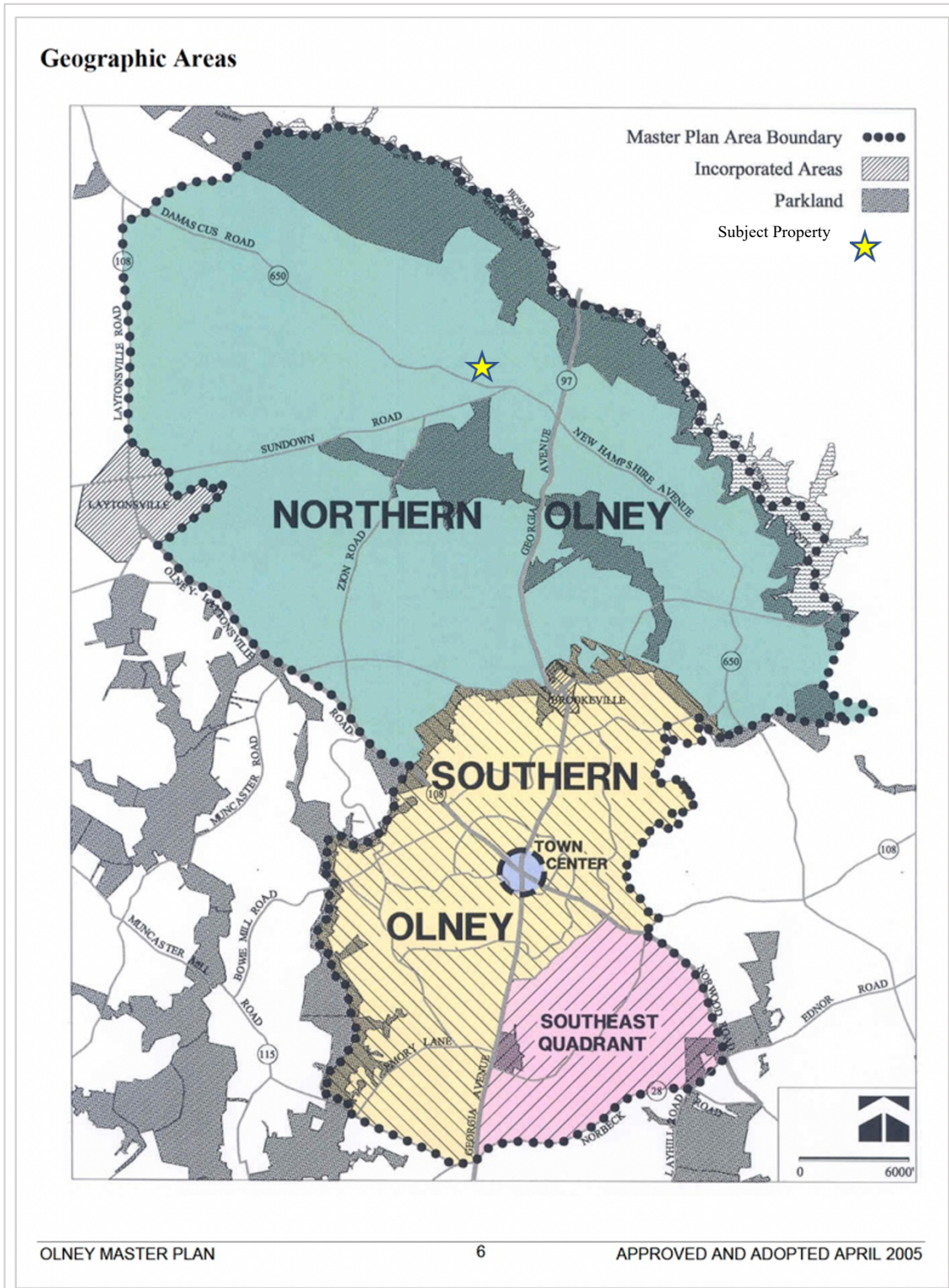


Figure 3 - Map of *Olney Master Plan* area boundary with the subject property located in Northern Olney.

E. Proposed Use

The Project consists of the construction and operation of a landscape contractor business, which will replace a single-unit house and an existing crop and turf farm. The proposed development consists of a work yard area, field operations storage barn, field operations trailer, five greenhouse structures, a future storage building, and three sheds. The existing house and shed will be removed with the existing septic field incorporated into the conditional use septic field. The Project will not clear any existing forest.

The Property retains a TDR (transferable development right) for one dwelling unit. This conditional use review applies to 6.33 acres of the total 30.35-acre Property. Construction and installation of the Project is proposed in three phases. As shown on the proposed site plan, the Applicant intends to use the Property prior to the approval of a Preliminary Plan for Subdivision, as described in Phase 1, housing operations in a temporary office trailer. Phase I consists of removing the existing home, installation of the new driveway, parking area, temporary office trailer, temporary sheds, fencing, plantings, and berm. Phase 2 consists of the main field operations building and new septic system. Phase 3 consists of future buildings (noted in Table 1 below), as business needs are determined. Agricultural plantings and greenhouses are proposed, as business needs are determined.

Buildings

As shown on the site plan, the following new buildings are proposed for operations, storage, and growing plants and are described below:

Table 1 – Proposed Buildings

Building	Use
Field operations storage barn (10,000 square feet, 27 feet in height)	Field operations storage barn for a maintenance shop, supply/storage, salt storage
Temporary field operations trailer (11 ft. by 55 ft., 780 square feet)	Main offices
Four greenhouse buildings (20 ft. by 72 ft.)	Four greenhouses for growing plants
5,000 square foot building (50 ft. by 100 ft.)	Future storage and operations building

The main building elevations (field operations storage barn) are shown in Figures 4 and 5. The two-story building is 33 feet in height to the roofline and designed to resemble an agricultural barn. The south elevation facing Damascus Road has a functional entrance, along with a faux barn door and faux windows. A wall mounted sign is also proposed on the Damascus Road facing façade. The west elevation (facing Howard Chapel Road) is articulated with both operational windows and faux windows.

