

# **ATTACHMENT D**

## **DPS-ROW CONDITIONS OF APPROVAL**

**January 13, 2022**

### **820220050 PSTA Site**

Contact: Sam Farhadi at 240 777-6333

We have reviewed site and landscape plans files that were uploaded on/ dated “1/11/2022”.

The followings need to be addressed prior to the certification of site plan:

1. Access points on public roads:
  - a. Provide the minimum curb radii that will accommodate the site traffic.
  - b. Provide truck turning movement for all (especially right turn) movements.
2. Provide public sidewalk:
  - a. to ADA standards (minimum five feet wide) and label it accordingly.
  - b. Need dual ramps at intersections if crossing at both directions are planned.
  - c. Ensure handicap ramps are located as close as possible to the intersection.
  - d. Clarify cycle track traffic management (bike signage) at either end of the site.
3. On landscaping plan, provide:
  - a. more species diversity aside from maples, elms or zelkovas.
  - b. Accounting for sufficient soil volume and sight distance between the driveways along Street C West, explore providing minor species street trees in between driveways where the green panel is of enough size.

And the followings need to be conditions of the certified site plan:

1. Please address the following Planning Board preliminary plan 120200100 resolution dated July 29, 2021 comments:
  - a. 18: Bicycle and Pedestrian.
  - b. 20: elevation difference between bike lanes and sidewalks.
  - c. 27: Traffic signals.
  - d. 28 and 29: Monetary contributions.
  - e. 30: mitigate queuing for EB LT at Darnestown Road and Great Seneca HWY.
2. Please address the following MCDOT preliminary plan 120200100 approval letter dated July 8, 2021 comments:
  - a. Significant Review comments:
    - i. 6: Existing lot access.
    - ii. 12c: Sight distance requirement where on-street parking is provided.
    - iii. 14: Storm drain study.
    - iv. 15: TIS requirements.
    - v. 16: Providing PUE.
  - b. Standard Comments:
    - i. 2: Protected intersections details.
    - ii. 5: Sidewalks at intersections.
    - iii. 7: on-street parking locations will be determined at ROW permit.

- iv. 8: Coordination with MCDOT regarding CCT.
  - v. 9: Coordination with MCDOT regarding traffic signals.
  - vi. 10: Undergrounding utilities.
  - vii. 11: Relocate all private structures/ features out of ROW.
  - viii. 16: TDM requirements. Per Preliminary Plan approval, prior to issuance of any building permit, the applicant must submit a Level 3 TDM Plan for New Development. For a TDM Plan template or for any additional information, please contact Beth Dennard at [Beth.Dennard@montgomerycountymd.gov](mailto:Beth.Dennard@montgomerycountymd.gov), or (240) 777-8384.
- 3. Private streets to be built to the corresponding public road classification standards per County Code 50.4.3.E.4.c.
- 4. Coordinate with MCDOT-Transit on upgrading frontage bus stops to shelters.



DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

Marc Elrich  
*County Executive*

Aseem K. Nigam  
*Director*

January 31, 2022

Ms. Tamika Graham  
Montgomery County Planning Department  
2425 Reedie Drive  
Wheaton, Maryland 20902

Re: PSTA  
Site Plan No. 820220050

Dear Ms. Graham:

The Montgomery County Department of Housing and Community Affairs (DHCA) has reviewed the above referenced plans and recommends Approval with the updated floor plans for multi-family MPDUs which were received on 1/28/2022.

Sincerely,

*Julia Chen*

Julia Chen, Planning Specialist  
Affordable Housing Programs Section

cc: Kate Kubit

**Division of Housing**

Affordable Housing

Common Ownership Communities

Landlord-Tenant Affairs

Multifamily Housing

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1401 Rockville Pike, 4th Floor • Rockville, Maryland 20852 • 240-777-0311 • 240-777-3691 FAX • [www.montgomerycountymd.gov/dhca](http://www.montgomerycountymd.gov/dhca)



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**Department of Permitting Services  
Fire Department Access and Water Supply Comments**

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**DATE:** 08-Jun-21  
**TO:** Randall Rentfro - rrentfro@rodgers.com  
Rodgers Consulting, Inc.  
**FROM:** Marie LaBaw  
**RE:** PSTA Site  
120200100 820220050

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**PLAN APPROVED**

1. Review based only upon information contained on the plan submitted **04-Jun-21** .Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

**\*\*\* Parking restrictions (fire lane orders and traffic orders) to be submitted at site plan \*\*\***

**\*\*\* See statement of performance based design \*\*\***

**\*\*\* 3/10/2022 Site plan 820220050 - see statement of performance based design \*\*\***



February 24, 2022

**Marie LaBaw PhD, PE**

Fire Department Access and Water Supply  
Department of Permitting Services, Montgomery County  
2425 Reddie Drive, 7<sup>th</sup> Floor  
Wheaton, MD 20902

**Project Name:** PSTA Site

**Preliminary Plan:** #120200100

**Site Plan:** #820220050

**Statement of Performance Based Design**

Rodgers File #: 0643T1

Dear Marie:

This document serves to outline the non-prescriptive design elements of the Fire Access Plan associated with the former Public Safety Training Academy (P.S.T.A.) Site development project. For your reference, the architecture for each unit type has been included with the Fire Access Plan submission.

**Building Height**

2-Over-2: The 2-Over-2 condominium product features four (4) levels of living space. All four (4) levels are above finished grade, and appropriate fire department access is provided to eliminate height restriction.

16' Townhome: The 16' townhome features four (4) levels of living space, with an exposed rear terrace and side hinged door on the top floor. In the front you will notice a fourth-floor dormer. This option will not be permitted for lots that are front height restricted. Fire department access is provided in the rear to serve front height restricted units with rear terraces.

20' Townhome: The 20' townhome product features a rear-loaded garage entry, with four (4) levels of living space. All four (4) levels will be exposed the rear. In the front, the highest-level dormer is to be no more than 27' from finished grade. The intent is for this product to satisfy front height restriction requirements. A modified version of this architecture will also be produced to meet full height restriction requirements.

24' Townhome: There are two 24' townhome products: rear-loaded and front-loaded. Both products feature three (3) levels of living space. On the front elevations, you will notice an option for a fourth-floor dormer; this will not be permitted on height restricted units. Additionally, rear-loaded units with a living space below finished grade will provide access via egress window wells.

Apartment Buildings: The multi-family apartment buildings will be four (4) stories with a basement. Only one FDC is required.

Per the *2019 Performance Based Design Guide*, multi-family buildings and townhomes with windowsills greater than 27' from grade will require protection by an automatic sprinkler system compliant with NFPA 13 and 13D, respectively. The Fire Access Plan shows one Fire Department Connection (FDC) per building, located in the line of sight from the adjacent fire access route or operation bay. Not all FDC's are located within 50' of the adjacent fire access route or operation bay. However, all FDC's are served by a fire hydrant no more than 100' away. Please note that FDC's are shown on the Preliminary Fire Access Plan for graphical purposes only, and do not mandate implementation on the units shown. Required FDC's will be determined at building permit.

### **Roadways and Operation Bays**

Medical Center Drive and Street C West are both roadways with 12' wide one-way travel lanes. To support fire department vehicular access along these routes, operation bays have been spaced in accordance with MCFRS code. Each operation bay features a dedicated fire hydrant within the limits of the operational area. Per our discussion on 2/12/21, it is desired for these bays to provide a rectangular operation area that is 60' in length (minimum dimensions are 20' x 50'). This has been implemented along Street C West in coordination with on-street parking; operation bays along Street C West measure 20' x 58'. This was also implemented along Medical Center Drive to eliminate all height restrictions on fronting units.

Due to the reduced travel lane width, the minimum effective turning radii at full intersections were calculated using the equation:

$$\text{Min. Radius} = 25' + 20' - \frac{(\text{Street 1} + \text{Street 2})}{2}$$

where the variables *Street 1* and *Street 2* are the travel lane widths of the intersecting roadways. Bends in the vehicular access route throughout the site have a minimum inside radius of 30' and outside radius of 50'. For the bend scenario, the 25' variable is replaced with 30' in the minimum radius equation.

To provide the required 38' effective radii for the intersections of Medical Center Drive and Street C West, custom surface treatments are proposed and detailed on Sheet 2 of the Fire Access Plan. The intent is to utilize two curbs to delineate the protected pedestrian paths from the primary roadway, while providing a mountable area for the fire apparatus to complete the turning movement. The northern intersection (1. Turn In – Street C West) proposes mountable curb to begin at the 38' effective radius and continue around the intersection at a 25' radius with transitions to depressed curb at the crosswalks. Behind this is a 6" curb to follow the 38' radius. This curb transitions down to comply with ADA grading for the crosswalks, and detectable warning surfaces are used to delineate the pedestrian refuge area within the 38' radius.

A similar treatment is proposed for the southern intersection (2. Turn Out – Street C West). Depressed curb follows the 25' radius around the intersection and transitions to mountable curb before converging along Medical Center Drive with the rear 6" curb. Detectable warning surfaces are used to delineate the safe limits of pedestrian paths within the depressed area. For both intersections, ladder bar crosswalk pavement markings shall extend to the limits of the fire access route. All concrete and asphalt within the depressed areas and indicated as fire access route shall meet tertiary road loading standards.

Operation bays outside of a standard roadway are to be constructed in compliance with tertiary road loading standards. This includes the 12' Emergency Vehicle Access to the pool facilities. All mountable curb will be MC-104.01. Final details of aprons, surface hardscape, and method of control are now shown on the fire access plan. Method of control will not be vinyl pillars. All driveway entrances shown as fire access route are to be constructed in compliance with the MCFRS modified residential driveway detail on the Fire Access Plan, unless shown otherwise.

### **Multi-Family Hydrant Spacing**

The Fire Access plan identifies the Multi-family fire access loop through the internal parking lot. Per your e-mail on 2/26/2021, fire hydrant spacing is to be no farther than 500 feet apart measured as the truck travels along any FD access route. The northern portion of this loop that runs parallel to Key

West has hydrants on either end that are spaced 530' apart. However, because there is no building frontage along this stretch, Rodgers requests the spacing and alignment be accepted. Additionally, it has been agreed upon that the northernmost operation bay, adjacent to Multi-family Building One (1) on Medical Center Drive as it approaches Key West Avenue, does not require a fire hydrant.

Should you have any questions or require additional information, please feel free reach out.



Sincerely,

Rodgers Consulting, Inc.

**Randall Rentfro, PE**

Senior Team Engineer/Senior Associate

"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 42356, Expiration Date: 12/19/22."

CC: Elm Street Development, Inc.

Doug Flanagan

Kate Kubit

Rodgers Consulting, Inc.

N:\MD-Montgomery\WMAL Bethesda\documents\Technical\Fire Order\2018-03-29 Performance Based Design(Rev).docx

## **FIRE CODE ENFORCEMENT**

### **Fire Department Access Review**

**Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation**

**BY: SAC FM: 43 DATE: 3/10/2022**

February 24, 2022

**Marie LaBaw PhD, PE**

Fire Department Access and Water Supply  
Department of Permitting Services, Montgomery County  
2425 Reddie Drive, 7<sup>th</sup> Floor  
Wheaton, MD 20902

**Project Name:** PSTA Site

**Preliminary Plan:** #120200100

**Site Plan:** #820220050

**Traffic Order**

Rodgers File #: 0643T

**Introduction:**

The intent of this document is to outline the areas designated “No Parking Any Time” per Montgomery County Executive Regulation 29-08 for the Former P.S.T.A. site development project. In addition to the regulation, proximity to proposed fire hydrants was accounted for when delineating these parking restricted areas.

All roads to be constructed will be described and for reference purposes, the terminology of North, East, South, and West will be used. Private streets will not be covered in this document as signage in for these areas is proposed by the fire lane order.

**Medical Center Drive:**

Medical Center Drive is a primary road that begins with a connection to existing Key West Ave (MD Route 28) and continues to the southeast for 2,679 linear feet (LF) with one travel lane in each direction. The roadway begins as two 12’ travel lanes separated by a median with turning lanes on the outside. The road then tapers to a continuous 12’ paving width with intermittent 8.5’ parking bump-outs on the outer sides. The roadway ends with a connection to Great Seneca Highway with turning lanes. There are numerous intersecting cross streets that will be referenced for location purposes. Areas designated as “No Parking Any Time” are as follows:

1. The north side of Medical Center Drive beginning at Key West Ave. and terminating 218 LF past the intersection.
2. The north side of Medical Center Drive from 155 LF to 105 LF before the intersection of Blackwell Road.
3. The north side of Medical Center Drive beginning 50 LF before Blackwell Road and terminating 50 LF past the intersection.
4. The north side of Medical Center Drive from 215 LF to 287 LF after the intersection of Blackwell Road.
5. The north side of Medical Center Drive from 126 LF to 43 LF before the intersection of Street C.
6. The north side of Medical Center Drive from 54 LF to 116 LF after the intersection of Street C.
7. The north side of Medical Center Drive from 218 LF to 168 LF before the intersection of Street A.
8. The north side of Medical Center Drive beginning at Street A and terminating 160 LF past the intersection.
9. The north side of Medical Center Drive from 300 LF to 175 LF before the intersection of Great Seneca Highway.

10. The north side of Medical Center Drive beginning 66 LF before Great Seneca Highway and continuing to the end of the road.
11. The south side of Medical Center Drive beginning at Key West Ave. and terminating 212 LF past the intersection.
12. The south side of Medical Center Drive beginning 95 LF before Blackwell Road and terminating 175 LF past the intersection.
13. The south side of Medical Center Drive from 292 LF to 191 LF before Street C.
14. The south side of Medical Center Drive beginning 125 LF before Street C and terminating 116 LF past the intersection.
15. The south side of Medical Center Drive from 191 LF to 141 LF before Street A.
16. The south side of Medical Center Drive beginning 66 LF before Street A and terminating 55 LF past the intersection.
17. The south side of Medical Center Drive beginning 222 LF before Great Seneca Highway and continuing to the end of the road.

**Blackwell Road:**

Blackwell Road is a secondary road that begins with a connection to Great Seneca Highway and continues to the west for 1000 LF to Medical Center Drive. The road has a 21.0' paving width with one travel lane in each direction and intermittent 8' parking bump-outs on the outer sides. Areas designated as "No Parking Any Time" are as follows:

1. The north side of Blackwell Road from Great Seneca Highway to 250 LF past the intersection.
2. Both sides of Blackwell Road beginning 35 LF before Street B and terminating 35 LF past the intersection.
3. The north side of Blackwell Road beginning 35 LF before Street A and terminating 35 LF past the intersection.
4. The north side of Blackwell Road beginning 73 LF before Medical Center Drive and continuing to the end of the road.
5. The south side of Blackwell Road from Great Seneca Highway to 228 LF past the intersection.
6. The south side of Blackwell Road beginning 35 LF before Street A and terminating 125 LF before the intersection of Medical Center Drive.
7. The south side of Blackwell Road beginning 68 LF before Medical Center Drive and continuing to the end of the road.

**Street A:**

Street A is a secondary road that begins with a connection to Blackwell Road and continues to the south for 1000 LF to Medical Center Drive. The road has a 21.0' paving width with one travel lane in each direction and intermittent 8' parking bump-outs on the east side. Areas designated as "No Parking Any Time" are as follows:

1. The west side of Street A for the entirety of the road.
2. The east side of Street A beginning at Blackwell Road and terminating 35 LF past the intersection.
3. The east side of Street A from 142 LF to 167 LF past the intersection of Blackwell Road.
4. The east side of Street A from 250 LF to 275 LF past the intersection of Blackwell Road.
5. The east side of Street A from 161 LF to 135 LF before the intersection of Street C East.
6. The east side of Street A beginning 51 LF before Street C East and terminating 73 LF past the intersection.
7. The east side of Street A beginning 158 LF past Street C East and terminating 25 LF past the alley apron.

8. The east side of Street A beginning 153 LF before Medical Center Drive and continuing to the end of the road.

**Street B:**

Street B is a secondary road that begins with a connection to Blackwell Road and continues to the south for 1000 LF to Street C East. The road has a 21.0' paving width with one travel lane in each direction and intermittent 8' parking bump-outs on the east side. Areas designated as "No Parking Any Time" are as follows:

1. The west side of Street B for the entirety of the road.
2. The east side of Street B beginning at Blackwell Road and terminating 157 LF past the intersection.
3. The east side of Street B from 281 LF to 256 LF before the intersection of Street C East.
4. The east side of Street B from 172 LF to 147 LF before the intersection of Street C East.

