

SAINT JOHN NEUMANN CATHOLIC PARISH SITE PLAN AMENDMENT NO. 81981046A



Description

Request for approval to construct a 6,000 square foot addition on the north side of the existing one-story church building and new site features such as sidewalks, stormwater management facilities, landscaping, and lighting.

PLAN TYPE:
NO. 81981046A
COMPLETED: 12-30-2021

MCPB
Item No. 3
1-13- 2022

Montgomery County Planning Board
2425 Reddie Drive
Floor 14
Wheaton, MD 20902



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LOCATION

9000 Warfield Road in the southwest corner of the intersection of Warfield Road and Goshen Road

PROPERTY SIZE

177,529 sq. ft. (4.07 ac.)

MASTER PLAN

2016 *Montgomery Village Master Plan*

ZONE

Residential - 200 (R-200) within the Montgomery Village Overlay Zone

APPLICANT

Saint John Neumann Catholic Parish Church

ACCEPTANCE DATE

May 19, 2021

REVIEW BASIS

Zoning - Chapter 59
Forest Conservation – Chapter 22A



Summary

- Staff recommends approval of the Site Plan Amendment.
- The Planning Board approved Site Plan No. 819810460 for this Project which is reflected in the MCPB Resolution dated March 11, 1997.
- This Amendment proposes an increase in previously approved density for a 6,000-square foot addition on the north side of the existing one-story church building and associated site improvements, including sidewalks, stormwater management facilities, landscaping, and lighting. The Amendment also includes a new fire hydrant, which will require an extension of the existing water service onsite.
- The proposed changes meet all development standards and do not modify the original findings of the approval.
- The Applicant requests approval of a parking waiver under Section 59.6.2.10. to modify Zoning Ordinance Section 59.6.2.9.C, Parking Lot Landscaping and Outdoor Requirements (associated with a parking lot for 10 or more spaces).
- The Site is exempt from Article II of the County Code, Chapter 22A (Forest Conservation Law), Section 22A-5(t)(1) because the Site is a modification to an existing non-residential developed property.
- In accordance with Section 59.7.3.4.C of the Zoning Ordinance, an extension request approved by the Planning Board extended the 120-day review period by four (4) months, from September 16, 2021 through January 13, 2022.
- Staff has not received public correspondence for this Application.

SECTION 1

STAFF RECOMMENDATION AND CONDITIONS

Recommendations and Conditions

This Site Plan Amendment approval supersedes in its entirety all of the binding elements and conditions of approval set forth in the prior Site Plan No. 819810460 as listed in the MCPB Resolution dated March 11, 1997.

Staff recommends approval of Site Plan Amendment No. 81981046A to permit a 6,000-square foot building addition, parking alterations, lighting, and landscaping changes, subject to the conditions below. All site development elements shown on the latest electronic version as of the date of this Staff Report submitted via ePlans to the M-NCPPC are required except as modified by the following conditions.¹

Density, Height & Housing

1. Density
The Site Plan is limited to a maximum of 22,708 square feet of gross floor area of total development on the Subject Property for a religious institutional use.
2. Height
The development is limited to a maximum height of 36 feet, as measured from the building height measuring point, as illustrated on the Certified Site Plan.

Environment

3. A pre-construction meeting is required after the limits of disturbance have been staked prior to clearing and grading. The property owner, construction superintendent, Montgomery County Planning Department forest conservation inspector, and the Montgomery County Department of Permitting Services sediment control inspector shall attend this meeting.
4. Prior to any demolition, clearing, grading or construction for this development Application, the Applicant must submit financial surety, in a form approved by the M-NCPPC Office of the General Counsel, to the M-NCPPC Planning Department for the variance mitigation trees planted as required by the Tree Save Plan approved with the Forest Conservation Exemption.
5. Prior to any demolition, clearing, grading or construction for this development Application, the Applicant must execute a five-year Maintenance and Management Agreement (“MMA”) in a form approved by the M-NCPPC Office of General Counsel. The MMA is required for all forest planting areas, mitigation tree plantings, including variance tree mitigation plantings, and landscape plantings credited toward meeting the requirements of the Forest Conservation Law. The MMA may include invasive species management control measures.
6. The ten (10) mitigation trees, or as specified on the Tree Save Plan, must be planted at a time specified by the forest conservation inspector.

¹ For the purposes of these conditions, the term “Applicant” shall also mean the developer, the owner, or any successor (s) in interest to the terms of this approval.

Stormwater Management

7. The Planning Board has reviewed and accepts the recommendations of the Montgomery County Department of Permitting Service (MCDPS) Water Resources Section in its stormwater management concept letter dated June 21, 2021 and incorporates them as conditions of approval. The Applicant must comply with each of the recommendations as set forth in the letter, which the MCDPS Water Resources Section may amend if the amendments do not conflict with other conditions of Site Plan approval. The MCDPS Water Resources Section will review, approve, and inspect all landscaping within the Storm Water Management easements and facilities.

Transportation & Circulation

8. Transportation
The Planning Board has reviewed and accepts the recommendations of the Montgomery County Department of Permitting Services Right-of-Way Section (DPS-ROW) in its memo dated November 5, 2021 and incorporates them as conditions of approval. The Applicant must comply with each of the recommendations as set forth in their memo, which DPS-ROW may amend if the amendments do not conflict with other conditions of Site Plan approval.
9. Pedestrian & Bicycle Circulation
 - a) The Applicant must provide one (1) long-term and two (2) short-term bicycle parking spaces.
 - b) The long-term space must be in a well-lit, secure parking area. The short-term spaces must be inverted-U racks (or approved equivalent) installed in a convenient location to the main building entrance (weather protected preferred) at the specific location(s) as identified on the Certified Site Plan.
 - c) The Applicant must provide a fee-in-lieu contribution to the Montgomery County Department of Transportation (MCDOT), in the amount of \$43,218.43 subject to MCDOT review and approval, towards the construction of the Goshen Road South master-planned bicycle facility with eleven-foot-wide side paths and associated street buffers along each respective property frontage (CIP No. 501107).
10. Validity
The Adequate Public Facility Review (APF) will remain valid for sixty (60) months from the date of mailing of the Planning Board Resolution for the Site Plan.
11. Fire and Rescue
The Planning Board has reviewed and accepts the recommendations of the Montgomery County Department of Permitting Services (MCDPS), Fire Department Access and Water Supply Section in its letter dated December 21, 2021, and hereby incorporates them as conditions of approval. The Applicant must comply with each of the recommendations as set forth in the letter, which MCDPS may amend if the amendments do not conflict with other conditions of Preliminary Plan approval.

Site Plan

12. Site Design
The exterior architectural character, proportion, materials, and articulation must be substantially similar to the schematic elevations shown on Sheet A301 of the submitted architectural drawings, as determined by M-NCPPC Staff.

13. Lighting

- a) Prior to Certified Site Plan, the Applicant must provide certification to Staff from a qualified professional that the exterior lighting in this Site Plan conforms to the latest Illuminating Engineering Society of North America (IESNA) recommendations (Model Lighting Ordinance-MLO: June 15, 2011, or as superseded) for a development of this type. All onsite exterior area lighting must be in accordance with the latest IESNA outdoor lighting recommendations (Model Lighting Ordinance-MLO: June 15, 2011, or as superseded).
- b) All onsite down-lights must have full cut-off or BUG-equivalent fixtures.
- c) Deflectors will be installed on all fixtures to prevent excess illumination and glare.
- d) Illumination levels generated from on-site lighting must not exceed 0.5 footcandles (fc) at the lot line, excluding areas impacted by streetlights within the right-of-way.
- e) Pole-mounted lights must not exceed the height illustrated on the Certified Site Plan.

14. Site Plan Surety and Maintenance Agreement

Prior to issuance of any above grade building permit or sediment control permit, the Applicant must enter into a Site Plan Surety and Maintenance Agreement with the Planning Board in a form approved by the M-NCPPC Office of General Counsel that outlines the responsibilities of the Applicant. The Agreement must include a performance bond(s) or other form of surety in accordance with Section 59.7.3.4.K.4 of the Montgomery County Zoning Ordinance, with the following provisions:

- a) A cost estimate of the materials and facilities, which, upon Staff approval, will establish the surety amount.
- b) The cost estimate must include applicable Site Plan elements, including, but not limited to plant material, on-site lighting, site furniture, retaining walls, railings, sidewalks, private utilities, paths, and associated improvements of development, including sidewalks and storm drainage facilities. The surety must be posted before issuance of any building permit of development and will be tied to the development program.
- c) The bond or surety must be tied to the development program, and completion of all improvements covered by the surety for each phase of development will be followed by a site plan completion inspection. The surety may be reduced based upon inspector recommendation and provided that the remaining surety is sufficient to cover completion of the remaining work.

15. Development Program

The Applicant must construct the development in accordance with a development program table that will be reviewed and approved prior to the approval of the Certified Site Plan.

16. Certified Site Plan

Before approval of the Certified Site Plan the following revisions must be made and/or information provided subject to Staff review and approval:

- a) Include the stormwater management concept approval letter, development program, and Site Plan resolution (and other applicable resolutions) on the approval or cover sheet(s).
- b) Add a note to the Site Plan stating that "M-NCPPC Staff must inspect all tree-save areas and protection devices before clearing and grading."
- c) Add a note stating that "Minor modifications to the limits of disturbance shown on the Site Plan within the public right-of-way for utility connections may be done during the review of the right-of-way permit drawings by the Department of Permitting Services."
- d) Modify data table to reflect development standards approved by the Planning Board.
- e) Ensure consistency of all details and layout between Site and Landscape plans.
- f) Add Storm Water Management precedents previously reviewed by Staff to the site plan set with a note that final is subject to MCDPS approval.
- g) Coordinate with M-NCPPC Staff on minor corrections and clarifications as necessary.

SECTION 2

PROPERTY AND BACKGROUND

Vicinity

The Subject Property is located within the limits of the 2016 *Montgomery Village Master Plan*, specifically the west upper village area of Montgomery Village as shown in Figure 1 below. Montgomery Village is centrally located within the County, east of I-270 and north of I-370, adjacent to the City of Gaithersburg. Montgomery Village is an established community that consists primarily of residential uses complemented with several locally-serving retail centers.

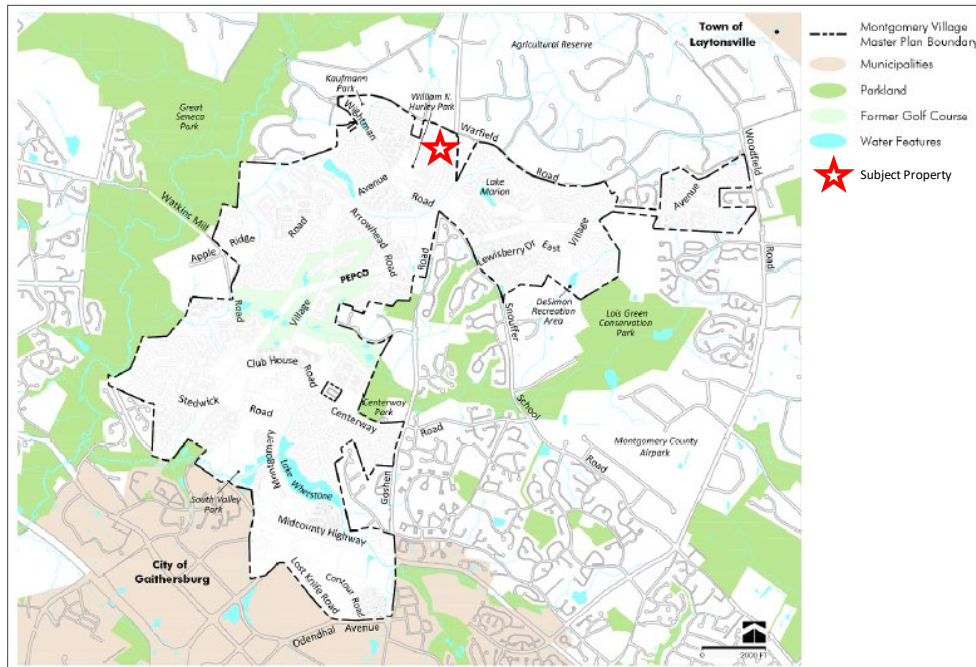


Figure 1: Montgomery Village Master Plan Boundary Map

As shown in Figure 2 below, the Site is within one-half mile of a mix of detached and attached residential uses, religious and educational uses, and open space.

