

## RONALD MCNAIR ELEMENTARY SCHOOL

MANDATORY REFERRAL NO. MR2022014



### Description

Construction of a new addition to Ronald McNair Elementary school to address MCPS programmatic and safety standards/requirements, fire access requirements, Montgomery County stormwater requirements, and site constraints.

No. MR2022014

Completed: March 10, 2022

MCPB

Item No. 9

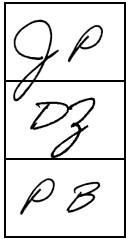
March 17, 2022

2425 Reddie Drive

Floor 14

Wheaton, MD 20902

## Planning Staff



Josh Penn, Planner Coordinator, Upcounty Planning, [Joshua.Penn@montgomeryplanning.org](mailto:Joshua.Penn@montgomeryplanning.org), 301-495-4546

Don Zeigler, Supervisor, Upcounty Planning, [Donnell.Zeigler@montgomeryplanning.org](mailto:Donnell.Zeigler@montgomeryplanning.org), 301-495-4511

Patrick Butler, Chief, Upcounty Planning, [Patrick.Butler@montgomeryplanning.org](mailto:Patrick.Butler@montgomeryplanning.org), 301-495-4561

### LOCATION

13881 Hopkins Road  
Germantown, MD 20901

### MASTER PLAN

1989 *Germantown Master Plan*

### ZONE

R-60

### PROPERTY SIZE

10.0 Acres

### APPLICANT

Montgomery County Public Schools (MCPS)

### ACCEPTANCE DATE

January 18, 2022

### REVIEW BASIS

Maryland Land Use Article, Section 20-301



## Summary:

- Staff recommends Approval of the Mandatory Referral with recommendations.
- Proposal to build a 13,006 square foot addition onto the existing Ronald McNair Elementary School and eliminate onsite portables.
- The front entrance of the school and the area between the school and the drive aisle were improved and enlarged while the proposed parking in front of the school was removed entirely.
- The project does not propose pedestrian or bicycle improvements. Access to the site for cyclists and pedestrians will remain limited. Recommended improvements are included in this report.

## SECTION 1:

### RECOMMENDATIONS

Staff recommends approval of Ronald McNair Elementary School Mandatory Referral Plan No. MR2022014, for construction of a new addition on 10.0 acres, zoned R-60, in the 1989 *Germantown Master Plan* area, with the following recommendations:

- Construct an 11-ft wide shared use path along the frontage with Hopkins Rd. and a connecting route to this facility into the site.
- Add short and long-term bicycle parking. Short-term bike parking is recommended at a rate of 0.05 per student and long-term bike parking at 0.10 per employee.
- Explore options to eliminate the proposed retaining wall in front of the proposed building extension, or other options to increase pedestrian access.
- Provide a pedestrian access point to Leaman Park in the rear of the Property.
- Coordinate with MCDOT to improve pedestrian access and safety at Steeple Rd. / Hopkins Rd. and Eternity Rd. / Hopkins Rd. intersections.
- Provide a more direct pedestrian connection to Hopkins Rd. from the main school entrances, potentially via stairs or ramp.
- Reduce the pavement width of the bus and access points to reduce pedestrian crossing distance.
- Provide crosswalks across Steeple Rd. at the two bus access points.

## SECTION 2:

### INTRODUCTION

#### Review Process

Concept Plan No. 520210290 was reviewed by Planning staff and other regulatory review agencies and comments were provided to the Applicant on August 3, 2021. The comments at the time were supportive of the Application, with most of the requests for revisions being related to transportation and site design. As a result of some of these comments, the proposed addition and access improvements and parking were adjusted. The front entrance of the school and the area between the

On January 18, 2022, this Mandatory Referral was accepted for staff review. After reviewing the submitted Mandatory Referral, Montgomery Planning staff and other reviewing agencies reiterated some of the comments provided at Concept Plan review that remained to be addressed. Several stated comments were addressed after communications between MCPS's team of consultants, reviewing agencies, and Planning staff.

## PROJECT DESCRIPTION

Ronald McNair Elementary School site is located at 13881 Hopkins Road in Germantown. It is in the northwest quadrant of the intersection of Hopkins Road and Steeple Road (see Figure 2). It is bounded on the west by Leaman Local Park and to the east by Steeple Road. There are single-family attached to the north, east and southeast. To the south are single family detached houses. To the east across Steeple Road is the Manchester Farm community center and pool. The site and surrounding areas are all zoned R-60.



Ronald McNair Elementary School – MR2022014 3



## Site Description

The site consists of part of Parcel 44, as shown on Record Plat 15807, which is approximately 10.0 acres (“Site” or “Property”). The Site is the current location of Ronald McNair Elementary school and is developed with the existing school, parking, drive aisles, portable classrooms, and ballfields. There is no existing forest or other environmental features onsite. The Site is generally flat with the school sitting on the highest elevation on the south side of the Property.



Figure 2: Subject Property

## Project Description

Montgomery County Public Schools (“Applicant”) is proposing to build a 13,006 square foot addition to the existing Ronald McNair Elementary School (“Application”).

The primary purpose of the addition is to add capacity. Along with the capacity, the main office is undersized and there is a lack of support spaces, forcing smaller functions such as home school model, interventions, etc. to be placed in standard classrooms. The addition has a mix of support spaces, standard classrooms, as well as a new office/health suite. All of these spaces will improve the school operation and remove the need for portables. The enrollment is currently 773 with a capacity of 626. When the addition is completed, the capacity will be 796 with a projected enrollment of 765.

Once the new addition is completed, the existing portable classrooms will be removed from the Site.

No changes are proposed to the current traffic patterns at the Site. No new entrances or exits are proposed.

The project also includes new stormwater management for the addition, which has been designed to provide both quantity and quality control measures. The Applicant will provide water quality facilities to comply with environmental site design regulations.



Figure 3: Proposed Site Plan

## Project Description

The addition to Ronald McNair Elementary School is located on the east side of the existing school building adjacent to Steeple Road. The addition will have the same two-story massing as the original portion of the school. The fenestration of the addition will be similar, as will the materials. The addition will be primarily brick veneer. A panel system emphasizing the bays of the building, and a metal canopy and curtain wall will distinguish the new school entrance.

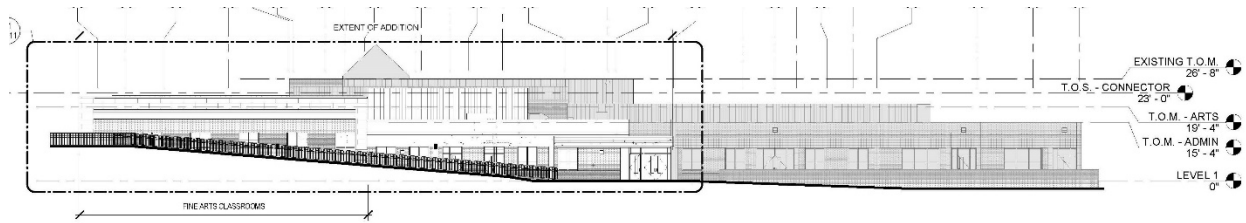


Figure 4: Eastern Elevation

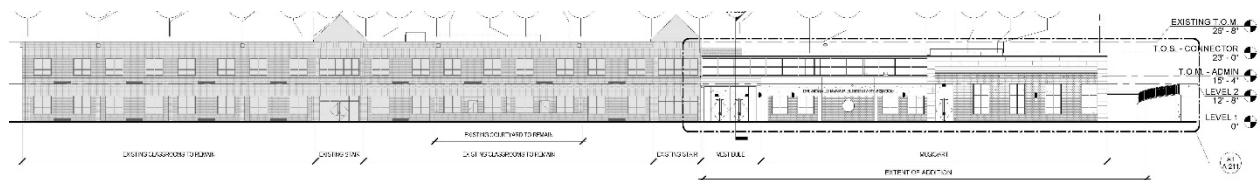


Figure 5: Southern Elevation

## SECTION 4:

### MANDATORY REFERRAL ANALYSIS AND FINDINGS

Mandatory Referral review is guided by the 2001 *Montgomery County Department of Park and Planning Uniform Standards for Mandatory Review*, as amended, and through the authority granted through the Maryland Land Use Article, Section 20-301, et.seq. As set forth in Sections 20-301 and -302, the Montgomery County Planning Board has jurisdiction over mandatory referral projects presented by Montgomery County government and Montgomery County Board of Education/MCPS, for (i) acquiring or selling land; (ii) locating, constructing or authorizing a road, park, public way or ground, public building or structure, or public utility; or (iii) changing the use of or widening, narrowing, extending, relocating, vacating or abandoning any of the previously mentioned facilities. The Planning Board must review such projects and approve the proposed location, character, grade and extent of the activity.

As described in the Uniform Standards for Mandatory Referral Review, the Planning Board considers all relevant land use and planning aspects of the proposal including, but not limited to, the following:

1. *whether the proposal is consistent with the County's General Plan, functional plans such as the master plan of highways, environmental guidelines, the approved and adopted area master plan or sector plan, and other public plans or programs for the area;*

The Site is located within the 1989 *Germantown Master Plan* ("Master Plan"). Some of the bicycle recommendations from the 1989 plan have been superseded by recommendations in the *Bicycle Master Plan* and are discussed in the transportation section below.

The Master Plan noted this location as a proposed elementary school. At the time of the Master Plan a placeholder at this location was entitled Hopkins Road Elementary School. The Elementary school use is being retained and the project is in substantial conformance with the Master Plan.

2. *whether the proposal is consistent with the intent and the requirements of the zone in which it is located;*

The Subject Property is in the R-60 Zone. Public schools, as a publicly owned or publicly operated use are permitted uses in the zone. The proposed school is consistent with the development standards of the zone, including the maximum lot coverage and front, side, and rear setbacks.

3. *whether the nature of the proposed site and development, including its size, shape, scale, height, arrangement and design of structure, is compatible with the surrounding neighborhood and properties;*

The Site is currently occupied and being used as the existing Ronald McNair Elementary School. The new addition is well placed. The parking, bus loop, and vehicular circulation are not being modified with this Application. The character of the proposed addition will create an attractive amenity for the community and will be architecturally compatible with the surrounding neighborhood.