**Street C West:**

Street C West is a secondary road that begins and ends with a connection to Medical Center Drive. It is a one-way travel lane going from north to south for 850 LF. The travel lane width is 12.0' and there is an 8' parking bump out on the east side. Areas designated as "No Parking Any Time" are as follows:

1. The west side of Street C West for the entirety of the road.
2. The east side of Street C West beginning at the north connection to medical center drive and terminating 222 LF past the intersection.
3. The east side of Street C West from 282 LF to 340 LF past the northern connection to Medical Center Drive.
4. The east side of Street C West from 372 LF to 314 LF before the southern connection to Medical Center Drive.
5. The east side of Street C West from 258 LF before the southern connection to Medical Center Drive and continuing to the end of the road.

**Street C East:**

Street C East is a secondary road that begins with a connection to Medical Center Drive and continues to the east for 600 LF until Street B. The road has a 22.0' paving width with one travel lane in each direction. Areas designated as "No Parking Any Time" are as follows:

1. Both sides of Street C East for the entirety of the road.

**Street D:**

Street D is a secondary road that begins with a connection to Medical Center Drive and continues to the south for 215 LF. The road has a 21.0' paving width with one travel lane in each direction and an 8' parking bump-out on the west side. Areas designated as "No Parking Any Time" are as follows:

1. The east side of Street D for the entirety of the road.
2. The west side of Street D beginning at Medical Center Drive and terminating 50 LF past the intersection.
3. The west side of Street D beginning at 162 LF past Medical Center Drive and continuing to the end of the road.





## MONTGOMERY COUNTY FIRE AND RESCUE SERVICE

Date: 2/24/2022

### Fire Lane Establishment Order

Pursuant to Section 22-33, Montgomery County Code, 1971, as amended, you are hereby notified that a Fire Lane has been established as described in this order. You are hereby ordered to post fire lane signs and paint curbs/pavement as identified below. When signs or paint work has been completed, this order will authorize the enforcement of this Fire Lane by appropriate police or fire officials. Compliance with this order must be achieved within 30 days of receipt when any of the following conditions are met:

- One or more structures addressed from the subject road are occupied;
- The road or accessway is available for use and at least one building permit for an address on the subject road has been issued; or
- The road or accessway is necessary fire department access.

LOCATION:     Former P.S.T.A. Site - 9710 Great Seneca Highway

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Delineate all areas where indicated by signs and/or paint.

☒ **SIGNS** -- (See attached diagram for location of sign placement)



(Red letters on white background)

Signs must be posted so that it is not possible to park a vehicle without being in sight of a sign. Signs may be no further apart than 100 feet.

☐ **PAINT** -- (See attached diagram when painting is required)

Paint must be traffic yellow with lines of sufficient width to be readily identifiable/readable by motor vehicle operators.

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Signature of Order Writer/I.D. #

Cc: Fire Code Enforcement Section  
Attachment: Fire Lane Diagram

## FIRE LANE ESTABLISHMENT FORM

BUILDING OR SUBDIVISION NAME: The Elms at PSTAFIRE LANE LOCATION/ADDRESS: Former P.S.T.A. Site - 9710 Great Seneca Highway

See attached drawing for designated fire lanes:

I have received the drawing and instructions for installing the designated fire lanes on property not owned by state or local government.

NAME AND TITLE OF PROPERTY REPRESENTATIVENAME: Kathryn Kubat TITLE: Vice President ESBC II,  
SIGNATURE: Kathy Kubat Manager  
PHONE: (703) 734-9730 DATE: 2.24.2022

ADDRESS (where processed order will be mailed):

1355 Beverly Rd #240, McLean VA 22101

The designated fire lanes are the minimum necessary for fire/rescue access and are in accordance with Section 22-33 of the Fire Safety Code.

NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

STA.#: \_\_\_\_\_ I.D.#: \_\_\_\_\_ DATE: \_\_\_\_\_

Comments: \_\_\_\_\_

Fire Lane Installed Per Order

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_



# FORMER P.S.T.A SITE FIRE LANE SIGN PACKAGE



## SHEET INDEX:

SHEET No.	PLAN TYPE	DESCRIPTION
MCFR-1	FIRE LANE SIGNAGE PLAN	COVER SHEET-KEY MAP
MCFR-2	FIRE LANE SIGNAGE PLAN	NOTES
MCFR-3	FIRE LANE SIGNAGE PLAN	SAMPLE SIGN
MCFR-4	FIRE LANE SIGNAGE PLAN	TYPICAL SIGNS & PLACEMENT
MCFR-5	FIRE LANE SIGNAGE PLAN	SIGN PLACEMENT & CURB PAINT DIAGRAM
MCFR-6 - 8	FIRE LANE SIGNAGE PLAN	PLAN VIEW LAYOUT

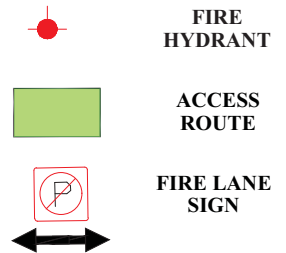
### NOTE:

- HOA alley parcels that are not designated as fire lane access routes and do not meet design criteria for designation as access routes should be noted as such in project's HOA Covenant documents.
- All signage shall be installed outside of easement dedications.

### NOTE:

The Planimetric information shown on this plan is based in part on copyrighted GIS Data from M-NCPPC, and may not be copied or reproduced without express written permission from M-NCPPC.

## PLAN SHEET LEGEND



FORMER P.S.T.A. SITE  
FIRE LANE  
SIGNAGE PLAN

ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY

**RODGERS**  
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rogers.com

BY	DATE	SCALE:
BASE DATA		1" = 400'
DESIGNED		JOB No. 0643T
DRAWN		DATE: FEB 2022
REVIEWED		<b>MCFR-1</b>
RELEASE FOR		SHEET No. 1 OF 8
BY	DATE	

# SIGNAGE

## GENERAL NOTES:

### Characteristics

Signs shall be all-season durable with red reflective lettering on a white background.

### Where Required

Fire lane signs may be required in areas that meet the following criteria:

- Fire department access roadways with clear and unobstructed pavement width ***less than 28 feet wide*** - signs shall be posted on ***both sides*** and/or ***per direction from the fire marshal***.
- Fire department access roadways with clear and unobstructed pavement width ***between 28 feet and 36 feet wide*** - signs shall be posted on ***one side only*** and/or ***per direction from the fire marshal***.
- Fire department access roadways with clear and unobstructed pavement width ***exceeding 36 feet wide*** - fire lane restrictions ***per direction from the fire marshal***.
- Fire department access roadways with limiting factors such as traffic calming devices, heavy volume, access to high risk occupancies, etc - fire lane restrictions ***per direction from the fire marshal***.

### Installation

Installation of the NO PARKING signs shall meet all of the following requirements:

- One at the beginning of the restriction (one arrow pointing towards the restriction zone).
- One at the end of the restriction (one arrow pointing back into the restricted zone).
- One ***at least*** every 200 feet within the restricted area (double arrow pointing in each direction, to indicate the continuing restriction).
- Spaced evenly within the restriction (for straight curbs/zones). For example, if the parking restriction zone is 400 feet long, only one ***double arrow*** sign is required at a distance of 200 feet from the beginning of the restriction. If the restriction zone is 450 feet long, two ***double arrow*** signs are required; spaced evenly from each other and from the beginning/ending signs.
- Spaced so that at least one readable sign is visible in front of a parked vehicle from any point along the restriction (for curved curbs/zones and areas that may present visual obstacles).
- Set at an angle of no fewer than 30 degrees and no more than 45 degrees with the lane of traffic flow visible to approaching traffic.

Some areas may need additional fire lane signs. Review by the Fire Marshal's office will identify additional requirements.

### Other Fire Lane Designations

MCFRS Office of the Fire Marshal ***may*** require other designations such as curb painting in addition to signs. Per ***NFPA 1 Section 18.2.3.5*** where required by the Montgomery County Fire and Rescue Service, approved signs or other approved notices shall be maintained to identify fire department access roads.

FORMER P.S.T.A. SITE  
FIRE LANE  
SIGNAGE PLAN  
ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY

**RODGERS**  
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

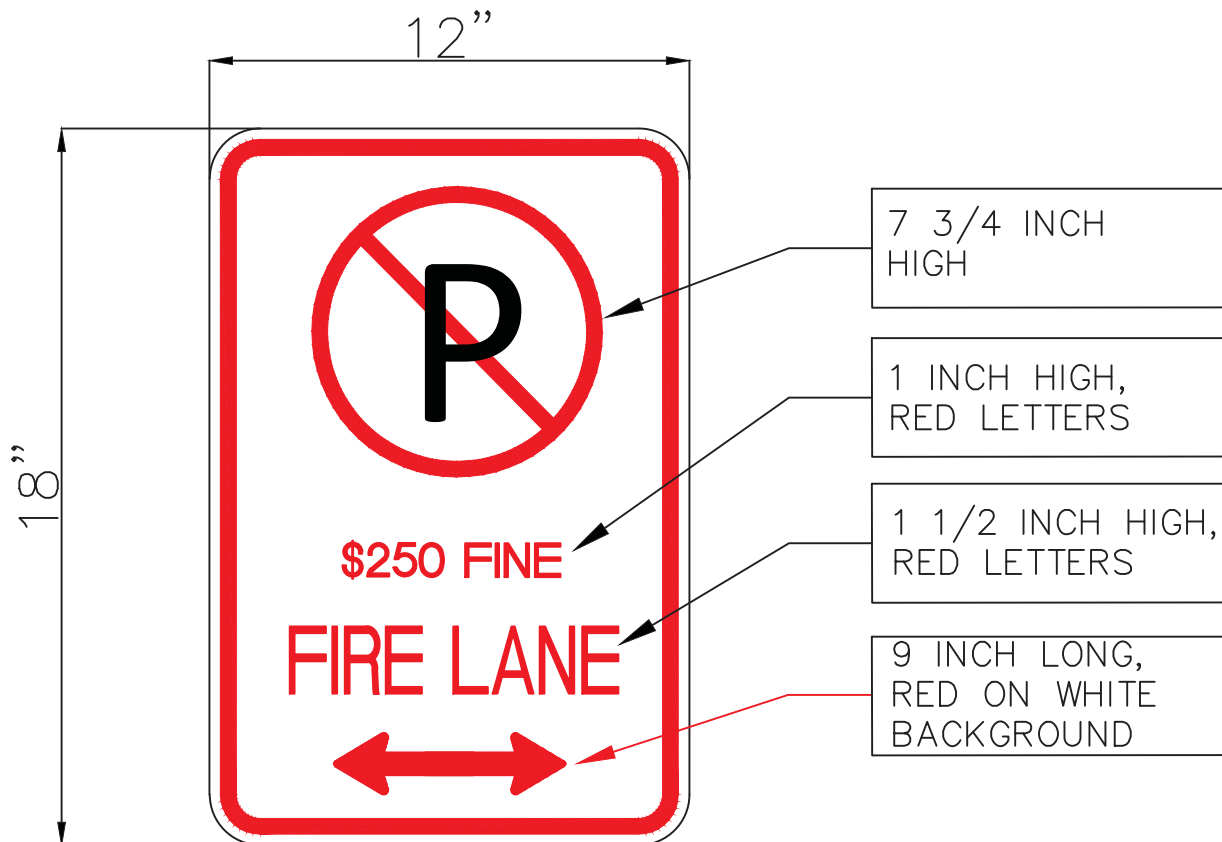
	BY	DATE	SCALE: _
BASE DATA			JOB No. 0643T
DESIGNED			DATE: FEB 2022
DRAWN			<b>MCFR-2</b>
REVIEWED			SHEET No. 2 OF 8
RELEASE FOR			
BY		DATE	

Per Montgomery County Executive Regulation 29-08AM, Fire Department apparatus access serving one and two family dwellings of three (3) stories or less, and having no window sill greater than twenty-seven (27) feet from grade on the same side of the structure as the access route, may be twenty-six (26) feet wide and allow parking on one side, if there are fifty (50) foot long operating bays at a maximum interval of three hundred (300) feet.

Per Montgomery County Code

- 31-17 No parking within 30 feet of an intersection.
- 31-19 No parking within 5 feet of a driveway.
- 31-20(b) No parking within 15 feet of fire hydrant
- No Parking within 20 feet of painted crosswalk
- No parking within 30 feet of traffic control signal/ device

# SAMPLE SIGN



FIRE LANE SIGNS SHALL BE 12 INCHES WIDE AND 18 INCHES HIGH

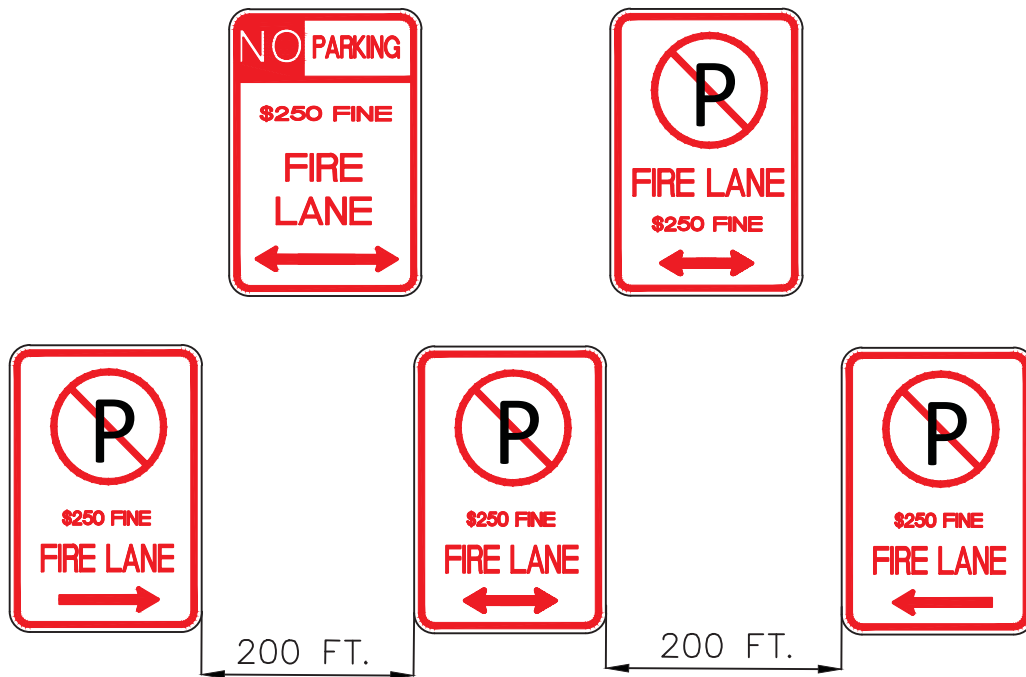
FORMER P.S.T.A. SITE  
FIRE LANE  
SIGNAGE PLAN  
ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY

**RODGERS**  
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

	BY	DATE	SCALE: _
BASE DATA			JOB No. 0643T
DESIGNED			DATE: FEB 2022
DRAWN			<b>MCFR-3</b>
REVIEWED			SHEET No. 3 OF 8
RELEASE FOR <input type="checkbox"/>			
BY _____ DATE _____			

# TYPICAL SIGNS & PLACEMENT



EITHER TYPE OF SIGN MAY BE USED PROVIDED  
THE SAME TYPE IS USED CONSISTENTLY

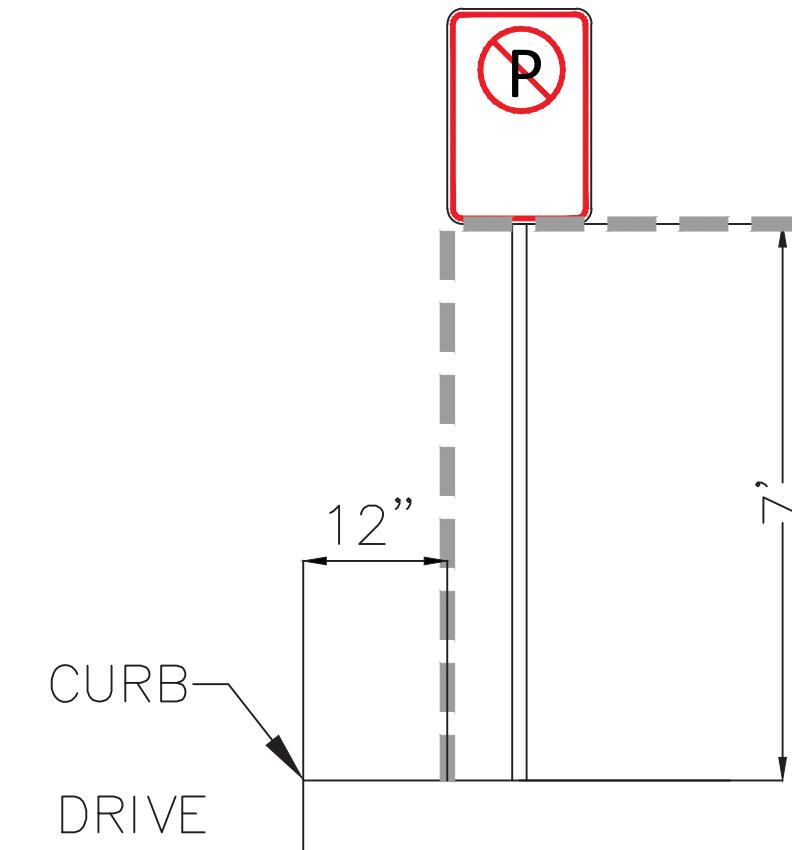
FORMER P.S.T.A. SITE  
**FIRE LANE  
SIGNAGE PLAN**  
ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY