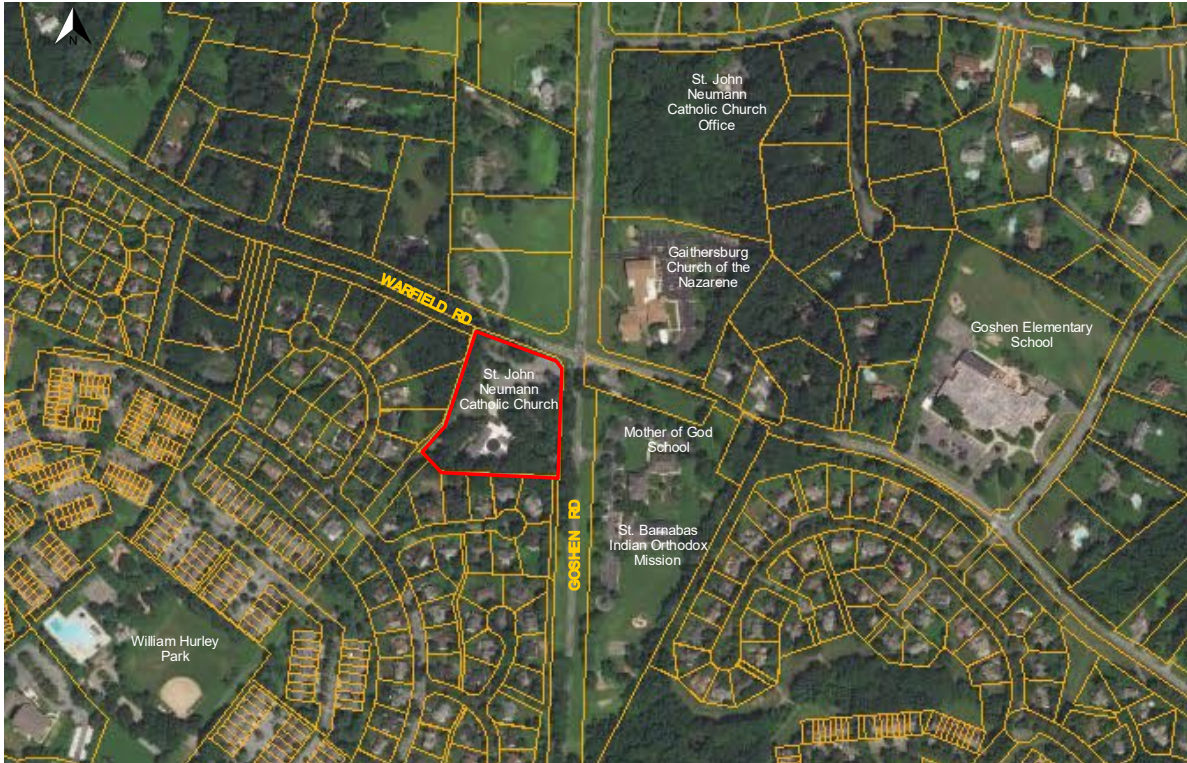


Figure 2: Vicinity Map (Subject Property outlined in red)

Property Description

Saint John Neumann Catholic Parish Church (the “Subject Property”, “Property”, “Site”) is located at 9000 Warfield Road. The Property is also known as Parcel E Pleasant Ridge East Montgomery Village, as shown on Plat No. 14010. Situated in the southwest corner of the intersection of Warfield Road and Goshen Road, the Property consists of a 177,529 square feet (4.07 acres) parcel of land. The Property is currently zoned Residential - 200 (R-200) and is subject to the Montgomery Village Overlay Zone. The Site is constrained by a Colonial Pipeline Company Easement that runs west to east and bisects the Property into northern and southern halves. There is an existing 10-foot-wide Public Utility Easement along both the Warfield Road and Goshen Road frontages.



Figure 3: Subject Property (outlined in red)

Past Approvals

[Site Plan No. 819810460](#)

No records of a Preliminary Plan and associated Planning Board Opinion were found related to the Site. In 1981, the original site plan was approved under the Town Sector (T-S) Zone for the construction of a church building with surface parking and two vehicular access points - one access point located along Goshen Road and the other along Warfield Road.

On March 6, 1997, Site Plan No. 819810460 was brought before the Montgomery County Planning Board for a public hearing. The Planning Board granted approval for 3,720 square feet for an educational wing located at the southwest corner of the existing building and a chapel located at the northeast corner. The Application's conditions of approval are dated February 28, 1997 and listed as Appendix A of the Resolution dated March 11, 1997. The Site Plan validity period expired on April 11, 2000 and the chapel addition was never built.

[Record Plat No. 219820800](#)

Pleasant Ridge East, Parcel E, Plat No. 14010 was recorded for the Property on September 16, 1982, in accordance with approved Site Plan No. 819810460.

[Sectional Map Amendment No. H-112](#)

The 2016 *Montgomery Village Master Plan* recommended rezoning residential uses in the Upper Village from the Town Sector (T-S) Zone to new zones that would closely match existing housing types and densities. As a result,

the Subject Property was recommended to be re-zoned to the R-200 zone. To implement the rezoning recommendations, a Sectional Map Amendment (SMA) No. H-112 was filed with the County Council and on April 7, 2016 the Planning Board unanimously supported the Montgomery Village Sectional Map Amendment to implement the zoning recommendations in the *Montgomery Village Master Plan*. Subsequently, the Sectional Map Amendment public hearing was held on June 14, 2016 and the County Council acted on SMA No. H-112 on June 21, 2016.

[Natural Resource Inventory/Forest Stand Delineation No. 420210910](#)

The status of the Natural Resource Inventory/Forest Stand Delineation (NRI/FSD) Application was deemed incomplete due to the Applicant's request for a Forest Conservation Exemption in April 2021. No further action is necessary on NRI/ FSD No. 420210910 due to the approval of Forest Conservation Plan Exemption No. 42021091E, as discussed in more detail below.

[Forest Conservation Plan Exemption No. 42021091E](#)

Based on the review by staff of the Montgomery County Planning Department, the Forest Conservation Exemption/Tree Save Plan No. 42021091E request submitted was approved on December 27, 2021. The Project Site is exempt from Article II of the Montgomery County Code, Chapter 22A (Forest Conservation Law), Section 22A-5(t)(1) because the Subject Property qualifies for the exemption to the forest conservation law because the Site is a modification to an existing non-residential developed property where: (A) no more than 5,000 square feet of forest is ever cleared at one time or cumulatively after an exemption is issued; (B) the modification does not result in the cutting, clearing, or grading of any forest in a stream buffer or forest located on property in a special protection area which must submit a water quality plan; (C) the modification does not require approval of a preliminary plan, administrative subdivision plan, or conditional use/special exception; (D) the modification does not increase the developed area by more than 50%, and any existing principal building, as defined in Chapter 59, is retained; and (E) the pending development application does not propose any residential uses. Furthermore, there are no streams, wetlands, forests, or other environmentally sensitive areas on-site and tree impacts will be mitigated with stress reduction measures.

A Tree Save Plan is required per 22A-6(a), which specifies trees to be planted as mitigation for the loss of Specimen Trees. Plantings are to be completed at the direction of the Forest Conservation Inspector.

SECTION 3

PROPOSAL DESCRIPTION

Project Overview

The main building for the Saint John Neumann Catholic Parish has an existing gross floor area of 16,708 square feet. The Site Plan Amendment seeks approval to construct a 6,000-square foot building addition on the north side of the existing one-story church building for a total of 22,708 square feet of gross floor area. The addition includes a Narthex, parish offices, a conference room, and an adoration chapel. Existing seats in the main sanctuary are not increasing. The proposed building addition will not encroach upon the existing Colonial Pipeline utility easement that bisects the Property. A portion of the existing building entrance canopy and some of the existing walls will be demolished to accommodate the expansion and new windows and doors. New mechanical units and split rail fence will be installed along the north side of the existing church building.



Figure 4: Rendering of the Proposed Building Addition

Along with the building addition, the Applicant proposes new sidewalks along the front and eastern side of the building, a small plaza at the entrance, and an accessible ramp for patrons traveling from the parking lot to the main building entrance. An additional concrete walk and steps are provided to facilitate pedestrian traffic from the broader parking lot to the new building entrance.