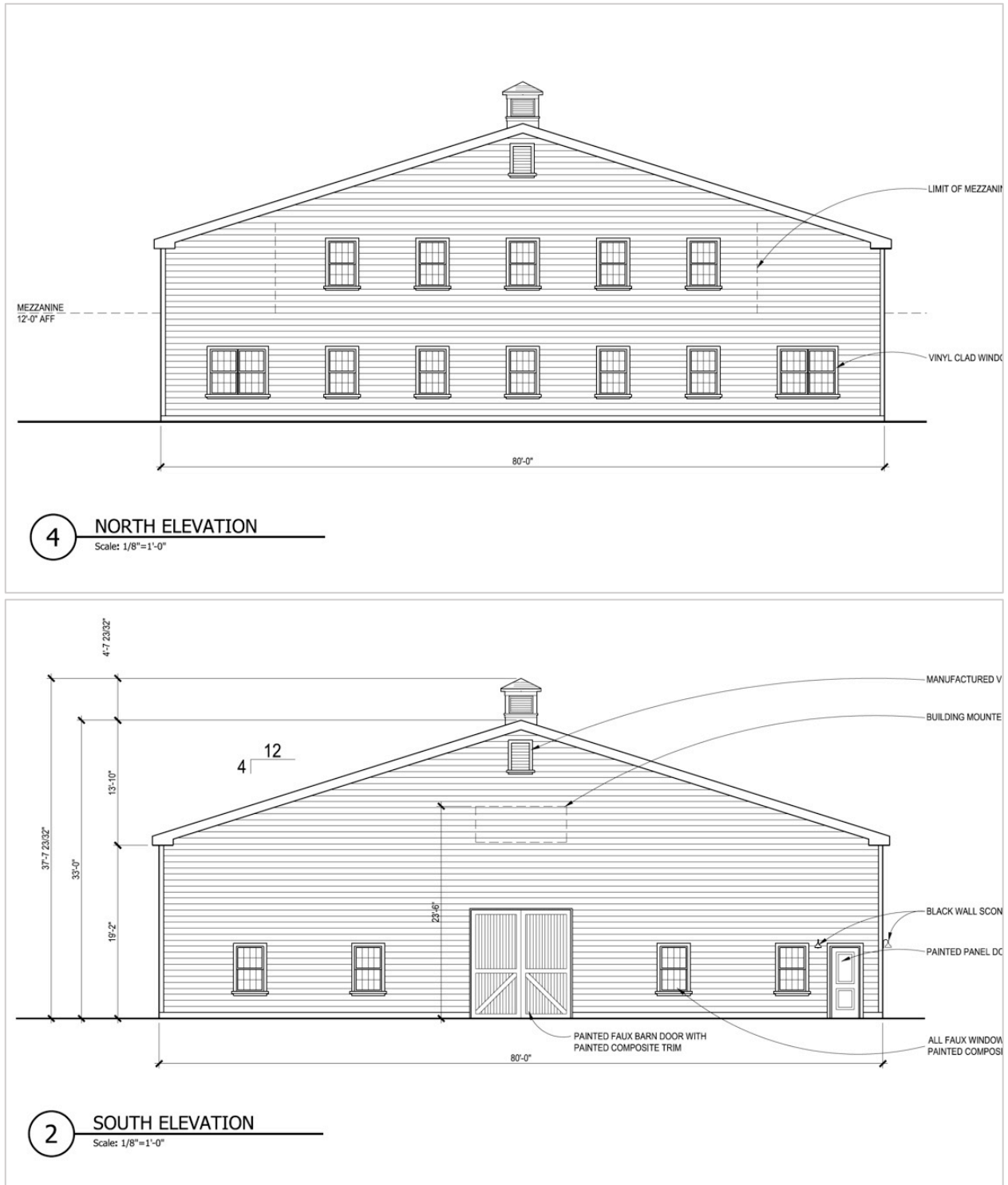


Figure 4 – Proposed north and south elevations of field operations storage barn.



Figure 5 – Proposed west and east elevations of field operations storage barn.

Operations

The Applicant, Metro Grounds Management, is a full-service landscaping company that serves commercial properties across the Washington metropolitan region. Operations occur throughout the year and include landscape installation and maintenance, design and build, snow and ice management, concrete repair, irrigation, hardscape, erosion control, and specialty services (e.g. athletic fields, putting green, artificial turf). The Applicant proposes to utilize land on the Property (outside of the conditional use area) for uses permitted in the AR zone. These uses includes continuing the existing planting fields for growing lawn turf and nursery plants. No retail sales are proposed.

Proposed general business operations are Monday through Friday from 5:30 am to 5:00 pm and are detailed in the table below. During the planting seasons of Spring and early Summer, operations may also occur on Saturdays from 8:00 am to 4:00 pm. In order to provide seasonal snow and ice removal services, the Applicant would operate on a 24-hour basis, as needed. At any time while the business is operational, up to 76 employees may be working at one time.

Table 2 – General Hours of Operation

Shifts	Employees
Management 6:00 am to 5:00 pm	6 Managers
Crew Shift One 5:30 am to 4:00 pm	30 Laborers, Truck Drivers, Yard Staff
Crew Shift Two 6:00 am to 4:30 pm	20 Laborers, Truck Drivers, Yard Staff
Crew Shift Three 6:30 am to 5:00 pm	20 Laborers, Truck Drivers, Yard Staff
Total Employees	76

Vehicles and Equipment

The Applicant owns and leases a fleet of vehicles used in the operation of the landscape contractor business. The following vehicles and equipment are proposed for use and storage within the Project site:

Table 3 – Vehicles and Equipment

Vehicle or Equipment	Number of Vehicles
Trucks	30
Trailers	15
Large Loaders (10 stored inside the storage building and used for snow removal)	11
Skid Steers	8
Personal Vehicles (employees)	38

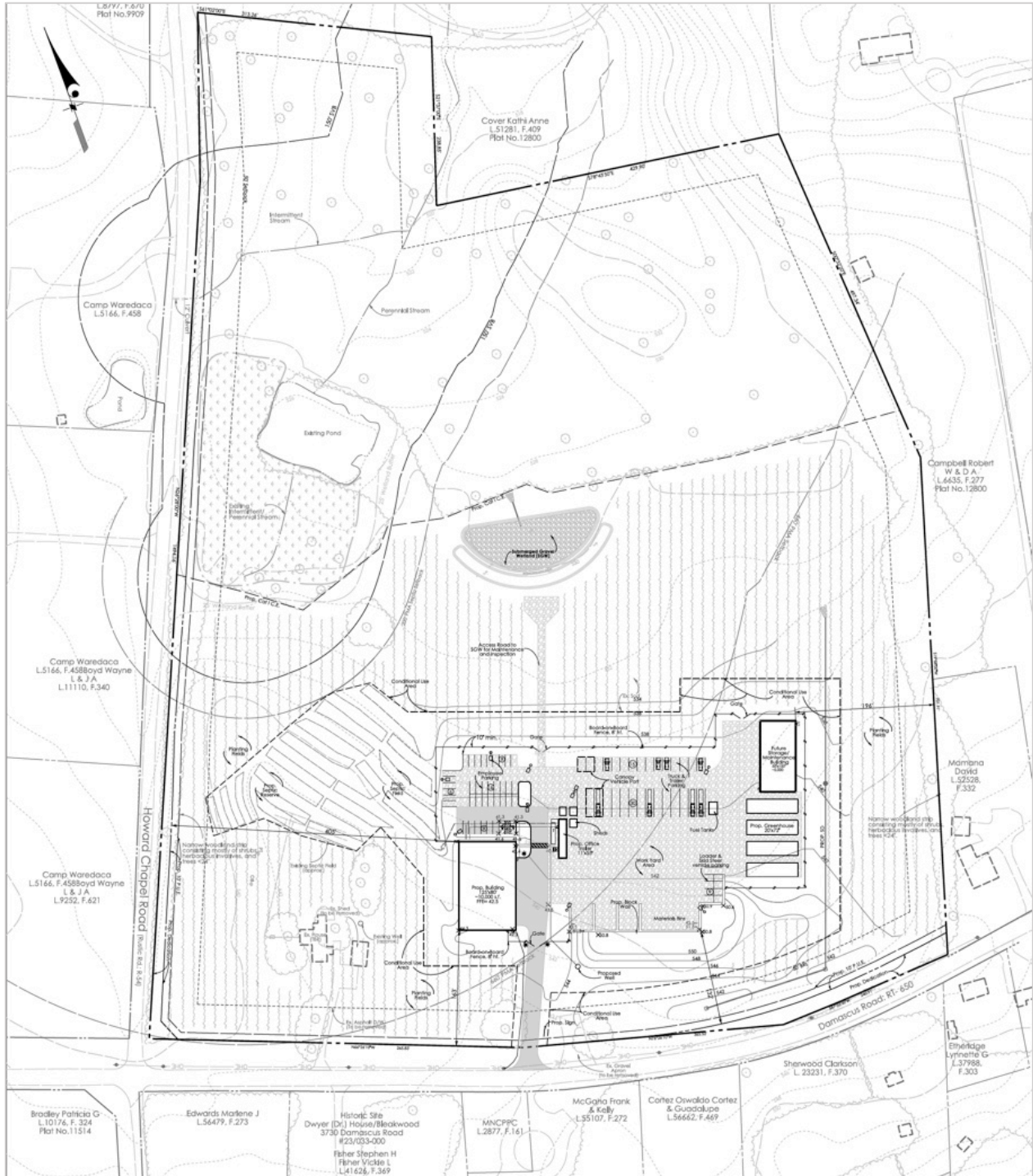


Figure 6 – Proposed site plan.

Access and Parking

As shown on the site plan (Figure 6), vehicular ingress and egress are from Damascus Road (MD 650) via a 24 ft. wide commercial driveway, which leads to the parking and work yard areas. The parking lot consists of 92 surface parking spaces for trucks, equipment, and employee personal vehicles.