4. *whether the locations of buildings and structures, the open spaces, the landscaping, recreation facilities, and the pedestrian and vehicular circulation systems are adequate, safe, and efficient;*

The location of the existing building and open spaces are adequate and safe. The proposal does not modify the vehicular access or vehicular circulation on the Property. Vehicular access to the parking lot and student drop-off will remain on Eternity Rd. A bus loop with two access points will remain on Steeple Rd.

5. *whether the proposal has an approved NRI/FSD and a preliminary SWM concept plan, and meets the requirements of the Forest Conservation law (Chapter 22A of the County Code). Forest Conservation Plan, if applicable, must be approved by the Planning Board, either before or at the time of the Board's mandatory referral review and action on the project. Unlike the mandatory referral review by the Board, the conditions of the Forest Conservation Plan are binding on all county projects.*

This project is exempt from Article II of the Montgomery County Code, Chapter 22A (Forest Conservation Law), Section 22A-5(T1) because the activity is a modification to a (1) non-residential property with (A) no more than a total of 5,000 square feet of existing forest cleared at one time of cumulatively; (B) the modification does not result in the cutting, clearing, or grading of any forest in a



stream buffer or any forest on a property located in a special protection area which must submit a water quality plan; (C) the modification does not require the approval of a preliminary plan, administrative subdivision plan, or conditional use/special exception; (D) the modification does not increase the developed area by more than 50 percent, and any existing principal building, as defined in Chapter 59, is retained; and (E) the application does not propose any residential uses.

The proposal includes a stormwater management concept plan, which is currently under review by the Montgomery County Department of Permitting Services. The approval of the stormwater management concept plan is pending the review of a downstream storm drain analysis by the Montgomery County Department of Transportation.

6. *whether a Preliminary or a Final Water Quality Plan has been reviewed by the Planning Board if the project is located in a Special Protection Area. In addition, for a Water Quality Plan for a project on public property, the Board must determine if the plan meets the standards of Article V. WATER QUALITY REVIEW IN SPECIAL PROTECTION AREAS, of the County Code (pursuant to Section 19-65(d)(4));*

The subject property is not located in a Special Protection Area.

7. *whether or not the site would be needed for park use if the proposal is for disposition of a surplus school.*

The proposal is not for the disposition of a surplus school.

8. *whether alternatives or mitigation measures have been considered for the project if the proposal is inconsistent with the General Plan or other plans and policies for the area, or has negative impacts on the surrounding properties or neighborhood, the transportation network, the environment or other resources.*

The proposal is consistent with the 1989 *Germantown Master Plan* and does not have negative impacts on the surrounding neighborhood, transportation network, environment, or other resources.

## **Transportation**

### Master-Planned Roadway and Bikeways

Steeple Road and Hopkins Road are designated as two-lane Primary Residential streets with a 70-foot-wide right-of-way (ROW). The ROW is adequate to support these roads. Eternity Road is an unclassified street built to a secondary street standard; its 60-foot right-of-way width meets the minimum width for that standard. The 2018 Bicycle Master Plan recommends an 11-foot-wide sidepath along the

Property frontage on Hopkins Road. This facility is not proposed with this Application; this is recommended to be built by MCPS in coordination with MCDOT and Planning Staff.

#### Access, Circulation and Parking

This proposal is limited to a new extension of the existing school building; overall access and circulation to the Site will remain unchanged. Vehicular access to the parking lot and student drop-off will remain on Eternity Road. A bus loop with two access points will remain on Steeple Road.

Pedestrian access will remain limited. Two existing access points will remain (Figure 6): one along the vehicular access point on Eternity Road and one along Steeple Road.

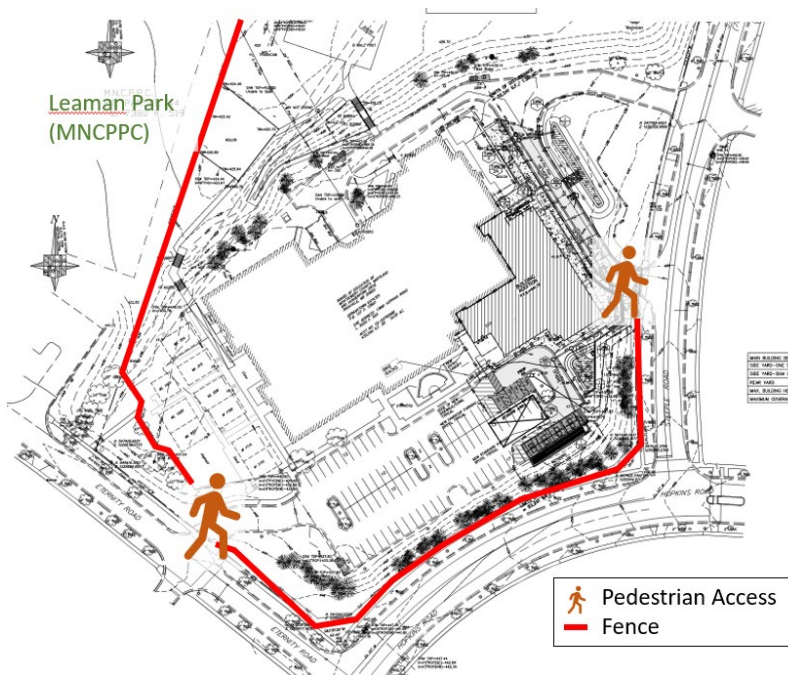


Figure 6: Pedestrian Access

Fencing along the perimeter of the property currently restricts access, particularly to Leaman Park adjacent to the west of the Site. The park provides a pedestrian path connecting the park to neighborhoods to the north, but the lack of connection between the school and the park limits potential mutually supportive interaction between these public facilities while placing a barrier to pedestrian access to the park for communities to the north and east. This is recommended to be improved by MCPS in conjunction with Planning and Parks staff.

Similarly, fencing and grading immediately along Hopkins Road restricts pedestrian access. Prior to the installation of fencing, a dirt path was one of the preferred routes from the northwest corner of the Steeple Road / Hopkins Road intersection to the main school entrances. Due to the significant grade and safety concerns, MCPS has restricted that movement.

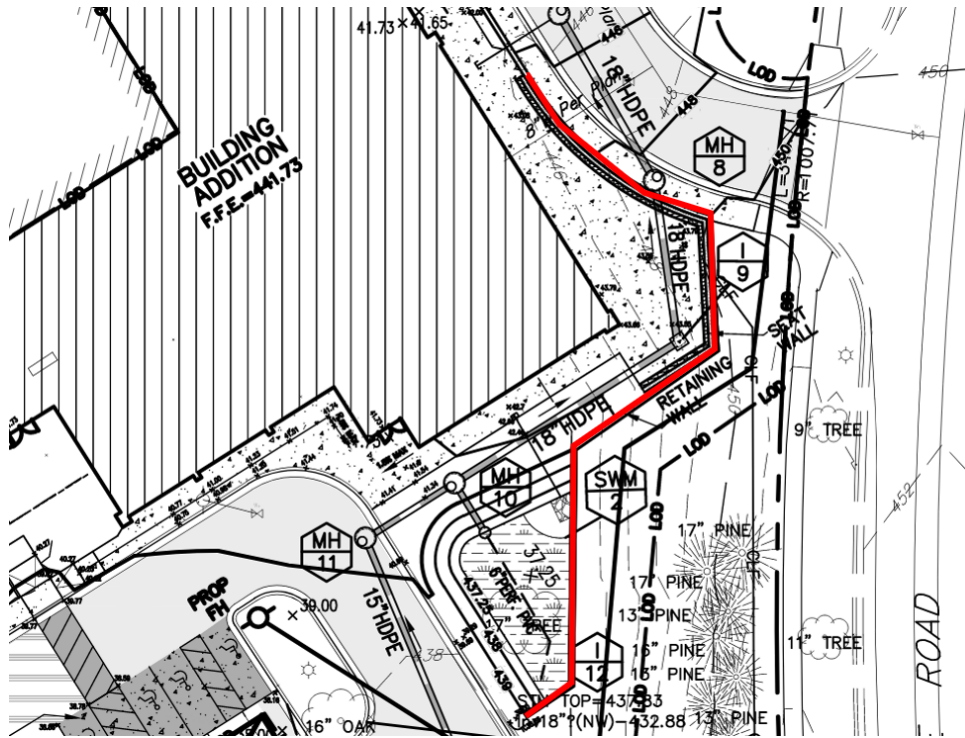


Figure 7: Proposed Retaining Wall

A new retaining wall is proposed in front of the new addition (Figure 7). This wall will separate the main entrance from public access off Steeple Road and serve as an additional hurdle for pedestrian access as well as limiting engagement with the public street. For pedestrians who wish to access school entrances along the Hopkins Road frontage from Steeple Road, the placement of the wall would require an approximately 150 ft. detour and serve as a behavioral cue to further reduce pedestrian access. MCPS is recommended to explore options to avoid the use of the retaining wall, or at a minimum, soften its appearance and reduce its impact on pedestrians with additional stairs and ramps.

MCPS should coordinate with MCDOT to improve pedestrian safety at the intersections of Steeple Road / Hopkins Road and Eternity Road / Hopkins Road. Although traffic volumes are low on these residential streets, the geometry of these intersections requires pedestrian crossings of up to 50 ft, with lane widths and the lack of a stop signs or other intersection control likely contributing to speeding (Figures 8&9). Additionally, all crosswalks at the Eternity Road / Hopkins Road intersection are unmarked, and the crosswalk for the western leg of the Steeple Road / Hopkins Road intersection is also unmarked.





Figure 8: Intersection of Steeple Rd. and Hopkins Rd. as Seen from Steeple Rd.

