

# PSTA Neighborhood Fee Simple Architectural Guidelines

**ATTACHMENT F**

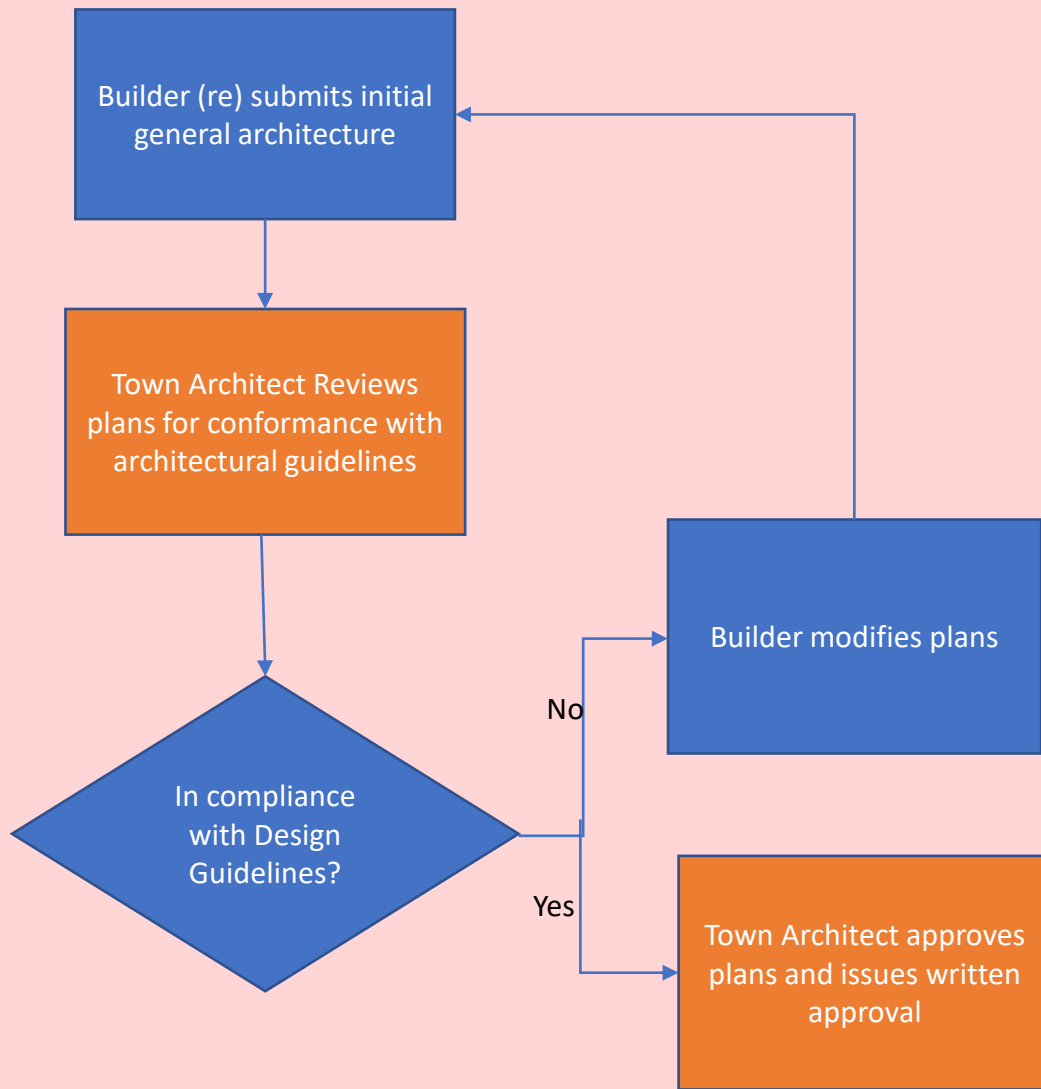
## Community Composition (For Sale Units)

- 332 fee simple townhomes and 2-over-2s
- All fee simple homes subject to architectural review of elevation concept and stick/strip arrangement for approval by Town Architect and developer
- Architectural Review Objectives:
  - Cohesive and distinct community and urbanism excellence
  - Enhanced quality of pedestrian experience for residents and visitors
  - Simple and distinguished elevations and community design
  - Thoughtful use of physical materials
  - Distinction and differentiation between public and private spaces