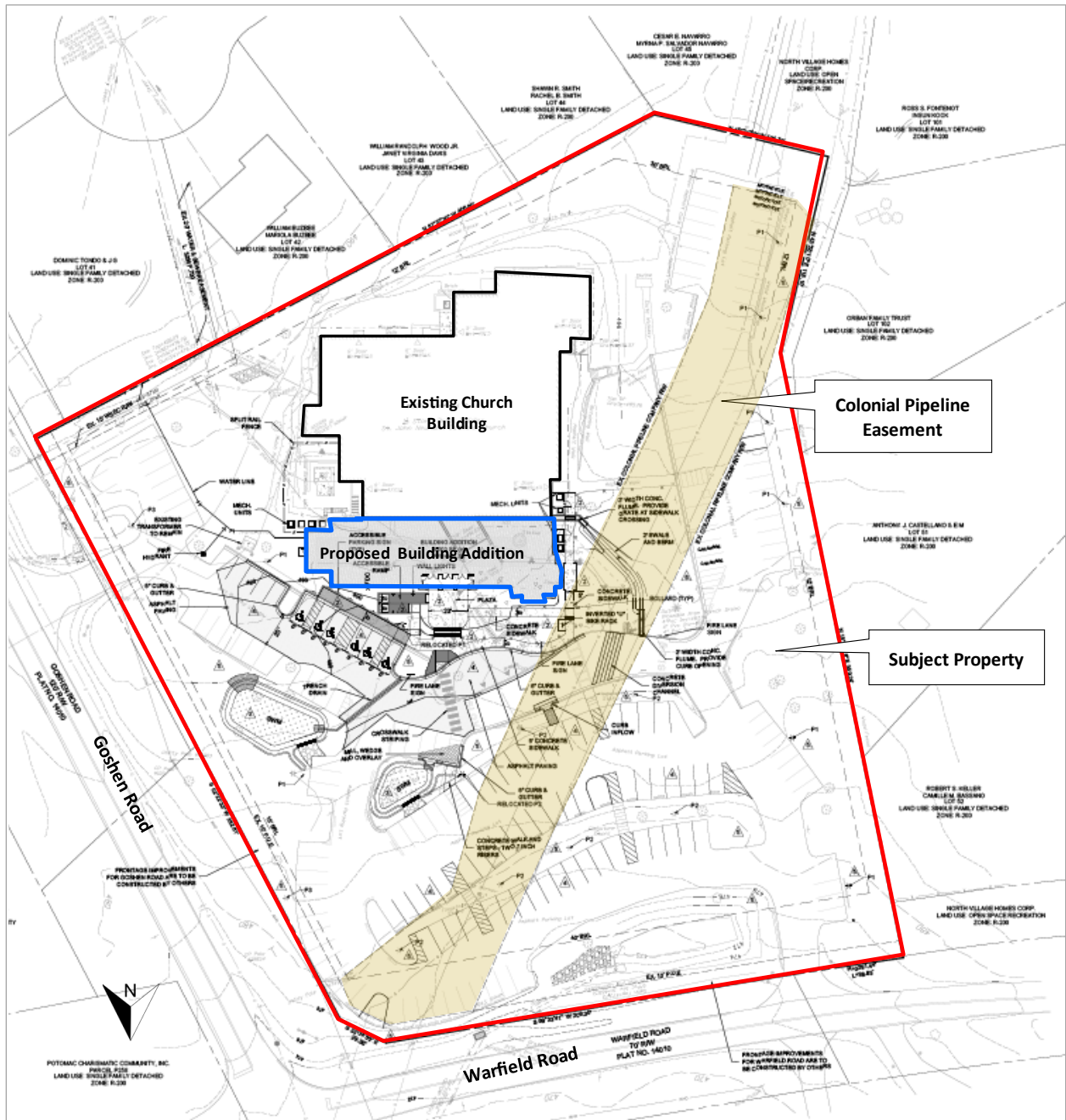


Figure 5: Proposed Site Plan Amendment

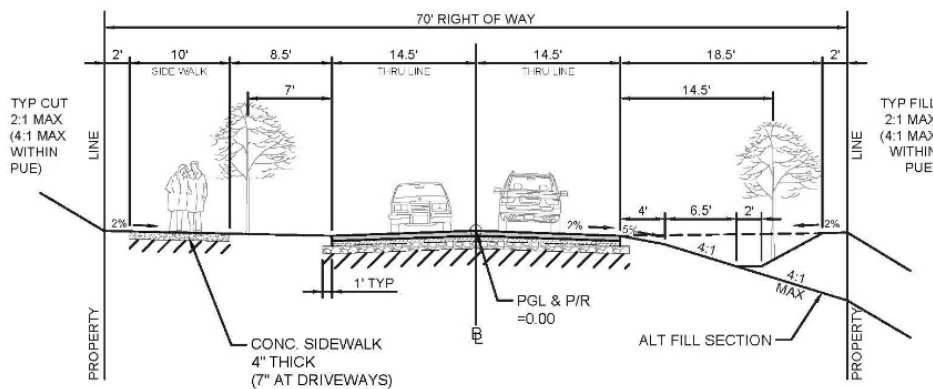
Utilities

To address life safety requirements, a new fire hydrant is proposed which will require an extension of the existing water service on-site. Approved by DPS-FRS, the new hydrant is located near the southeast corner of the church building and the vehicular access point to Goshen Road.

Transportation

The existing on-site circulation will be modified to include shifts in the existing drive aisle, parking area improvements, and pavement restriping. Section 59.6.2 of the Zoning Ordinance requires a minimum of 117 vehicular parking spaces. The Site was previously approved for 119 parking spaces, whereas 198 parking spaces are proposed as part of this Site Plan Amendment. Additionally, the Applicant is proposing a new pedestrian pathway along the west side of the existing building to connect the western parking lot to the building and plaza areas on the north side of the building.

The 2016 *Montgomery Village Master Plan* recommends a shared-use path along the south side of Warfield Road from Wightman Road to Woodfield Road; however, these improvements are currently covered under Goshen Road South MCDOT capital project (CIP No. P501107), which is funded by the County Council and implemented by county agencies. Per Montgomery County Department of Transportation (MDCOT) staff, the Applicant is required to make a payment in lieu of construction to support MCDOT’s future construction of the bikeway to satisfy frontage improvement requirements. According to the Montgomery County Capital Budget, the Goshen Road South MCDOT capital project is currently in the preliminary design phase and not yet funded for construction.



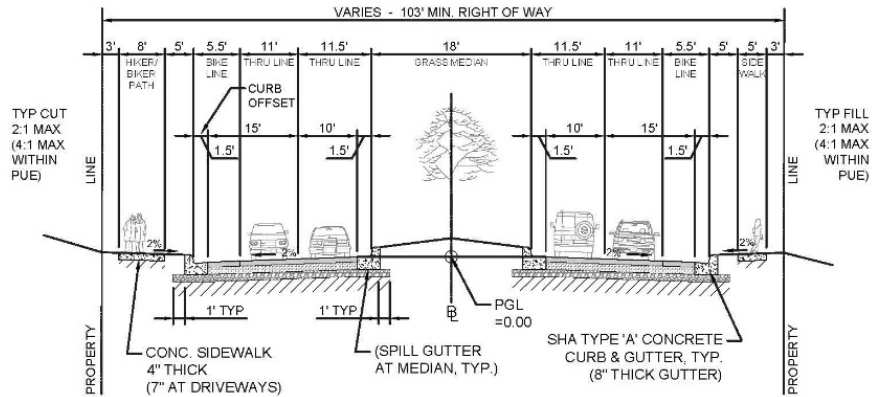
WARFIELD ROAD - TYPICAL SECTION

NTS

NOTE:

- 1) 70' RIGHT OF WAY PER PLAT 14010
- 2) IMPROVEMENTS TO BE REFINISHED BY OTHERS

Figure 6: Warfield Road Right-of-Way Cross-Section



GOSHEN ROAD - TYPICAL SECTION

NTS

- NOTE:
 1) 120' RIGHT OF WAY PER PLAT 14010
 2) IMPROVEMENTS TO BE BUILT BY OTHERS

Figure 7: Goshen Road Right-of-Way Cross-Section

Religious assembly uses within a residential zoning district must provide one (1) bicycle parking space for the greater of 2,000 square feet of gross floor area or 200 fixed seats. The Applicant requests the total required bicycle parking requirements to be calculated based on the 468 existing fixed seats within the church, as there are no new seats being added as part of this Application. The three (3) proposed bicycle parking spaces comply. Two (2) short-term bicycle parking spaces will be provided at the entrance of the church building and one (1) long term bicycle parking space will be provided in the east storage room of the church.

Environment

As previously noted, the Site is subject to Forest Conservation Exemption No. 42021091E. The Applicant submitted a Tree Save Plan as required per Section 22A-6(a), which specifies trees to be planted on the Site as mitigation for the loss of Specimen Trees. As conditioned, ten (10) mitigation trees must be provided or as specified on the Tree Save Plan.

Stormwater Management

The Applicant proposes to utilize Environmental Site Design (ESD) to the maximum extent practicable through the use of two landscape infiltration facilities located to the north of the planned addition, adjacent to existing parking areas. The grading associated with the stormwater management facility within the parking lot requires the relocation of an existing post top light. A stormwater management and sediment and erosion control plan has been reviewed and approved by the Montgomery County Department of Permitting Services (MCDPS). As conditioned, the stormwater management facilities must be designed to aesthetically appear similar to the Applicant's precedents shown in Figure 8 below, with final approval from MCDPS.



Figure 8: Block Overflow Weir (Applicant's Precedent Image)

Lighting and Landscaping

Existing on-site lighting and landscaping is proposed to remain in its current configuration, with some exceptions. Existing bollard lights located along existing pedestrian walkways leading to the main building entrance will be removed and new LED bollard lights are proposed to light the new pathways and plaza area. As previously noted, two new stormwater management facilities located within and near the existing parking lot requires the relocation of an existing post top light. New LED lamp posts will substantially match existing lighting designs. The Plan Amendment also includes the addition of parking lot lighting.

The Applicant also proposes to implement an updated landscape plan that complies with the parking lot landscape islands and parking lot perimeter landscape requirements and provides adequate parking lot tree canopy. The Amendment also includes foundational plantings at the base of the building addition.

Architectural Elevations

The proposed building addition will have brick veneer, window details, a hidden covered entry facing the parking, and aluminum clad wood entry doors that match the main building.

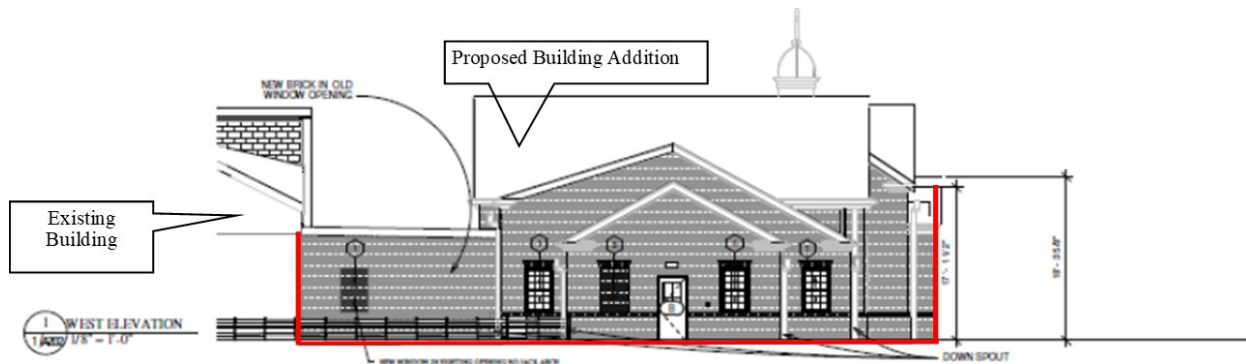
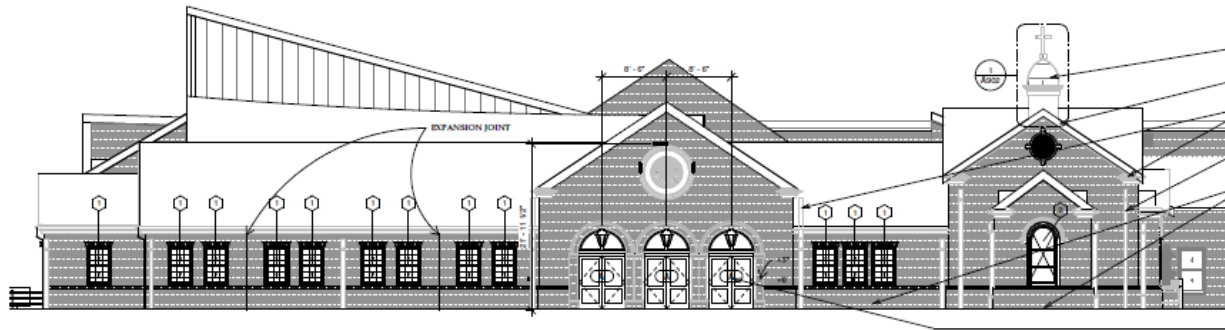


Figure 9: Proposed West Elevation for the Building Addition (outlined in red)



2 SOUTH ELEVATION
1 1/8" = 1'-0"

Figure 10: Proposed South Architectural Elevation for the Building Addition

SECTION 4

SITE PLAN AMENDMENT ANALYSIS AND FINDINGS

With respect to Section 59.7.7.1.B.3 of the 2014 Zoning Ordinance, the Application is an amendment of an approved plan and proposes to increase the previously approved density and is therefore being reviewed under the current Zoning Ordinance in effect on October 30, 2014.

Site Plan Findings

In accordance with Section 7.3.4.E. of Chapter 59, the Montgomery County Zoning Ordinance, the following Necessary Findings must be satisfied:

- 1. When reviewing an application, the approval findings apply only to the site covered by the application.**
- 2. To approve a site plan, the Planning Board must find that the proposed development:**
 - a. satisfies any previous approval that applies to the site;**

Site Plan No. 819810460 for the Property was approved on March 11, 1997 and had its validity period expire on April 11, 2000; therefore, the building addition was never built.