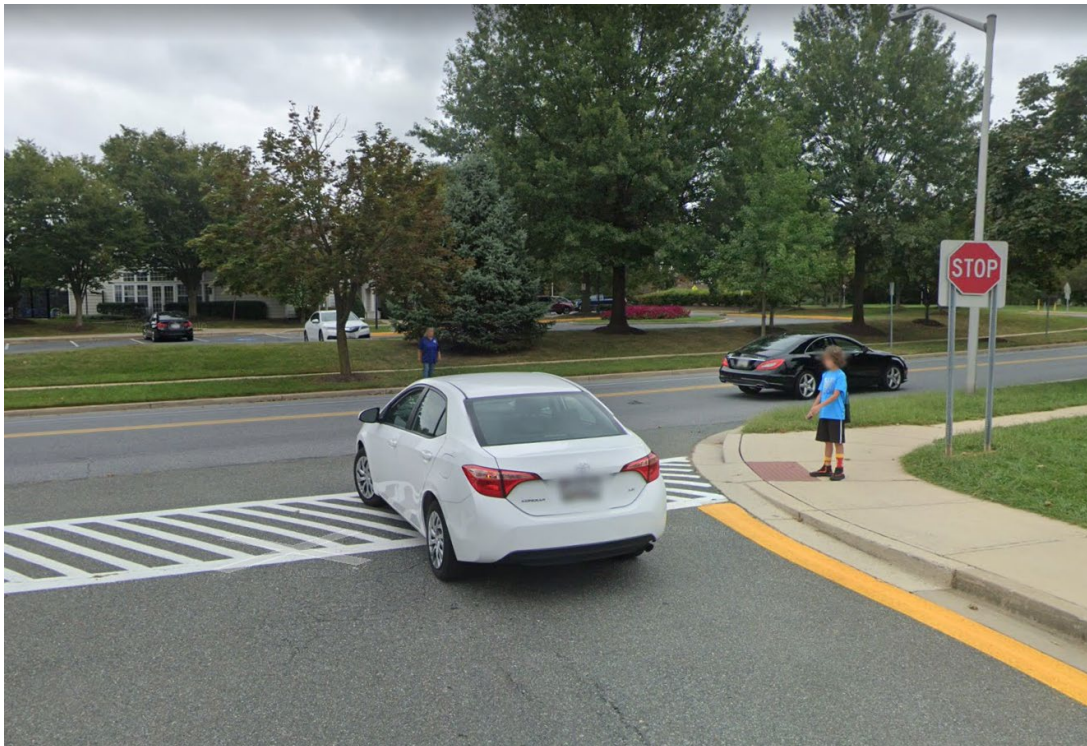


Figure 9: Intersection of Bus Loop Exit and Steeple Rd, As Seen from Bus Loop Exit.

Similarly, MCPS should explore options to reduce the width of the vehicular access points to the school, all of which require a pedestrian crossing distance of 30 feet. Additional crosswalks should be explored in these locations to cross Steeple Road.



No bike facilities are proposed with this application. MCPCS is recommended to work with MCDOT to implement an 11 foot-wide sidepath along the frontage of Hopkins Road as proposed in the Bicycle Master Plan. A sidepath connection to this facility should be extended internal to the Site to accommodate bike access. Additionally, while public schools are exempt from bike parking requirements, such parking is still recommended. Short term bike parking is recommended at a rate of 0.05 per student and long-term bike parking at 0.10 per employee.

Vehicular parking for the proposal is adequate as proposed.

#### [Local Area Transportation Review \(LATR\)](#)

The proposed school addition will replace existing portable classrooms. The enrollment for the school will remain unchanged and the proposal is exempt from additional LATR review.

### **Environment**

The Application is subject to the Montgomery County Forest Conservation Law (Chapter 22A of the County Code) under Section 22A-4(d) as a project by “a government entity subject to a mandatory referral on a tract of land 40,000 square feet or larger...” The Site included in the Application is 10.0 acres in size, with an address of 13881 Hopkins Road, Germantown.

#### [Environmental Guidelines](#)

A Natural Resources Inventory and Forest Stand Delineation (NRI/FSD) was included as part of the Forest Conservation Exemption Request #42022064E, which was approved by Staff on November 9, 2021. There are no streams, floodplains, wetlands, or environmental buffers affected by the Project.

The Site is within the Little Seneca Creek watershed, a Use III-P designation.

#### [Forest Conservation](#)

This project is exempt from Article II of the Montgomery County Code, Chapter 22A (Forest Conservation Law), Section 22A-5(T1), because the activity is a modification to a (1) non-residential property with; (A) no more than a total of 5,000 square feet of existing forest cleared at one time or cumulatively; (B) the modification does not result in the cutting, clearing, or grading of any forest in a stream buffer or any forest on a property located in a special protection area which must submit a water quality plan; (C) the modification does not require approval of a preliminary plan, administrative subdivision plan, or conditional use/special exception; (D) the modification does not increase the developed area by more than 50 percent, and any existing principal building, as defined in Chapter 59, is retained; and (E) the pending development application does not propose any residential uses. No disturbance is proposed in the forested areas on the property.

Staff confirmed an exemption request for a Simplified Natural Resource Inventory/Forest Stand Delineation (NRI/FSD No. 42022084E) on November 9, 2021.

#### Stormwater Management

The Montgomery County Department of Permitting Services (DPS) is currently reviewing a stormwater management concept plan for this proposal. The stormwater management plan includes planter box microbioretention areas and enhanced microbioretention facilities to serve the proposed building additions and new paved areas. Existing stormwater management facilities on site will be retained.

#### Sustainability

The project is not required to be registered for Leadership in Energy & Environmental Design (LEED) certification through the United States Green Building Council (USGBC). However, the addition will be designed in accordance with the 2014 MCPS Environmental Sustainability Management Plan. By following the principles listed within this plan, MCPS facilities aim to reduce impact on the natural world, provide healthy learning and working environments for the students and/or community, conserve operational costs, and serve as a teaching tool for the future leaders of the County. Sustainable aspects of the project include, but are not limited to:

- Following construction indoor Air Quality Management Plan and using low-emitting building materials to promote a healthy learning environment;
- Enveloping design with thermally efficient materials for energy conservation;
- Using highly reflective roof surfaces to reduce heat gain in the building and lessen HVAC requirements;
- Maximizing daylight in classrooms;
- Providing occupant control of lighting and HVAC within the addition to increase occupant comfort level;
- Installing water-conserving and low-flow plumbing fixtures;
- Selecting recycled and regionally manufactured products;
- Providing acoustical separation between different classroom types using acoustically rated assemblies;
- Designing the site to reduce stormwater runoff and maintain water quality standard;
- Mechanical equipment and domestic water heating systems will exceed the energy efficiency requirements of the current International Energy Conservation Code;

- LED lighting technology will be utilized to provide lighting levels in accordance with the Illuminating Engineering Society of North America (IESNA) recommendations and reduce lighting energy consumption below current International Energy Conservation Code requirements;
- Selective replacement of existing HVAC units to improve overall building efficiency; and
- Minimization of background noise from HVAC equipment within classrooms and reducing the reverberation for better classroom environments through appropriate selection of sound absorbing materials.

## SECTION 5:

### COMMUNITY OUTREACH

After staff accepted the Mandatory Referral for review, Montgomery Planning notified local civic and homeowners' associations and other interested parties of this proposal. As of the date of this report, staff has received no requests for information or correspondence on the proposal.

Additionally, the Applicant held the following public meetings:

- February 9, 2022 PTA Meeting Presentation;
- April 13, 2021 Community Meeting #2 Presentation; and
- March 24, 2021 Community Meeting #1 Presentation.

## SECTION 6:

### CONCLUSION

Based on information provided by the Applicant and the analysis contained in this report, Planning Staff concludes that the proposed addition is well-designed and is well suited for its intended purpose. The new school addition will become an attractive focal point for the community.

Staff recommends approval of the Mandatory Referral with the recommendations listed above and recommends this be transmitted to Montgomery County Public Schools.