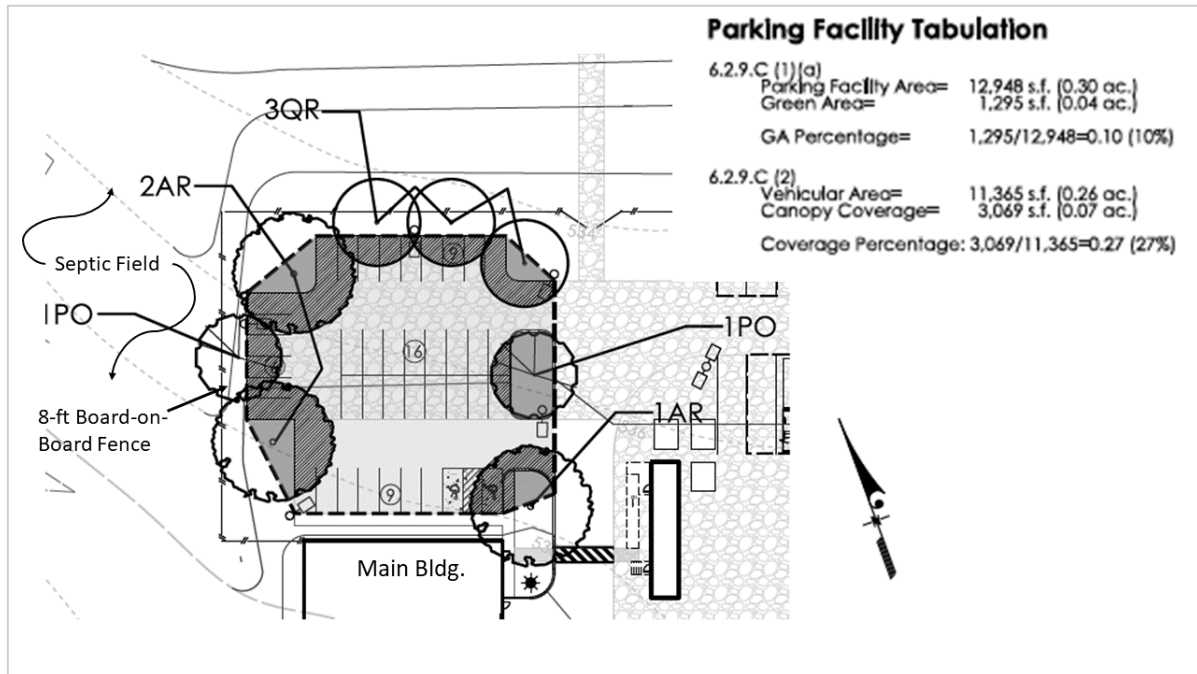


Figure 8 - Details of parking lot landscape and tree canopy.

Table 4 – Parking Lot Landscape Requirements for 10 or More Spaces

Parking Lot Landscape Requirement	Required	Provided
Minimum Landscaped Island Area	100 sq. ft.	168 sq. ft.
Minimum Landscape Area	5% of pavement area (0.5*12,948 = 647 sq. ft.)	10% (1,295 sq. ft.)
Minimum Tree Canopy	25% of parking lot (0.25*11,365 = 2,841 sq. ft.)	27% (3,069 sq. ft.)

Preliminary Plan

As part of a separate application, the Applicant indicates that a preliminary plan of subdivision application will be submitted pursuant to the approval of this conditional use application.

Forest Conservation Plan

This conditional use application is subject to the forest conservation law. A separate staff report details the requirements and how the applicant will comply with Chapter 22A of the Montgomery County Code. The Planning Board must take separate action on the forest conservation plan before making a recommendation on the conditional use application.

Section III: Analysis

A. Development Standards

The following table displays the relevant AR development standards for the Property. The conditional use application is applicable to 6.33 acres of the Property as shown on the site plan. The Project complies with the following development standards associated with the AR zone and a landscape contractor:

Table 5 – Development Standards

Development Standard	Permitted/Required	Provided
Minimum Net Lot Area ¹	2 acres	29.76 net acres
Minimum Lot Width at Front Building Line	125 ft.	1,025 ft. (Damascus Rd.)
Minimum Lot width at Front Lot Line	25 ft.	1,111 ft. (Damascus Rd.)
Maximum Density	1 dwelling unit per 25 acres	0 dwelling units
Maximum Coverage	10%	2%
Minimum Setback from all Lot Lines ²	50 ft.	132 ft. (Damascus Rd.) 405 ft. (Howard Chapel Rd.) 196 ft. (east lot line) 800 ft. min (north lot line, varies)
Maximum Height, Principal Building	50 ft.	27 ft.
Maximum Height, Accessory Structure	50 ft.	21 ft.
Vehicle Parking Spaces Required	92 spaces ³ 0.5 per employee 1.0 per commercial vehicle	92 spaces (0.5 * 76 = 38) (1.0 * 54 = 54) 38 + 54 =
Bicycle Parking Space Required	0 ⁴	0

B. Master Plan

The Project is subject to the policies and recommendations contained in the 2005 *Olney Master Plan*. The *Master Plan* established four districts that reflect decreasing commercial and residential density and the desire to maintain the Olney town center as a satellite community in the region. These districts include the Olney Town Center, Southern Olney, Southeast Quadrant, and Northern Olney.

¹ Per 59.3.5.5.B.b.1 in the AR zone, a minimum lot area of two acres is required for a landscape contractor.

² 59.3.5.5.B.b.2 building, parking, operations setbacks for a landscape contractor are a minimum of 50 feet from any lot line.

³ Per 59.6.2.4.B required parking for a landscape contractor employees and commercial vehicles.

⁴ Per 59.6.2.4.C, bicycle parking spaces are not required for this use.

The Property is located in the Northern Olney District, which is the largest district containing about two-thirds of the *Master Plan* area. It is distinctively rural, as compared to the developed areas closer to the town center. The *Master Plan* discusses interrelated themes to address challenges and opportunities with respect to land development in a rural community. “Continued stewardship and management of agricultural lands through the agricultural protection and open space conservation programs will help maintain and improve the environmental health of this area.” (*Olney Master Plan*, 2005, p. 18). While there no specific recommendations in the *Master Plan* concerning the Property, the following recommendation is made generally for the Northern Olney area:

Maintain the character and existing scale of development in the rural communities in Northern Olney. Prohibit additional zoning for commercial uses, or expansion of commercially zoned areas in these communities. (2005, p. 20)

This conditional use substantially conforms with the general recommendations of the *Master Plan*. The Property is zoned AR, and more than three-quarters of the Property will remain forested or in agricultural use for growing lawn turf or nursery plants, and such uses are compatible with the rural community. Also, as discussed in Section II above, the Project is designed to maintain the character and existing scale of development in the community through site design, scale and architecture of its buildings. Furthermore, the conditional use is not a rezoning and the landscape contractor use proposed is allowed conditionally in the zone. The use and its design are not inconsistent with the *Olney Master Plan* land use goals.

C. Transportation

The 2005 *Olney Master Plan* contains the following recommendations for nearby roadway facilities:

- Damascus Road (MD 650): A country arterial (CA-13) with two travel lanes (one lane in each direction) with a right-of-way of 80 feet.
- Elton Farm Road (R-20): Howard Chapel Road to end of road with two travel lanes with a right-of-way of 70 feet.
- Howard Chapel Road (R-54): MD 650 to Howard County Line with two travel lanes with a right-of-way of 70 feet.

Master-Planned Roadway, Bikeways and Pedestrian Facilities

The property is located at the intersection of Damascus Road (MD 650), which is identified by the 2018 *Master Plan of Highways and Transitways* as a two-lane country arterial with an 80-foot right-of-way, and Howard Chapel Road which is identified as a two-lane Rustic Road with a 70-foot right of way. The 2018 *Bicycle Master Plan* recommends six-foot wide bikeable shoulders, along the Damascus Road frontage of the subject property. The amount of frontage improved will be discussed as part of the subsequent preliminary plan application. The layout of the Property and its topography do not preclude improvements along the site frontage. As it exists, there are no sidewalks on Damascus Road from Georgia Avenue (MD 97) to Woodfield Road (MD 124) in

Damascus, a distance of nearly ten miles. Additionally, there are no sidewalks on Georgia Avenue until the town of Brookeville.

Currently, the *Countywide Park Trails Plan* indicates a park trail located in the vicinity of Howard Chapel Road. Residential properties and their configuration along this road preclude any park trail opportunities. Therefore, the *Countywide Park Trails Plan* should be amended as shown in the implementation chapter to identify a broader area for a future trail, which could reasonably be a trail easement or a park trail. Until a final alignment is identified and implemented, the shoulder along Howard Chapel Road will provide a connection between Rachel Carson Conservation Park and the Patuxent River trail corridor. As such, the park trail connection will be addressed as part of the subsequent preliminary plan application, however, the proposed conditional use does not preclude potential future alignments.

Circulation and Connectivity

Vehicular access for the Property is proposed from a single entrance on Damascus Road across from the Unity Park Entrance. As proposed, an interior driveway loop is provided to the site. The loop access provides direct access to the surface parking lot and the buildings. The circulation pattern, as proposed, is safe and adequate for the use.

Local Area Transportation Review (LATR)

Based on the 2016-2020 Subdivision Staging Policy transportation impact criteria, the proposed use generates fewer than 50 peak-hour person trips; however, since the existing and proposed employee count exceeded 50 persons (70 crew employees and 6 managers), staff recommended a full traffic study, which may be subject to the subsequent preliminary plan of subdivision.