- b. satisfies under Section 7.7.1.B.5 the binding elements of any development plan or schematic development plan in effect on October 29, 2014;**

Neither a development plan, diagrammatic plan, schematic development plan, nor a project plan were required for the Subject Property or the Overall Site.

- c. satisfies under Section 7.7.1.B.5 any green area requirement in effect on October 29, 2014 for a property where the zoning classification on October 29, 2014 was the result of a Local Map Amendment;**

Not applicable.

- d. satisfies applicable use standards, development standards, and general requirements under this Chapter;**

Development Standards for R-200 Zone

The primary purpose of the Residential 200 (R-200) Zone is to provide designated areas for residential uses in which the predominate building type is detached single-family dwellings. The proposed use is allowed in the R-200 Zone and the Site Plan Amendment continues to fulfill the purposes of the zone.

The proposed development was reviewed for compliance with the dimensional requirements for the R-200 zone as specified in the Zoning Ordinance. The height and principal building setbacks from the Site boundaries were previously established with the original development. As shown in Table 1, the proposed development will meet all the dimensional requirements for area, frontage, width, and setbacks in the zones and accommodate the expansion of the existing religious institution use.

Table 1: R-200 Development Standards and Parking Requirements

	Required/Permitted	Previously Approved*	Proposed Amendment
Site			
Gross Tract Area (Subject Property)	N/A	177,529 sf. (4.07 acres)	177,529 sf. (4.07 acres)
Previous ROW Dedications		0 sf.	0 sf.
Proposed ROW Dedications		0 sf.	0 sf.
Net Lot Area (Subject Property)	20,000 sf.	177,529 sf.	177,529 sf.
Maximum Density of Development (units/acre)	2.18	N/A	N/A
Public Open Space	N/A	N/A	N/A
Lot Coverage (max.)	25%	10% (17,890 sf.)	13% (22,710 sf.)
Building Height (max.)	50 feet	36 feet	36 feet (existing building) 22 feet (building addition)
Principal Building Setbacks (min.)			
Front setback from public street	40 feet	154 feet	238 feet
Side street setback	15 feet	N/A	118 feet
Side setback	12 feet	109 feet	24 feet
Rear setback	30 feet	37 feet	101 feet
Minimum lot width at front building line	100 feet	N/A	414 feet
Minimum lot width at front lot line	25 feet	N/A	355 feet
Vehicular Parking			
Religious Assembly 0.25 per fixed seat (468 fixed seats)	117 spaces	119 spaces	198 spaces total**
<i>Accessible spaces</i>	6 spaces	6 spaces	6 spaces
<i>Car sharing spaces</i>	2 spaces	N/A	2 spaces
<i>Motorcycle spaces</i>	4 spaces	N/A	4 spaces
<i>Electric vehicle spaces</i>	N/A	N/A	N/A
Bicycle Parking			
1.0 per 200 seats x 85% (short-term)	2 spaces	N/A	2 spaces
1.0 per 200 seats x 15% (long-term)	1 space	N/A	1 space

*The Subject Property was zoned Town Sector (T-S) under the previously approved Site Plan Amendment. Therefore, several of the previous development standards now required under the Residential – 200 Zone (R-200) were not applicable (N/A).

**The types of parking spaces below are subsumed within the total parking count. Parking quantities have been calculated in accordance with Section 59.7.7.1.B.3.b. of the Zoning Ordinance in effect on October 30, 2014.

Division 6.1. Site Access

The intent of the site access requirements per Section 59.6.1.1 of the County’s Zoning Ordinance is

to ensure safe and convenient vehicular, bicycle, and pedestrian circulation within and between lots on the same block face and to reduce traffic congestion. The requirement applies to a proposed apartment, multi-use, or general building type within the Residential Multi-Unit, Commercial/ Residential, Employment, Industrial, and Floating zone. The Application is within the R-200 zone; therefore, site access requirements do not apply.

Division 6.2. Parking, Queuing, and Loading

The intent of the vehicle and bicycle parking, queuing, and loading requirements is to ensure that adequate parking is provided in a safe and efficient manner. Per Section 59.6.2.4.B of the County's Zoning Ordinance, the Subject Application will meet the religious assembly on-site parking requirement of 0.25 parking spaces per fixed seats. The church building has a total of 468 fixed seats; therefore, a minimum of 117 parking spaces are required. No new fixed seats are proposed with the building expansion. The Applicant proposes to provide 198 off-street parking spaces. The proposed off-site vehicle parking is adequate for the nature and use and intensity of the religious use. No on-street parking is existing or proposed.

Bike parking

The Site Plan is subject to Section 59.6.2.4.C and Section 59.6.2.6. of the County's Zoning Ordinance for long-term and short-term bicycle parking. Based on the existing number of fixed seats, the Application is required to provide three (3) bicycle parking spaces, whereas the Site Plan complies.

Division 6.3. Open Space and Recreation

The Application is not required to provide open space based on requirements for building types within the R-200 zone per Section 6.3.2 of the Zoning Code.

Division 6.4 General Landscaping and Outdoor Lighting

Division 6.4 of Chapter 59 of the Zoning Code provides minimum standards for quantity, size, location, and installation of landscaping and outdoor lighting on private property. These standards intend to preserve property values, preserve, and strengthen the character of communities, and improve water and air quality. The proposed landscaping and lighting satisfy all applicable design guidelines and streetscape standards. All proposed trees and plant materials meet the minimum required caliper and height at the time of planting, and some of the site landscaping elements contribute to stormwater management measures (where approved by MCDPS).

Per Section 59.6.2.9.C.1, a surface parking lot with 10 or more spaces must have landscaped islands that are a minimum of 100 contiguous square feet each comprising a minimum of 5% of the total area of the surface parking lot. The Site Plan Amendment complies with the 5% minimum requirement by providing 19,531 square feet, or 23.4% of the parking lot area, with existing and new landscaping.

Per Section 59.6.2.9.C.2, each surface parking lot must maintain a minimum tree canopy of 25% coverage at 20 years of growth, as defined by the Planning Board's Trees Technical Manual. A total of 20,907 square feet (25%) of total pavement area must be shaded, whereas the Amendment provides a total of 19,335 square feet (23.1%) for shade. In summary, Section 59.6.2.9.C.2 states that "Each parking lot must maintain a minimum tree canopy of 25% coverage at 20 years of growth". With a combination shading of existing and proposed canopy trees, provides 23.1%. Due to site constraints related to the layout of the existing parking lot and the Colonial Pipeline Easement that bi-sects the parking lot, the Applicant requests approval of a parking waiver under Section 59.6.2.10. to modify Zoning Ordinance Sections 59.6.2.9.C, Parking Lot Landscaping and Outdoor Requirements (associated with a parking lot for 10 or more spaces). Tree plantings within the easement area is prohibited and remaining areas outside of the easement area are constrained

as a result of the original parking lot design that was approved under requirements that pre-date the existing Zoning Code; therefore, the Applicant is unable to plant additional trees to fully meet the 25% coverage requirement. Furthermore, the Applicant is providing 23.4% of landscaped areas within the parking lot, which exceeds the 5% minimum requirement. Per Section 59.6.2.10 of the Zoning Ordinance, the Planning Board may waive the requirements contained in Division 59.6.2, if the alternative design satisfies Section 59.6.2.1 of the Zoning Ordinance, of which the intent is to ensure that adequate parking is provided in a safe and efficient manner. As discussed in the findings below, the Site Plan, as conditioned, satisfies the requirements for safe, adequate, and efficient parking.

The Site Plan Amendment also complies with the parking lot perimeter landscape requirements under Section 59.6.2.9.C.3. The portion of the Property's parking lot that abuts the right-of-way, the perimeter planting must be a minimum of six-feet-wide, whereas the portion of the parking lot that abuts a residential detached zone must be a minimum of 10 feet wide. The Plan complies.

The Proposal must comply with Section 59.6.2.9.C.4, parking lot lighting. The Application proposes to remove and relocate some of the existing light fixtures throughout the surface parking lot and install new parking lot fixtures. Following design requirements for lighting, the shielded light fixtures are appropriately spaced and oriented to reduce light glare. Overall, the proposed Site Plan Amendment meets the intent of these general development requirements and will not have adverse impacts on the existing community character but will rather enhance safety within the Site.

e. satisfies the applicable requirements of:

i. Chapter 19, Erosion, Sediment Control, and Stormwater Management; and

The Stormwater Management Section of the Montgomery County Department of Permitting Services (MCDPS) issued a letter accepting the stormwater management concept dated June 21, 2021 (SM File No. 286894). Stormwater management will be implemented through an environmental site design (ESD) plan that includes the use of two landscape infiltration facilities located to the north of the planned building addition, adjacent to existing parking areas.

ii. Chapter 22A, Forest Conservation.

This Project is exempt from the requirements of Article II of Chapter 22A (the Forest Conservation Law) and is in conformance with the Planning Department's Environmental Guidelines.

Environmental Guidelines

The Site contains no streams or stream buffers, wetlands or wetland buffers, 100-year floodplains, hydraulically adjacent steep slopes, or known occurrences of Rare, Threatened and Endangered species. The Site drains to the Great Seneca Creek watershed. Great Seneca Creek is a State Use Class I-P stream. The Site is not within a Special Protection Area or the Patuxent Primary Management Area.

Forest Conservation

There is no forest on the Property. An exemption from Article II of the Forest Conservation Law was confirmed for this Project on December 27, 2021. The Project is exempt from

Article II under Section 22A-5(t)(1) of the County Code because the Site is a modification to an existing non-residential developed property with no forest clearing, no impacts to a special protection area, does not require a preliminary plan, administrative subdivision plan, or conditional use/special exception, and does not increase the developed area by more than 50%.

A Tree Save Plan (TSP) was approved as part of the exemption confirmation. The TSP requires 10 trees to be planted in mitigation for the removal of specimen trees on the Site.

f. provides safe, well-integrated parking, circulation patterns, building massing and, where required, open spaces and site amenities;

Vehicular Access and Circulation

The existing access points from Warfield Road and Goshen Road, which currently serves the Subject Property will be maintained under the proposed Site Plan Amendment. The internal surface parking area will continue to provide circulation for the storage of private vehicles, pick-up/drop-off, deliveries, as well as other short-term parking needs. As illustrated on the submitted circulation plan sheets, vehicular and loading access to the existing church are proposed to continue to occur via both existing driveways from Goshen Road and Warfield Road. Consistent with previous approvals for the project, the Applicant proposes to continue to utilize the established internal parking area and drive aisles, that will provide access to the sanctuary and related parking areas to the side and front of the structure, in turn, preserving the movement of traffic along each respective property frontage.

Parking, Queuing, and Loading

The intent of the vehicle and bicycle parking requirements is to ensure that adequate parking is provided in a safe and efficient manner. No parking, deliveries, or other short-term parking needs will occur within the public right-of-way. The Applicant proposes to modify the surface parking area which includes accommodating six (6) new accessible parking spaces and five (5) standard spaces that are located nearest to the building entrance. This proposed modification will continue to meet the parking requirement for a minimum of 117 spaces per the current 2014 Zoning Ordinance, by providing the 198 vehicle spaces. The increase in off-street parking provided is appropriate for the nature of the use and intensity and is easily accessible from the abutting roads.