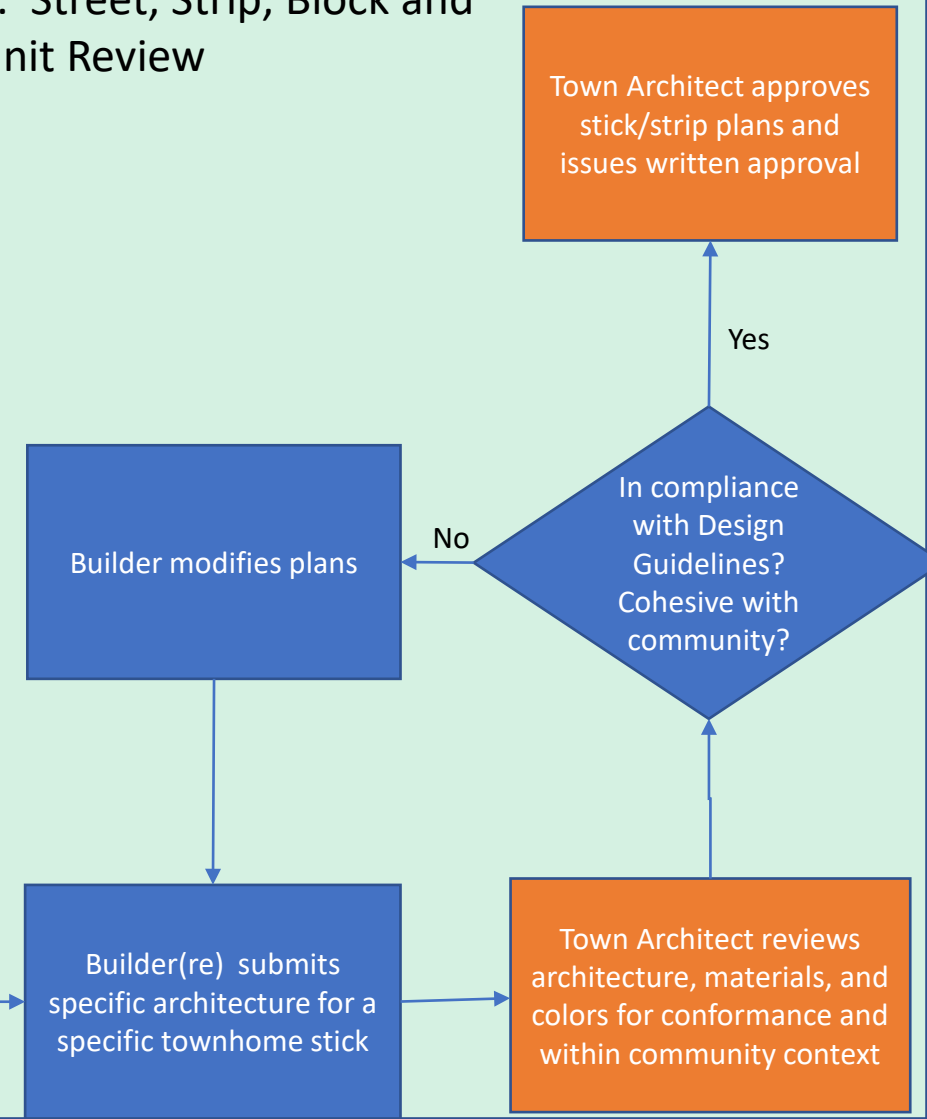


# Neighborhood Architectural Concept Review

## 1. Concept Type/Elevation Review



## 2. Street, Strip, Block and Unit Review



# PSTA Neighborhood Vision & Architectural Guidelines

## PSTA Neighborhood Vision

Urbanism  
Simple, Distinguished  
Symmetry and Asymmetry

## Design of Blocks, Streets & Architecture

Distinct community/sense of place  
Thoughtful organization and connection of private and public spaces  
Homes define the street edge & simple fenestration organization  
Home entry and relationship to the streets provides pedestrian with clear lead walk and portico  
design with shelter at entry

## Architectural Guidelines Include

Landscape, Screening, Lead walks

Building Exteriors

Porches, Porticos, Decks



## Landscape, Screening, Lead walks

Landscape and hardscape enhance the community through welcoming spaces, obvious pedestrian routes and connections, and by distinguishing public spaces from private spaces.