**RODGERS**  
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

	BY	DATE	SCALE: _
BASE DATA			JOB No. 0643T
DESIGNED			DATE: FEB 2022
DRAWN			<b>MCFR-4</b>
REVIEWED			SHEET No. 4 OF 8
RELEASE FOR			
BY		DATE	

# SIGN PLACEMENT DETAIL



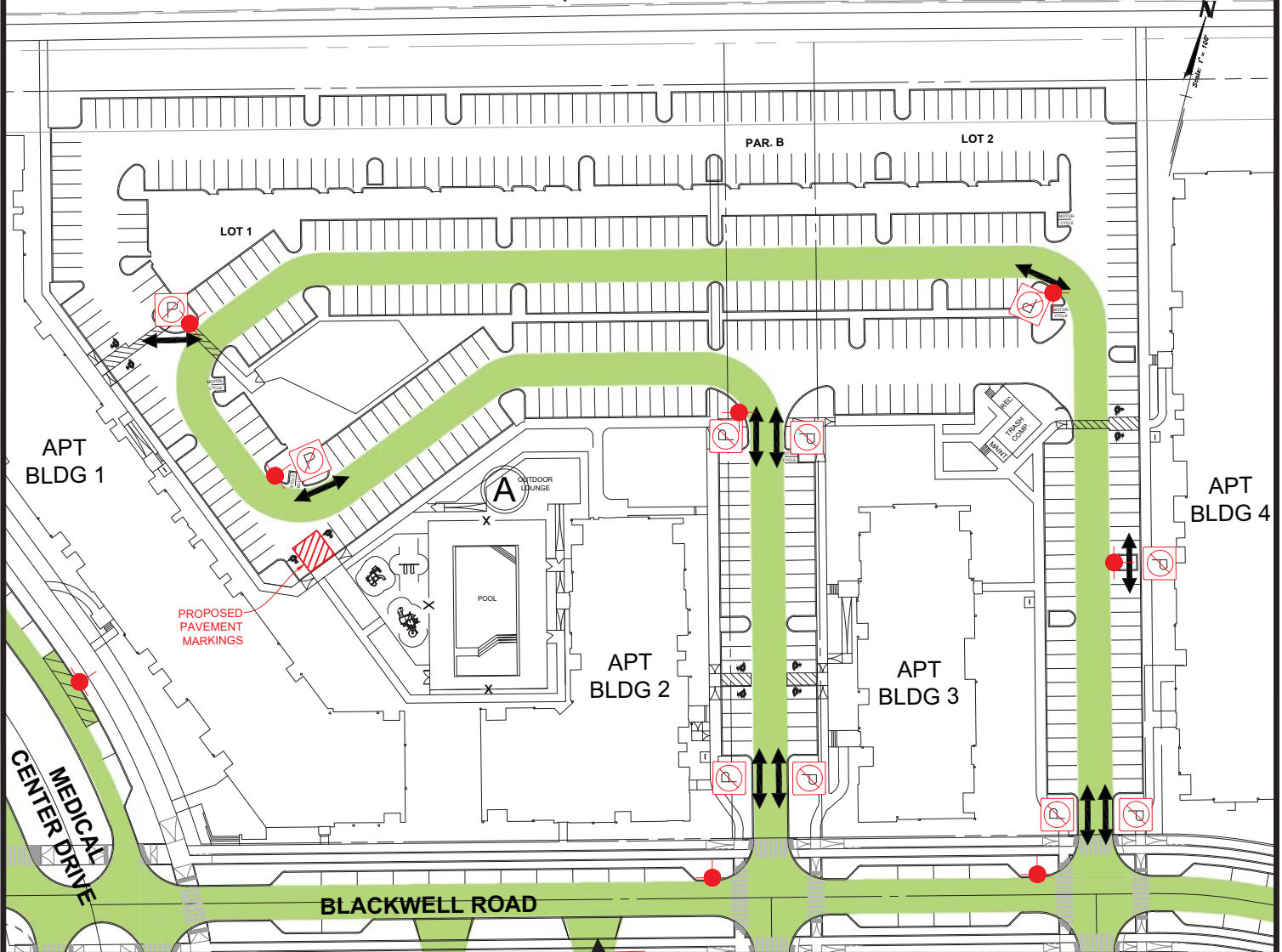
FORMER P.S.T.A. SITE  
FIRE LANE  
SIGNAGE PLAN  
ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY

**RODGERS**  
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

	BY	DATE	SCALE: _
BASE DATA			JOB No. 0643T
DESIGNED			DATE: FEB 2022
DRAWN			<b>MCFR-5</b>
REVIEWED			SHEET No. 5 OF 8
RELEASE FOR <input type="checkbox"/>			
BY _____ DATE _____			

KEY WEST AVE. (MD RTE 28)



FORMER P.S.T.A. SITE  
FIRE LANE  
SIGNAGE PLAN

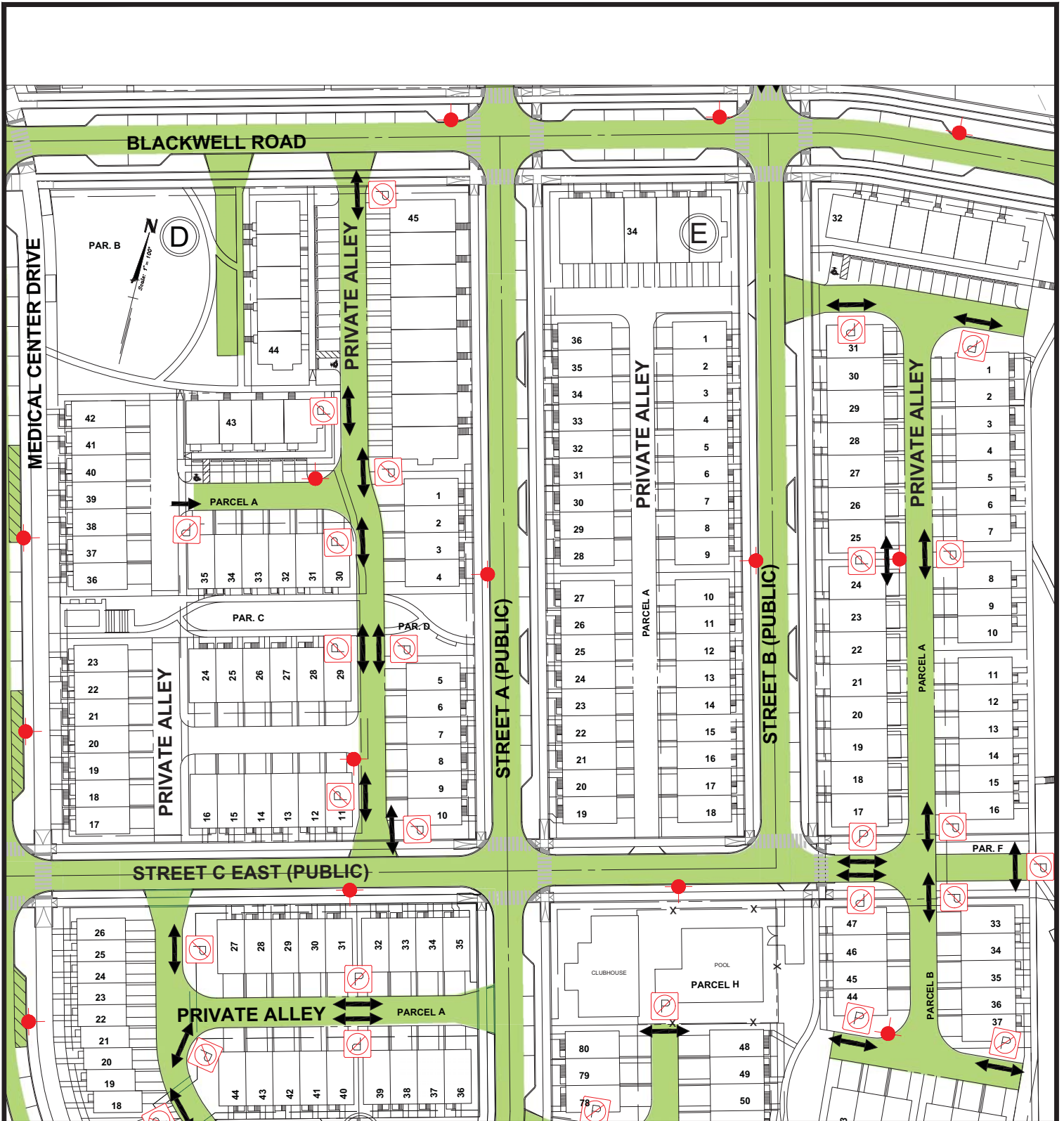
ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY

**RODGERS**  
CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

	BY	DATE	SCALE: 1" = 100'
BASE DATA			JOB No. 0643T
DESIGNED			DATE: FEB 2022
DRAWN			<b>MCFR-6</b>
REVIEWED			SHEET No. 6 OF 8
RELEASE FOR			
BY		DATE	





FORMER P.S.T.A. SITE  
FIRE LANE  
SIGNAGE PLAN

ELECTION DISTRICT No. 2  
MONTGOMERY COUNTY

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	BY	DATE	SCALE: 1"=100'
BASE DATA			JOB No. 0643T
DESIGNED			DATE: FEB 2022
DRAWN			<b>MCFR-7</b>
REVIEWED			SHEET No. 7 OF 8
RELEASE FOR			
BY	DATE		



FORMER P.S.T.A. SITE  
**FIRE LANE  
 SIGNAGE PLAN**  
 ELECTION DISTRICT No. 2  
 MONTGOMERY COUNTY

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 CONSULTING**  
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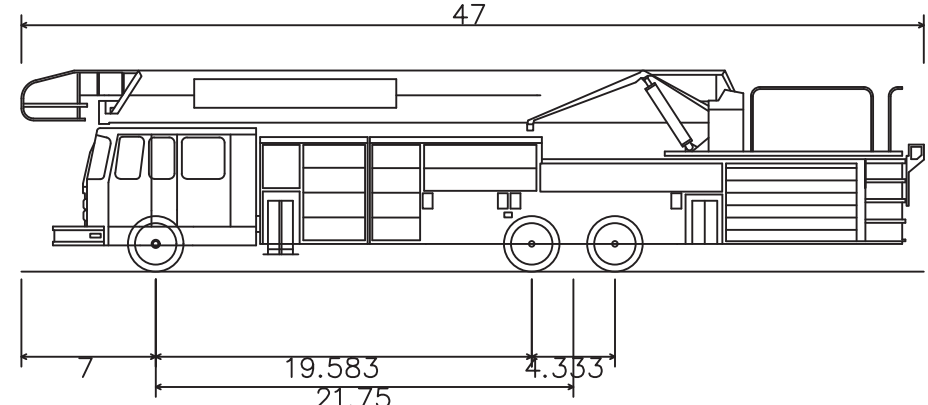
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DESIGNED			JOB No. 0643T
DRAWN			DATE: FEB 2022
REVIEWED			<b>MCFR-8</b>
RELEASE FOR			SHEET No. 8 OF 8
BY		DATE	



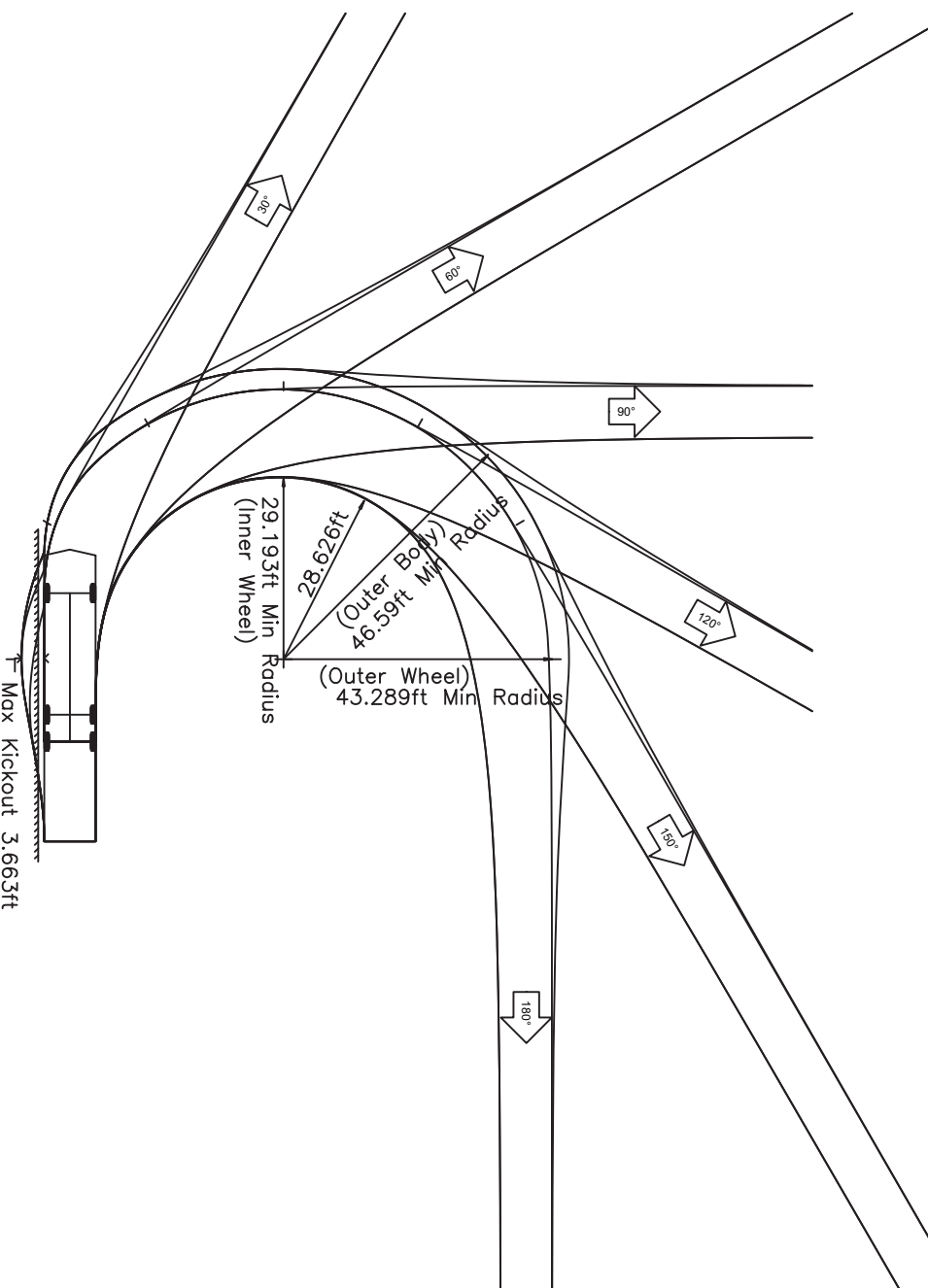
**LEGEND**

FIRE LANE  
FRONT ONLY HEIGHT RESTRICTED UNIT  
FULLY HEIGHT RESTRICTED UNIT (SEE GENERAL NOTE 1)  
EMERGENCY VEHICLE ACCESS

PROPOSED FIRE HYDRANT  
EXISTING FIRE HYDRANT  
PROPOSED FIRE DEPARTMENT CONNECTION  
HOSE PULL  
MAIN DOOR LOCATION  
SITE LIMITS  
PUBLIC STREET RIGHT OF WAY  
LOT LINES  
PROPOSED SIDEWALKS, PATHS, TRAILS  
SWM/ESD