The Site Plan is subject to Section 59.6.2.4.C and Section 59.6.2.6. of the 2014 Zoning Ordinance for long-term and short-term bicycle parking. The Property requires one (1) long-term bike space, and two (2) short-term bike racks. The long-term bicycle parking space will be provided within the building and the short-term spaces are proposed adjacent to the northern building entrance.

Pedestrian and Bike Access and Circulation

Currently, there are no bicycle and pedestrian accommodations along the existing section of Goshen Road and Warfield Road. In 2016, the Master Plan recognized that “Montgomery Village is an area that does not possess a significant formal bicycle network, as there are currently no striped or separated bike lanes within the Plan area.” Through the master plan and subsequent planning efforts, the 2018 Bicycle Master Plan identifies a bi-directional sidepath along the west side of Goshen Road, in addition to a conventional striped bicycle lane on-street. Additionally, a bi-directional sidepath is also planned along the southern property frontage of Warfield Road. As conditioned, the Applicant is proposing to contribute a fee in-lieu payment towards the future construction of the planned eleven-foot-wide side paths and associated street buffers along each respective property frontage due to the forthcoming Goshen Road South MCDOT capital project.

While the capital project is tied to the construction of the sidepath and street buffer along the Applicant's frontage in conjunction with the overall road redesign from Girard Street to 1,000-feet north of Warfield Road, portions of Warfield Road will be graded and reconstructed to tie into improvements for the redesigned intersection.

Planning and MCDOT staff determined that a fee-in-lieu contribution, rather than construction, was the most appropriate approach to satisfying the master planned bikeway requirement. Under this approach, funds for construction will be specifically reserved for the Goshen Road South MCDOT capital project (CIP No. P501107). The Applicant prepared a cost estimate of the frontage improvements along both Warfield Road and Goshen Road which was reviewed and accepted by both MCDOT and MCDPS staff in September of 2021.

Transit

The Subject Property is serviced by Montgomery County Ride On with existing bus stops located within a ½ mile of the Property along Goshen Road and Wightman Road to the south. The nearest public transit route is Ride On Route 58, which operates along Goshen Road, providing service between the Lakeforest Mall Transit Center, Montgomery Village Center, the Montgomery County Safety Training Academy, and the Shady Grove Metrorail Station.

Building Massing and Architecture

The existing building is 36 feet tall, whereas the 6,000-square foot addition is proposed to be 22 feet high and is therefore in proportion to the existing structure. In keeping with the character of the surrounding neighborhood and the existing Site, architectural plans for the building addition address key features such as placement, building fenestration, and pedestrian walkways. The Amendment seeks to incorporate a design that is sensitive to the church building's existing architecture by incorporating similar characteristics and patterns. The proposed addition will have brick veneer, window details, hidden covered entry, and aluminum clad wood entry doors that matches the main building.

Open Space and Site Amenities

As previously noted, the Applicant is not required to provide open space based on requirements for building types within the R-200 zone per Section 6.3.2 of the Zoning Code.

Other site amenities will enhance the development with sidewalks, parking lot lighting, and landscaping. The Applicant is contributing a fee in lieu of master-planned bicycle facilities which will eventually enhance the development along the Subject Property's frontage in accordance with the Bicycle Master Plan.

g. substantially conforms with the recommendations of the applicable master plan and any guidelines approved by the Planning Board that implement the applicable plan;

The proposed building expansion remains in substantial conformance with the recommendations of the *Montgomery Village Master Plan* as outlined below.

Master Plan Compliance

The Master Plan does not include specific recommendations for the Site; however, it lays out general recommendations for the plan area. The Site Plan Amendment substantially conforms to the five (5) major recommendations within the 2016 *Montgomery Village Master Plan* ("Master Plan"), as listed and summarized below.

- Preserve the Village's Character
- Maintain the Village's Recreation and Open Spaces
- Encourage Reinvestment in the Village's Centers
- Enhance the Village's Connectivity
- Implement the Montgomery Village Overlay Zone

Village Character

A key goal of the Master Plan is to preserve the character of the Village. The majority of land in Montgomery Village consists primarily of residential uses and the Master Plan states that it does not recommend or anticipate change occurring in the residential neighborhoods. The Subject Property is a long-standing religious use surrounded by other religious uses, educational institutions, single-family dwellings on large lots, and open space. The Proposal seeks to expand the existing one-story building footprint from 16,708 square feet to a total of 22,708 square feet of gross floor area. The building is setback a substantial distance from both Goshen Road and Warfield Road frontages and is buffered from the public rights-of-way by surface parking and dense parking lot landscaping and perimeter landscaping. Proportional to the Site area, the building addition is minimal and will not change the Site's character, nor impact the character of abutting properties, and will continue to help sustain the well-established neighborhood.

Recreation and Open Spaces

According to the Master Plan, one of the Village's unique features is its vast open spaces and more than 40% of Montgomery Village consists of common open spaces. Per the Plan, "the overall environmental goal is to allow limited redevelopment to occur without compromising the environmental quality of this area. Redevelopment should respect and incorporate the natural environment and maintain the Village's existing open spaces" (page 38). Due to the existing use, public and common open spaces are not required. Nevertheless, the Site is in close proximity to public open spaces. The Proposal does not hinder access to open spaces within the Village. Furthermore, by way of the Applicant's financial contribution towards master-planned bicycle facilities along the Site's frontages, the Site Plan Amendment will help to shape the public realm and assist existing and future residents and visitors in reaching key community assets that are nearby. Additionally, the Master Plan also has a goal of incorporating enhanced tree canopy into the landscape design. The Application addresses this goal by providing parking lot tree canopy and the exceeding the 5% minimum requirement for parking lot landscaped islands.

Reinvestment in the Village's Centers

The *Montgomery Village Master Plan* identifies several sites where new development or redevelopment may occur, whereas the Subject Property is not highlighted as a property of interest within the Upper Village. Therefore, general attributes recommended for redevelopment within the Village do not apply directly but can be referred and applied broadly to this Proposal. The Master Plan prioritizes development that is compatible in scale and density to adjacent existing residential communities and encourages quality building and site design. The Subject Application density and building heights are consistent with the Montgomery Village Master Plan's recommendations. The proposed 6,000-square foot building addition is within the 50-foot height limit and the Project's overall density is within the Master Plan's density recommendations.

Enhance the Village's Connectivity

The Master Plan encourages increased options for mobility and connectivity by all modes of travel, whereas the Proposal supports this goal by providing enhanced pedestrian connections within the Site and offers to contribute to an important multimodal, master-planned sidepath connection

that will help close the gaps between the Site, abutting developments, the nearby park, and other destinations in close proximity.

Master Planned Roadways

The proposed Site Plan Amendment adequately addresses the recommendations of several existing roadways associated with the development.

Goshen Road: Goshen Road is a Major Highway, M-25, with a planned right-of-way width of 105-feet. Per the Master Plan of Highways and Transitways, the Major Highway is planned to be widened to four lanes from its current two-lane design. Construction and/or potential dedication of right-of-way beyond the existing 120-foot width for the road expansion will occur as part of the Goshen Road South MCDOT capital project (P501107), as it relates to the future engineering and design of the alignment of the roadway.

As recommended by the 2016 *Montgomery Village Master Plan* and 2018 *Bicycle Master Plan*, a sidepath is planned for Goshen Road, which is consistent with Boulevard standards within the *Complete Streets Design Guide*. As conditioned, the Applicant will make a financial contribution in-lieu of building the master planned sidepath and associated buffer from vehicular traffic. The final details of the contribution in-lieu of construction will be approved by MCDOT prior to issuance of the right-of-way permit.

Warfield Road: Warfield Road is classified as a 70-foot-wide two-lane Country Road, CR-1, with an existing 70-foot-wide public right-of-way. As a Country Road, it is currently built to its planned two-lane configuration, without sidewalks on either side of both road frontages. Given the scope of the Applicant's project, as well as the timing of the programmed streetscape improvements, the Applicant proposes to maintain the existing right-of-way along the Property's frontage with Warfield Road. Similarly, to the frontage requirements for Goshen Road, a sidepath is planned along the Property frontage per the *Montgomery Village Master Plan* and *Bicycle Master Plan*, consistent with the Country Road standards in the *Complete Streets Design Guide*.

Master Planned Bikeway

Per the Bicycle Master Plan, the following bikeway recommendations are planned along each respective street frontage of the Subject Property: a) Goshen Road: 11-foot-wide sidepath with an 8-foot-wide buffer from traffic, and b) Warfield Road: 10-foot-wide sidepath with a 6-foot-wide buffer from the street. The Applicant proposes a fee-in-lieu contribution towards the future construction of the required sidepath and street buffer improvements along Warfield Road due to the frontage being included as part of the Goshen Road capital project. Therefore, the proposed Site Plan Amendment is in substantial conformance with the Bicycle Master Plan. While this Site Plan Amendment application requests to not construct the sidepaths along either property frontage, construction of the building expansion and associated improvements to the parking area will not preclude construction for the planned infrastructure.

Montgomery Village Overlay Zone

The 2016 *Montgomery Village Master Plan* recommended an overlay zone to assist with preserving the unique Village character of the Village, protecting existing open space, and ensuring compatibility with new and existing development. The Proposal complies with the intent of the Overlay Zone.

- h. will be served by adequate public services and facilities including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public facilities.***

Local Area Transportation Review

The Applicant filed a transportation statement, which included an assessment of the proposed increase of 6,000 square feet for the religious institution use. The transportation statement stated that the Project would have 16 additional morning net new person trips, while generating 24 additional evening net new person trips. Per the 2021 LATR Guidelines, motor vehicle, transit, bicycle, and pedestrian adequacy are required for new developments which feature an increase of 50 or more person trips. As such, under the 2020-2024 Growth and Infrastructure Policy, a traffic study is not required to satisfy the LATR test.

Schools

Due to the proposed expansion of a non-residential use, this Application is not subject to the Annual School Test.

Other Public Facilities and Services

The Site will be adequately served by public water and sewer, of which these mains currently service the Property. Therefore, there are adequate water and sewerage facilities to serve the Site. Dry utilities including gas, electricity, and telephone currently serve the Property. Fire access for the Site Plan Amendment has been deemed adequate according to a letter issued on December 21, 2021, by the Montgomery County Department of Fire and Rescue Service. Additionally, the Project will be serviced by adequate police, fire, and health services.

- i. on a property in a Rural Residential or Residential zone, is compatible with the character of the residential neighborhood; and***

The Proposal is compatible with existing uses in nearby developments. The Saint John Neumann Catholic Parish Church is close to numerous religious facilities, including Gaithersburg Church of the Nazarene and Goshen Spanish Seventh-day Adventist Church directly across Warfield Road to the north of the Site, and the Mother of God School and St. Barnabas Indian Orthodox Mission to the east directly across Goshen Road to the east, along with other surrounding educational uses. Further, the layout of the proposed building expansion establishes a compatible relationship with the original building by minimizing bulk and height and creating uniformity with similar brick façade materials and fenestration. Additionally, the Project is separated from the abutting existing roadway and residential uses to the south and west by a substantial landscaped buffer. The Amendment does not propose any reduction to the existing landscaped separation, but instead proposes additional landscaping within the Site.

Compatibility with these existing abutting land uses is also achieved via multi-modal connections between the Property and proposed and future infrastructure improvements. The Site Plan amendment includes new sidewalk connections that will eventually tie into the broader master-planned sidepaths that are proposed for both frontages of the Subject Property along Warfield and Goshen Roads. While the Project is compatible with existing adjacent development, there are not recently approved or pending development within one mile of the Subject Property. Therefore, the Site Plan Amendment for the church building expansion and associated site improvements is compatible with existing adjacent development.