A landscape contractor use is not included in the *Institute of Transportation Engineer's (ITE) 10th Edition Trip Generation Manual* and there are no comparable land uses. The vehicle trip generations characteristics for this land use are unique and are characterized by the shift schedule, employee commuting tendencies and operations plan. Operations typically start in the early morning and typically conclude in the early afternoon. This is likely intended to minimize employee travel time during commuter peak periods.

The Local Area Transportation Review (LATR) study identified the Georgia Avenue (MD 97) and Damascus Road/New Hampshire Avenue (MD 650) intersection as exceeding the LATR threshold in both existing, as well as future conditions without the proposed development (Table 7). Since the intersection of Georgia Avenue and Damascus Road/New Hampshire Avenue exceeds the Critical Lane Volume (CLV) standard, a High Capacity Manual (HCM) analysis was performed for that intersection (Table 8). An additional analysis was also performed with adjusted signal splits. The results show that with minor signal timing adjustments, the intersection delay can be reduced to less than pre-development (background) levels in both the morning and evening peak hours (Table 8). Therefore, additional mitigation is not necessary. Implementation of this adjustment will be a subject of the subsequent preliminary plan of subdivision.

Table 6 – Observed Site Generated Peak Hour Trip Generation

Use	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Existing: Turf Farm	-	-	-	-	-	-
Proposed: Landscape Contractor (70 crew employees and 6 managers)	2	3	5	2	4	6
Net New Vehicle Trips	(2)	(3)	(5)	(2)	(4)	(6)
Total Peak Hour Person Trips	-	-	(7)	-	-	(8)

Source: Kimley Horn Traffic Impact Statement dated April 2, 2020

Table 7 – Critical Lane Volume (CLV) Analysis Results

Intersection	Existing Traffic Volumes		Background Traffic Volumes		Total Future Traffic Volumes	
	AM	PM	AM	PM	AM	PM
Georgia Avenue and Damascus Road/New Hampshire Avenue	1,380	1,522	1,380	1,522	1,384	1,524
Damascus Road and Sundown Road	740	867	740	867	743	869
Damascus Road and Howard Chapel Road	639	373	639	373	639	374
Damascus Road and Site Entrance/Unity Park Entrance	-	-	-	-	369	260

Source: Kimley Horn Traffic Impact Statement dated April 2, 2020

Table 8 – HCM Capacity Analysis Results

Intersection	Congestion Standard	Existing Traffic Volumes		Background Traffic Volumes		Total Future Traffic Volumes		Total Future Traffic Volumes with Signal Timing Adjustments	
		AM	PM	AM	PM	AM	PM	AM	PM
Georgia Avenue and Damascus Road/New Hampshire Avenue	41 seconds	50.5	102.3	50.5	102.5	50.9	103.3	50.4	102.1

Source: Kimley Horn Technical Memorandum dated September 17, 2020

The Application, as conditioned, is consistent with the *Olney Master Plan*, the *Master Plan of Highways and Transitways*, and the *2018 Bicycle Master Plan*.

D. General Landscaping and Screening Requirements

The Property is within the Agricultural Reserve zone (AR) and abuts other properties on two sides within the same zone that are improved with residential uses. As such, the Applicant must ensure adequate screening in these directions under Section 59.6.5.3.C.7 (Screening Requirements). To the south and west, the property abuts Damascus Road (MD 650) and Howard Chapel Road respectively. As shown on the Applicant's landscape plans, the general landscaping and screening provided is composed of canopy trees, understory trees, evergreen trees, and large and medium shrubs. To the

east, the Applicant is proposing landscape screening that meets the requirements of Section 6.5.3.C.7 (Screening Requirements).

Staff recommends the application of Section 59.6.8.1 (Alternative Method of Compliance) for the landscape screening along the north side of the proposed conditional use area. The Applicant provides an eight-foot-high board-on-board privacy fence along this northern section. From the northern fence line, the setback varies, but about 1,000 feet to the north property line with about 400 feet of open land, and following north, 500 feet of existing forest (Category I Conservation Easement). As a result, this northern section of the site is currently adequately screened with the existing forest. Staff concludes that the landscaping meets or exceeds the requirements under Section 59.6.5.3.C.7 (Screening Requirements) and Section 59.6.4.3 (General Landscaping Requirements) as shown on the Applicant's landscape plan and as discussed above in Section II of this report. The proposed alternative method of compliance for screening and landscape is sufficient to mitigate any adverse impacts and satisfies the intent of the applicable standards. Therefore, general landscaping and screening requirements are satisfied.

E. Landscaped Area for Parking Lots

The Project's parking lot landscaped areas, tree canopy and perimeter plantings meet or exceeds the required landscaping as required by Sec. 59.6.2.9.C (Parking Lot Landscaping) as shown on the Applicant's landscape plan and as discussed above in Section II of this report. The submitted Landscape Plan satisfies the requirements of Section 59.6.2.9.C.1 through 59.6.2.9.C.1 (Parking Lot Requirements for 10 or more spaces). The Project meets the 25 percent minimum tree canopy coverage requirement by providing a total of 3,069 square feet of tree canopy coverage for a parking lot pavement area of 11,365 square feet. This equals 27 percent tree canopy coverage. The Project meets the perimeter planting requirements through a combination of canopy trees, evergreen trees, large and medium size shrubs with an eight-foot high board-on-board wood privacy fence, along with a minimum of at least 10-foot-wide planting area along the entire perimeter of the conditional use site. As provided, the parking lot landscaping standards are satisfied.

F. Lighting

The photometric plan provided by the Applicant shows the projected lighting intensity across the entire Property in foot-candles, locations where lighting fixtures will be mounted, and manufacturer's specifications on the lighting fixtures being proposed.

The lighting plan is adequate and safe for vehicular and employee movement and meets the requirements under Section 59.6.4.4 (General Outdoor Lighting). The proposed lighting serves multiple purposes, including illumination of the site entrance, visibility lighting in the employee parking areas and area lighting near the structures. A photometric study submitted with the Application shows measured lighting intensity across the entire property in foot-candles, the locations of lighting fixtures and the manufacturer's specifications on the proposed lighting fixtures. The photometric plan shows that the lighting will not cause glare on adjoining properties, nor will it exceed the 0.1 foot-candle standard at the side and rear property lines. The lighting, with no direct

light or light glare, will not have a negative impact on neighboring properties. The five pole mounted lighting fixtures are mounted at a height of 16-feet above grade and are full cut-off, LED fixtures. This standard is satisfied

G. Forest Conservation Plan

With an approved preliminary forest conservation plan, the Project meets the requirements of Chapter 22A of the Montgomery County Code (Forest Conservation). As part of this Application, a preliminary forest conservation plan has been submitted for review and is recommended for approval as a separate action by the Planning Board.

H. Signage

The Applicant proposes one 40 sq. ft. wall sign, a temporary wall sign mounted on the temporary trailer, and one 40 sq. ft. driveway entrance sign. While signage is proposed, it not part of this conditional use application because a separate sign permit is required. Therefore, this standard is not applicable.

I. Environment

A Natural Resources Inventory/Forest Stand Delineation (NRI/FSD) was approved for this Property on August 12, 2019. There are no wetlands, intermittent or perennial streams on or within 100 ft. of the Property. The Property has two forest stands, denoted Stand A and Stand B, which were identified and located on the NRI/FSD. On the 30.94 -acre gross tract area of the Property, 10.86 acres of forest exists, and all 10.86 acres of forest are to be retained under the application. (see related Forest Conservation staff report).

The Property is located within the Patuxent River Watershed Primary Management Area (PMA) and the Lower Brighton Dam Class III-P watershed. No rare, threatened, or endangered species were observed onsite. Wetlands observed by site visit were determined to be well within the environmental buffer area. No state or county champion trees were observed onsite. There are no significant slopes of 25 percent or greater. There are no slopes of 15 to 25 percent on erodible soils within 100 feet of the Property.

Impervious Area Limits and Stream Buffer Impacts

Due to its proximity to tributary streams, the majority of the Property is located within the Patuxent River PMA. The PMA is an area of land located within one-quarter mile (1,320 feet) of the Patuxent River and Hawlings River mainstems, and one-eighth mile (660 feet) of all tributaries of the Patuxent and Hawlings Rivers. The PMA consists of the stream valley buffer and the transition area. There are specific requirements outlined in the *Guidelines for Environmental Management of Development in Montgomery County (Environmental Guidelines)* for properties located within the PMA.

The stream valley buffer delineation is based on the normal criteria outlined in the *Environmental Guidelines*, which for this Property, is a minimum of 125 feet for streams that drain to the Hawlings

River and 150 feet for streams that drain to the Patuxent River. The stream valley buffer is expanded to include environmentally sensitive features such as wetlands, steep slopes, and highly erodible soils. The remaining area within the PMA is the transition area. The *Environmental Guidelines* for the PMA note that the stream buffer must be left undisturbed, in its natural state, and that any disturbance of the stream buffer requires planning staff review. The *Environmental Guidelines* note that overall imperviousness within the transition area should not exceed ten percent.

