

Item 12 - Correspondence

From: [Hill, Maren](#)
To: [Folden, Matthew](#); [MCP-Chair](#); [Graham, Tamika](#)
Cc: [McVary, Jessica](#); philu@mdig.com; mbalcombe@ggchamber.org; [Findley, Steve](#)
Subject: Testimony on the Elms at PSTA Site Plan
Date: Tuesday, March 15, 2022 7:31:50 AM
Attachments: [GSSC-IAC - Comments PSTA.docx](#)
[image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Good morning,

The Great Seneca Science Corridor Implementation Advisory Committee submits the attached comments on the Elms at PSTA Site Plan which will go before the Planning Board on March 31.

Thank you,

Maren



Maren Hill, AICP
Planner Coordinator

Montgomery County Planning Department
2425 Reedie Drive, 14th Floor, Wheaton, MD 20902
maren.hill@montgomeryplanning.org
o: 301.650.5613



MEMORANDUM

To: Montgomery County Planning Board

From: Great Seneca Science Corridor – Implementation Advisory Committee

Date: March 15, 2022

Re: Elms at PSTA Site Plan

The members of the Great Seneca Science Corridor – Implementation Advisory Committee (IAC) submit these comments for your consideration in reviewing the Elms at PSTA Site Plan (Site Plan). Our intention is not to contradict anything that has already been approved, but to weigh in on how the proposed site plan meets the goals established in the 2010 *Great Seneca Science Corridor Master Plan* (Master Plan). It is our expectation that the Site Plan, has been reviewed in accordance with the accompanying Great Seneca Science Corridor Design Guidelines and is in conformance with the Guidelines.

Green Space – One of our overarching concerns is whether the amount of greenspace proposed is adequate. Of course, we would like to see as much green space as feasible to enhance the environment and the aesthetic and recreational enjoyment of the property. We understand that the area referred to as “Parcel A”, at the northeastern corner of the site at the intersection of Key West Avenue and Great Seneca Highway, will serve as an important stormwater management facility for the site, but it is also intended to serve as usable green space. We recommend that whatever treatment is used for the proposed natural surface trail, takes into consideration the topography and rain/water cycles to ensure that the area be an effective asset for the community through the year in various rain/water/weather cycles.

Streetscape and Connectivity – The Master Plan calls for streetscape and landscape elements that support walking, provide a range of experiences and a sense of place (Master Plan, p. 30). This site is located on two major thoroughfares, Great Seneca Highway and Key West Avenue, and should help define them. The development should create greater interaction between the proposed buildings and the street which would support greater walkability and shape the public realm. The streetscape and urban design elements should reflect a more engaging and active street life as envisioned in the Master Plan with strong pedestrian connectivity to neighboring retail space and a strong presence on the streets. The development should not look like another apartment / townhome community in the middle of suburbs.

LSC Loop Trail – As a prominent feature in the Master Plan, this area of the LSC Loop Trail should be built to the high design standards agreed upon for the entirety of the trail.

Future Transit – It should be conditional that new homeowners of this residential development are made aware of future transit improvements incorporated into the plan to avoid objections to any future transit lines or stations. This would be similar to the CCT right of way in Crown Farm.

Community Parking – The proposed athletic field is a planned community amenity, open to the public. There should be some clarity as to the accommodation of public parking related to the proposed athletic field.

Thank you for our consideration.

From: [Graham, Tamika](#)
To: [MCP-Chair](#)
Cc: [Folden, Matthew](#)
Subject: FW: 9850 Key West Avenue, Rockville, Md - Entrance Location
Date: Wednesday, March 23, 2022 3:45:50 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[9850 Key West Exhibit 2022-03-23.pdf](#)

Good afternoon,

Please add this correspondence to the record for the PSTA Site Plan public hearing on 3/31. Thanks!

Best regards,

Tamika



Tamika Graham, AICP

Planner III, Mid-County Planning Division

Montgomery County Planning Department
2425 Reddie Dr., 14th Fl., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



Let's Plan Our Future. Together. THRIVE MONTGOMERY 2050
THRIVEMONTGOMERY.COM

From: Graham, Tamika
Sent: Wednesday, March 23, 2022 3:41 PM
To: Rowe, Christopher (Avison Young - US) <christopher.rowe@avisonyoung.com>
Cc: Myers, Nicole (Avison Young - US) <Nicole.Myers@avisonyoung.com>
Subject: RE: 9850 Key West Avenue, Rockville, Md - Entrance Location

Mr. Rowe:

Thank you for the correspondence on this Application.

Best regards,

Tamika

Tamika Graham, AICP

Planner III, Mid-County Planning Division

Montgomery County Planning Department



2425 Reedie Dr., 14th Fl., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



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From: Rowe, Christopher (Avison Young - US) <christopher.rowe@avisonyoung.com>
Sent: Wednesday, March 23, 2022 12:36 PM
To: Graham, Tamika <tamika.graham@montgomeryplanning.org>
Cc: Myers, Nicole (Avison Young - US) <Nicole.Myers@avisonyoung.com>
Subject: 9850 Key West Avenue, Rockville, Md - Entrance Location

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Ms. Graham,

I wanted to inform you that we have been in conversations with Kate Kubit of Elm Street Development and are aware of the change to the entrance of 9850 Key West with the following information:

- That we, collectively, have had conversations about the updates to the current entrance at Key West Avenue.
- We are aware of the current proposed location for the entrance.
- We have seen drawings with proposed locations for the updated entrance for 9850 Key West Avenue.
- We have worked with Kate Kubit and plan to continue to try to work with her in finalizing the design of this entrance.
- And please note that although we prefer that the current entrance does not change, we are currently and generally mostly amenable to the current proposal as shown (see attached Exhibit 2022-03) so long as there are no substantive changes to it and we can reach agreement.