- j. on a property in all other zones, is compatible with existing and approved or pending adjacent development.**

Not applicable.

Community Correspondence

The Applicant conducted the required pre-submission meeting with the surrounding community on March 23, 2021 in a virtual format as permitted temporarily by the Planning Department's COVID-19 procedures. The Applicant provided notice for the pre-submission community meeting in accordance with the requirements set forth in the Administrative Procedures for Development Review and the Zoning Ordinance and made presentation materials available prior to the meeting via email request and during the meeting. A total of three (3) members of the community were in attendance and raised the following concerns:

- Rooftop runoff to existing pipes
 - *Response: The runoff from the new addition will be directed to the north end of the Site, away from the adjacent residences, and will primarily be captured and treated within one of the new stormwater management facilities or in the existing stormwater management facility along Warfield Road.*
- Location of proposed air conditioning units and potential noise
 - *Response: Eight (8) new air conditioning units will be needed for the new addition, four on the east side and four on the west side. The units will be standard size and each unit will manage a specific area of the new addition. Typically, one to two units will be in operation at any given time.*
- Additional parking lot lighting
 - *Response: Existing bollard lights near the existing church entrance will be removed and new LED bollard lights will illuminate the new pathways.*

Subsequent to the pre-submission community meeting, Staff has not received additional public correspondence.

SECTION 6

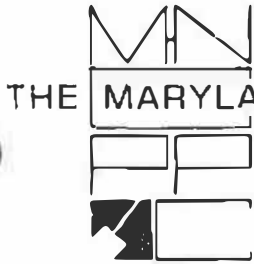
CONCLUSION

This Application is in conformance with the applicable requirements established in the Montgomery County Code, Chapter 59, the Montgomery County Zoning Ordinance in effect on October 30, 2014 applicable to the R-200 Zone, and Chapter 22A, Forest Conservation Law, and the 2016 *Montgomery Village Master Plan*. All previous conditions of approval and Planning Board findings remain in force and effect. The proposed building expansion and site modifications do not alter the overall character or impact the development with respect to the original findings of approval under Site Plan No. 819810460. These modifications will not affect the compatibility of the development with respect to the surrounding neighborhood. This Application has been reviewed by other applicable County agencies, all of which have recommended approval of the Application with conditions. Staff recommends approval of this Site Plan Amendment No. 81981046A with the conditions listed at the beginning of the Staff Report.

ATTACHMENTS

- A. Prior Approvals
- B. Agency Letters

ATTACHMENT A



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MONTGOMERY COUNTY PLANNING BOARD

OPINION

DATE MAILED: March 11, 1997

SITE PLAN REVIEW # 8-81046 AMENDMENT

PROJECT: St. John Neumann Parish

Action: Approval. Motion to approve the application was made by Commissioner Baptiste, seconded by Commissioner Richardson, with a vote of 4-0. Commissioners Baptiste, Holmes, Hussmann and Richardson were present and Commissioner Aron was absent.

The date of this written opinion is March 11, 1997 (which is the date that this opinion is mailed to all parties of record). Any party authorized by law to take an administrative appeal must initiate such an appeal, as provided in the Maryland Rules of Procedure, on or before April 11, 1997 (which is thirty days from the date of this written opinion). If no administrative appeal is timely filed, then this project shall remain valid until April 11, 2000 (which is the date that the validity period associated with the preliminary plan is set to expire as of the date of this opinion), as provided in Section 59-D-3.8.

On March 6, 1997, Site Plan 8-81046A was brought before the Montgomery County Planning Board for a public hearing. At the public hearing, the Montgomery County Planning Board heard testimony and received evidence submitted in the record on the application. Based on the testimony and evidence presented and on the staff report with modifications to the conditions hereby adopted by the Montgomery County Planning Board which is made a part hereof, the Montgomery County Planning Board finds:

1. The site Plan is consistent with the approved development plan or a project plan for the optional method of development, if required;
2. The Site Plan meets all of the requirements of the zone in which it is located;
3. The locations of the buildings and structures, the open spaces, the landscaping and the

pedestrian and vehicular circulation systems are adequate, safe and efficient;

4. Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development;
5. The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation.

The Montgomery County Planning Board APPROVES Site Plan Review # 8-96018 which consists of 3,720 sf for an education wing and chapel with the following conditions:

1. Standard conditions of Approval dated February 28, 1997 (Appendix A), attached.
2. The applicant shall enter into an Adequate Public Facilities Agreement that will not expand the use of the property beyond its original site plan approval ie, the additional space will not be used as a weekday private school or a weekday daycare center. This APF agreement shall be referenced in the Site Plan Enforcement Agreement.
3. M-NCPPC staff shall review the locations of the proposed screen planting prior to installation to assure a complete and continuous screen along the southern boundary.
4. M-NCPPC staff shall review the final roof drainage outfall design along the southern boundary to assure reduced runoff to the adjoining rear yards.

APPENDIX A: STANDARD CONDITIONS OF APPROVAL DATED February 28, 1997:

1. Submit a Site Plan Enforcement Agreement and Development Program for review and approval prior to approval of the signature set as follows:

Development Program to include a phasing schedule as follows:

- 1) Community-wide pedestrian pathways must be completed prior to occupancy of the additions;
 - 2) Landscaping associated with the building shall be completed as construction is completed;
 - 3) Pedestrian pathways associated with each facility shall be completed as construction of each facility is completed.
 - 4) Clearing and grading to correspond to the construction phasing, to minimize soil erosion;
 - 5) Phasing of landscaping stormwater management, sediment/erosion control, paths, or other features.
2. Signature set of site, landscape/lighting and sediment and erosion control plans to include for staff review prior to approval by MCDPS:
 - a. Limit of disturbance;
 - b. Methods and location of tree protection;
 - c. Relocation of stormwater facility outfall from pond away from forest preservation or other environmentally sensitive areas;
 - d. Conditions of MCDPS Concept approval letter dated January 17, 1997;
 - e. Note stating the M-NCPPC staff must inspect tree-save areas and protection devices; prior to clearing and grading;
 - f. The development program inspection schedule;
 - g. Tree preservation boundary;
 - h. Parking lot trees 40 feet on center within islands;
 - i. location of outfall away from tree preservation areas;
 3. Forest Conservation Plan (submittal of NRI) shall satisfy all conditions of approval prior to recording of plat and MCDPS issuance of sediment and erosion control permit.
 4. No clearing or grading prior to Planning Department approval of signature set of plans.

ATTACHMENT B



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

June 21, 2021

Ms. Laura Searles
Macris, Hendricks & Glascock, P.A.
9220 Wightman Road, Suite 120
Montgomery Village, MD 20886

Re: **COMBINED STORMWATER MANAGEMENT
CONCEPT/SITE DEVELOPMENT
STORMWATER MANAGEMENT PLAN** for
St. John Neumann Catholic Church, 9000
Warfield Road
Preliminary Plan #: N/A
SM File #: 286894
Tract Size/Zone: 4.07 Ac or 177,290 SF / R-200
Total Concept Area: TBD
Parcel(s): E
Watershed: Seneca Creek

Dear Ms. Searles:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above-mentioned site is **acceptable**. The stormwater management concept proposes to meet required stormwater management goals via landscape infiltration.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
2. An engineered sediment control plan must be submitted for this development.
3. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 **is not required**.

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this



2425 Reedie Drive, 7th Floor, Wheaton, Maryland 20902 | 240-777-0311
www.montgomerycountymd.gov/permittingservices

Ms. Searls
June 21, 2021
Page 2 of 2

office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Jean Kapusnick, P.E. at jean.kapusnick@montgomerycountymd.gov or at 240-777-6345.

Sincerely,



Mark C. Etheridge, Manager
Water Resources Section
Division of Land Development Services

MCE: jak

cc: SM File # 286894

ESD: Required/Provided 3,266 cf / 3,354 cf
PE: Target/Achieved: 1.8"/1.85"
STRUCTURAL: 0.0 cf
WAIVED: 0.0 ac.

81981046A Saint John Neumann Catholic Parish

Contact: Sam Farhadi at 240 777-6333

We have reviewed site plan file:

“07-SITE-81981046A-003.pdf V2” uploaded on/ dated **“9/22/2021”**.

The followings need to be conditions of the certified site plan:

1. Prior to issuance of any building permit:
 - a. To ensure both site access points safety, the applicant needs to verify the feasibility and reduce curb radii to minimum that will accommodate the site traffic (typically no more than 25'). This can be accomplished through a ROW restoration permit.
 - b. Provide a fee-in-lieu contribution of \$43,218.43 to Goshen Road South CIP 501107 as submitted to and approved by MCDOT.



**Department of Permitting Services
Fire Department Access and Water Supply Comments**

DATE: 21-Dec-21
TO: Stephen Crum - scrum@mhgpa.com
Macris, Hendricks & Glascock
FROM: Marie LaBaw
RE: Saint John Neumann Catholic Parrish - Addition
81981046A

PLAN APPROVED

1. Review based only upon information contained on the plan submitted **21-Dec-21** .Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

***** New building - see statement of performance based design for access to existing building *****

KPT

ENGINEERING

*Fire Protection Engineers, Building and
Life Safety Code Consultants*

P.O. Box 224, 10325 Kensington Parkway
Kensington, MD 20895-0224
(301) 351-9196

December 1, 2021

Dr. Marie LaBaw, PHD
Department of Permitting Services
Montgomery County Maryland
2425 Reddie Drive
Wheaton, MD 20902

**Re: Access Issues
St. John Neumann Catholic Church, Gaithersburg, MD**

Dear Dr. LaBaw:

This letter is to follow up your and my discussion concerning the access issue to the existing above referenced church once the proposed addition is constructed. As you are aware, I have been working with the architect of record (Franck & Lohsen Architects) concerning the constructability of a proposed solution to this issue that you raised during plans review.

The specific issue is the ability of the fire department to safely access the front entry of the existing structure after the addition is constructed. A plan was previously proposed and approved in concept by you where a 2 hour fire resistance rated access 'corridor' would be provided through the addition to the existing building entry door (see attached).

I had concerns over the constructability of the vertical fire barriers where the walls would run perpendicular to the truss assemblies. The walls are typically required to extend to the underside of the roof deck. As an alternative, the walls that run perpendicular to the trusses will terminate below the trusses and a 2 hour fire resistance rated horizontal assembly will be provided spanning between the walls. This will eliminate the need to extend these walls to the roof deck. The horizontal assembly will be supported by the rated walls and not be attached to the roof trusses. The current proposed solution includes both vertical and horizontal fire barriers (see attached).

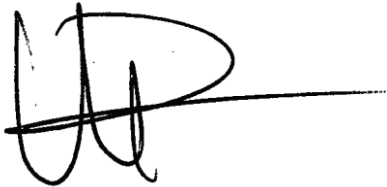
The proposed horizontal assembly will be constructed with a C-H stud utilizing a 1" gypsum wallboard shaft liner and two layers of 1/2" Firecode C Gypsum Wallboard. This assembly is rated 2 hours for horizontal ceiling assemblies. (see attached)

**St. John Neumann Catholic Church
Letter**

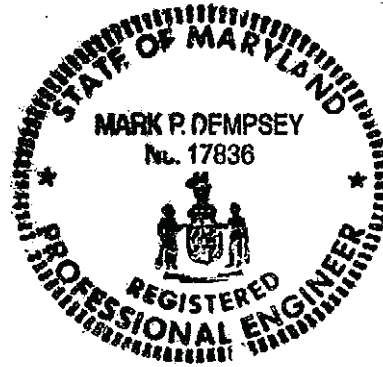
**December 1, 2021
Page 2 of 2**

It is my opinion that the proposed design meets the intent of the solution to provide a 2 hour protected path to the existing building main entry. I hope this information is helpful. Please contact me if you have any questions or require anything further.