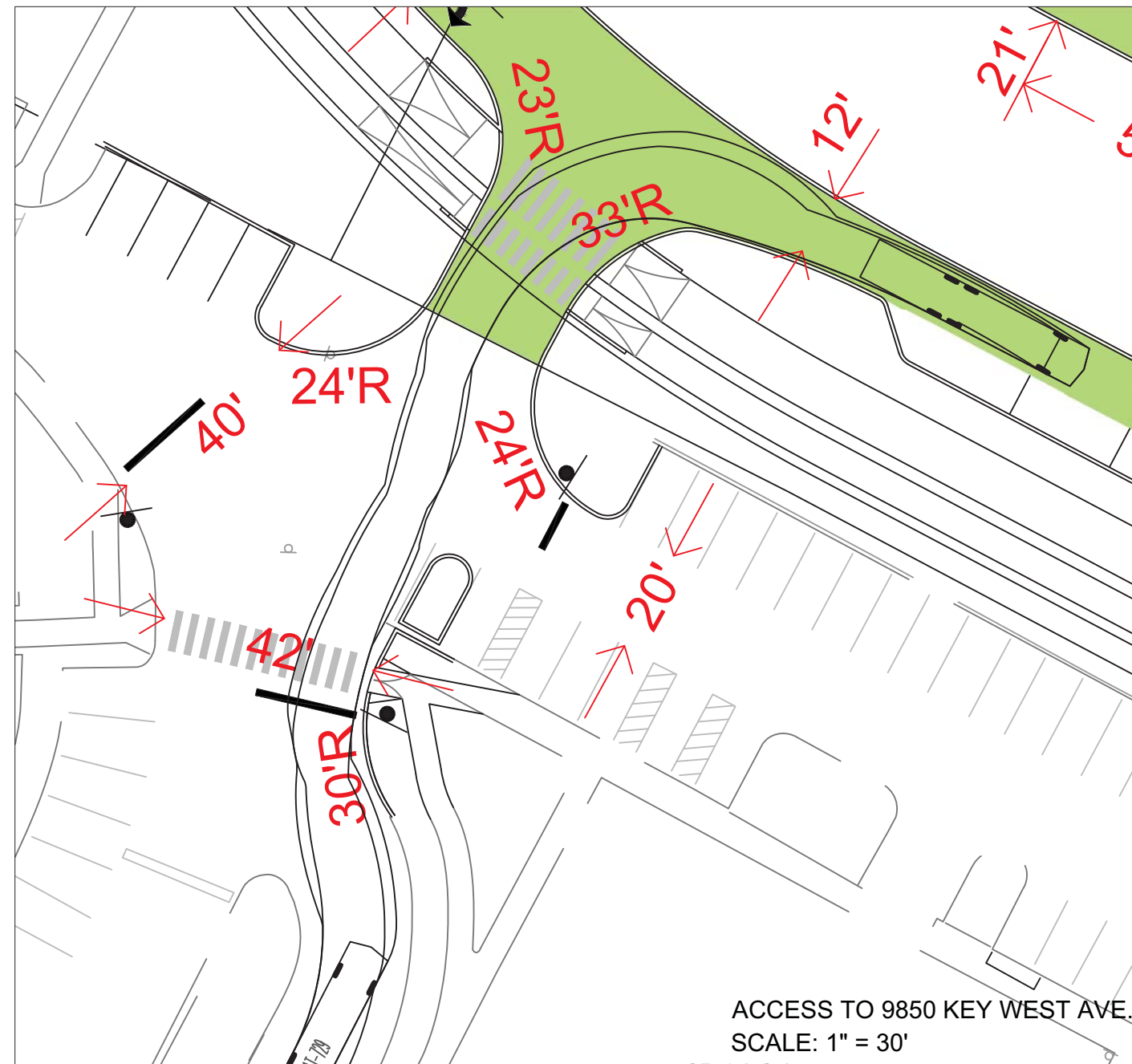


AT-729  
Overall Length 47.000ft  
Overall Width 8.250ft  
Overall Body Height 10.475ft  
Min Body Ground Clearance 0.906ft  
Track Width 8.250ft  
Lock-to-lock time 6.00s  
Max Steering Angle (Virtual) 33.20°



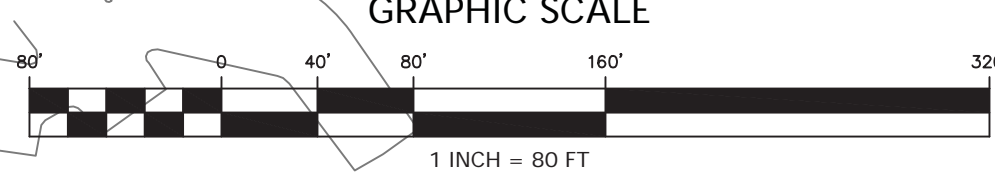
GENERAL NOTES:

- ONE AND TWO-FAMILY DWELLINGS OF THREE (3) STORIES (27' TO HIGHEST SILL, INCLUDING FALSE DORMERS) OR LESS MUST PROVIDE ACCESS TO THE OCCUPIED INTERIOR THROUGH A MAIN, SIDE-HINGE DOOR WITHIN 150 FEET OF A FIRE DEPARTMENT ACCESS ROUTE. FOR UNITS OF THREE (3) STORIES OR MORE, ACCESS MUST BE WITHIN FIFTY (50) FEET OF ACCESS ROUTE.
- ALL ALLEYS DESIGNATED AS A FIRE LANE SHALL PROVIDE 20' MINIMUM CLEAR WIDTH.
- FIRE APPARATUS USED FOR TURNING TEMPLATE: TYPE AT-29. EMERGENCY VEHICLE USED FOR TURNING TEMPLATE: HORTON 553A TYPE III FORD E-SERIES AMBULANCE.
- POOL FACILITIES TO PROVIDE MINIMUM 12' EMERGENCY VEHICLE ACCESS TO POOL DECK OR WITHIN 20' OF EDGE OF POOL.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC'S) TO BE LOCATED IN THE LINE OF SIGHT AS THE TRUCK APPROACHES.
- FIRE DEPARTMENT CONNECTIONS (FDC'S) ARE SHOWN FOR GRAPHICAL PURPOSES ONLY, AND DO NOT MANDATE IMPLEMENTATION ON THE UNIT. REQUIRED FDC'S TO BE COORDINATED AT BUILDING PERMIT.
- FIRE HYDRANTS INTENDED TO SERVE FDC'S ARE SHOWN WITH 100' RADII.
- ALL OPERATING BAYS AND OFF-STREET VEHICULAR ACCESS TO BE CONSTRUCTED TO TERTIARY ROAD LOADING STANDARDS. ALL MOUNTABLE CURB TO BE MC-104.01. METHOD OF CONTROL TO BE MAXIFORCE COLLAPSIBLE BOLLARDS PER DETAIL ON SHEET 3. OFF-STREET VEHICULAR ACCESS IS DENOTED BY \* ON THE PLAN. SEE SHEETS 2 AND 3 FOR DETAILS.
- FIRE ACCESS FOR ANY OPEN AIR PAVILION ADDED TO THE PLAN WILL BE ADDRESSED AT BUILDING PERMIT.
- CLUBHOUSE DRIVEWAYS AND POOL GATES TO BE MINIMUM 12' WIDE. EMS ACCESS APRON TO BE MC-300.01 OR MC-300.02 WITH CHANGE IN SLOPE NO GREATER THAN 8%. GATE TO BE CONTROLLED BY CHAIN AND PAD LOCK.
- SEE STATEMENT OF PERFORMANCE BASED DESIGN FOR ADDITIONAL INFORMATION.



ACCESS TO 9850 KEY WEST AVE.  
SCALE: 1" = 30'

**FIRE CODE ENFORCEMENT**  
Fire Department Access Review  
Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation.  
BY: SMC P.E. 43 DATE: 3/10/2022  
original 6/8/2021

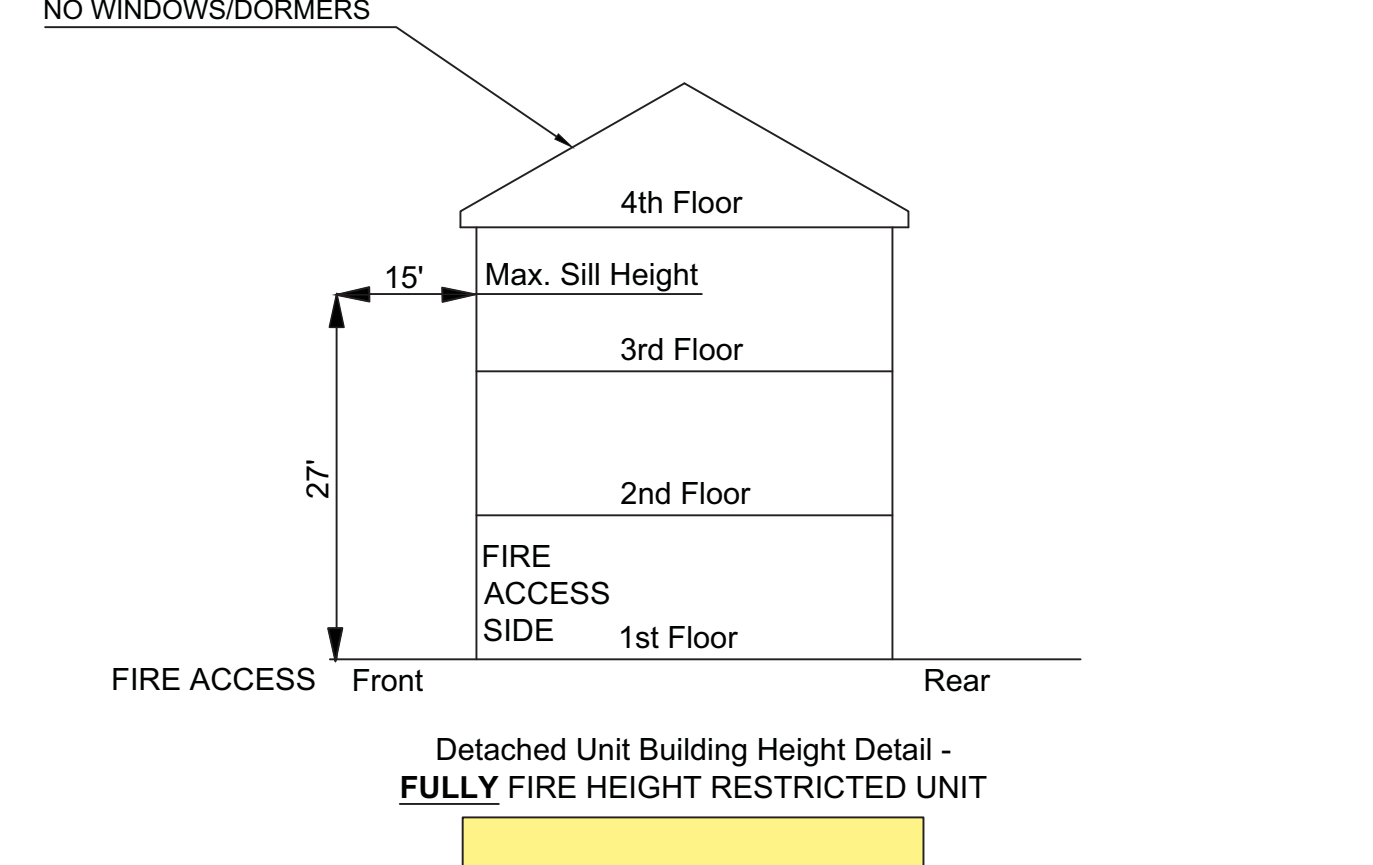
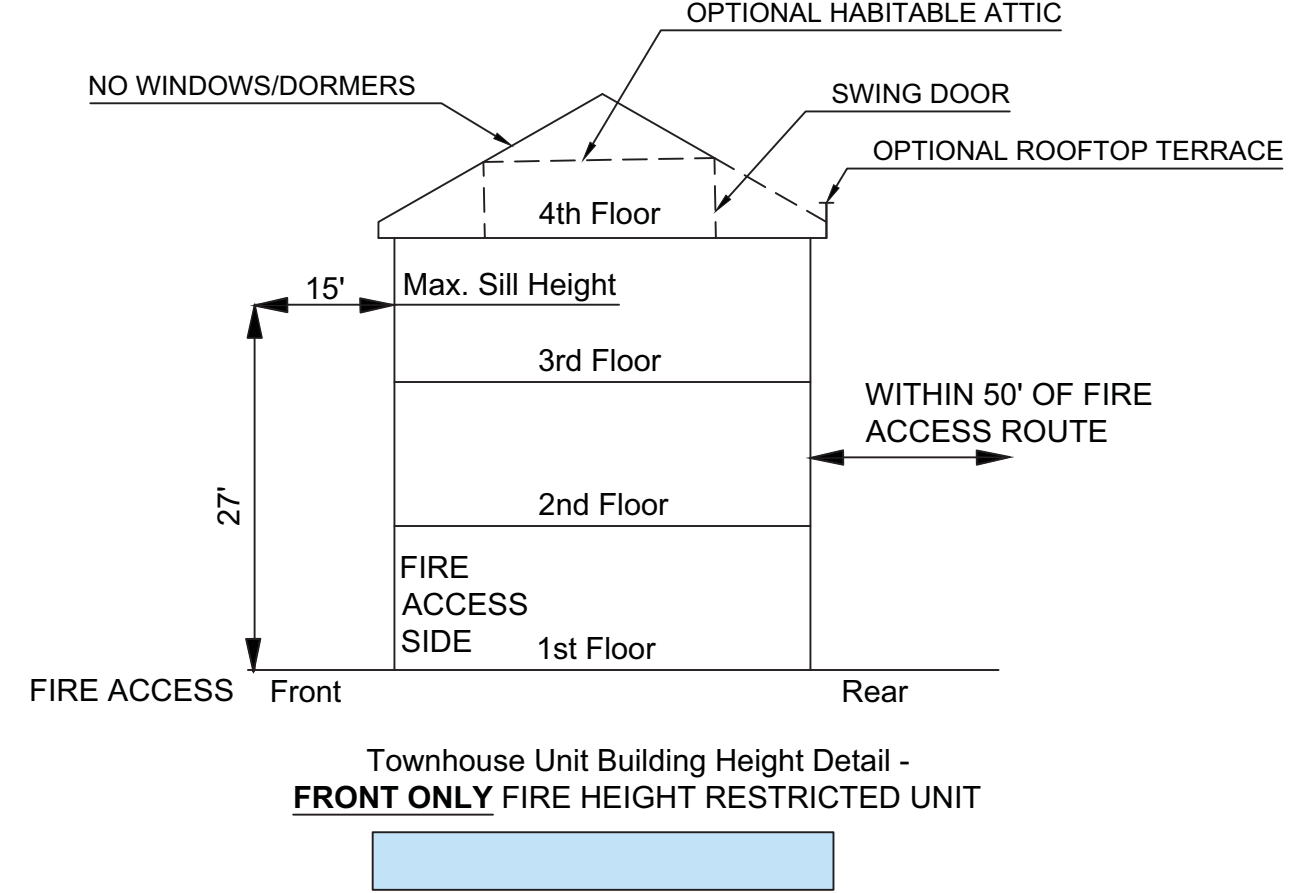
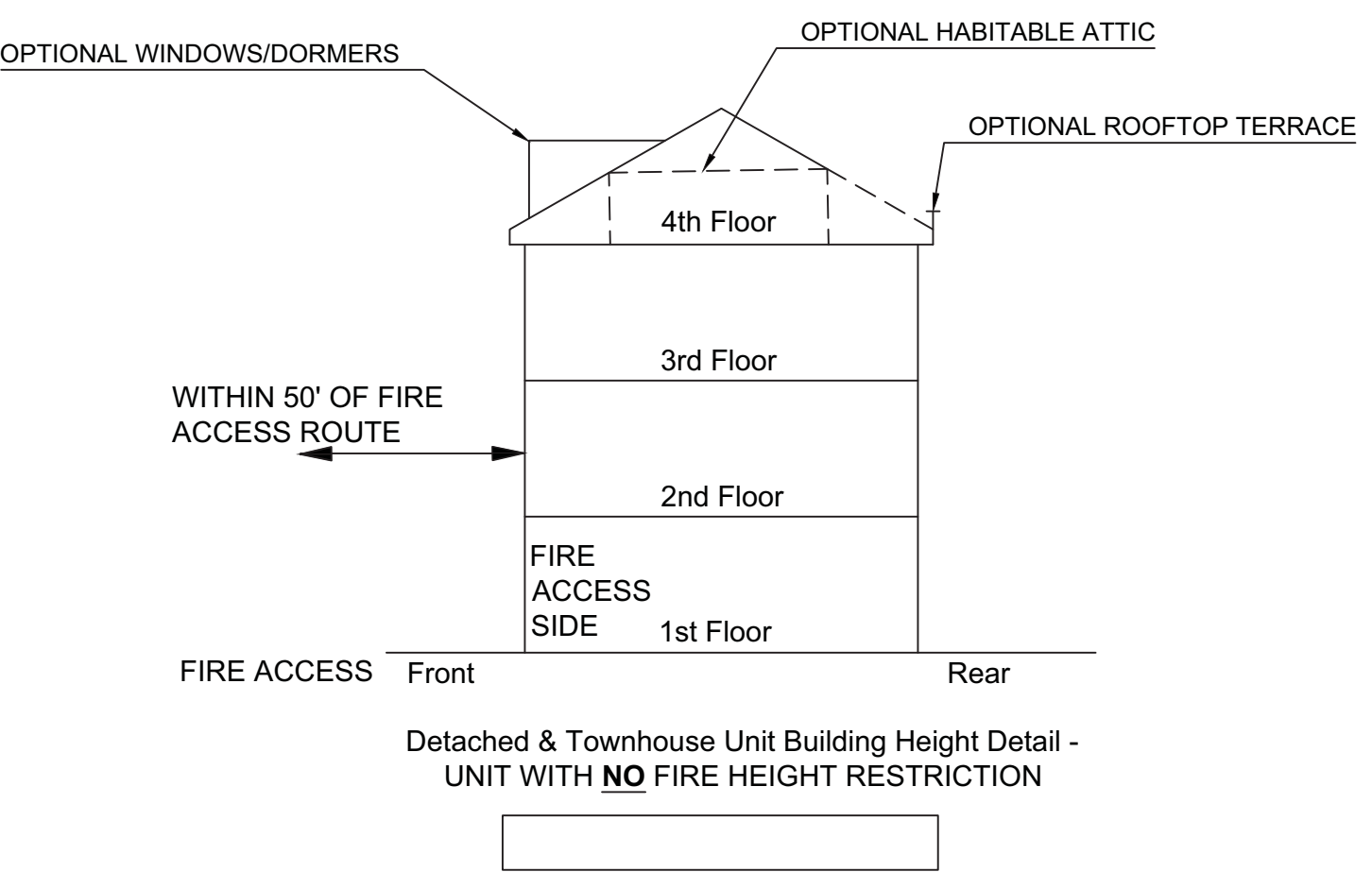