## SECTION 7:

*Attachment A: Mandatory Referral Plan*

*Attachment B: Landscape Plan*

*Attachment C: Lighting Plan*

*Attachment D: MCDOT Letter*



Attachment A



6325 WOODSIDE COURT  
SUITE 310  
COLUMBIA, MD 21046  
PHONE: 410.290.9680

COLUMBIA, MD  
WASHINGTON, DC  
BALTIMORE, MD  
WALDONSTUDIO.COM

OWNER / CLIENT  
**MONTGOMERY COUNTY PUBLIC SCHOOLS**

45 WEST GIDE DRIVE, SUITE 4300  
ROCKVILLE, MARYLAND 20850

CIVIL ENGINEER  
**ADTEK ENGINEERS**

150 SOUTH EAST STREET, SUITE 201  
FREDERICK, MD. 217101  
301 662 4408

LANDSCAPE ARCHITECT  
**NORTON LAND DESIGN**

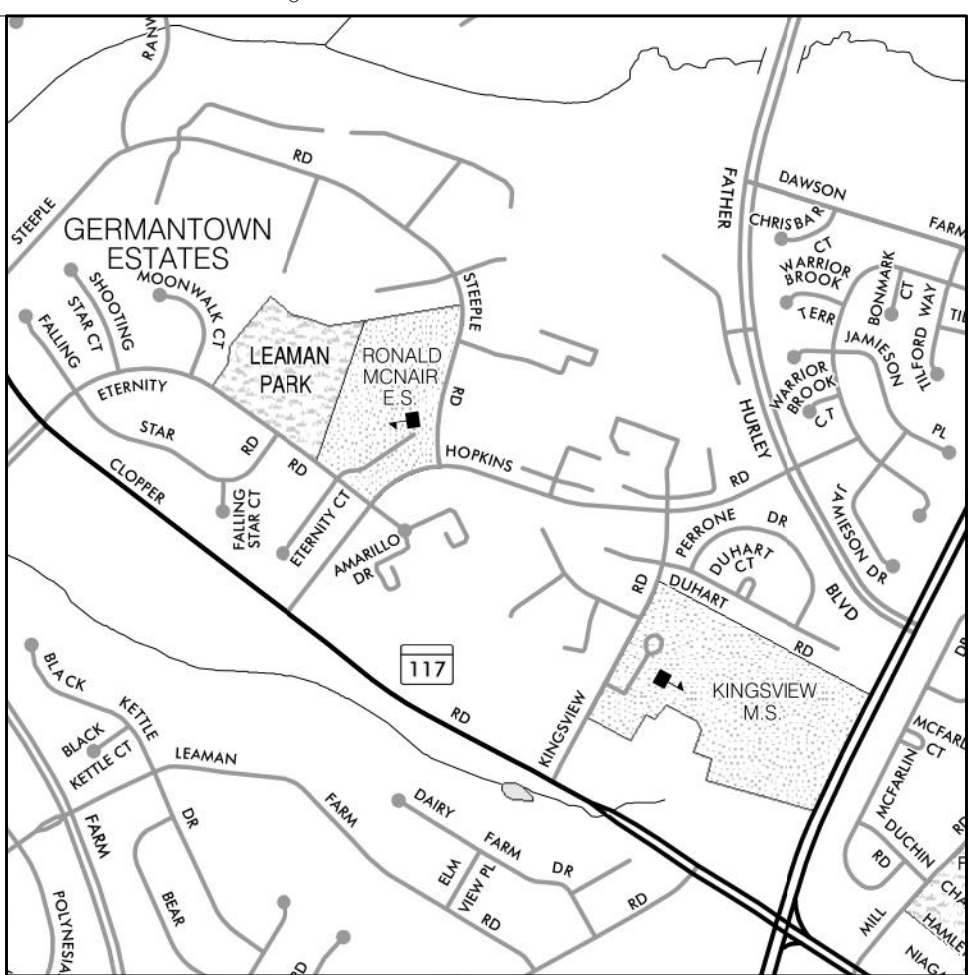
5146 DORSEY HALL DRIVE, 2ND FLOOR  
ELLICOTT CITY, MD. 21042  
443 542 9199

STRUCTURAL ENGINEER  
**ADTEK ENGINEERS**

150 SOUTH EAST STREET, SUITE 201  
FREDERICK, MD. 217101  
301 662 4408

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER  
**JAMES POSEY ASSOCIATES**

11155 RED RUN BOULEVARD, SUITE 310  
BALTIMORE, MD. 21117  
410 265 6100



**VICINITY MAP**  
SCALE: 1" = 1,000'±  
GRID NUMBER: EU21  
MONTGOMERY COUNTY

**LEGEND**

PROPERTY LINE	---
PROP. BUILDING (SEE ARCH DWG'S)	[Hatched Box]
CONCRETE SIDEWALK	[Dotted Box]
REGULAR DUTY ASPHALT	[Solid Grey Box]
HEAVY DUTY CONCRETE	[Dark Grey Box]

**RONALD MCNAIR ELEMENTARY SCHOOL  
PROPOSED PARKING TABULATION**

STANDARD SPACES (9'x 18').....	89
ACCESSIBLE SPACES (8'x 18').....	4
VAN ACCESSIBLE SPACES .....	3
TOTAL PROPOSED .....	96

**BUILDING COVERAGE**

SITE AREA = 435,599 SF  
EXISTING BUILDING TO REMAIN = 71,676 SF (BOTH FLOORS)  
RENOVATED AREA = 6,599 SF (BOTH FLOORS)  
NEW CONSTRUCTION = 14,212 SF  
PROPOSED BUILDING COVERAGE = 21%  
GROSS BUILDING SQ. FT. = 92,487 SF

	REQUIRED	PROVIDED
MAIN BUILDING SETBACK FROM STREET	30 FEET	155 FEET
SIDE YARD—ONE SIDE	8 FEET	41 FEET
SIDE YARD—SUM OF BOTH SIDES	25 FEET	177 FEET
REAR YARD	25 FEET	55 FEET
MAX. BUILDING HEIGHT	35 FEET	26'- 8" (EXISTING)
MAXIMUM COVERAGE	30%	21%

**MISS UTILITY**

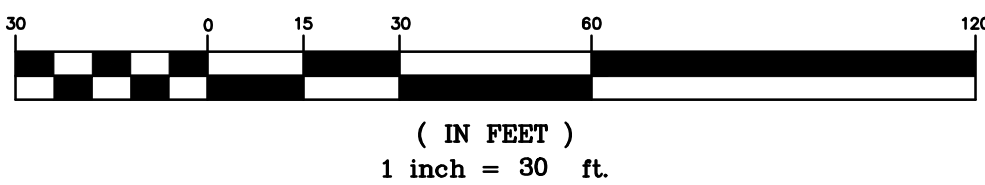
CALL "MISS UTILITY AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. BEFORE EXCAVATION, THE CONTRACTOR IS RESPONSIBLE FOR CALLING TICKET CHECK AT 1-866-821-4228 TO VERIFY THAT ALL UTILITIES HAVE BEEN MARKED, 48 HOURS AFTER CALLING MISS UTILITY. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

**NOTE:**

THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING ALL PRIVATE UTILITIES (NOT LOCATED BY MISS UTILITY) WITHIN MCPS PROPERTY AT THEIR EXPENSE. ALL UTILITIES SHOWN ON THE PLANS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE CONSIDERED APPROXIMATE. MCPS SHALL NOT BE RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES. ANY UTILITIES OR OTHER UNDERGROUND FACILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.

CAUTION: IF THIS DRAWING IS A REDUCTION,  
GRAPHIC SCALE MUST BE USED  
(ORIGINAL SIZE = 30"x 42")

**GRAPHIC SCALE**



**OWNER/APPLICANT**  
MONTGOMERY COUNTY PUBLIC SCHOOLS  
45 WEST GIDE DRIVE, SUITE 4300  
ROCKVILLE, MARYLAND 20850-4038  
ATTN: GARY MOSESMAN  
Gary\_D.Mosesman@mcpsmd.org  
TEL: 240.314.1000 FAX: 240.279.3003

PROJECT NAME

**RONALD MCNAIR ES**

**ADDITION/RENOVATION**

MANDATORY REFERRAL APPLICATION NUMBER 2022014

PROJECT ADDRESS  
13881 Hopkins Rd.  
Germantown, MD. 20874

PROJECT NUMBER MD21-11.00



01/11/2022

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 44054, Expiration Date: 06/06/2023.

SHEET TITLE

MANDATORY REFERRAL

PLAN DRAWING

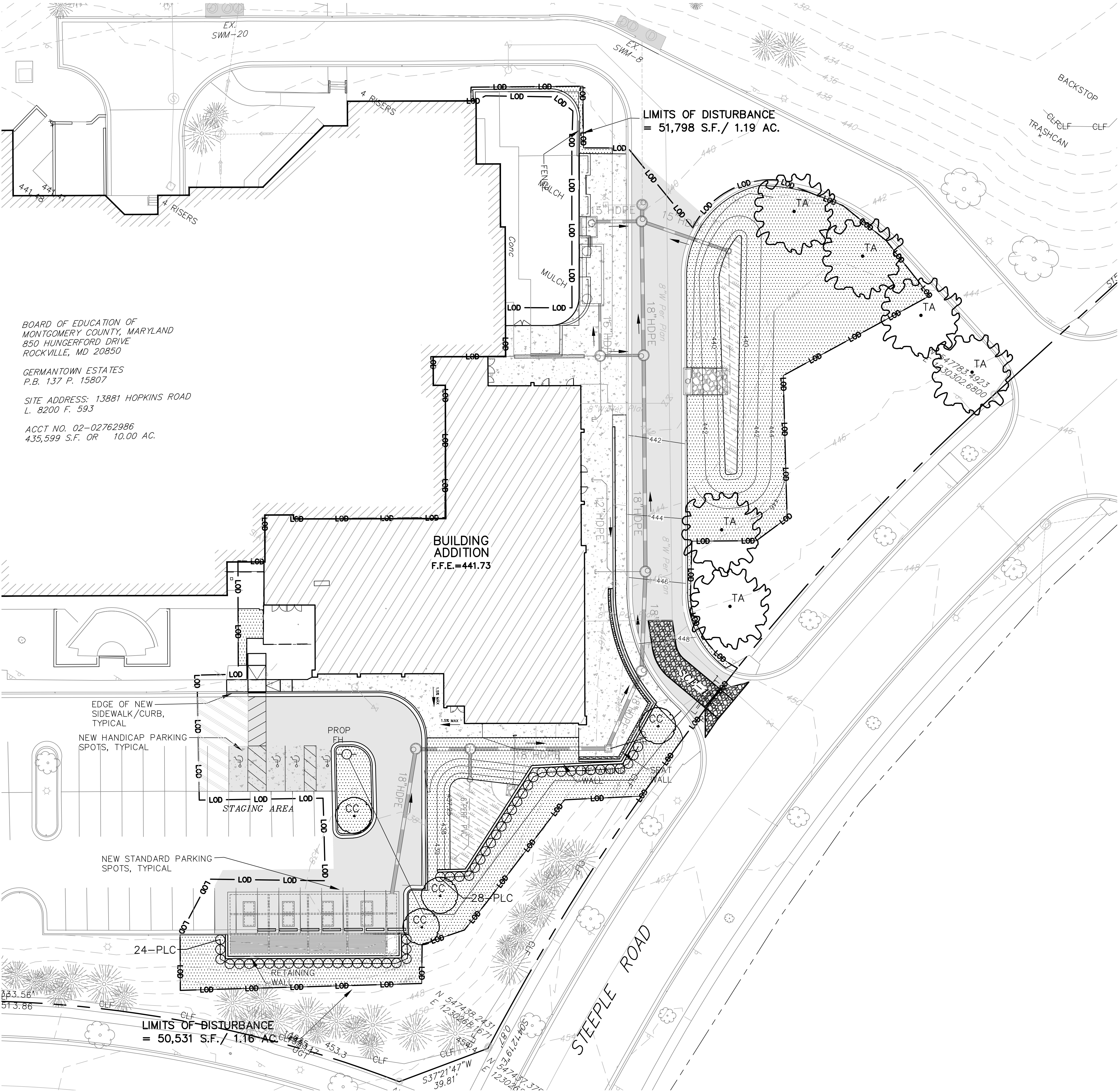
DRAWN BY: CWIMIR  
CHECKED BY: KCO  
SET DESCRIPTION: SET DESCRIPTION

DATE

**C-X**



Attachment B



BOARD OF EDUCATION OF  
MONTGOMERY COUNTY, MARYLAND  
850 HUNGERFORD DRIVE  
ROCKVILLE, MD 20850

GERMANTOWN ESTATES  
P.B. 137 P. 15807

SITE ADDRESS: 13881 HOPKINS ROAD  
L. 8200 F. 593

ACCT NO. 02-02762986  
435,599 S.F. OR 10.00 AC.