Sincerely,



Mark P. Dempsey, P. E.
President



DocuSigned by:
Mark Dempsey, PE
12/21/2021

FIRE CODE ENFORCEMENT

Fire Department Access Review

Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation

BY: SAC FM: 43 DATE: 12/21/2021

*** New building - see statement of performance based design for access to existing building ***



FRANCK & LOHSEN
ARCHITECTS

April 15, 2021

Dr S Marie LaBaw PhD, PE
Fire Department Access and Water Supply
Department of Permitting Services
Montgomery County, MD
via email: Marie.LaBaw@montgomerycountymd.gov

Dear Dr Labaw,

We would like to respectfully submit a proposed separate and abutting structure to the St. John Neumann Catholic Church for review by the Montgomery County Fire Department Access Group. The church is a 1980's red/brown brick building located on a corner lot at the intersection of Warfield Road and Goshen Road and the proposed structure will abut the front (plan north) of the existing building.

The needs driving the project are as follows:

- **Narthex:** The church needs a place for parishioners to gather before and after Masses. St. John Neumann is a very active and social parish. It also needs a bit more distance and acoustical separation from the church nave. The parish would also like the front entry to be a bit more obvious from the parking area.
- **Parish Offices:** Currently, the parish offices are scattered within the church building and at the rectory, a separate building located a 10 minute drive away. The parish needs to consolidate all of the parish offices, and to have a suitable spot for a reception area to greet visitors arriving at the church.
- **Conference Room:** A conference room is needed for parish meetings, with integrated capabilities for Zoom meetings.
- **Adoration Chapel:** The parish has people who participate in perpetual adoration in a small office that is being used as a chapel. This addition features a purpose-built chapel. This chapel is located on the corner so that it is an invitation to prayer and worship. This chapel will be accessed at all hours via a keypad entry at the new front entry porch.

The proposed work is as follows:

- The existing building is 3B un-sprinklered and the sacristy and confessional will be renovated.
- The rating of the abutting existing and proposed walls are 2 hours each.
- The proposed structure is 5A sprinklered and includes a Narthex, parish offices, a conference room, and an adoration chapel. The chapel is use-group A-3 and the remaining spaces are B (ref IBC 303.4).
- The new narthex will be a fire protected corridor (ref IBC Table 1020.1), but with 2 hour rated walls and 90 min doors as per AHJ request.

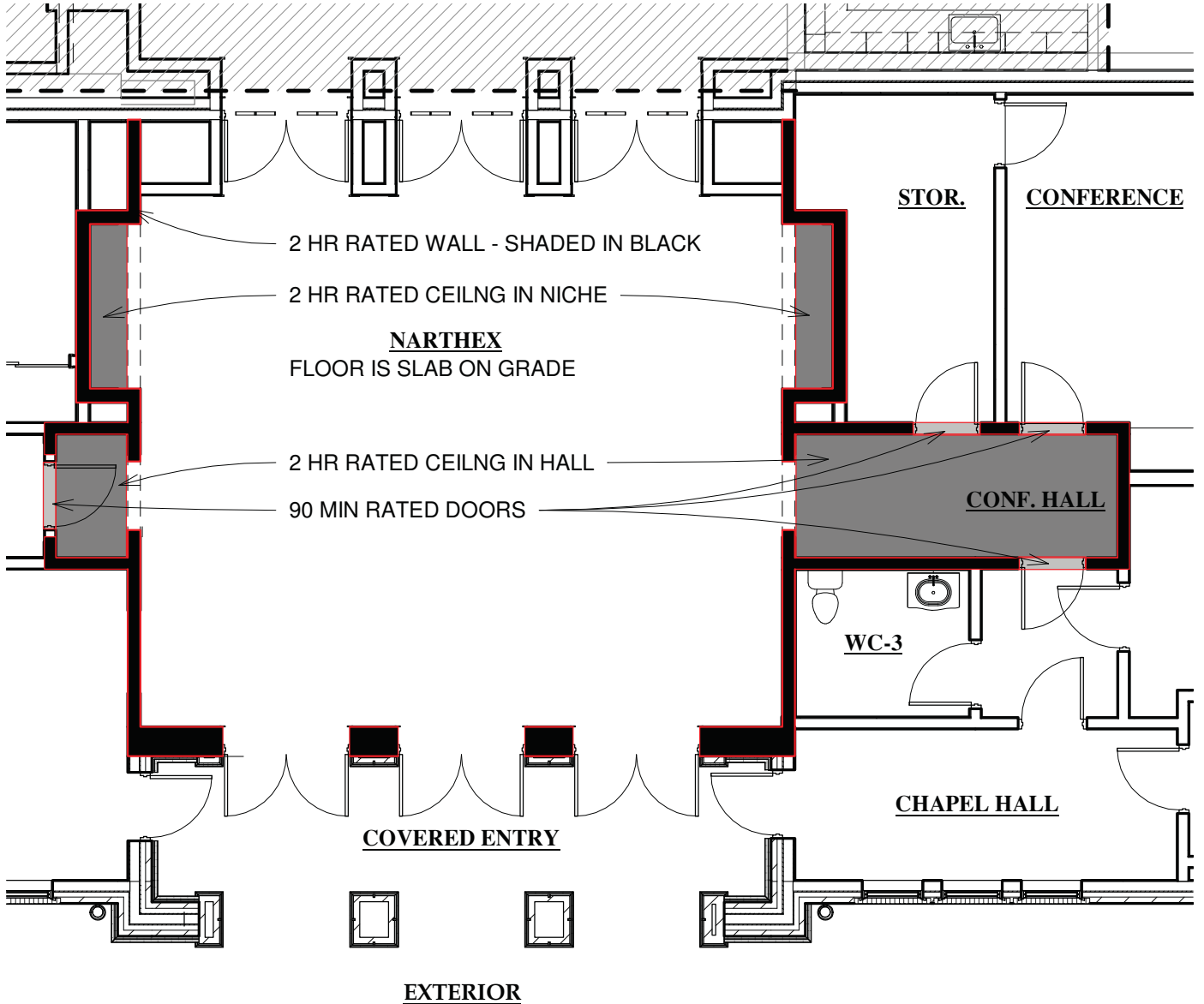
This addition has been designed to meet a range of needs that the parish must address, including a limited budget. We are grateful for your insight. Please let me know if you have any questions.

Sincerely,

Marlan S. Laurenzi, RA, LEED AP
Project Architect
Marlan@FranckLohsen.com

DocuSigned by:
Art Lohsen, AIA
90A734BC2D2B402...
Arthur C. Lonsen, AIA
Architect of Record
12/17/2021





scale: 1/8" = 1'-0"
04-15-2021



St. John Neumann Catholic Parish Church
FIRE DEPARTMENT
ACCESS-EXHIBIT

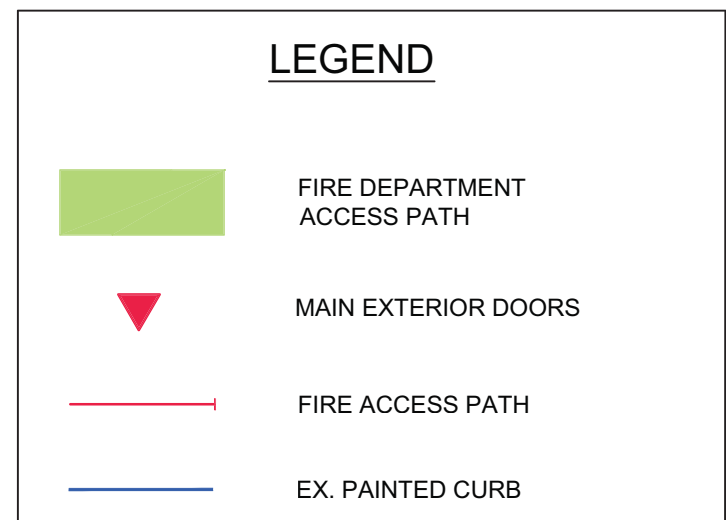
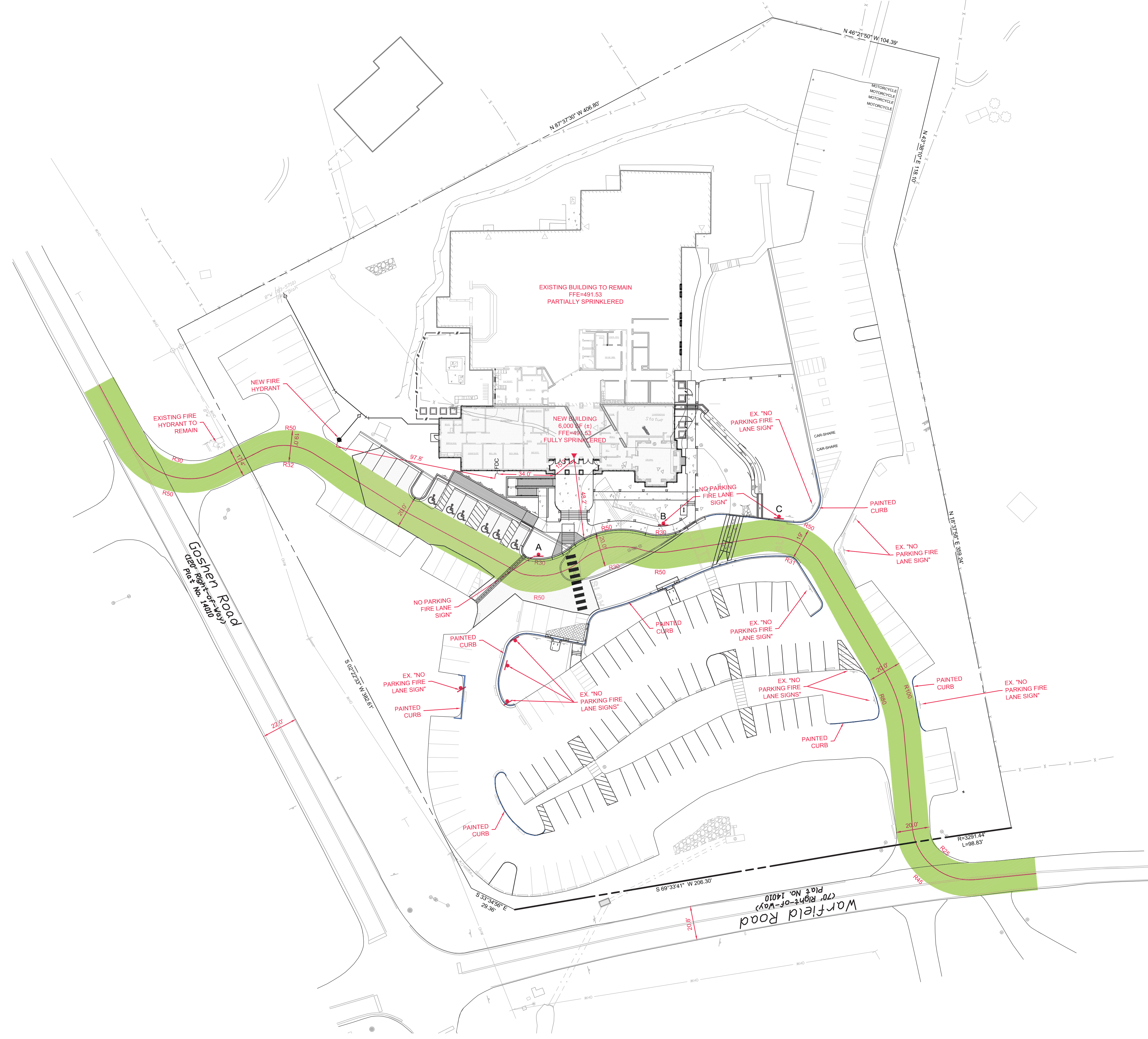
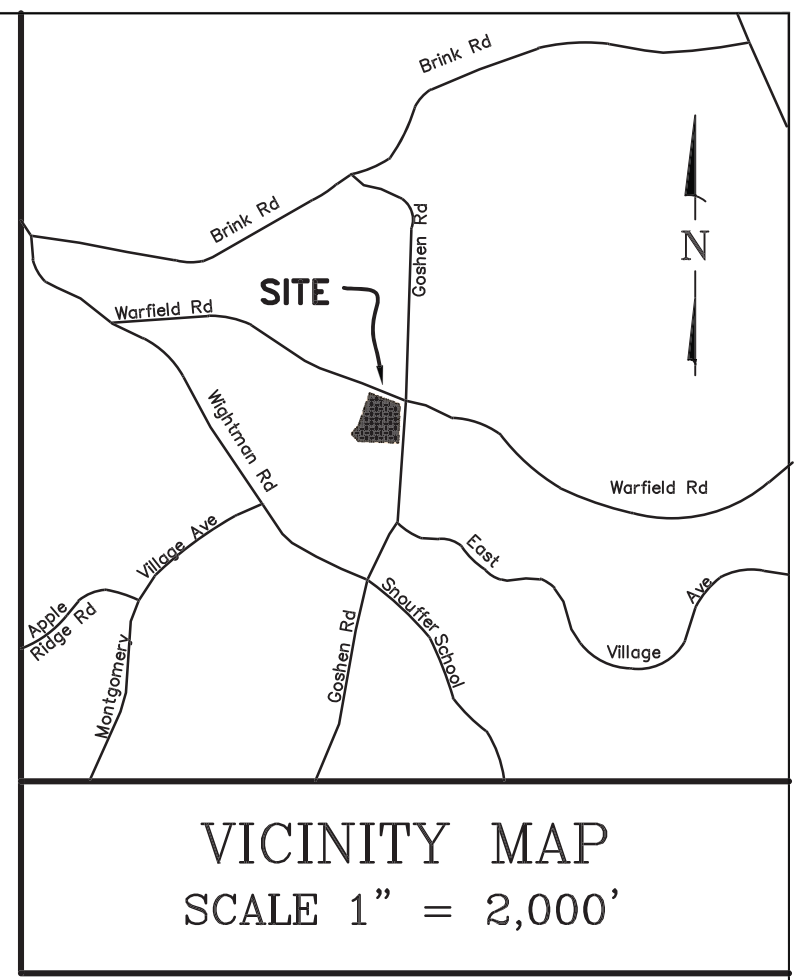
D