**DFRS MODIFIED RESIDENTIAL DRIVEWAY GUIDELINE**

Notes:  
1. These types of modified driveway aprons may possibly be approved when the existing roadway width and a standard apron would not accommodate the acceptable turning radius required for DFRS equipment.  
2. These modified residential driveways are NOT ALWAYS permissible and will be reviewed on a case by case basis.  
3. The modified driveway will need DFRS approval. Contact DFRS on 240-777-3457.  
4. Pavement section should be in accordance with MCDOT standard residential driveways.

Approved Date: 3/10/2022  
Office of the Montgomery County Fire Marshal

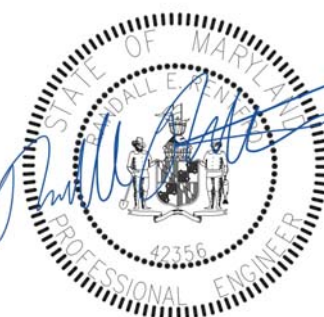
- ALL ALLEY ENTRANCES INDICATED AS FIRE ACCESS ROUTE, UNLESS OTHERWISE SHOWN.



NOTE: HEIGHT RESTRICTION DETAILS PROVIDE ILLUSTRATIONS FOR MCFRS PRESCRIPTIVE CODE, NOT SPECIFIC UNIT TYPES.

PROFESSIONAL CERTIFICATION

"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 42356, Expiration Date: 12/19/22."



3/01/2022

N:\MD-Montgomery\PST\Virtual\Fire Access Plan - Atop Fire Access Entry.kim 10-2022-4000mm

REVISION	DATE	REVISION	DATE	REVISION	DATE

APPLICANT:  
**THE ELMS AT PSTA, LLC**  
ATTN: KATHRYN KUBIT  
1355 BEVERLY ROAD, SUITE 240  
MCLEAN, VA 22101  
PHONE: (703) 734-9730  
EMAIL: kkubit@elmstreetdev.com

OWNER:  
**MONTGOMERY COUNTY**  
EOB 101 MONROE STREET  
ROCKVILLE, MD 20850

**PSTA SITE**  
PARCEL 850, L.4047 F.003, PARCEL 925, L.3862 F. 772 AND PART A, L.16172 F.223  
ELECTION DISTRICT No. 9  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard, Suite 200, Germantown, Maryland 20874  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

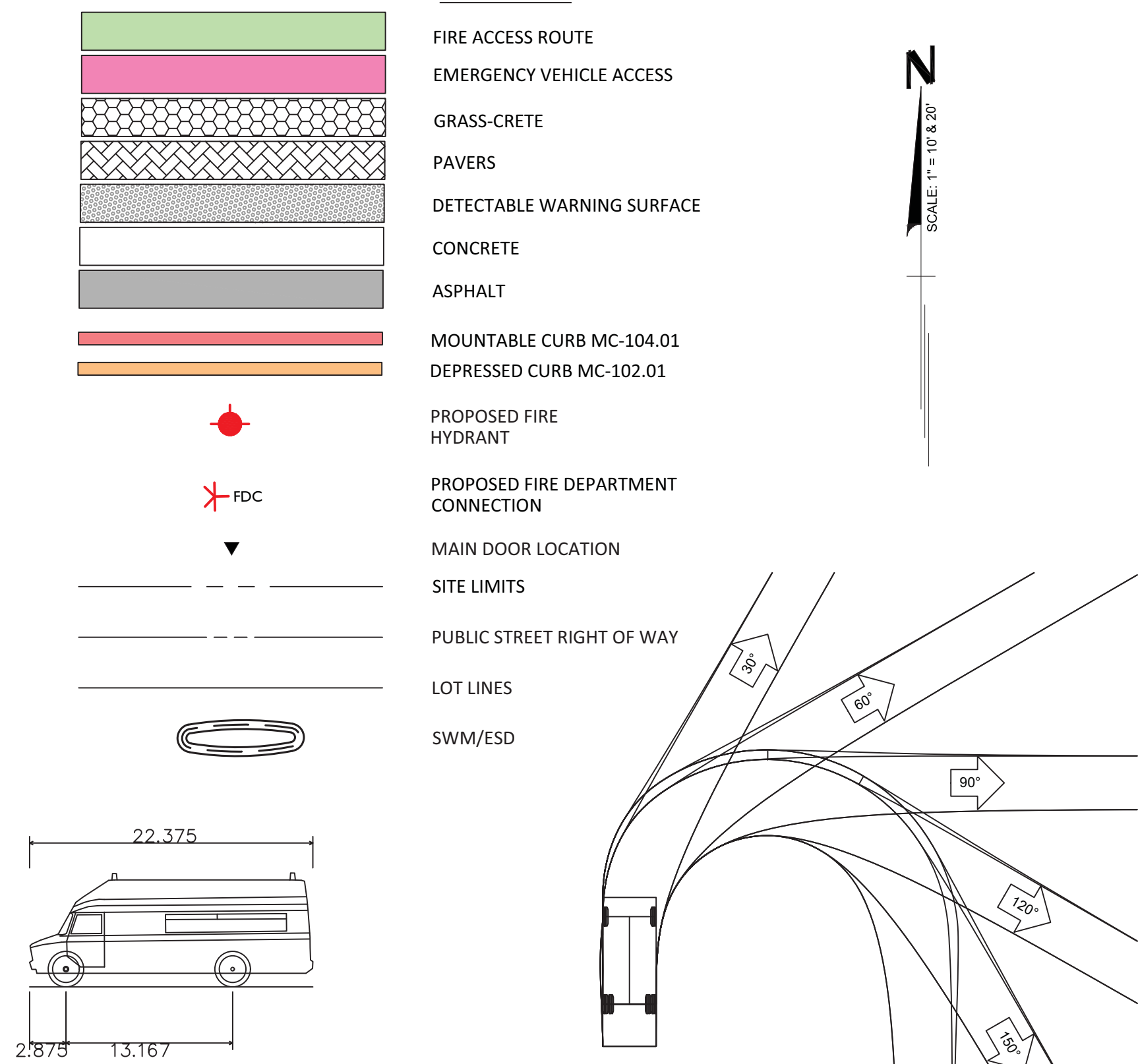
BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVIEWED		
RODGERS CONTACT:		
RELEASE FOR		
BY: _____	DATE: _____	

**FIRE ACCESS PLAN**

SCALE: 1" = 80'
JOB No. 0643T
DATE: MAR. 2022
SHEET No. 1 of 3

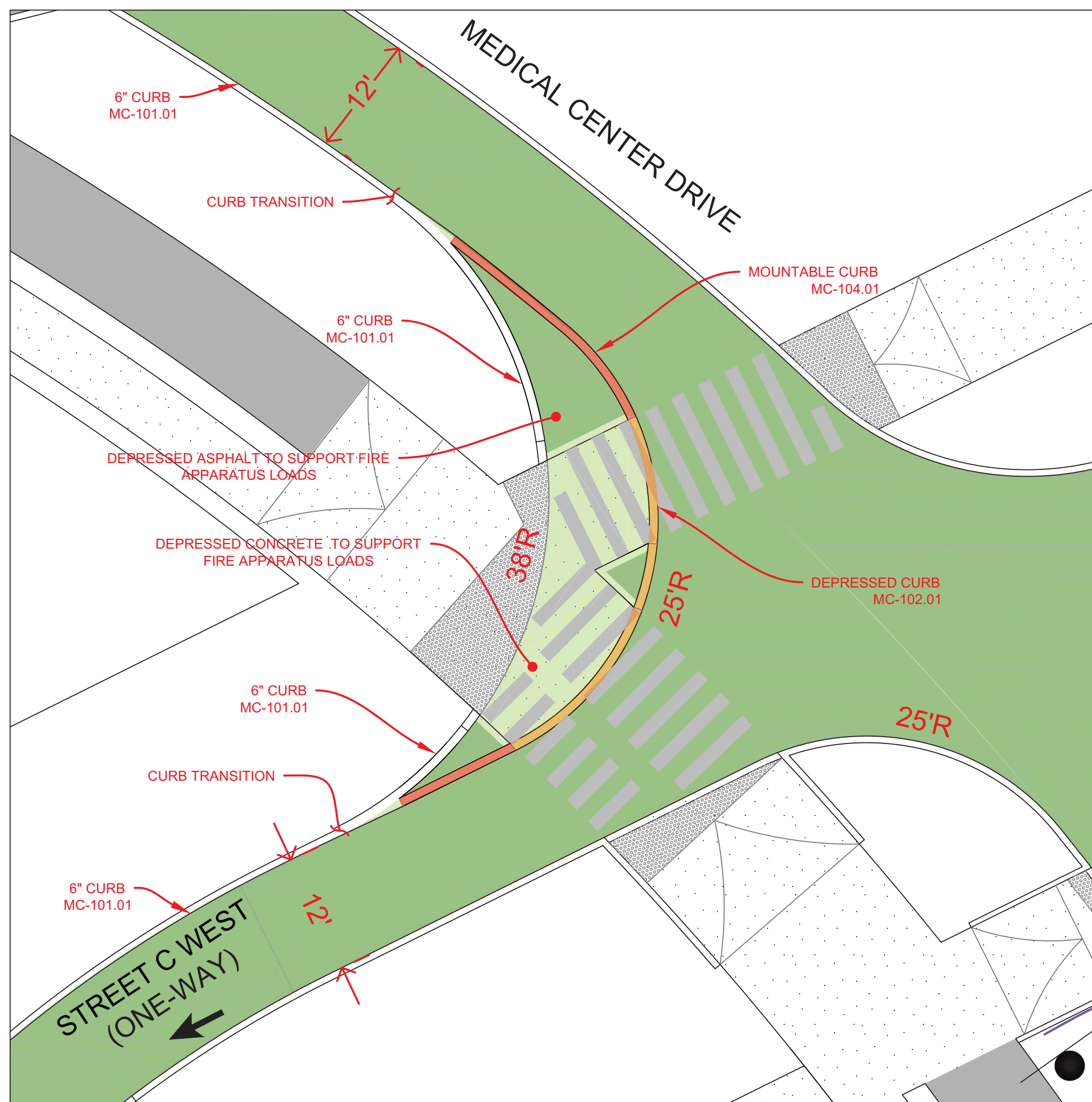


LEGEND

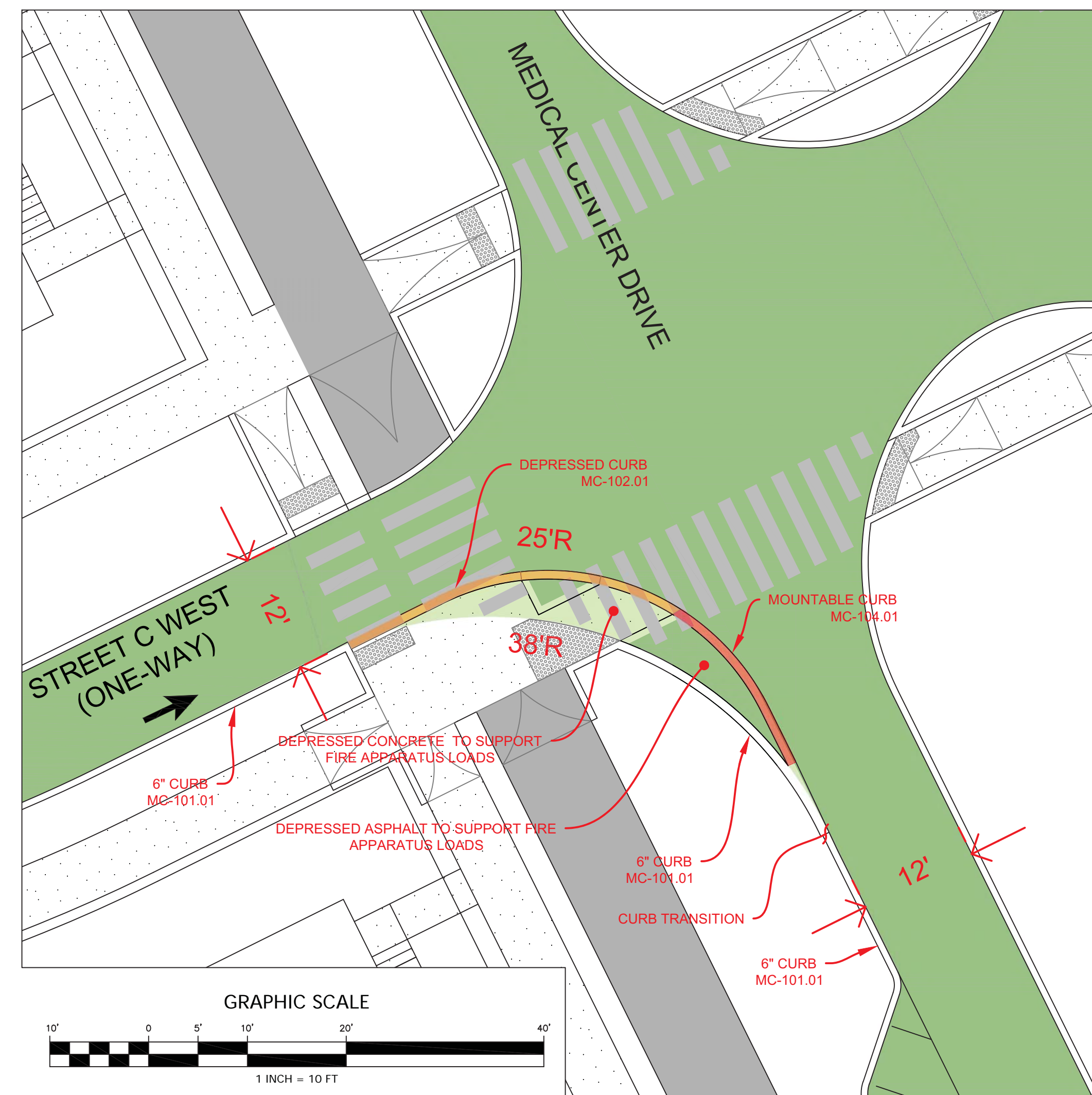


Horton 553a Type III Ford E-Series Ambulance  
Overall Length 22.375ft  
Overall Width 8.021ft  
Overall Body Height 9.000ft  
Min Body Ground Clearance 1.075ft  
Track Width 8.021ft  
Lock-to-lock time 5.00s  
Curb to Curb Turning Radius 27.400ft