**LEGEND**

- EXISTING PROPERTY BOUNDARY
- LIMITS OF DISTURBANCE
- PROPOSED CANOPY TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHRUB
- STORMWATER MANAGEMENT FACILITY
- SOD STABILIZATION AREA

REVISIONS		
DATE	NO.	ISSUED FOR

PROJECT NAME  
**RONALD MCNAIR ES  
ADDITION/RENOVATION**

PROJECT ADDRESS  
13881 Hopkins Rd.  
Germantown, MD. 20874

PROJECT NUMBER  
MD21-11.00

SHEET TITLE  
LANDSCAPE PLANTING PLAN  
MR2022014

DRAWN BY  
BP

CHECKED BY  
MN

SHEET NO.  
L-1.1

DATE

**WALDONSTUDIO  
ARCHITECTS**

6325 WOODSIDE COURT  
SUITE 310  
COLUMBIA, MD 21046  
PHONE: 410.290.9680

COLUMBIA, MD  
WASHINGTON, DC  
BALTIMORE, MD  
WALDONSTUDIO.COM

OWNER / CLIENT  
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CIVIL ENGINEER  
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LANDSCAPE ARCHITECT  
**NORTON LAND DESIGN**  
5146 DORSEY HALL DRIVE, 2ND FLOOR  
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443.542.9199

STRUCTURAL ENGINEER  
**ADTEK ENGINEERS**  
150 SOUTH EAST STREET, SUITE 201  
FREDERICK, MD. 217101  
301.662.4408

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER  
**JAMES POSEY ASSOCIATES**  
11155 RED RUN BOULEVARD, SUITE 310  
BALTIMORE, MD. 21117  
410.265.6100



**GRAPHIC SCALE**

( IN FEET )  
1 inch = 20 ft.

**NORTON LAND DESIGN**  
LANDSCAPE ARCHITECTURE + ENVIRONMENTAL PLANNING  
5146 DORSEY HALL DRIVE, 2ND FLOOR  
ELLCOTT CITY, MD 21042  
BALT. 443.542.9199  
WWW.NORTONLANDDESIGN.COM



PLANTING SPECIFICATIONS

SCOPE : Consists of supplying the planting trees, shrubs and herbaceous materials (groundcovers) including the staking of trees as specified herein and the supplying of materials, labor, equipment and work related services necessary for same as specified herein.

The work of this section includes, but is not limited to:

- mulching
- watering
- soil preparation
- planting
- maintenance
- fertilizing
- wrapping
- staking
- plant materials
- replacement

MATERIALS Wherever the following items appear in the specifications, they shall be as follows:

Topsoil The Contractor shall provide required natural, friable, fertile, fine sandy loam possessing the characteristics of representative topsoil in the vicinity which produce heavy growths of vegetation. The topsoil shall be free from subsoil, noxious weeds, stones, lime, cement, ashes, slag or other deleterious matter. Topsoil shall be well drained in its original condition and free of toxic quantities of acid or alkaline elements. It shall contain sand and clay in approximately equal proportions, and shall have an organic content by weight of not less than 2% nor more than 20% as determined by laboratory tests. The pH shall be between 6 and 7.

Water Shall be furnished by the Contractor for the execution of all work specified in this contract. The Contractor shall verify that the water available is suitable for irrigation and free from ingredients harmful to plant life.

: Shall be only moss (sphagnum) peat; brown acid reaction approximately 4 to 5 pH; of standard commercial quality delivered to the site in bags or other convenient containers, in air dry condition. Peat shall be fully warranted by the producer.

Brace Stakes: Wood brace stakes shall be common lumber or the sizes in the following table:

Tree Size	Brace Stakes
1"-12" or < 8' tall	2"x2"x96"
12"-3" or > 8' tall	2"x2"x24", 2"x2"x30" for conifers

Wire shall be good commercial quality of galvanized wire. Wire used to stake trees shall be No. 11 gauge minimum.

Hose Collars: Hose collars shall be new two ply fabric bearing garden hose not less than 2 inch inside diameter.

PLANT MATERIAL STANDARDS

Association of Nurserymen, Inc., as published in the "American Standard for Nursery Stocks", latest edition. No substitutions of size or grade shall be permitted without written permission from the Landscape Designer. Each bundle of plants and all separate plants shall be properly identified with the legible waterproof tags securely fastened to each plant or bundle of plants. They shall remain on the plants until final inspection.

Health All plants including their roots shall be free from disease, insects, or other injurious qualities. All local, state, and federal laws pertaining to the inspection, sale, and shipment of plant materials shall be complied with. The trunk bark of all trees shall be sound, trees shall have no large wounds, and any small wounds shall have a satisfactory callus roll formed or forming over them. Plants shall show good annual growth. Buds shall be plump and well filled for the species. Evergreen foliage shall be of good intense color.

Quality: All plants shall be true to type; they shall have normal, well-developed branch systems, and a vigorous fibrous root system; they shall be sound, healthy, vigorous plants free from defects, disfiguring knots, sunscald injuries, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All new plants shall be nursery grown.

Ball and Burlap : All balled and burlapped plants shall conform to the "American Standard for Nursery Stock", latest edition. All balls shall be of natural earth in which the plant has been growing. No manufactured or artificially produced or mudded-balls shall be accepted. Balls shall be firm and unbroken, and of large enough size to adequately enclose the plant's fibrous root system.

Plant List The list of plants furnished with the specifications is for the information of the Contractor. The height and caliper of trees, the height or spread of shrubs, the diameter of the balls of roots are the minimum dimensions required. Plants indicated "B&B" are to be dug with a ball of earth and wrapped in burlap.

Measurements : Shall conform to those specified on the plant list except as follows:

Oversize plants may be used only after approval by the designer.

Use of such plants shall not increase the contract price.

Height and spread dimensions indicated refer to the main body of the plant and not from branch tip to branch tip. All trees and shrubs shall be measured when their branches are in normal position. Trees shall have straight trunks with the leader intact, undamaged and uncut.

Inspection The Planting Contractor shall be responsible for all inspection and approval of the plant material that may be required by state, federal and other authorities, and he shall secure any permits and certificates that may be required.

All plants shall be subject to inspection, and approval at place of growth before digging, or upon delivery, for quality, size and variety; such approval shall not impair the right of rejection at the project site during progress of the work, for size, condition of balls, roots, latent defects or injuries. Rejected plants shall be removed immediately from the project site.

DIGGING AND HANDLING:

Protection from extremes in exposure and rough handling shall be provided all plant materials during transport and storage.

All plant materials shall be assembled in one location on the job site to permit inspection and approval by the designer. The Contractor shall notify the designer five (5) working days prior to planting so that a mutually agreeable time may be arranged for inspection. Stock with broken root balls or loose containers, and stock which shows evidence of being root-bound, over-grown, or recently canned, or in the opinion of the designer is damaged or improperly cared for, shall be removed from the site immediately and replaced at the Contractor's expense with another plant meeting the original specifications. Plants shall not be pruned prior to approval by the designer.

PROCEDURE :

Tree Planting

Layout All trees shall be located as designated in the field by the planting plan. Where below ground or overhead obstructions are encountered, the trees shall be relocated by the designer.

Planting Pits : Shall be a diameter two (2) feet greater than the diameter of the ball of the tree. The depth of the pit shall be enough to accommodate the ball or roots of the tree when the tree is set to finish grade, allowing for six inches of compacted topsoil below the roots of the plant. Prior to installing the 6" of topsoil to the pit, 3" of existing soil shall be mixed with the topsoil at a 1:1 ratio to reduce puddling beneath plantings. Planting islands within the parking lot shall be brought to final grade with 6" of planting soil.

Planting Soil Preparation: Mix then one part peat moss with five parts topsoil. Mix all components thoroughly before backfilling.

Setting of Trees: Before setting the trees, pits shall be backfilled with topsoil to a depth of 6", thoroughly tamped and watered. All plants shall be placed at such a level that, after settlement, the natural relationship between the original grade at which the plant grew, the ball shall be 1/8" higher than the finish grading. Trees shall be planted plumb, oriented for desired effect as directed by the designer. Topsoil shall be tamped under and around the base of each ball to fill all voids and shall be placed in 6 to 8 inch layers, each thoroughly tamped and puddled. Burlap shall be removed from the sides and top of balls and from under the balls. When planting bare root trees, care shall be taken to work topsoil in around the roots and to spread them in a natural position before backfilling. Shallow basin or saucers a little larger than the diameter of the ball shall be formed around all trees to hold additional water.

Mulch Shall be applied to all tree pits to a depth of 2-3".

Pruning: All trees shall be neatly pruned after planting in accordance with the best standard practices and as directed by the designer. The tree shall be pruned to preserve its natural form and character and in a manner appropriate to its particular requirements. In general, at most one third of the deciduous trees shall be removed by thinning or shortening of branches but no leaders shall be cut. All pruning shall be done with clean, sharp tools.

Shrub and Herbaceous Materials:(groundcover)

Layout. Herbaceous planting beds and shrub pit locations shall be designated by the designer in accordance with the plant list and the tentative locations shown on the planting plan. The general form of the planting bed shall be staked out and excavations performed within the stakes.

Preparation of Herbaceous Planting Beds The ground shall be thoroughly broken to a depth of 12 inches. The top 4 inches shall be worked by the contractor until the soil is completely fined and in a mellow condition to finish grade. All organic material shall either be worked into the soil or removed from the site. Clumps shall be removed from the site. All shall be performed perpendicular to the direction of surface drainage. All holes, depressions and rivulets shall be filled and brought to a smooth grade.