## Building Exteriors

Buildings should convey a distinct architectural style with cohesive elements utilizing transitional architecture, simple fenestration and quality materials to create a sense of community and a unique place.



## Porches, Porticos, Decks

Use porticos, porches, decks and balconies to activate streets and create quality outdoor space for residents.





## Landscape, Screening & Lead walks

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## Building Exterior

Buildings should convey a distinct architectural style with cohesive elements utilizing transitional architecture, simple fenestration and quality materials to create a sense of community and a unique place.



## Porches, Porticos, Decks

Use porticos, porches decks and balconies to activate streets and create an outdoor retreat for residents.



# Fencing

Fencing is required to screen alleys and cannot be removed. Fencing permitted between the rear yards of front load garage homes with approval. Allowable fence heights are between 48" and 72" tall.



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A variety of fencing and materials is allowed. Permitted fencing materials include wood, aluminum/metal, brick/natural stone, composite, PVC (white fencing not permitted), or a combination of materials.

Chain link fence is not allowed.



All fence materials, configuration, and layout must be approved by the Town Architect. Fences are not permitted between rear-load homes.





## Lead walks

Lead walks of quality materials connect sidewalks with home entries on the ground plane. Consistency of material for lead walks and stoops for each house/home within a building is required. Brick, flagstone, concrete are permitted materials.



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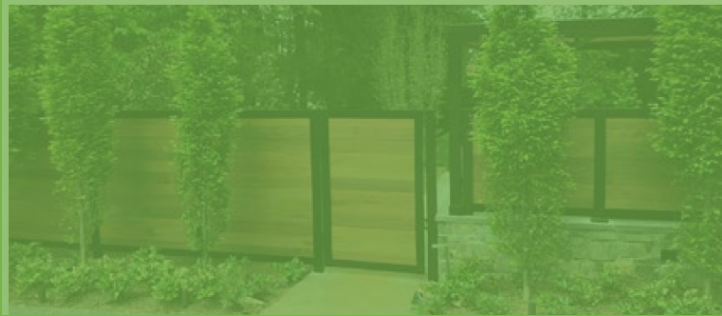
## Landscaping

Landscaping shall enhance the pedestrian experience and provide environmental benefits. Landscaping shall be used to delineate between public and private spaces, provide clear connections between the civic and open spaces. Native species are preferred, where possible.



## Landscape, Screening & Lead walks

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## Building Exterior

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## Porticos, Porches, Decks

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# Building Exterior

## Building Facades

Buildings within the community shall manifest cohesiveness while maintaining differentiation between homes.



All building materials, colors and elevations must be reviewed and approved by the Town Architect.

Simple fenestration shall be incorporated to be consistent with elevation (style and design).

At least 50% homes in a building strip should have brick or natural stone in their front façade (this does not include the water table).

All front facades and high-profile side facades shall have water tables composed entirely of natural brick or stone.

## Building Materials

Building facades shall use no less than two and not more than three of the following materials (not including accents):

1. Cementitious Siding
2. Brick; natural stone
3. Metal
4. Stucco
5. Vinyl
6. Wood/synthetic wood
7. PVC



## Building Variety

Variety for variety's sake discouraged.

Articulation of individual houses/homes shall be incorporated to create shall be done via for each home with the following:

- Juliette balconies
- Box/ bay windows
- Wrap bays
- Shallow canopy projections, trellis, shading devices
- Other articulation may be incorporated into homes with architectural review and approval.



# Building Exterior

## Water Tables

A masonry water table of natural stone or brick on street facing facades is required for all homes in the community.

Brick/masonry water tables shall extend up the side of the home as follows:

- At least to the bottom first floor windowsill of the home.
- To the bottom of any bays or other building element (as approved by the Town Architect).
- Extending brick or natural stone higher on the façade is acceptable (subject to review and approval).



## Water Tables

High profile side elevations shall have water tables consist with the front water table. High profile water table elevations shall wrap any high profile side (as identified on the site plan) to at least the sill of the first floor window.

Standard sides shall have masonry that wraps the side of the home by at least 3'.