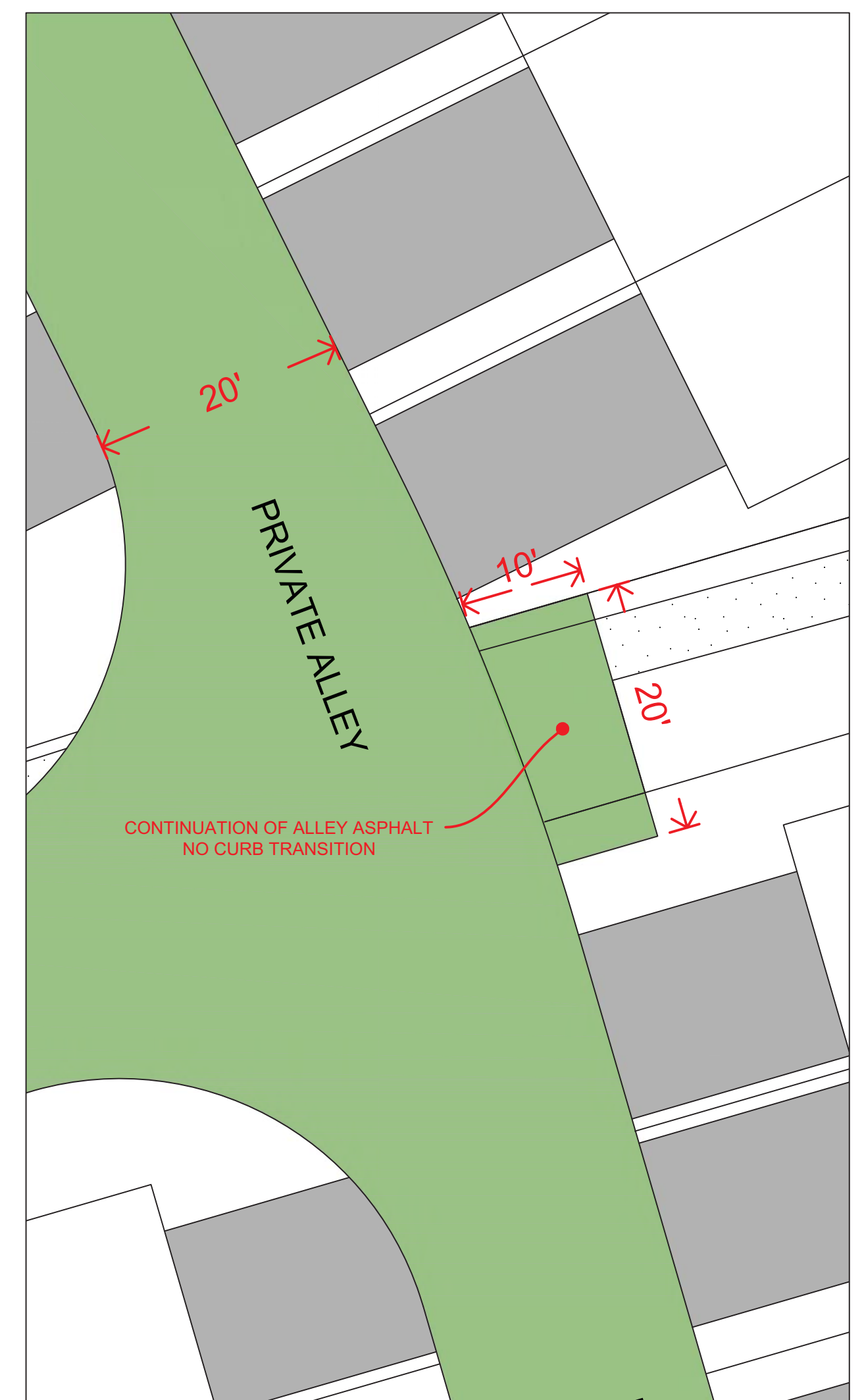
NOTE: ALL SUBGRADE, GRASS-CRETE, PAVERS, AND SURFACE HARDSCAPE THAT ARE OUTSIDE OF THE ROADWAY AND ARE INDICATED AS FIRE ACCESS ROUTE TO MEET TERTIARY ROAD LOADING STANDARDS.



1 TURN IN - STREET 'C' WEST  
1"=10'



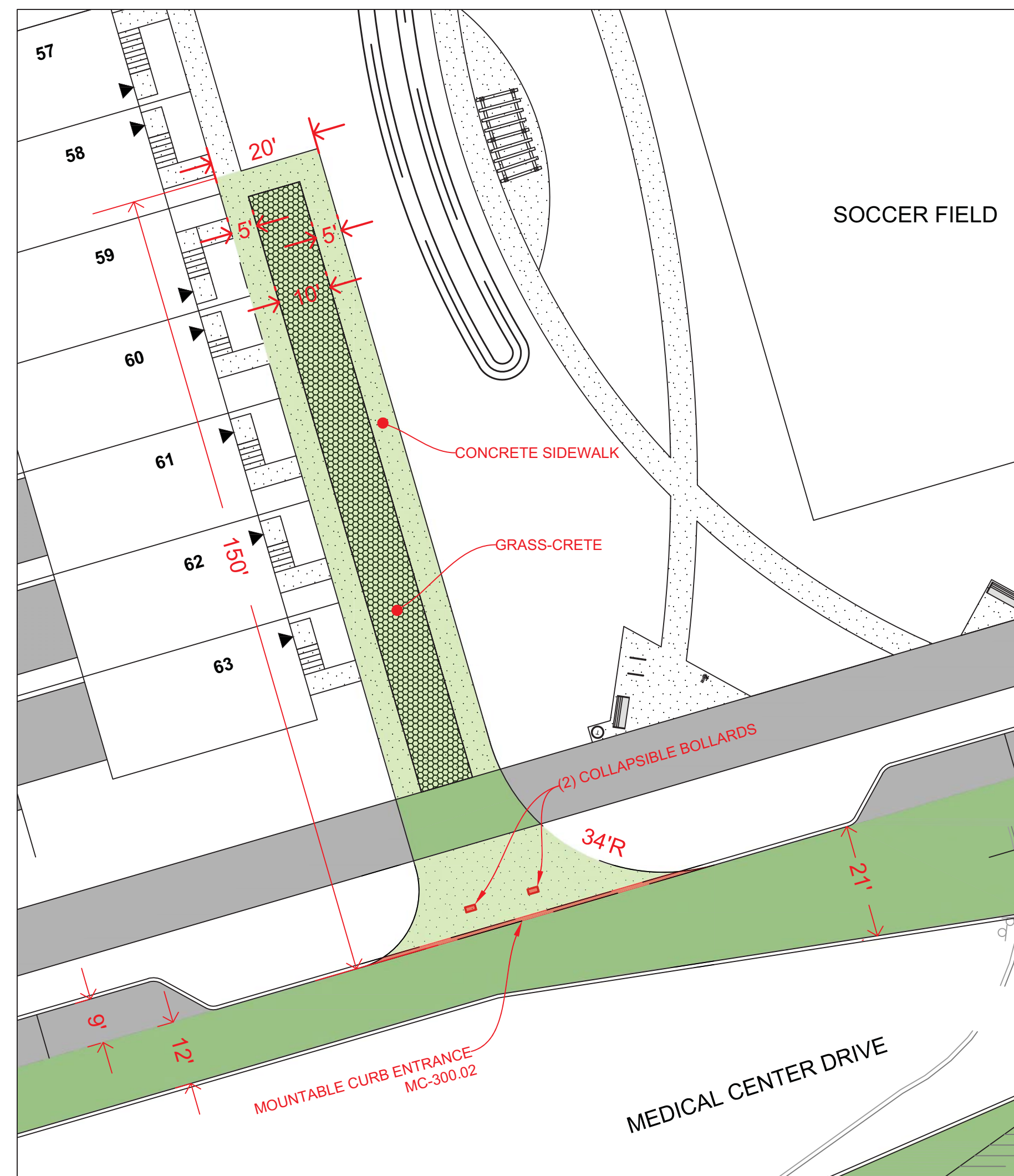
2 TURN OUT - STREET 'C' WEST  
1"=10'



3 BLOCK F, PARCEL I  
1"=10'



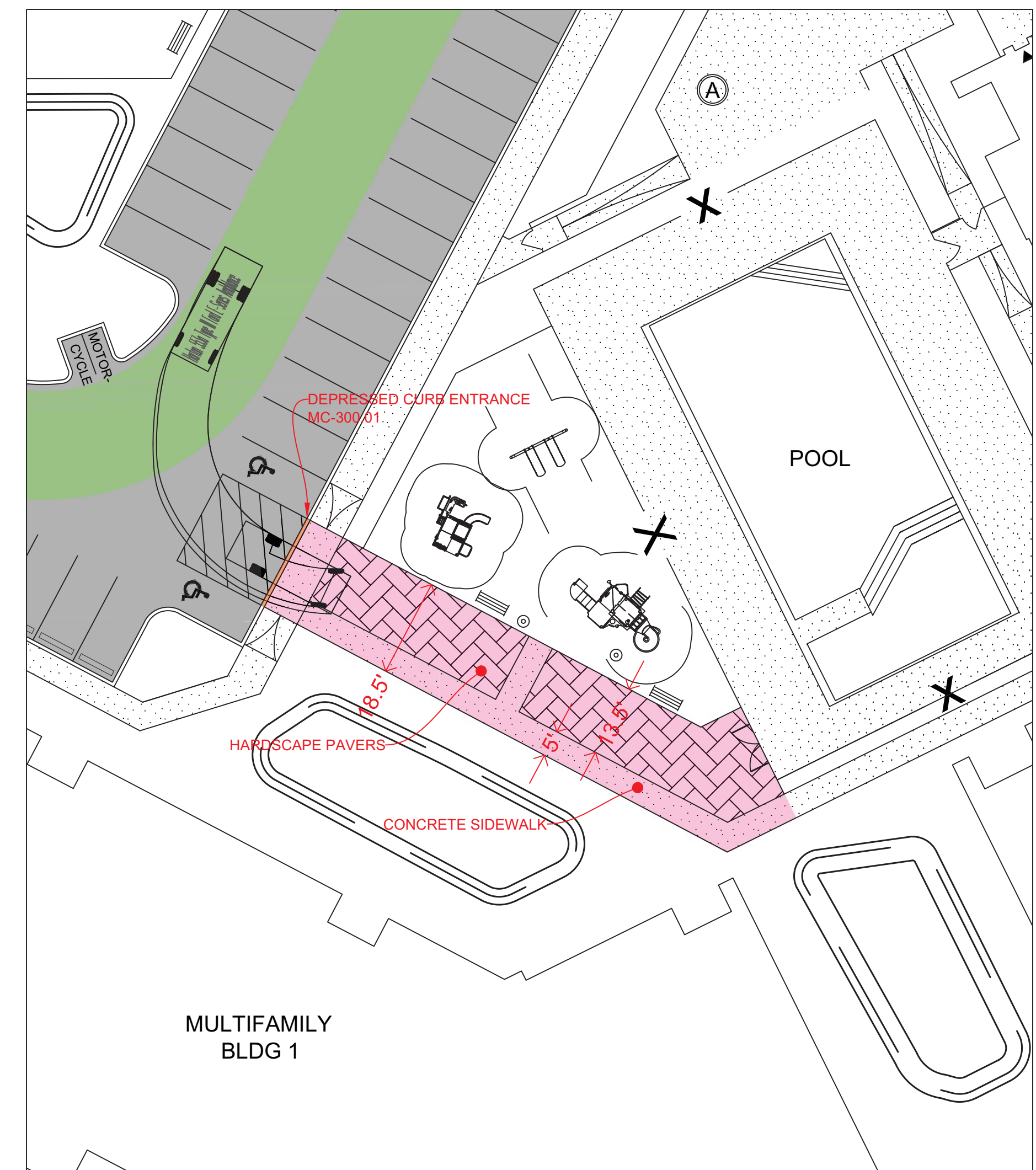
4 BLOCK F, PARCEL F  
1"=20'



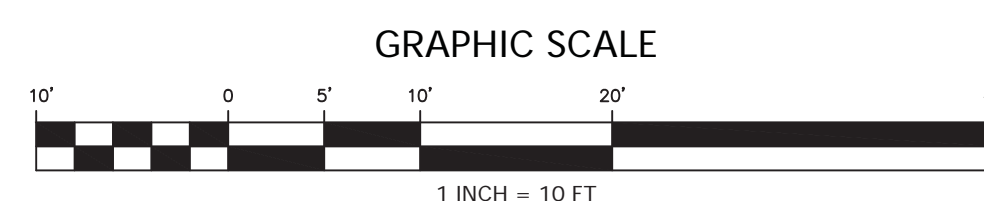
5 BLOCK F, PARCEL E  
1"=20'



6 BLOCK D, PARCEL B  
1"=20'



7 MULTIFAMILY POOL  
EMS ACCESS, 1"=20'



**FIRE CODE ENFORCEMENT**  
Fire Department Access Review  
Review based upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation.  
BY: *SAC* DATE: 3/10/2022  
Original 6/8/2021

**PROFESSIONAL CERTIFICATION**  
"I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 42356, Expiration Date: 12/19/22."



3/01/2022

REVISION	DATE	REVISION	DATE	REVISION	DATE

**APPLICANT:**  
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ELECTION DISTRICT No. 9  
MONTGOMERY COUNTY, MARYLAND