Shrub Planting Pits : Shall have vertical sides. The diameter of the pits shall be two times greater than the diameter of the ball of the shrub. The depth of the pit shall be enough to accommodate the ball or roots of the shrub when the shrub is set to finish grade compacted allowing for six inches topsoil below the roots of the plant. Prior to installing the 6" of topsoil to the pits, 3" of existing soil shall be mixed with the topsoil at a 1:1 ratio to reduce puddling beneath plantings.

Shrub Planting Soil : Mix one part peat moss with five parts topsoil. Mix all components thoroughly before backfilling.

Setting of Shrubs: All materials shall be planted 2" higher in relation to the finish grade as they had before transplanting. The depth of the holes, as hereafter specified, shall be understood to be the depth below finish grade. Balled and burlapped plants shall have topsoil tamped under the balls. All burlap, ropes, stakes, etc., shall be taken off the tops of the balls and removed from the ball before backfilling. Roots of bare root plants shall not be left matted together, but shall be arranged in natural positions and shall have topsoil worked in among them. All broken and frayed roots shall be properly removed by trimming.

The Backfill of Topsoil shall be tamped in successive 8" layers. When the hole has been 2/3 backfilled, water shall be poured in filling the hole, and allowed to soak away so that all voids or air pockets under or around the roots are eliminated. After the water has soaked away, the hole shall be completely backfilled with "topsoil". After the backfill settles, additional soil shall be filled in, to the level of the finish grade. A shallow saucer of soil shall be formed around the edge of each hole to hold additional water.

Pruning: All shrubs shall be neatly pruned or thinned immediately after planting in accordance with best standard practices and as directed by the designer. Broken or bruised branches shall be removed with a clean cut. Each shrub shall be pruned to preserve its natural form or character and in a manner appropriate to its particular requirements. All pruning and thinning shall be done with sharp, clean tools.

Mulch: Shall be applied to all shrub beds and pits to a depth of 3" and to all herbaceous planting beds to a depth of 2" & evenly around the sides of the tree, outside of the ball. All stakes shall be oriented to a line parallel with the normal prevailing winds, or as directed by the designer. See planting details for staking locations.

TEMPORARY STORAGE AND HEELING-IN:

No heel-in plant material will be accepted, nor will any temporary heeling-in storage be permitted.

Plant material unloaded and accepted by the inspector shall be immediately transported to the planting site and planted. Material left out of ground overnight or left with its roots bare to the sun, or otherwise unprotected during transit, unloading or storage shall be rejected by the designer. If in his judgment such lack of protection has caused damage to the roots of the plant or in any other way injured the plant material.

MAINTENANCE:

The planting contractor shall be required to make periodic checks on the total project to make certain that the materials are properly cared for and that the sum of all conditions are contributing to the satisfactory progress of the materials, until such time as the work is approved by the designer.

INSPECTION AND ACCEPTANCE:

Inspection of this work will be made by the designer at the conclusion of the planting period upon written notice by the Contractor at least five (5) days prior to anticipated date. Condition of all plant materials will be noted and recorded for reference.

After inspection, the planting contractor will be notified in writing by the designer if there are any deficiencies of the requirements for acceptance of the work.

GUARANTEE AND REPLACEMENT:

Trees and shrubs shall be guaranteed for a maximum of one full year of growing seasons after installation and shall be alive and in satisfactory condition at the end of the guarantee period. Such guarantee excludes vandalism.

DEFINITION FOR FURNISHED AND INSTALLING PLANT MATERIAL

The unit price contained in the bid proposal for furnished and installing plant and shrub material shall be defined to include furnishing and installing material, all planting soils (if applicable), staking and a guarantee for two years or growing seasons (excluding vandalism).

PUBLIC UTILITIES:

1. Care shall be exercised in excavation near utilities. If at any time Contractor damages the utilities in place through negligence or carelessness, Contractor shall pay for the full cost of repairing such damages. Contractor shall notify the appropriate person in the office of any utility whose lines may be affected.
2. The locations of utilities shown on the plans are approximates only and do not necessarily indicate all the utilities that may be encountered during construction. The failure of a utility to be shown on the plans does not relieve Contractor of the responsibility for any injuries he may inflict on the utility, and in case of injury, it shall be repaired at the expense of the Contractor.
3. Whenever other utilities are encountered whose present grade would conflict with the new construction, Contractor shall notify landscape architect, who shall arrange revisions without unreasonable delay. Trenching or tunneling under existing utilities, culverts, etc., and providing temporary support shall be done at no additional expense to Owner.

GUARANTEE AND REPLACEMENT: The Contractor will guarantee survival of plants (each species) after one year. If at this time the total number of plants has fallen below this threshold, the Contractor will make a one-time replacement to bring plant numbers to the 100% levels for each species. Care shall be taken such that the activities involved in replacement planting do not cause damage or detrimental effect to the surviving flora. Any plants damaged by these activities will also be replaced by the Contractor to the 100% threshold.