## Exterior Lighting

Exterior lighting must be provided for architectural review. Lights will be reviewed for architectural compatibility and intuitive locations.

Photocells on all exterior lights is required.

Uplighting is prohibited.





# Building Exterior

## Exterior Doors

Exterior doors must be architecturally compatible with the home style.

A mix of panels and windows is required for front and side doors. Painted or stained metal or wood doors are encouraged; fiberglass is allowed.

Sidelights and transoms are permissible, consistent with the style of the house.



Single doors or French doors are permissible on the front and side home facades.

Sliding doors permitted in backs of homes only.

## Windows

Number, sizing, material, color and location/placement of windows subject to architectural review and approval.

Divided light configurations shall be consistent with the architectural style of the home.

Windows shall be square or rectangular proportion.

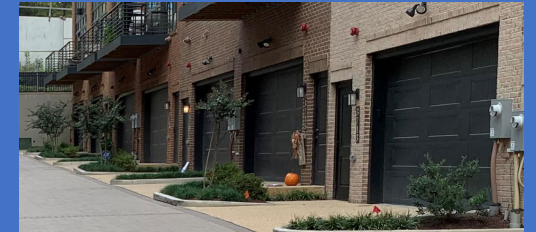
Windows shall be thoughtfully placed in a predictable fashion.

Shutters not permitted.



## Exterior Garage Doors

Any one townhome building stick must use the same garage door on each unit.



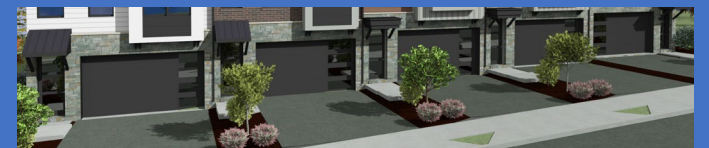
Garage doors shall match the architectural detailing, design and colors of the home.

24' wide homes are permitted to have two individual garage doors or one double garage door.

Permissible materials include:

- Wood
- Composite
- Metal

Window acceptable; no arched windows allowed. Doors consisting entirely of windows are not allowed.



# Building Exterior

## Roofs – General

Permissible roof forms include pitched roofs or flat roofs.

Each stick of townhomes shall either have pitched roofs or flat roofs. A mix of pitched and flat roofs in one stick of townhomes is not permitted.

Roof pitch must be complementary to overall architecture style of the home.

Gables and dormers, consistent with the architectural style of the home, are encouraged for non-height restricted homes.

A 12” minimum overhang is required for pitched roofs.

All flat roof homes require a cornice of appropriate proportion and detail, consistent with the architectural style of the house.

## Roofing – Materials

Permissible roof materials include:

- 30-year architectural grade asphalt shingles
- Raised metal seam
- TPO
- EDPM
- Other material approved by the Town Architect



## Roof penetrations Gutters & Downspouts

Roof penetrations shall be placed behind the ridge on the roof on the back of the home.

- Penetrations shall be painted the same color as the roof.

Gutters and downspouts shall be consistent with the colors of the home. Required materials are metal.

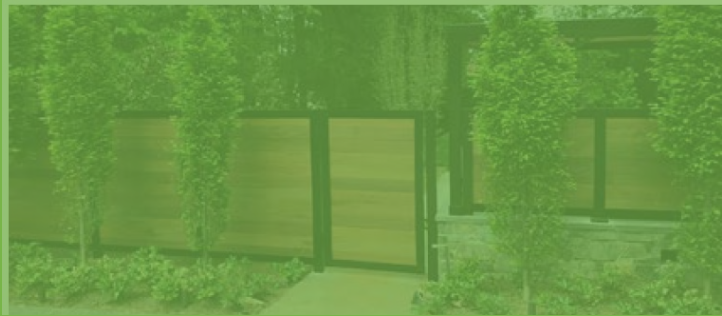
Gutters cannot discharge on to a sidewalk or lead walk.





## Landscape Screening & Lead walks

Landscape and hardscape enhance the community through welcoming spaces, obvious pedestrian routes and connections, and distinguish between public and private spaces.



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## Building Exterior

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## Porticos, Porches & Decks

Use porticos, porches, decks, and balconies to activate streets and create an outdoor retreat for residents.