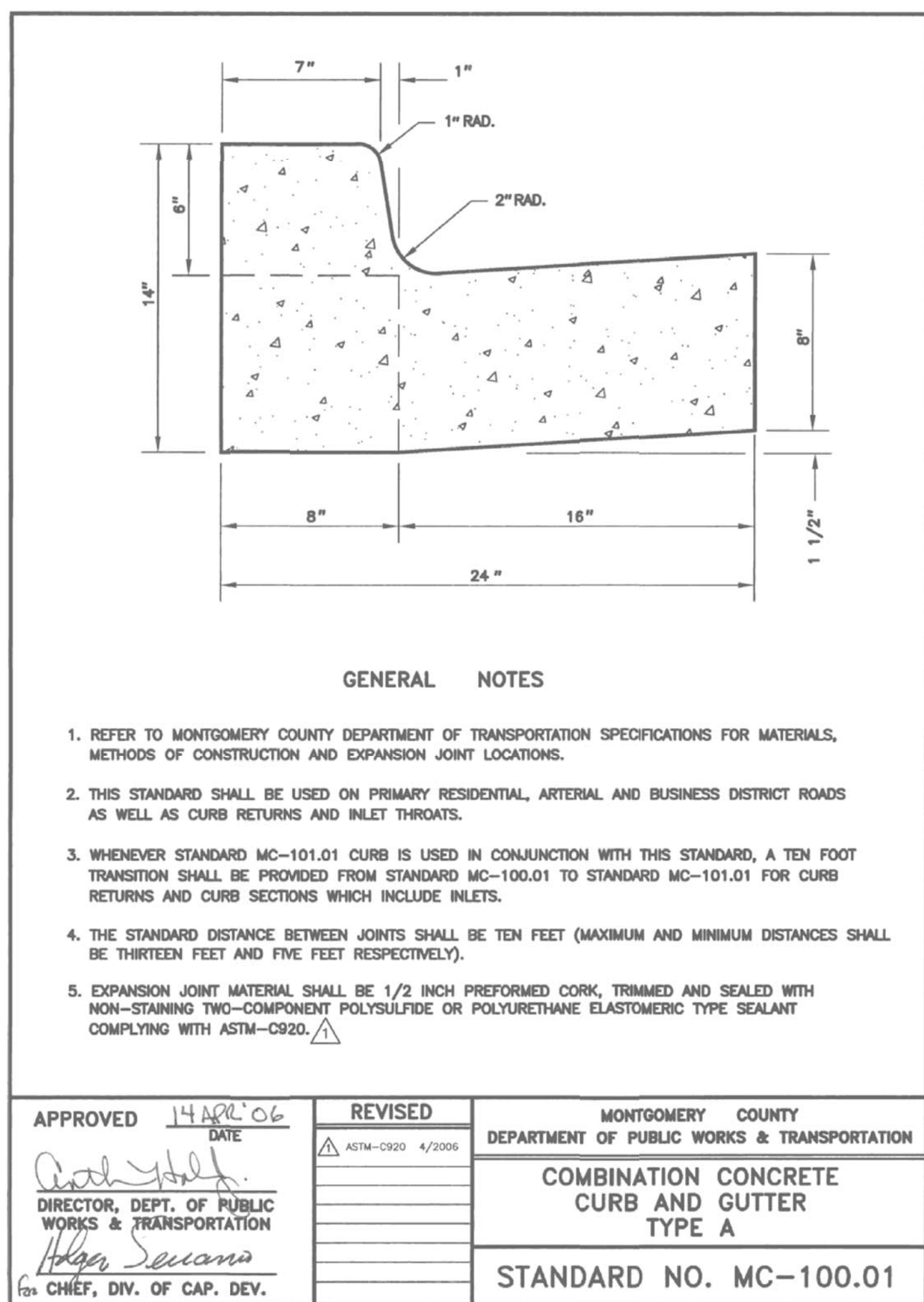
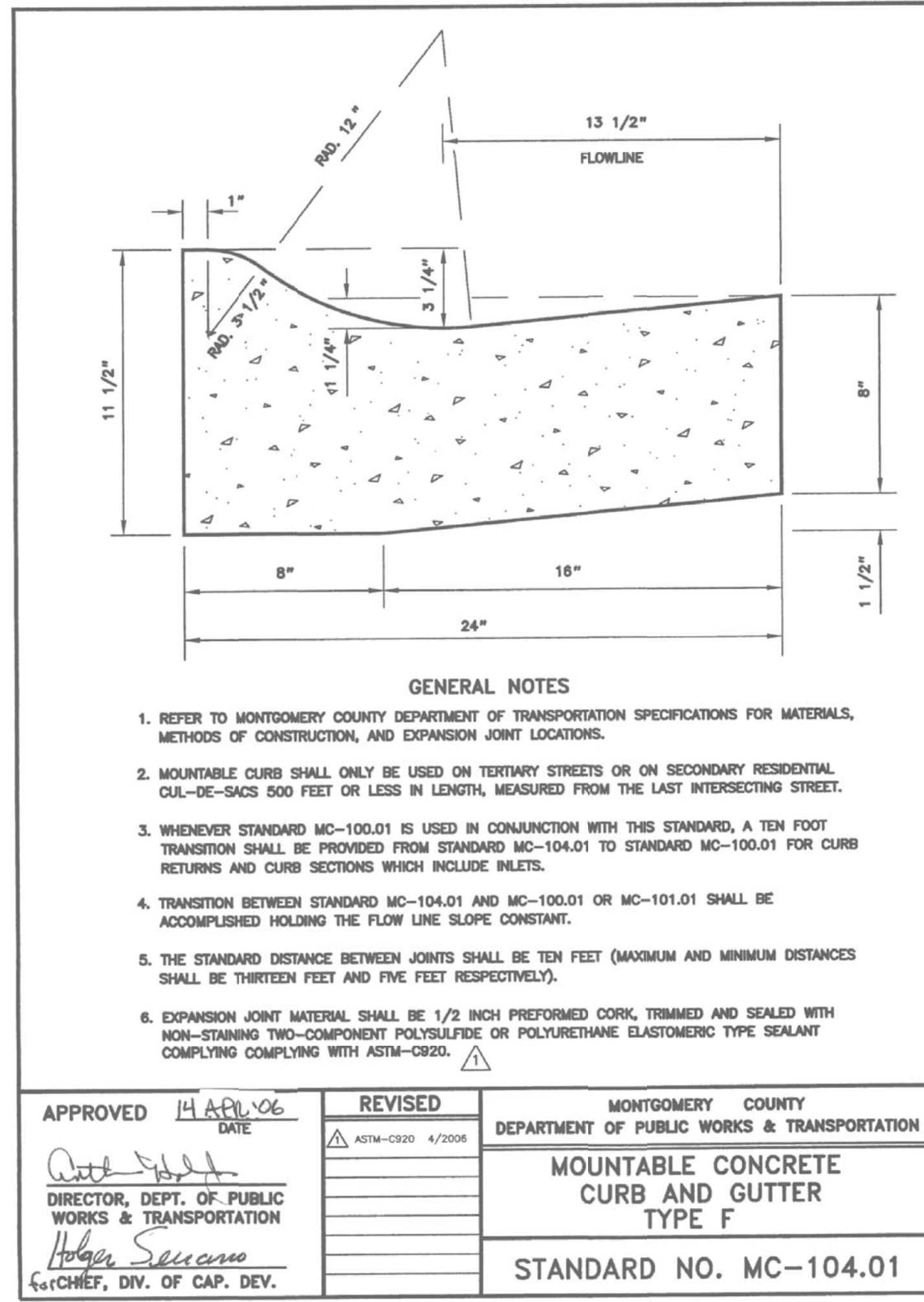
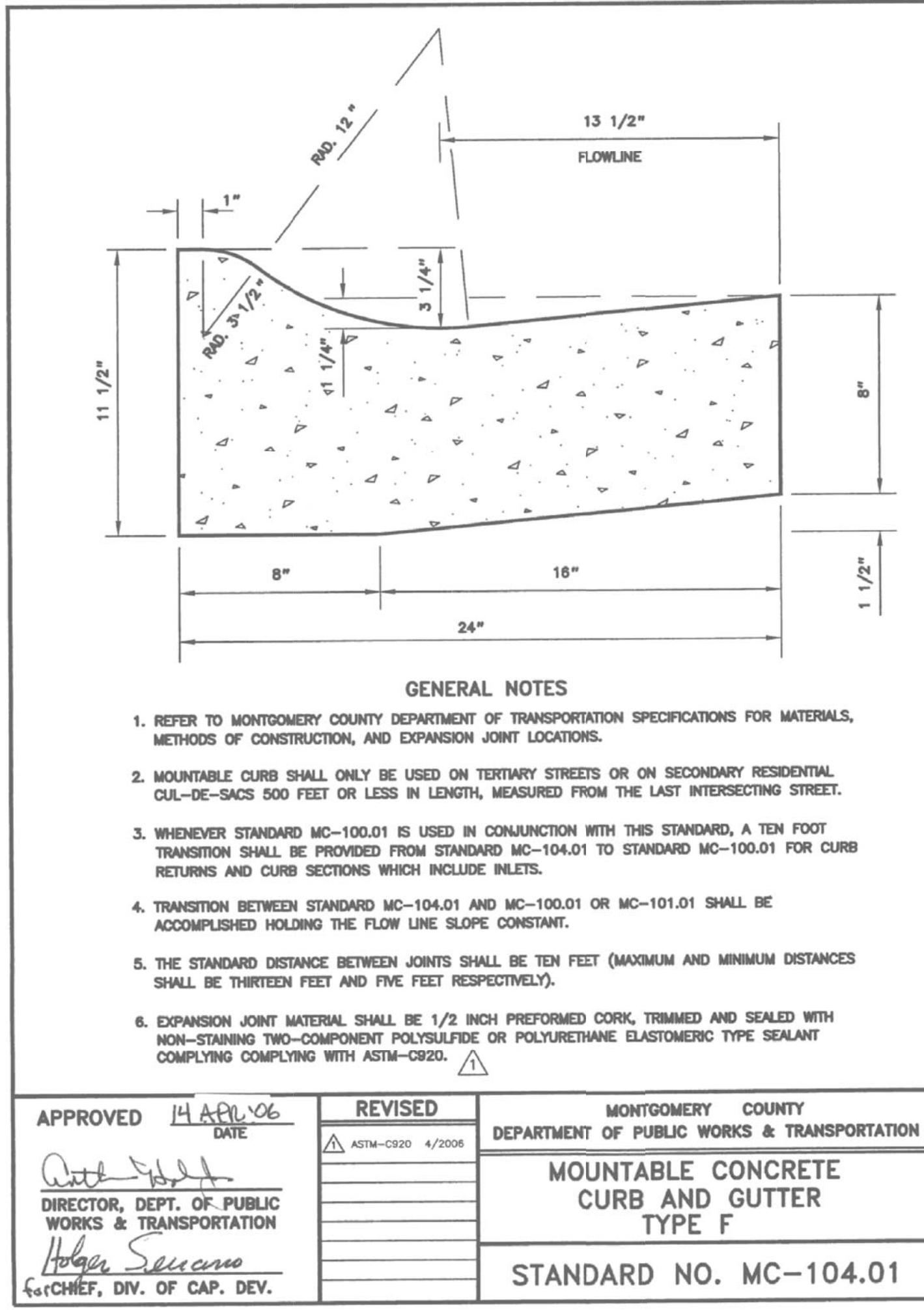
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BASE DATA	BY	DATE
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RODGERS CONTACT:		
RELEASE FOR		
BY: _____	DATE: _____	