Horizontal Membrane

Steel Framed



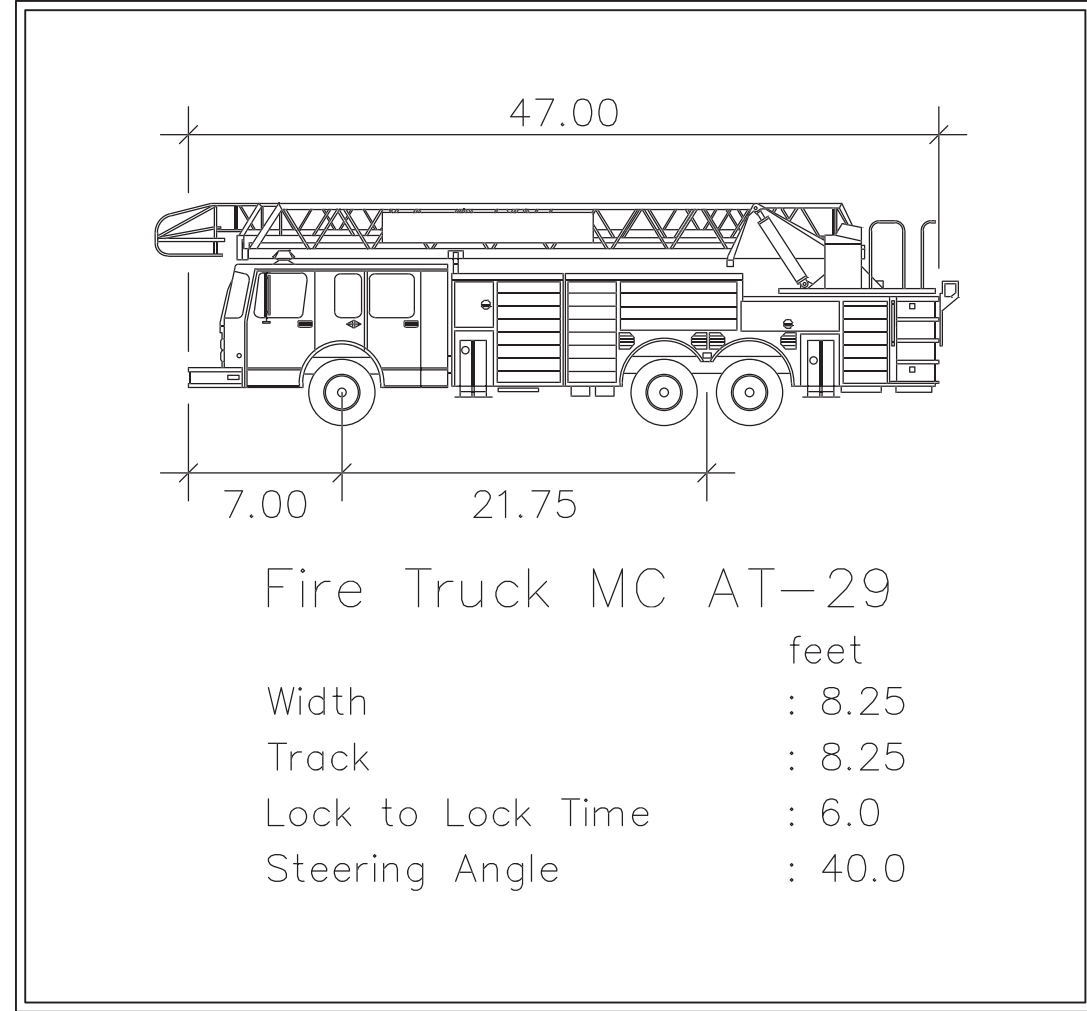
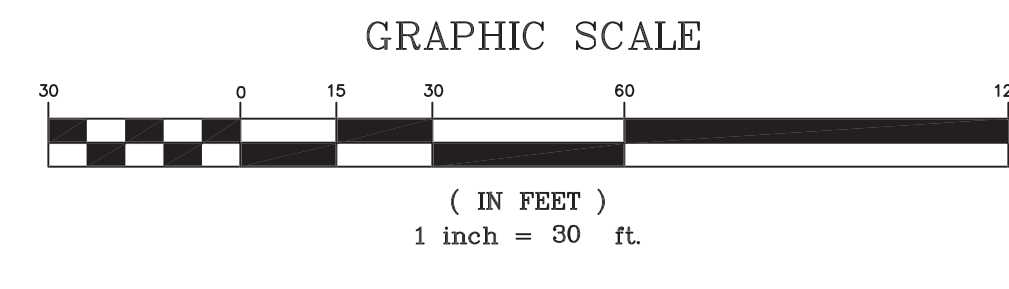
1 Hour Fire-Rated Construction		Non-Loadbearing	Acoustical Performance		Reference
Construction Detail	Description	Report Number	STC	Test Number	Index
	– corridor ceiling, and stair soffit • 1" SHEETROCK brand gypsum liner panels • 5/8" SHEETROCK FIRECODE C Core gypsum panels • USG steel C-H stud spanning horizontally 24" o.c. • USG steel J-runner – joints finished	AER-09038			D-1
	– corridor ceiling, and stair soffit • 1" SHEETROCK brand gypsum liner panels • 1/2" SHEETROCK FIRECODE C Core gypsum panels • USG steel C-H Stud spanning horizontally 24" o.c. • USG steel J-runner – joints finished	AER-09038			D-2
	– horizontal membrane or metal duct enclosure • 1" SHEETROCK liner panels • 1/2" SHEETROCK FIRECODE C Core gypsum panels • USG Steel C-H stud spanning horizontally 24" o.c. – joints finished	WHI-495 PSH0154/0167			D-3



NOTES:
1) REFER TO STATEMENT OF PERFORMANCE BASED DESIGN FOR ADDITIONAL DETAILS REGARDING THE ACCESS TO THE EXISTING BUILDING THROUGH THE NEW BUILDING.

FIRE CODE ENFORCEMENT
Fire Department Access Review
Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation.
BY: *S.M.C.* PW. 43 DATE: 2/21/2021

*** New building - see statement of performance based design for access to existing building ***



REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP FUE3 W58C 228RW09
PLAT 14010
1ST ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

MONTGOMERY VILLAGE
PLEASANT RIDGE EAST
PARCEL E

PROJ. MGR DCM
DRAWN BY PGL
SCALE 1" = 30'
DATE 10.14.2020

FIRE DEPARTMENT
APPARATUS ACCESS PLAN
ADDITION TO SAINT JOHN
NEUMANN CATHOLIC
PARISH
C2.40
PROJECT NO. 80.138.34
SHEET NO. 1 OF 1

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December 27, 2021

Frank Johnson
Macris, Hendricks, & Glascock, P.A.
9220 Wightman Rd, Suite 120
Montgomery Village, MD 20886

Re: Forest Conservation Exemption Request
#42021091E Saint John Neumann Parish

Dear Mr. Johnson,

Based on the review by staff of the Montgomery County Planning Department, the Forest Conservation Exemption/Tree Save Plan request submitted for the plan identified above, is confirmed. The project site is exempt from Article II of the Montgomery County Code, Chapter 22A (Forest Conservation Law), Section 22A-5(t)(1) because the site is a modification to an existing non-residential developed property where:

- (A) no more than 5,000 square feet of forest is ever cleared at one time or cumulatively after an exemption is issued;
- (B) the modification does not result in the cutting, clearing, or grading of any forest in a stream buffer or forest located on property in a special protection area which must submit a water quality plan;
- (C) the modification does not require approval of a preliminary plan, administrative subdivision plan, or conditional use/special exception;
- (D) the modification does not increase the developed area by more than 50%, and any existing principal building, as defined in Chapter 59, is retained; and
- (E) the pending development application does not propose any residential uses

A Tree save Plan was required per 22A-6(a), which specifies trees to be planted as mitigation for the loss of Specimen Trees. Plantings are to be completed at the direction of the Forest Conservation Inspector.

Any unauthorized changes from the approved exemption request may constitute grounds to rescind or amend any approval actions taken and to take appropriate enforcement actions. A



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION



2425 Reedie Drive
Floor 14
Wheaton, MD 20902



MontgomeryPlanning.org

pre-construction meeting is required after the limits of disturbance have been staked prior to clearing and grading. The property owner, construction superintendent, forest conservation inspector, and the Montgomery County Department of Permitting Services sediment control inspector shall attend this meeting. If you have any questions regarding these actions, please feel free to contact me at 301-495-4603 or at michael.sharp@montgomeryplanning.org.

Sincerely,

Michael J. Sharp

Michael Sharp
Senior Planner, Forest Conservation Inspector
M-NCPPC