# Porticos, Porches & Decks

## Porticos & Porches

Porches and porticos are encouraged to provide shelter at the front of the house entry.

Side entries on end homes is encouraged.

Portico and canopy material shall be harmonious with the architectural and materials of the home. All porch and portico roofs shall be metal.



## Stoops & Lead walks

Stoop and lead walk materials within a single building shall be consistent.

Permitted lead walk materials include brick, natural stone (flagstone) and colored/stamped/brushed concrete.

Required materials for stoops shall be brick or natural stone. Treads shall be flagstone, concrete, or brick.

All cheek walls supporting a turned stoop shall be brick, painted brick or stone to match the material of the water table of the home/house.



## Rooftop Decks

Rooftop decks are allowed in most homes, pending fire and rescue height limitations.

Roof deck surrounds (rails/screening, etc.) shall be consistent with the architectural design, detailing, and other materials of the home.

Roof decks are permitted for all townhomes. Not all homes within the same stick are required to have rooftop decks.

Roof decks shall be screened from the adjacent neighbors.

Roof decks may incorporate shade structure, including trellises, awnings, or other shade structures.

Roof decks may incorporate other amenities such as a fireplace.





# Porches, Porticos & Decks

## Decks & Balconies

Rear yard decks are permitted for all townhomes in the community.

Decks must be thoughtfully designed and carefully integrated into the home, townhome building, and surrounding area.

Balconies that project less than 6' from back of home façade shall comply with all deck guidelines.

Balconies must be structurally integrated into the home and may not have posts to the ground.

Shade structures are permitted on decks.

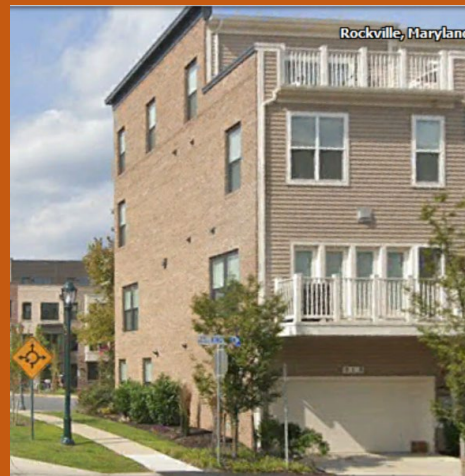


## Rear Yard Decks – Rear Load Garage Units

Decks are permitted for all rear load garage townhomes except those homes that are 48' long.

Decks shall not project more than 10' (maximum) from the back façade of the unit; deck posts shall not be installed greater than 8' (maximum) from the back façade of the unit.

Stairs from the deck to the ground are not permitted.



## Backyard Decks – Front Load Garage Units

Decks in the backyard are permitted for all homes with front load garages.

Decks shall not be wider than 22' and must provide 1' buffer between the deck side and the home's side/property line.

Decks can project up to 12' from the back façade of the home.

Rear yard decks for front load garage homes may have stairs.

Stairs may not exceed the deck footprint.

Stair materials must be consistent with the deck material, railing, and trim.



## Porches, Porticos & Decks

### Permitted Materials – All Decks

Allowable materials:

- Composite/Trex (or equal)
- PVC
- Wood, including Teak, Ipe, and pressure treated lumber
- All posts shall be wrapped in PVC or composite

Permitted colors for deck trim, rails, band boards and posts:

- Almond
- Gray
- Adirondack brown
- Black metal railings/spindles allowed (subject to approval).

### Screening

Privacy screens are allowed as outlined below (and must be approved by the Town Architect).

- 6' tall or less, tapered after 6' extension from back of home.

Material and architecture of screen shall compliment materials and architecture of the home and deck.

No screening allowed on the back edge of the deck.



### Rails, Band Boards, Railings and Posts

All deck posts, bands and visible beams must be wrapped in composite or PVC.

No aluminum wrap allowed.

Aluminum railings are acceptable.



## 20' Townhomes



Note: Examples, renderings and floorplans shown for illustrative purposes only. Windows, doors, ceilings and room sizes may vary depending on the options and elevations selected. Not all features are shown and floorplans may vary per elevations. Elevations shown are artist's concepts. Actual floorplans, elevations and options may vary when the community opens for sales in the future.



## 24' Townhomes



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## 2-over-2 Market



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# High Profile Sides



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