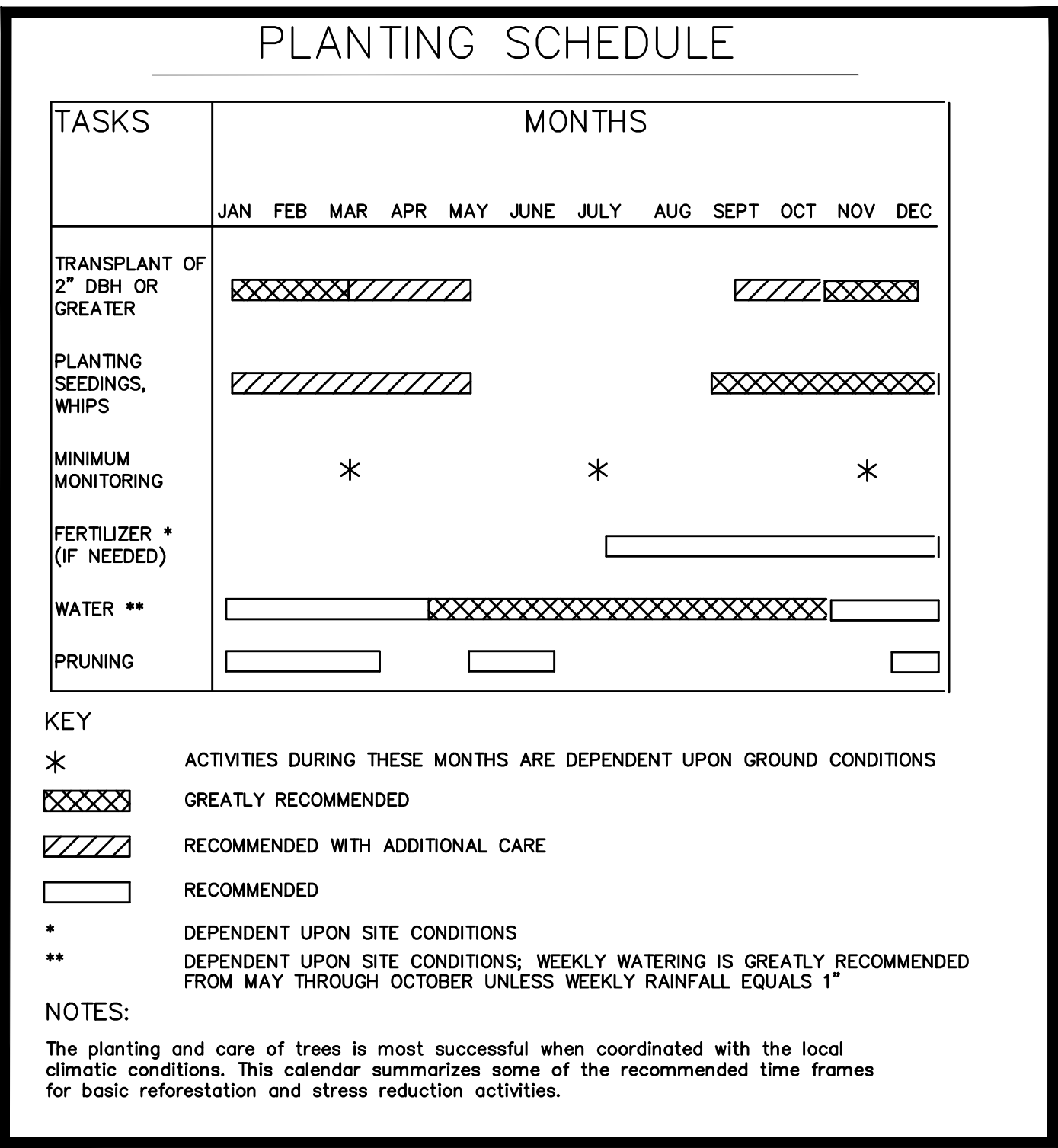
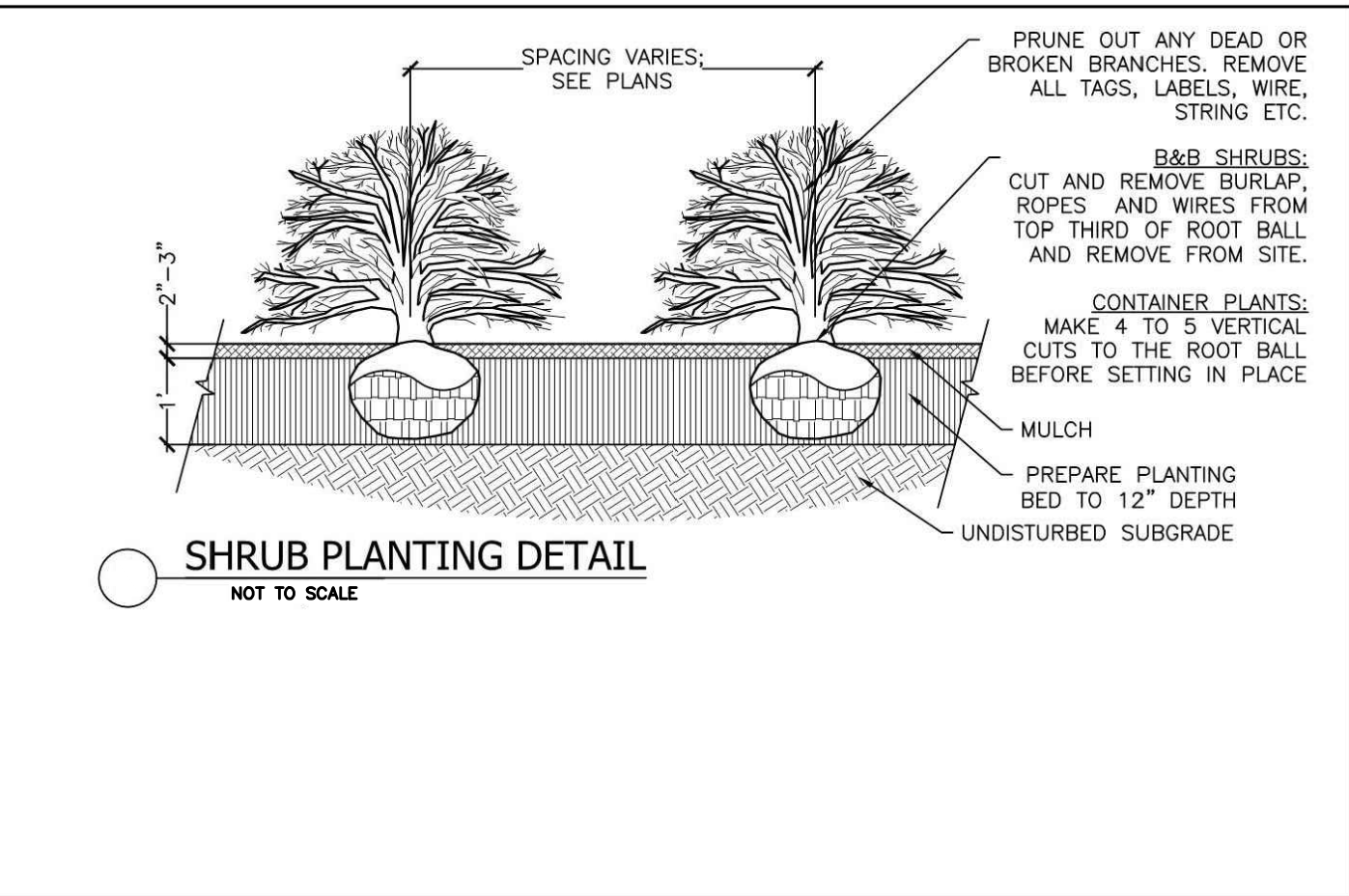
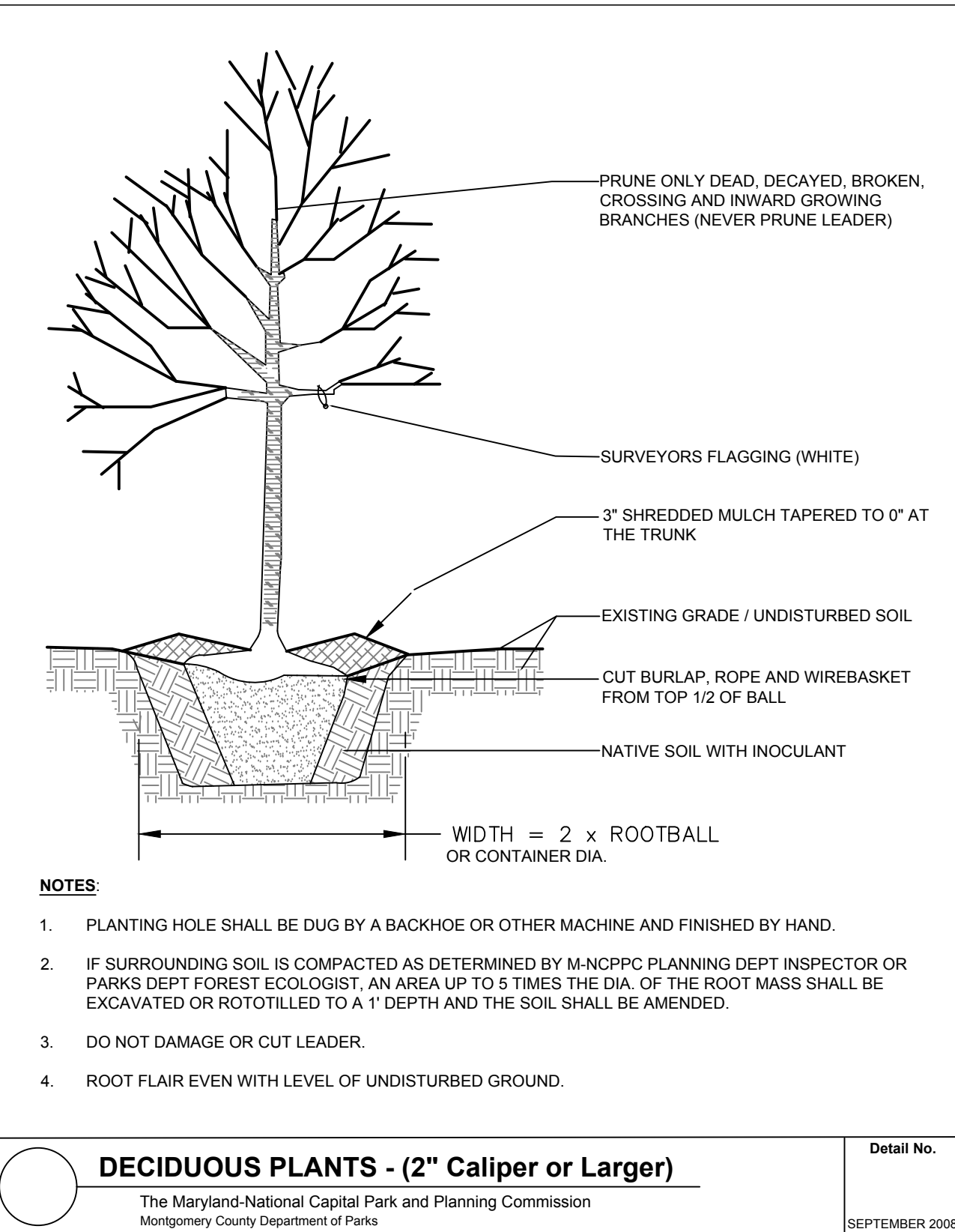
Trees, shrubs and ground covers shall be guaranteed for 1 year after installation and shall be alive and in satisfactory condition at the end of the guarantee period. Such guarantee excludes vandalism.

DEFINITION FOR FURNISHED AND INSTALLING PLANT MATERIAL: The unit price contained in the bid proposal for furnished and installing plant and shrub material shall be defined to include furnishing and installing material, all planting soils (if applicable), staking and a guarantee for 18 months (excluding vandalism).

PROTECTION OF PRIVATE PROPERTY: Contractor shall repair or replace all fences, concrete walls, concrete curbs, gravel and asphalt driveways, signs, culverts, and all other miscellaneous improvements, at no additional expense to owner, damaged by Contractor due to his operations on the project, to a condition equal to or better than their condition before construction.

JOB CONDITIONS:

1. Examine and evaluate grades, soils and water levels, observe the conditions under which work is to be performed, and notify the Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
2. Utilities: Review underground utilities location maps and plans provided by owner; demonstrate an awareness of utility locations, and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
3. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.



LANDSCAPE PLANTING PLAN SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	QUANTITY COMMENTS
CANOPY TREES						
TA	<i>Tilia americana</i>	American Linden	3" cal.	B&B	AS SHOWN	6
ORNAAMENTAL TREES						
CC	<i>Cercis canadensis 'Merlot'</i>	Merlot Redbud	2" cal.	B&B	AS SHOWN	4
SHRUBS						
PLC	<i>Prunus laurocerasus 'Chestnut Hill'</i>	Chestnut Hill Cherry Laurel	3 gal.	Cont.	AS SHOWN	52
SOD STABILIZATION						
SOD	<i>SOD - 90% Tall Fescue/ 10% Kentucky Bluegrass Mix</i>			SOD	SOD	SQUARE YARD 1,565 STABILIZATION

6326 WOODSIDE COURT  
SUITE 310  
COLUMBIA, MD 21046

PHONE: 410.290.9680

COLUMBIA, MD  
WASHINGTON, DC  
BALTIMORE, MD

WALDONSTUDIO.COM

OWNER / CLIENT

MONTGOMERY COUNTY PUBLIC SCHOOLS

45 WEST GUDE DRIVE, SUITE 4300  
ROCKVILLE, MARYLAND 20850

CIVIL ENGINEER

ADTEK ENGINEERS

150 SOUTH EAST STREET, SUITE 201  
FREDERICK, MD. 217101

301 662 4408

LANDSCAPE ARCHITECT

NORTON LAND DESIGN

5146 DORSEY HALL DRIVE, 2ND FLOOR  
ELLCOTT CITY, MD. 21042

443 542 9199

STRUCTURAL ENGINEER

ADTEK ENGINEERS

150 SOUTH EAST STREET, SUITE 201  
FREDERICK, MD. 217101

301 662 4408

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER

JAMES POSEY ASSOCIATES

11155 RED RUN BOULEVARD, SUITE 310  
BALTIMORE, MD. 21117

410 265 6100

REVISIONS	DATE	NO.	ISSUED FOR

RONALD MCNAIR ES  
ADDITION/RENOVATION

PROJECT NAME

PROJECT ADDRESS  
13881 Hopkins Rd.  
Germantown, MD. 20874

PROJECT NUMBER MD21-11.00

SHEET TITLE  
LANDSCAPE PLANTING PLAN -  
NOTES & DETAILS  
MR2022014

DRAWN BY BP CHECKED BY MN SHEET NO.