The total area of PMA transition area onsite is 734,744 square feet (16.87 acres). The total amount of impervious surfaces within the transition area is 73,436 square feet (1.69 acres). The percent of imperviousness within the transition area is 9.99%, which is below the 10% impervious surface limit (see Impervious Area Exhibit, Attachment 1).

Staff concludes that the Project meets all applicable requirements of the county's *Environmental Guidelines*.

J. Historic Resources

The Office of Historic Preservation has reviewed the application for impacts to historic sites, specifically the designated historic site (23/033-000A, Bleakwood) located at 3730 Damascus Road. Staff concludes there is no adverse impact to historic resources.

K. Community Concerns

At the time of the publication of the staff report, no communication has been received by staff from community organizations or members of the public.

Section IV: Compliance with Necessary Findings

Section 59.7.3.1.E Conditional Use

E. Necessary Findings

1. *To approve a conditional use application, the Hearing Examiner must find that the proposed development:*

- a. *Satisfies any applicable previous approval on the subject site or, if not, that the previous approval must be amended;*

Staff Response: This finding is satisfied. With the approval of the conditional use and subsequent Preliminary Plan, the Project complies with the applicable requirements under an approved conditional use.

- b. *Satisfies the requirements of the zone, use standards under Article 59.3 (Uses and Use Standards), and to the extent the Hearing Examiner finds necessary to ensure compatibility, meets applicable general requirements under Article 59.6 (General Development Requirements);*

Staff Response: This finding is satisfied. The Project satisfies applicable provisions under Article 59.3 (Uses and Use Standards) as shown in Section III of this report. The Project satisfies applicable provisions under Article 59.6 (General Development Requirements) as shown in Section III of this report. Therefore, with the approved conditional use, this finding is satisfied.

- c. *Section 59.7.3.1.E.1.c: Substantially conforms with the recommendations of the applicable master plan.*

Staff Response: As discussed in Section III.B of this report, this finding is satisfied.

- d. *Is harmonious with and will not alter the character of the surrounding neighborhood in a manner inconsistent with the plan.*

Staff response: This finding is satisfied. This finding includes both *Master Plan* analysis and other compatibility considerations. The *Master Plan* issues have been discussed in the preceding Section III. The character of the surrounding area is predominantly rural residential and agricultural uses. The Project will not alter the character of the surrounding neighborhood in a manner inconsistent with the *Master Plan* because the use is adequately buffered with landscaping, and sufficiently located away from any sensitive land uses or dwelling units. Only 6.33 acres of the total 30.35-acre property will be used for the landscaping business. As shown on the forest conservation plan, approximately 11 acres will remain in agriculture use for growing nursery plants. This amounts to nearly 80 percent of the property reserved for

agriculture use or forest conservation. Therefore, staff concludes that the Project will be harmonious with and will not alter the character of the surrounding neighborhood in a manner inconsistent with the *Master Plan*.

- e. *Section 59.7.3.1.E.1.e: Will not, when evaluated in conjunction with existing and approved conditional uses in any neighboring Residential Detached zone, increase the number, intensity, or scope of conditional uses sufficiently to affect the area adversely or alter the predominantly residential nature of the area; a conditional use application that substantially conforms with the recommendations of a master plan does not alter the nature of an area.*

Staff Response: This finding is satisfied. As discussed in Section III of this report, the Project substantially conforms to the policies and recommendations contained in the *Master Plan*. There are no residential areas that would be adversely affected or altered by the Project because the Project is sufficiently buffered and located away from existing residential uses and nearly 80 percent of the property area will remain in agriculture use or forest conservation. Furthermore, as discussed above in Section II, only one active conditional use/special exception currently exist in the vicinity. As such, there would not be an overconcentration of conditional uses in the area.

- f. *Section 59.7.3.1.E.1.f: will be served by adequate public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public facilities. If an approved adequate public facilities test is currently valid and the impact of the conditional use is equal or less than what was approved, a new adequate public facilities test is not required. If an adequate public facilities test is required and:*

- i. *If a preliminary subdivision plan is not filed concurrently or required subsequently, the Hearing Examiner must find that the proposed development will be served by adequate public facilities, including schools, police and fire protection, water, sanitary sewer, public roads, or storm drainage; or*
- ii. *If a preliminary plan of subdivision is filed concurrently or required subsequently, the Planning Board must find that the proposed development will be served by adequate public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, and storm drainage.*

Staff Response: This finding is satisfied. Adequate public services and facilities will be reviewed as part of subsequent preliminary plan of subdivision. At the time of the publication of the staff report, none of the reviewing agencies have identified any outstanding issues with respect to this requirement.

- g. *Section 59.7.3.1.E.1.g: will not cause undue harm to the neighborhood as a result of a non-inherent adverse effect alone or the combination of an inherent and a non-inherent adverse effect in any of the following categories:*

- i. *The use, peaceful enjoyment, economic value or development potential of abutting and confronting properties or the general neighborhood;*
- ii. *Traffic, noise, odors, dust, illumination or lack of parking; or*
- iii. *The health, safety or welfare of neighboring residents, visitors or employees.*

Staff Response: This finding is satisfied. The inherent physical and operational characteristics associated with a landscape contractor will not cause undue harm to the neighborhood.

The inherent characteristics include:

- Vehicle and pedestrian trips to and from the Property;
- Parking for employees;
- Varied hours of operation;
- Noise or odors associated with vehicles;
- Noise or odors associated with trucks and equipment;
- Work yard area; and
- Lighting.

These characteristics are inherent and typically associated with similar uses and do not exceed what is normally expected. As discussed above in Section III, surrounding residential uses are well-buffered from the Project in distance, by existing and proposed landscape, and by forest conservation. As shown on the landscape plan, a landscaped earthen berm as well as a variety of shade and evergreen trees are proposed along the storage yard areas facing Damascus Road. The landscaped berm is located on the front portion of the conditional use area which faces Damascus Road. The berm is designed to obscure and screen operations, storage, and parking from Damascus Road.

The Project's non-inherent characteristics would not cause an adverse effect with regard to inherent or non-inherent characteristics, or combination thereof, or in any of the following categories: the use, peaceful enjoyment, economic value or development potential of abutting and confronting properties or the general neighborhood; traffic, noise, odors, dust, illumination or lack of parking; or the health, safety or welfare of neighboring residents, visitors or employees.

2. *Any structure to be constructed, reconstructed, or altered under a conditional use in a Residential Detached zone must be compatible with the character of the residential neighborhood.*

Staff Response: This finding is not applicable. The Property is not located in a Residential Detached zone. It is located in the AR (Agriculture Reserve) zone.

3. *The fact that a proposed use satisfies all specific requirements to approve a conditional use does not create a presumption that the use is compatible with nearby properties and, in itself, is not sufficient to require conditional use approval.*

Staff Response: Acknowledged by the Applicant.

4. *In evaluating the compatibility of an agricultural conditional use with surrounding Agricultural or Rural Residential zoned land, the Hearing Examiner must consider that the impact does not necessarily need to be controlled as stringently as if it were abutting a Residential zone.*

Staff Response: This finding is not applicable. The Applicant does not propose an agricultural conditional use. The Project is a conditional use approval for a landscape contractor.

5. *The following conditional uses may only be approved when the Hearing Examiner finds from a preponderance of the evidence of record that a need exists for the proposed use to serve the population in the general neighborhood, considering the present availability of identical or similar uses to that neighborhood:*

- i. *Filling Station;*
- ii. *Light Vehicle Sales and Rental (Outdoor);*
- iii. *Swimming Pool (Community); and*
- iv. *the following Recreation and Entertainment Facility use: swimming pool, commercial.*

Staff Response: The finding is not applicable. The Project is a not a filling station, light vehicle sales and rental (outdoor), swimming pool (community); or a swimming pool, commercial. The Project is a landscape contractor.

6. *The following conditional uses may only be approved when the Hearing Examiner finds from a preponderance of the evidence of record that a need exists for the proposed use due to an insufficient number of similar uses presently serving existing population concentrations in the County, and the uses at the location proposed will not result in a multiplicity or saturation of similar uses in the same general neighborhood:*

- i. *Funeral Home; Undertaker;*
- ii. *Hotel, Motel;*
- iii. *Shooting Range (Outdoor);*
- iv. *Drive-Thru*
- v. *Landfill, Incinerator, or Transfer Station; and*
- vi. *a Public Use Helipad, Heliport or a Public Use Helistop.*

Staff Response: This finding is not applicable. The Project is not a funeral home, undertaker, hotel, motel, shooting range (outdoor), drive-thru, landfill, incinerator, transfer station, public use helipad, heliport or a public use helistop. The Project is a landscape contractor.