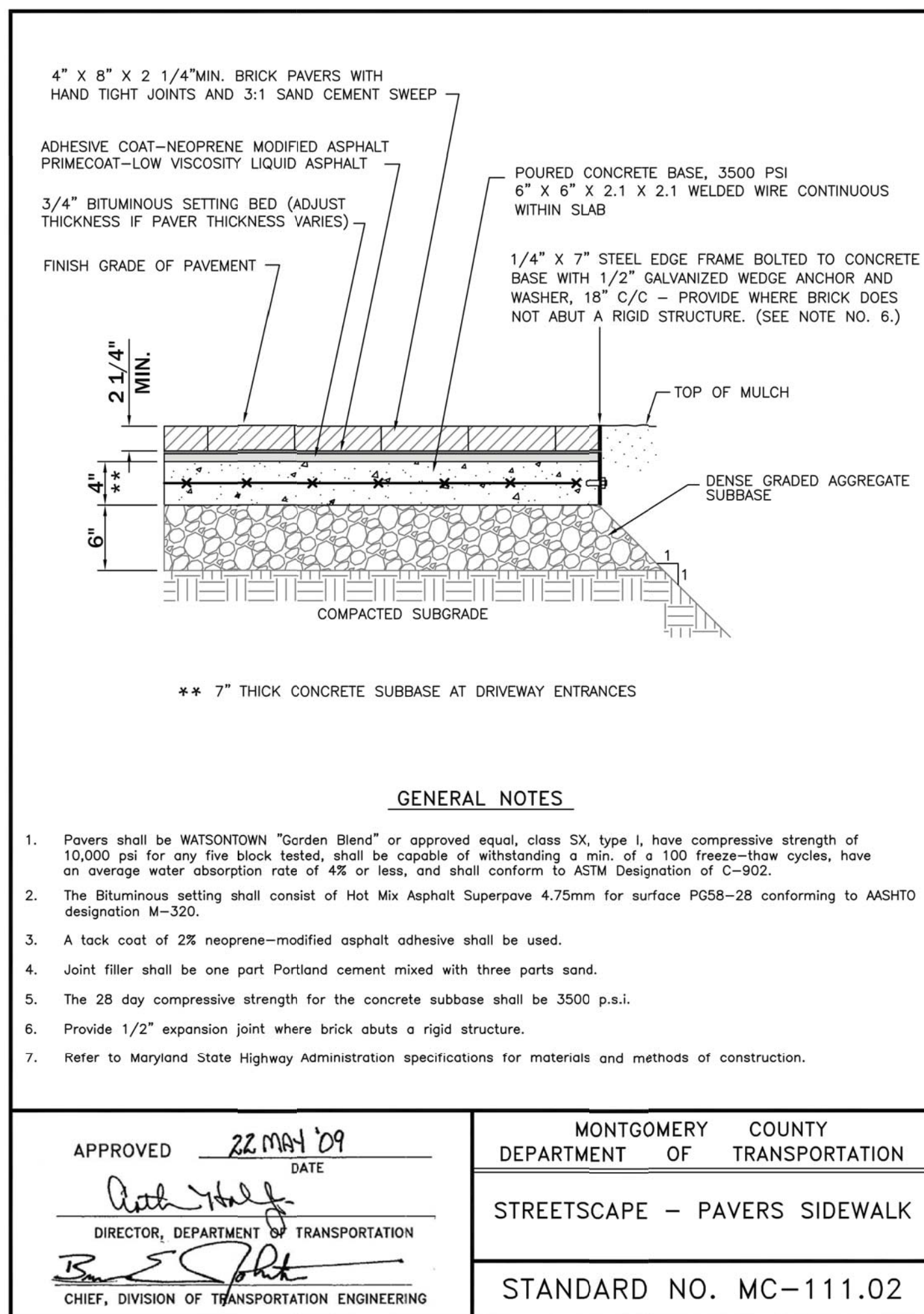
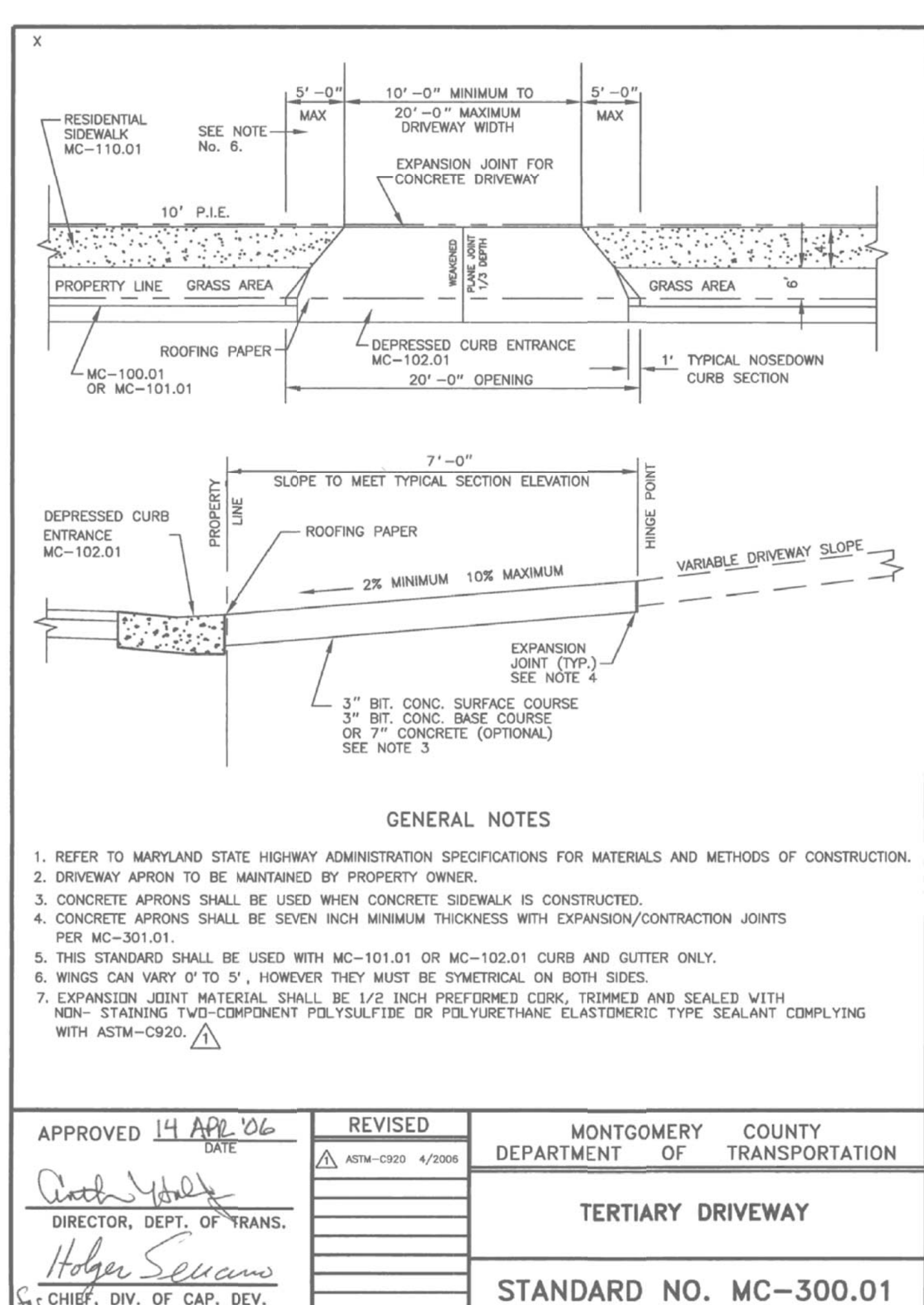
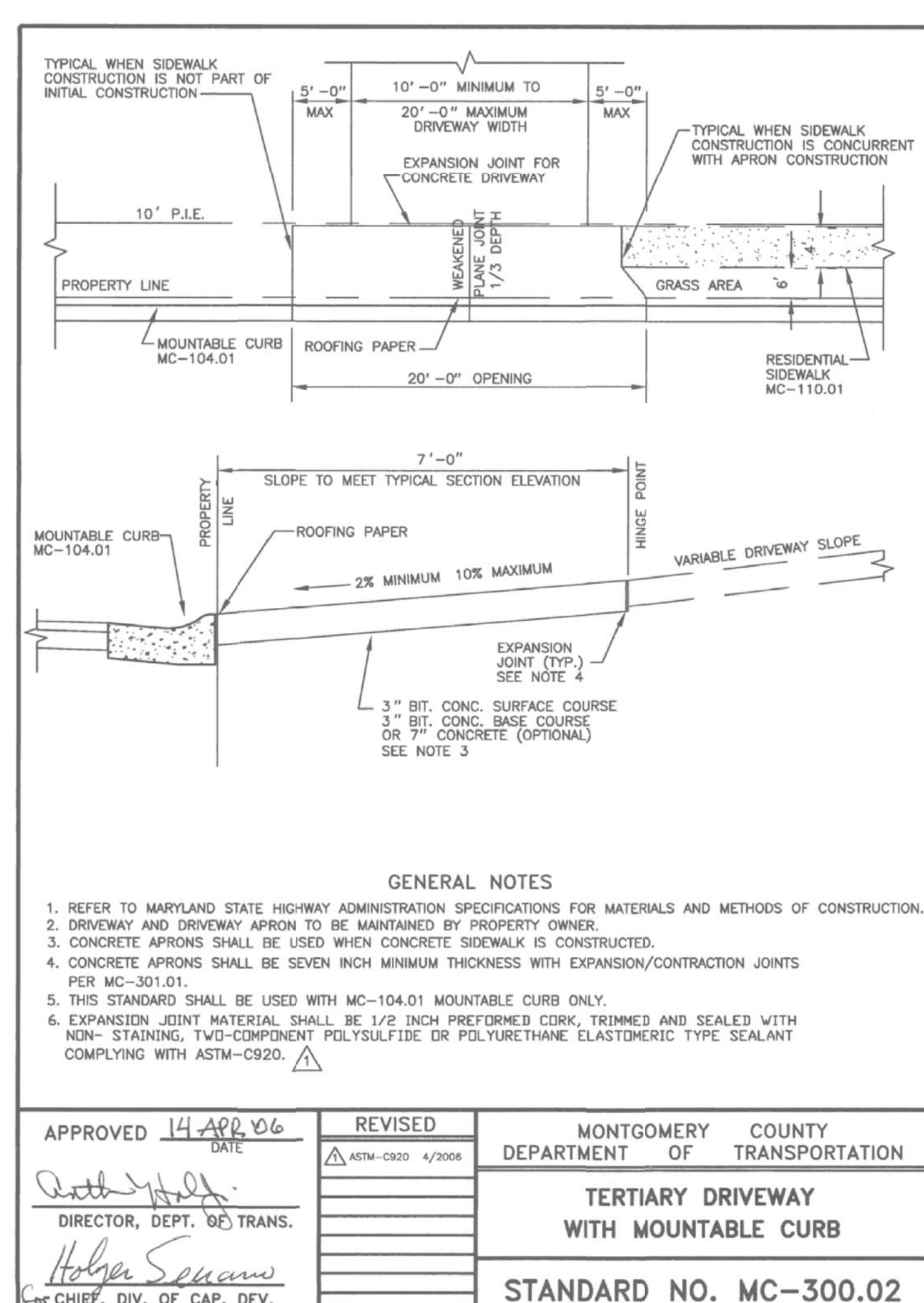
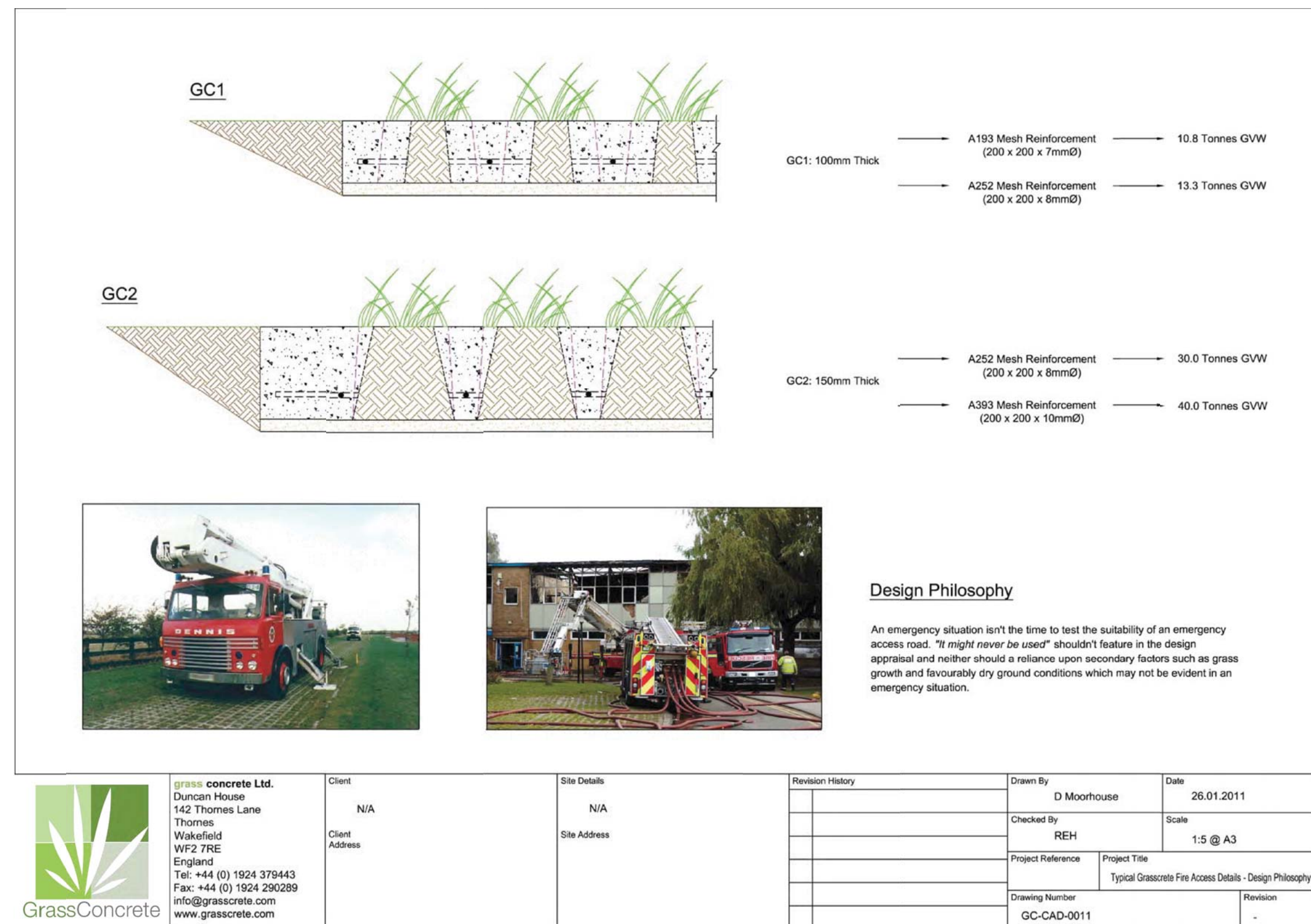
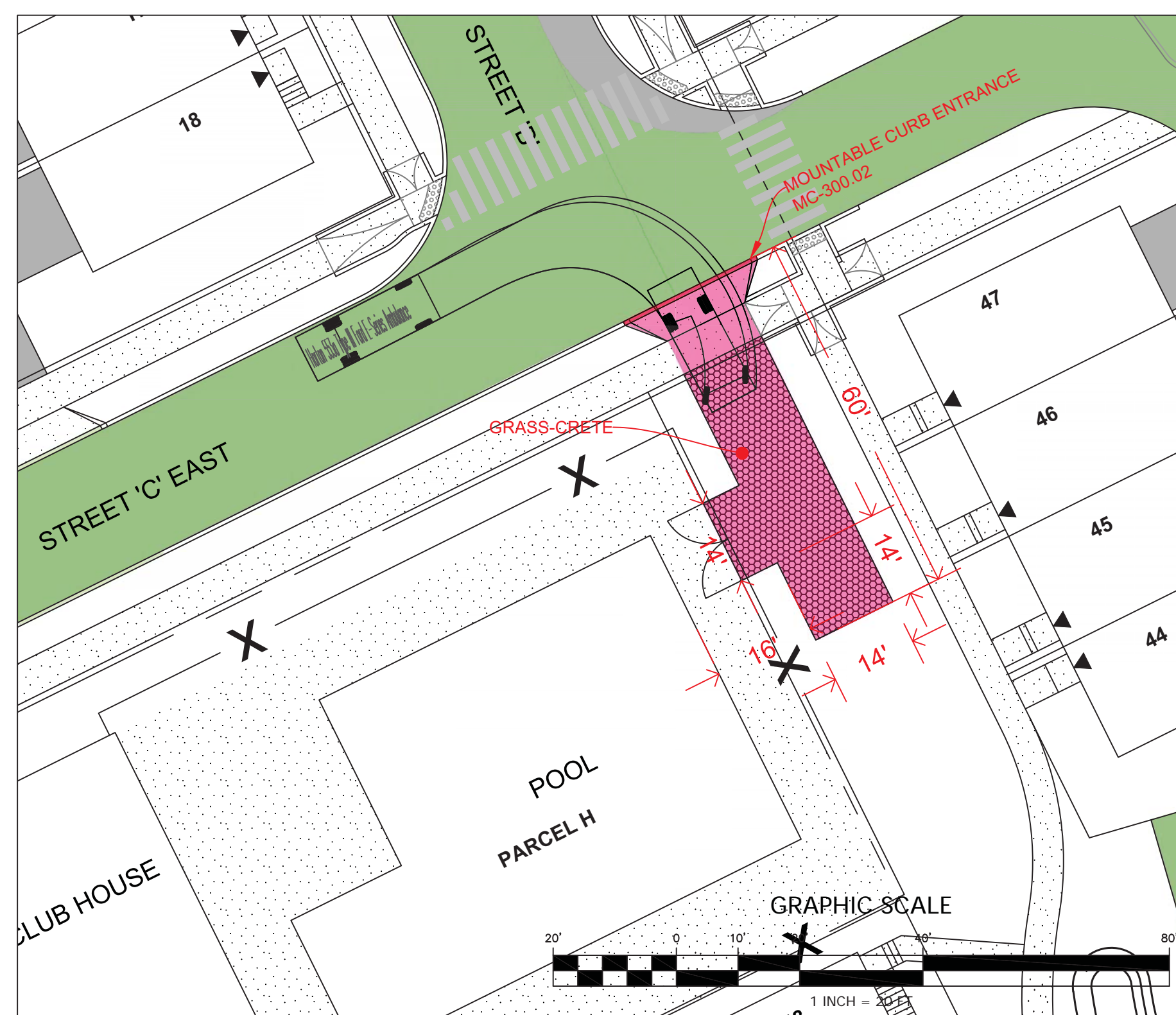
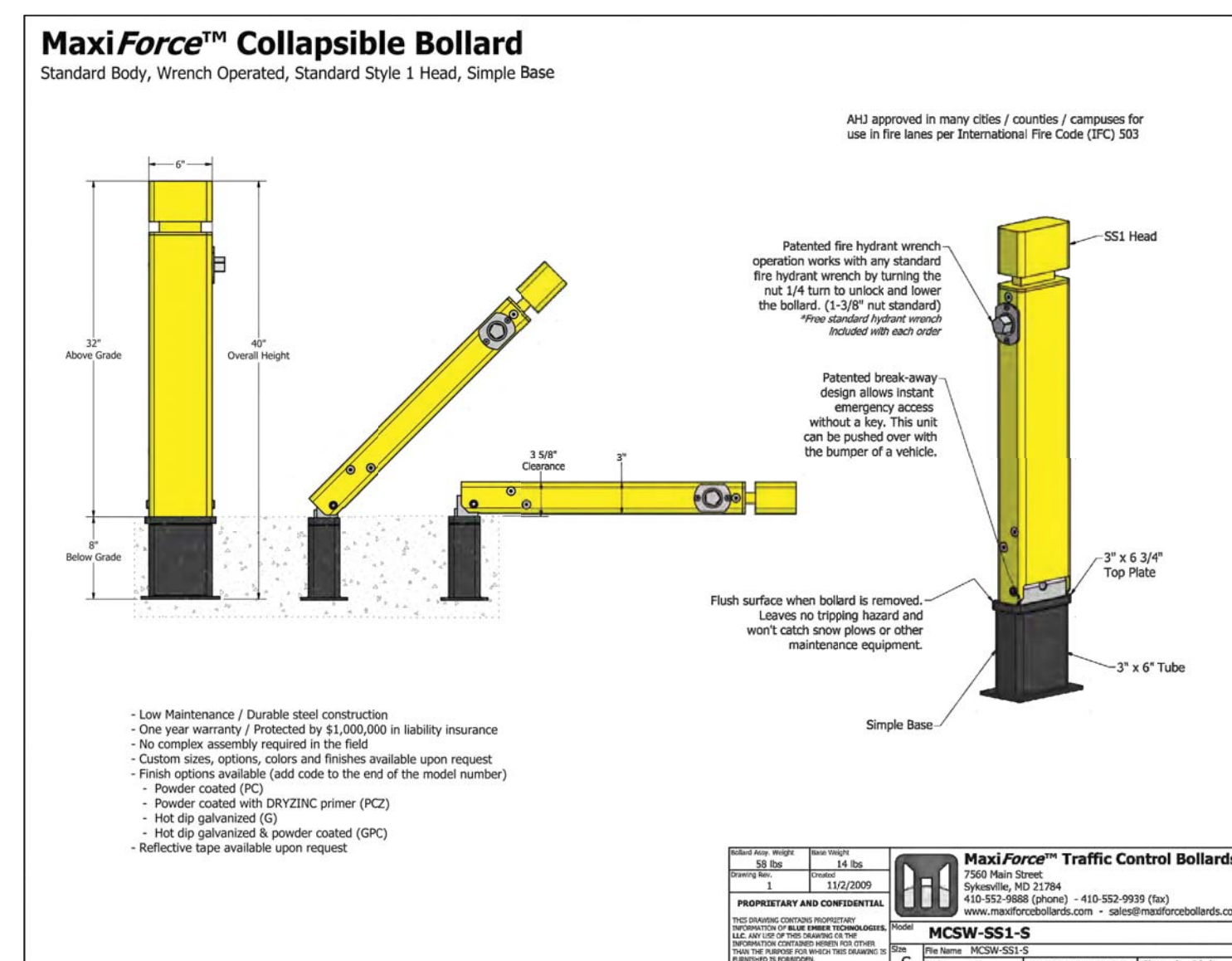
**FIRE ACCESS PLAN**

SCALE: AS SHOWN
JOB No. 0643T
DATE: MAR. 2022
SHEET No. 2 of 3



**1 TYP. 6" CURB**  
NTS**2 TYP. MOUNTABLE CURB**  
NTS**3 TYP. DEPRESSED CURB**  
NTS

NOTE: ALL SUBGRADE, GRASS-CRETE, PAVERS, AND SURFACE HARDSCAPE THAT ARE OUTSIDE OF THE ROADWAY AND ARE INDICATED AS FIRE ACCESS ROUTE TO MEET TERTIARY ROAD LOADING STANDARDS.

**5 TYP. PAVERS**  
REQUIRED TO BE HARDSCAPE PAVERS**7 DEPRESSED CURB ENTRANCE**  
MULTIFAMILY POOL - EMS ACCESS ENTRANCE**7 MOUNTABLE CURB ENTRANCE**  
SINGLE FAMILY POOL - EMS ACCESS ENTRANCE, FIRE OPERATION AREAS AS NOTED**4 TYP. GRASS-CRETE**  
NTS**8 SINGLE FAMILY POOL**  
EMS ACCESS, 1' = 20'**9 TYP. COLLAPSIBLE BOLLARDS**

REVISION	DATE	REVISION	DATE	REVISION	DATE

APPLICANT:  
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ELECTION DISTRICT No. 9

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BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVIEWED		
RODGERS CONTACT:		
RELEASE FOR		
BY: _____	DATE: _____	

**FIRE ACCESS PLAN**

SCALE:
JOB No. 0643T
DATE: MAR. 2022
SHEET No. 3 of 3