SET DESCRIPTION

L-1.2

DATE





Attachment C

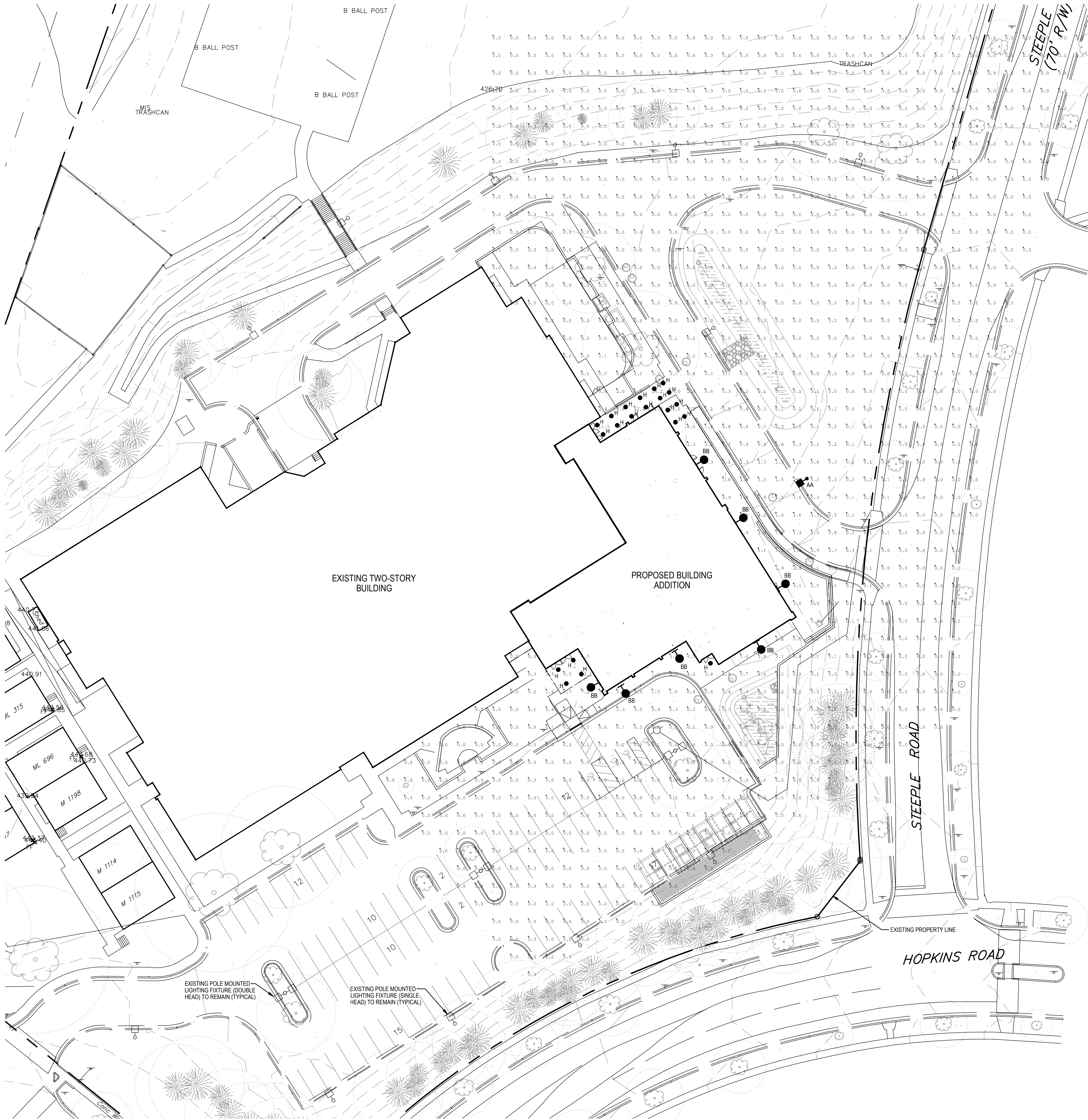
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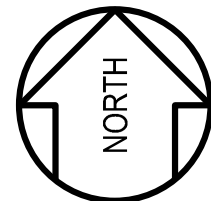
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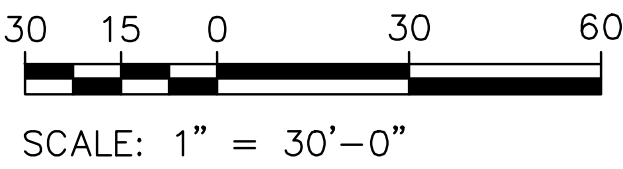


1  
LC-1

PART SITE PLAN  
SITE LIGHTING CALCULATIONS  
SCALE: 1"=30'-0"



LIGHTING FIXTURE SCHEDULE				
FIXTURE TYPE	DESCRIPTION	LAMP/LUMENS	MANUFACTURER	CATALOG NO.
AA	SINGLE UNIT, FULL CUTOFF, TYPE III DISTRIBUTION, POLE MOUNTED	LED / 5500	LITHONIA	DSXO-LED-P2-30K-T3M-MVOLT-RPA
BB	FULL CUTOFF, WALL MOUNTED, TYPE IV DISTRIBUTION	LED / 3000	MCGRAW EDISON	IST-AF-450-LED-E1-T4W-7030
H	6" RECESSED DOWNLIGHT (RECESS MOUNTED IN CANOPY)	LED / 1000	COOPER / PORTFOLIO	LDK8100010



6325 WOODSIDE COURT  
SUITE 310  
COLUMBIA, MD 21046  
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OWNER / CLIENT  
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STRUCTURAL ENGINEER  
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150 SOUTH EAST STREET, SUITE 201  
FREDERICK, MD. 217101  
301 662 4408

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER  
**JAMES POSEY ASSOCIATES**  
11155 RED RUN BOULEVARD, SUITE 310  
BALTIMORE, MD. 21117  
410 255 6100

REVISIONS		
DATE	NO.	ISSUED FOR

PROJECT NAME  
**RONALD MCNAIR ES  
ADDITION/RENOVATION**

PROJECT ADDRESS  
13881 Hopkins Rd.  
Germantown, MD. 20874

PROJECT NUMBER MD21-11.00

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 24861, Expiration date: 02-24-2022.  
PROJECT NO.: 7466-21

SHEET TITLE  
**SITE LIGHTING CALCULATION**

DRAWN BY JKW	CHECKED BY PJM	SHEET NO. <b>LC-1</b>
MANDATORY REFERRAL SUBMISSION		
DATE <b>11/16/2021</b>		





DEPARTMENT OF TRANSPORTATION

Marc Elrich  
*County Executive*

Christopher R. Conklin  
*Director*

February 15, 2022

Mr. Joshua Penn, Planner Coordinator  
UpCounty Planning Division  
The Maryland-National Capital  
Park & Planning Commission  
2425 Reedie Drive  
Wheaton, Maryland 20902

RE: Mandatory Referral No. MR2022014  
Ronald McNair Elementary School

Dear Mr. Penn:

We have completed our review of the revised Mandatory Referral Plan dated January 25, 2022. Based on our review, we have the following comments:

**Plan Review Comments**

1. We recommend the applicant comply with the Bikeway Master Plan recommendation of a sidepath along Hopkins Road frontage. The sidepath should conveniently tie into the site's pedestrian connections and existing sidewalks on either end.
2. Upgrade pedestrian facilities as necessary at adjacent intersections to comply with current ADA standards.
3. Design all access points to be at-grade with the sidewalk, dropping down to street level between the sidewalk and roadway.
4. **Storm Drain Analysis:**
  - a. If any portion of the subject site drains to an existing storm drain system maintained by Montgomery County, submit storm drain and/or flood plain studies, with computations, for review and approval by Department of Permitting Services (DPS) at or before the right-of-way permit stage. Analyze the capacity of the existing downstream public storm drain system and the impact of the post-development ten (10) year storm runoff on same. If the proposed subdivision drains to an existing closed section street, include spread computations in the impact analysis.
  - b. The limits of the floodplain and the building restriction lines are to be shown on the plan where applicable. The floodplain is to be dimensioned from the property line.
5. If there is a right-of-way permit the applicant shall submit a completed, executed MCDOT Sight

**Office of the Director**

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101 Monroe Street 10<sup>th</sup> Floor · Rockville Maryland 20850 · 240-777-7170 · 240-777-7178 FAX

[www.montgomerycountymd.gov](http://www.montgomerycountymd.gov)

*Located one block west of the Rockville Metro Station*

# Attachment D

Mr. Joshua Penn  
Mandatory Referral No. MR2022014  
February 15, 2022  
Page 2

Distances Evaluation certification form, for all existing and proposed site entrances onto County-maintained roads, for our review and approval by Department of Permitting Services (DPS) at or before the Permit Stage. Profile of all intersection and driveways should meet sight distance requirements.

6. If the proposed development will alter any existing street lights, replacement of signing, and/or pavement markings, please contact Mr. Dan Sanayi of our Traffic Engineering Design and Operations Section at (240) 777-2190 for proper executing procedures. All costs associated with such relocations shall be the responsibility of the applicant.
7. Forest Conservation Easements are not allowed to overlap any easement.
8. Relocation of utilities along existing roads to accommodate the required roadway improvements shall be the responsibility of the applicant.

If you have any questions or comments regarding this letter, please contact myself for this project, at (240) 777-7170 or at [brenda.pardo@montgomerycountymd.gov](mailto:brenda.pardo@montgomerycountymd.gov).

Sincerely,

*Brenda M. Pardo*

Brenda M. Pardo, Engineer III  
Development Review Team  
Office to Transportation Policy

[SharePoint\teams\DOT\Director's Office\Development Review\Brenda\Mandatory Referral\MR2022014 Ronald McNair\Letters\MR2022014-Ronald McNair MS 2.15.22](#)

cc:e: Correspondence folder FY 2022

Atiq Panjshiri  
Sam Farhadi  
Mark Terry  
John Hoobler  
Rebecca Torma

MCDPS RWPR  
MCDPS RWPR  
MCDOT DTEO  
MCDOT DTEO  
MCDOT OTP