Section 59.3.5.5 Conditions for Approval of Landscape Contractor

B. Use Standard:

- a. *Where Landscape Contractor is allowed as a limited use and the lot or parcel on which the use is located abuts a residential detached zone, screening under Section 6.5.3.C.7, Option B is required, without regard to applicability under Section 6.5.2.B.*

Staff Response: The finding is not applicable. The Property is not located in a residential detached zone. It is located in the AR zone. A landscape contractor is allowed only as a conditional use in the AR zone.

- b. *Where Landscape Contractor is allowed as a conditional use, it may be permitted by the Hearing Examiner under Section 7.3.1, Conditional Use, and the following standards:*

1. *In the Agricultural, Rural Residential, and Residential Detached zones the minimum lot area is 2 acres. The Hearing Examiner may require a larger area if warranted by the size and characteristics of the inventory or operation.*

Staff Response: The finding is satisfied. The Project is located in the AR zone and is located on a lot of more than two acres. The Project is located on a 30-acre lot.

2. *Building and parking setbacks, including loading areas and other site operations, are a minimum of 50 feet from any lot line.*

Staff Response: The finding is satisfied. As show on the applicant's site plan and discussed above in Section II of this report, all building, and parking setbacks are a minimum of 50 feet away from any lot line. The setbacks for buildings, structures, and parking are about 132 feet from Damascus Road, 405 feet from Howard Chapel Road, 800 feet (variable) from the north property line, and 196 feet from the east property line.

3. *The number of motor vehicles and trailers for equipment and supplies operated in connection with the contracting business or parked on-site must be limited by the Hearing Examiner to avoid an adverse impact on abutting uses. Adequate parking must be provided on-site for the total number of vehicles and trailers permitted.*

Staff Response: This finding is satisfied. As shown on the Applicant's site plan, and discussed in Section III above, the Project satisfied all applicable parking and vehicle storage requirements for the use and the zone. The parking lot for personal vehicles, trucks, and equipment is enclosed by an eight-foot board-on-board fence. The distance between the closest abutting residential property and the vehicle parking area is about

310 feet to the east. Staff concludes that the parking area is adequately buffered from abutting uses by the proposed fence, landscaping, and by distance.

4. *Sale of plant materials, garden supplies, or equipment is prohibited unless the contracting business is associated with a Nursery (Retail) or Nursery (Wholesale).*

Staff Response: This finding is satisfied. No retail or wholesale operations are proposed.

5. *The Hearing Examiner may regulate hours of operation and other on-site operations to avoid adverse impact on abutting uses.*

Staff Response: Acknowledged by the Applicant. As discussed in Section II above, proposed operations are Monday through Friday from 5:30 a.m. to 5:00 p.m. During the planting seasons of Spring and early Summer, operations may also occur on Saturdays from 8:00 a.m. to 4:00 p.m. In order to provide seasonal snow and ice removal services, operations may occur on a 24-hour basis, as needed. The Applicant indicates that vehicles with “air brakes” or “jake brakes” will not be used on-site. The closest abutting property line to the contractor operations is 196 feet to the east. All operations are adequately buffered by an enclosed board-on-board fence, landscaped berm, other landscaping, and by distance from all abutting properties. The proposed hours of operation and on-site operations are customary and reasonable with a landscape contractor business. Therefore, as conditioned, staff concludes there will be no adverse impact on abutting uses.

Section V: Conclusion

The proposed landscape contractor, as recommended in Section I of this report, satisfies all applicable requirements for the approval of a conditional use as specified in the Montgomery County Zoning Ordinance and is consistent with the recommendations of the 2009 *Olny Master Plan*. Planning staff recommends approval of Conditional Use No. 2020-07.

Attachments

1. Proposed site plan, elevations, landscape/lighting plan, impervious area exhibit.
2. Stormwater concept plan approval.

ATTACHMENT A

Development Standards

Development Standards

Landscape Contractor (59.3.5.5) in the AR zone

	Required	Provided
Lot Area (59.3.5.5.B.b.1):	2 ac. min.	29.76 ac. [1]
Building, parking & ops setback (59.3.5.5.B.2):	50 ft. min.	50 ft. min.
Lot width at front BRL (59.4.2.1.F.2):	125 ft. min.	1,028 ft.
Lot width at front lot line (59.4.2.1.F.2):	25 ft. min.	1,111 ft.
Density (59.4.2.1.F.2):	1 d.u./25 ac.	0 d.u.
Coverage (59.4.2.1.F.2):	10 % of lot max.	2 % [2]
Building height (59.4.2.1.F.4):		
- Principle building	50 ft. max.	27 ft.
- Accessory structure	50 ft. max.	21 ft. max.

Footnotes:

- [1] The minimum "site area" for the AR zone is 25 acres (59.4.2.1.F.1).
[2] On a lot or parcel where agricultural products are grown predominantly in greenhouses, a maximum lot coverage of 40% is permitted if: (1) any increase above 10% lot coverage consists entirely of greenhouses; and (2) a site plan is approved under Section 7.3.4. (59.4.2.1.F.2.a)

Signage

	Required	Provided
Base sign area on lot (59.6.7.7.A):	200 s.f. max.	80 s.f.
Freestanding sign (59.6.7.7.A.1.b):	40 s.f. max.	40 s.f. [1]
- Setback (59.6.7.7.A.1.c):	10 ft. min.	10 ft.
- Height (59.6.7.7.A.1.d):	10 ft. max.	6 ft.
Wall sign (59.6.7.7.A.2.b):	40 s.f. max.	40 s.f. [1]
- Height (59.6.7.7.A.2.c):	26 ft. max.	24 ft.
Additional sign area (59.6.7.7.B.2):	40 s.f. max.	n/a [2]
- Setback (59.6.7.7.B.3):	10 ft. min.	n/a
- Height (59.6.7.7.B.4):	26 ft. max.	n/a

Footnotes:

- [1] Illumination is prohibited.
[2] May be illuminated.

Parking Tabulation

Parking spaces required (6.2.4.B):

	Required
Landscape Contractor Employee Parking	
76 employees @ 0.5 spaces per employee	= 38 parking spaces [1]
Single Family Detached Dwelling Unit Parking	
0 SFD d.u. @ 2 spaces per d.u.	= 0 parking spaces [2]
Total parking spaces required	= 38 parking spaces

Motorcycle/scooter spaces required (6.2.3.C):	n/a (< 50 parking spaces)
Car-Share spaces required (6.2.3.D):	n/a (< 50 parking spaces)
Electric vehicle charging spaces required (6.2.3.E):	n/a (< 100 parking spaces)

Parking spaces provided:

	Provided
Regular parking spaces	= 38 spaces
ADA parking spaces	= 2 spaces
Motorcycle/scooter spaces	= 0 spaces
Car-Share spaces	= 0 spaces
Electric vehicles	= 0 spaces
Total parking spaces provided	= 40 parking spaces

Landscape Contractor Vehicle Parking:

30 trucks	
15 trailers	
9 skid steers and loaders	
54 vehicles @ 1 space per vehicle	= 54 vehicle spaces

Bicycle spaces:

Bicycle spaces required (6.2.4.C):	n/a (for this use)
------------------------------------	--------------------

Off-street Loading Spaces:

Loading spaces required (6.2.8.B.1):	0 (< 15,000 s.f. GFA)
--------------------------------------	-----------------------

Footnotes:

- [1] Based on total number of employees at the time when the maximum number of employee vehicles is present.
[2] Existing single family detached dwelling unit to be removed.

Parking Design Standards:

	Required	Provided
Size of perpendicular spaces (59.6.2.5.E):		
- Standard width	8.5 ft. min.	8.5 ft. min.
- Standard length	18 ft. min.	18 ft. min. [2]

Landscape Area (59.6.2.9.C.1.a):	5% of facility	10% of facility
----------------------------------	----------------	-----------------

Spaces between islands (59.6.2.9.C.1.b):	20 spaces max.	9 spaces
--	----------------	----------

Tree Canopy (59.6.2.9.C.2):	25% of facility	27% appx.
-----------------------------	-----------------	-----------

Perim. planting area (59.6.2.9.C.3.a):	10 ft. min.	10 ft. min. - varies [3]
--	-------------	--------------------------

Lighting fixture/ht/source/ft's (59.6.4.4):		[4]
---	--	-----

Footnotes:

- [1] Outside of a Parking Lot District, a maximum of 10% of all required spaces may be compact spaces.
[2] Space may be reduced by 2 ft. in length where the overhang will not conflict with pedestrian, bicycle or vehicular circulation.
[3] Must contain canopy trees every 30 feet and a hedge or low wall. If abutting another parking lot, no planting area required. Satisfied by a combination of board fence, berms, plantings, and nursery stock.
[4] See Landscape and Lighting Plan for Conditional Use for proposed lighting specifications.

Tract Area Tabulation: [1]

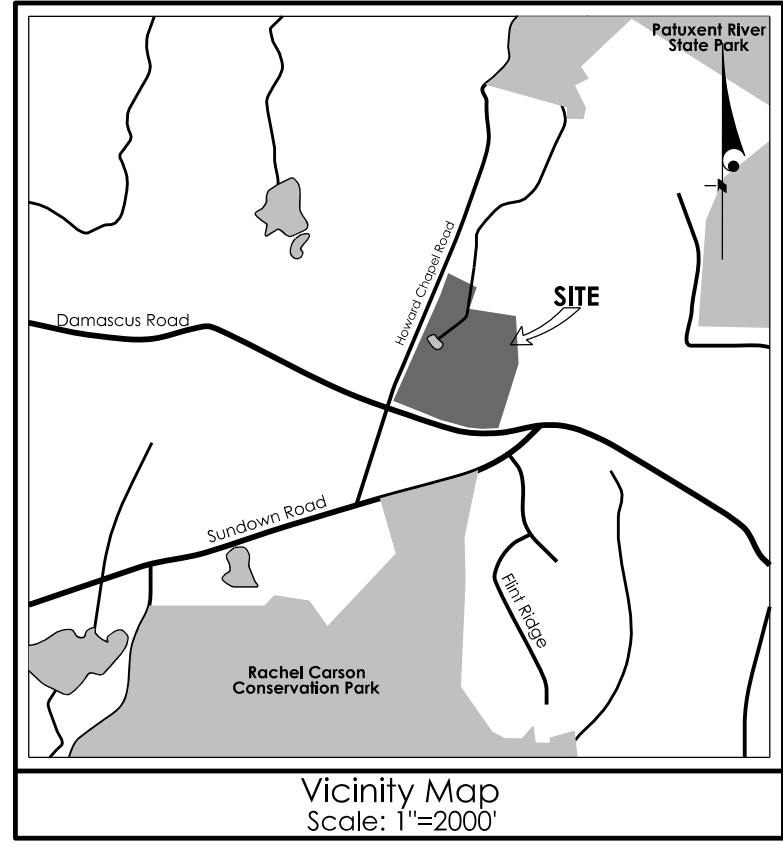
Gross Tract Area (GTA)	= 1,321,929 s.f. or 30.35 ac.
- Previous dedications to public use	= 0 s.f. or 0.00 ac. [2]
Existing tract area	= 1,321,929 s.f. or 30.35 ac.
- Proposed dedications to public use	= 25,748 s.f. or 0.59 ac.
Net Lot Area (NLA) of subject property	= 1,296,181 s.f. or 29.76 ac.
- Area not subject to Conditional Use	= 1,015,989 s.f. or 23.32 ac.
Conditional Use area	= 280,192 s.f. or 6.43 ac.

Footnotes:

- [1] Boundary information shown is based on compilation of deeds and surrounding plats of record prepared by Stantec. Areas are subject to refinement upon the completion of a field survey.
[2] Possible previous dedications not identified. Further determination of Gross Tract Area is unnecessary for the purposes of this application.

Impervious Area Tabulation:

PMA Transition Area (TA)	= 734,744 s.f. or 16.87 ac.
Ex. impervious area within TA to remain	= 0 s.f. or 0.00 ac.
+ Proposed new impervious area within TA	= 73,436 s.f. or 1.69 ac.
Total impervious area within TA	= 73,436 s.f. or 1.69 ac. = 9.99% of TA
+ Ex. impervious area outside TA to remain	= 0 s.f. or 0.00 ac.
+ Proposed impervious area outside TA	= 54,883 s.f. or 1.26 ac.
Total impervious area within NLA	= 128,319 s.f. or 2.95 ac. = 9.90% of NLA



General Notes

- 1 The purpose of this plan is a Conditional Use application for a Landscape Contractor (59.3.5.5) in the AR zone.
2 Boundary information shown is based on compilation of deeds and surrounding plats of record prepared by Stantec. Areas are subject to refinement upon the completion of a field survey.
3 Topographic information is two foot contour interval from M-NCPPC GIS.
4 NRI/PSD 420192170 for this site was approved on 08/12/2019. Preliminary/Final Forest Conservation Plan pending.
5 Water and Sewer Category: W-6 & S-6 respectively. The uses will be served by private, on-site well and septic.
6 This site is within the April 2005 Olney Master Plan area.
7 This site is within the Rural East Annual Growth Policy Area.
8 This site is within the Lower Brighton Dam Watershed (USE III-P) and Patuxent River Primary Management Area (PMA).
9 This plan is not for construction purposes.
10 According to FEMA's Flood Insurance Rate Map, effective date 09/29/2006, this area has been listed as Zone X: Areas determined to be outside 0.2% annual chance floodplain.
11 Typical parking spaces will be 8.5 feet x 18 feet. Interior drives and parking lot aisle widths are a minimum 20 feet wide. ADA parking spaces will be 8 feet by 18 feet. ADA parking space accessible aisles will be 8 feet wide for van accessible spaces.
12 Nursery stock and greenhouses are agriculture uses permitted without CU approval in AR zone. Proposed greenhouses are shown but may be constructed as needed.
13 Vehicle parking for trucks, trailers, loaders, etc. shown but not specifically programed within service area.
14 Typical parking spaces will be 8.5 feet x 18 feet. Interior drives and parking lot aisle widths are a minimum 20 feet wide. ADA parking spaces will be 8 feet by 18 feet. ADA parking space accessible aisles will be 8 feet wide for van accessible spaces.
15 Proposed sheds and canopy vehicle ports are to be located within the impervious areas. (Locations shown are approximate).
16 The wetland limit shown was delineated via ocular location during the site visit for the NRI/PSD.

Development Program

Phase I:

- Existing home and associated driveway removed.
New commercial driveway entrance to be installed.
Gravel yard, employee parking (incl. ADA), and temporary office trailer installed.
Small, moveable sheds and soft-roof shelters installed in contractors yard.
All berms, fencing, and plantings required by Conditional Use approval installed.

Phase II:

- Construct new main building.
Connect new building to septic then remove temporary office trailer.

Phase III:

- Construct future accessory buildings as demand is determined.

Other:

- Agricultural planting stock and greenhouses provided as demand is determined.

Project Team:

Applicant: Metro Grounds Management, Inc.
Contact: Mr. Chris Kelly - (240) 535-8272

Land Use Attorney: Shulman Rogers

Contact: Nancy Regelin, Esq. - (301) 230-5224

Planner/Engineers/Landscape Architects/Surveyors: Stantec

Contact: Devin Kennedy, PLA - (301) 444-8282

Transportation Consultant: Kimley Horn

Contact: Andy Smith, P.E. - (703) 674-1385

Architect: GTM Architects

Contact: Christopher Peoples (240) 333-2027

LEGEND

Property Boundary	---
Topographic contours	~
Tree Lines	~
Significant Trees	~
Buildings	□
Intermittent Stream	SVB
Stream Valley Buffer	---
Conditional Use Boundary	---
Category I Conservation Esmt.	Cat. I, C.E.
Wetland	~
Primary Management Area (PMA) Setback	~
Proposed Gravel	~
Proposed Asphalt	~
Prop. Planting Fields	~
Prop. Pedestrian Light	*
Prop. Area Lighting	88



2010 Century Boulevard, Suite 200
Germantown, Maryland 20874
Phone: (301) 444-8282 Fax: (301) 444-8181
www.stantec.com
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Revision	Date	By
1	08/17/20	DK

Applicant: Metro Grounds Management, Inc.
3731 Damascus Road
Brookville, MD 20833
Contact: Mr. Chris Kelly
Phone: (240) 535-8272
Contact/Attn: Mr. Chris Kelley

SITE PLAN for Conditional Use



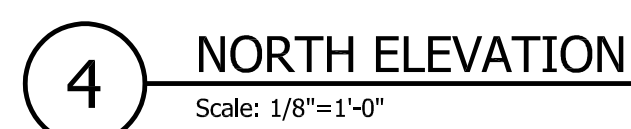
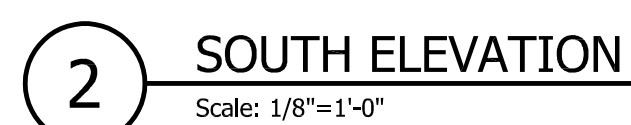
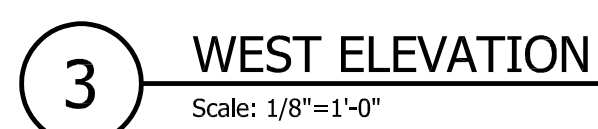
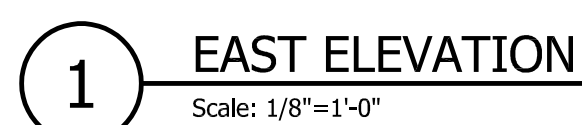
Seal

08/14/20

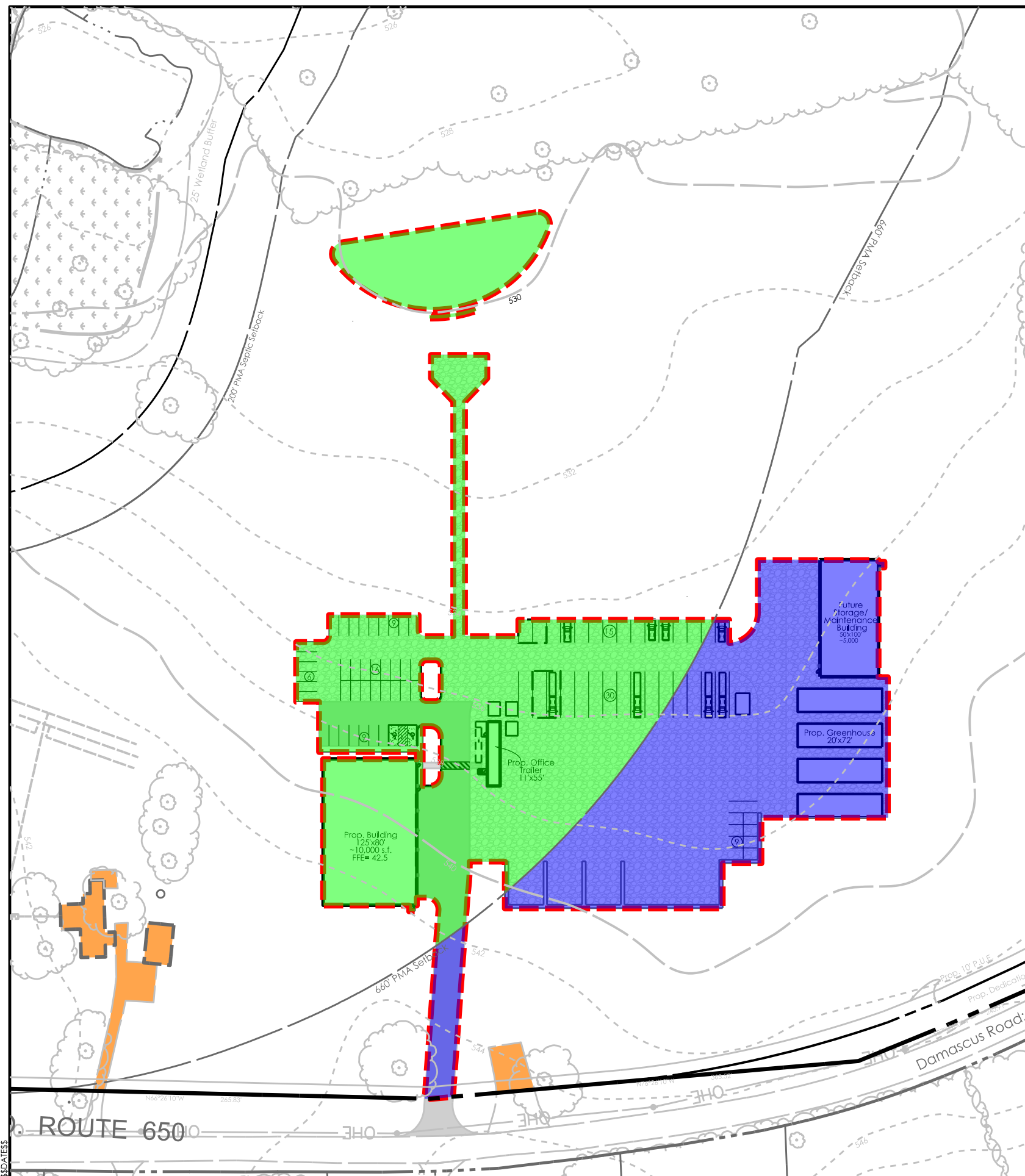
Design DK Checked JS

Drawn DK Date April 2020

Sheet



A200



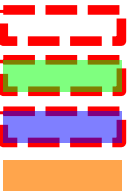
LEGEND

Total Impervious Area (within NLA)

Impervious Area (within PMA)

Impervious Area (outside PMA)

Impervious Area to be removed



Tract/Impervious Tabulation

Tract Area Tabulation: [1]

Gross Tract Area (GTA)	=	1,321,929 s.f. or 30.35 ac.
- Previous dedications to public use	=	0 s.f. or 0.00 ac. [2]
Existing tract area	=	1,321,929 s.f. or 30.35 ac.
- Proposed dedications to public use	=	25,748 s.f. or 0.59 ac.
Net Lot Area (NLA) of subject property	=	1,296,181 s.f. or 29.76 ac.
- Area not subject to Conditional Use	=	1,015,989 s.f. or 23.32 ac.
Conditional Use area	=	280,192 s.f. or 6.43 ac.

Footnotes:

[2] Possible previous dedications not identified. Further determination of Gross Tract Area is unnecessary for the purposes of this application.

Impervious Area Tabulation:

PMA Transition Area (TA)	=	734,744 s.f. or 16.87 ac.	
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+ Proposed new impervious area within TA	=	73,436 s.f. or 1.69 ac.	
Total impervious area within TA	=	73,436 s.f. or 1.69 ac.	= 9.99% of TA
+ Ex imperv area outside TA to remain	=	0 s.f. or 0.00 ac.	
+ Proposed impervious area outside TA	=	54,883 s.f. or 1.26 ac.	
Total impervious area within NLA	=	128,319 s.f. or 2.95 ac.	= 9.90% of NLA

[illegible]

Applicant:
Metro Grounds Management, Inc.
18201 Brooke Rd., Sandy Spring, MD 20860
Phone: (240) 535-8272
Contact/Attn.: Chris Kelley

IMPERVIOUS AREA EXHIBIT

3/31 Damascus Road
Brookeville, MD, 20833

(

Montgomery County, Maryland

Project No. Scale
2026261913 AS SHOWN

Design	Checked
DK/JS	JS

Drawn DK Date Aug. 2020

Sheet



ATTACHMENT B

DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

August 26, 2020

Mr. Sergio Rodriguez, P.E.
Stantec
20440 Century Blvd
Germantown, MD 20874

Re: **COMBINED STORMWATER MANAGEMENT
CONCEPT/SITE DEVELOPMENT
STORMWATER MANAGEMENT PLAN** for
3731 Damascus Road for Metro Grounds
Landscaping
Preliminary Plan #: N/A
SM File #: 285732
Tract Size/Zone: 30.94 Acres
Total Concept Area: 7.81 Acres
Lots/Block: N/A
Parcel(s): P300
Watershed: Upper Paint Branch

Dear Mr. Rodriguez:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above-mentioned site is **acceptable**. The stormwater management concept proposes to meet required stormwater management goals via construction of a Submerged Gravel Wetland.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
2. An engineered sediment control plan must be submitted for this development.
3. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 **is not required**.



255 Rockville Pike, 2nd Floor, Rockville, Maryland 20850 | 240-777-0311
www.montgomerycountymd.gov/permittingervices

Mr. Sergio Rodriguez, P.E.
August 26, 2020
Page 2 of 2

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Andrew Kohler at 240-777-6275 or by email at Andrew.Kohler@montgomerycountymd.gov.

Sincerely,

Mark Etheridge

Mark C. Etheridge, Manager
Water Resources Section
Division of Land Development Services

MCE: ak

cc: SM File # 285732

ESD: Required/Provided 4,277 cf / 22,712 cf
PE: Target/Achieved: 1.00"/5.31"
STRUCTURAL: N/A cf
WAIVED: N/A ac.