Thank you,

Management agents for the Owner – HSRE-CAPMED Shady Grove Medical Village, LLC

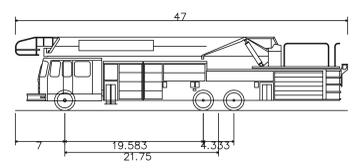
Christopher Rowe
Property Manager, CPM

D +1 301.637.6123 **M** +- 202.391.8815
christopher.rowe@avisonyoung.com | avisonyoung.com
9850 Key West Ave., Suite 306, Rockville, MD 20850

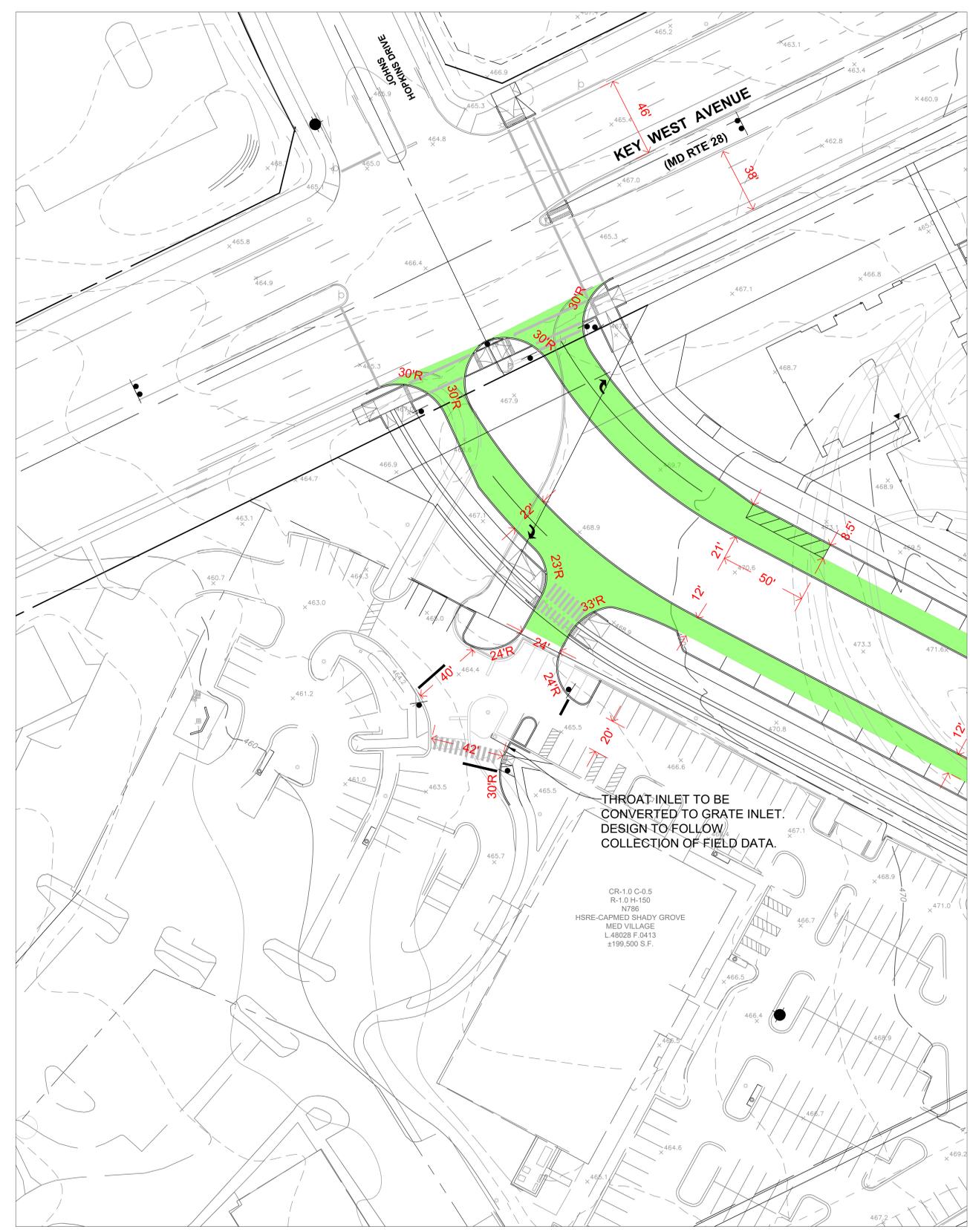
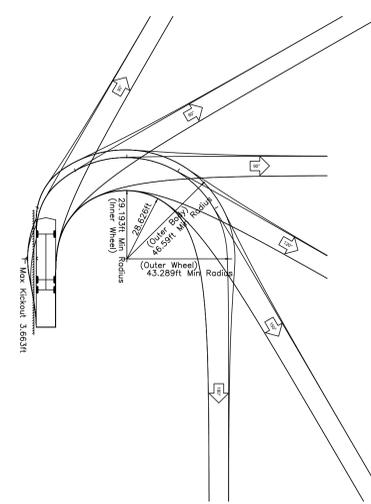
**AVISON
YOUNG** [Twitter](#) | [Property Listings](#)
[LinkedIn](#) | [Instagram](#)

Avison Young – Washington, D.C., LLC | [Legal Disclaimer](#)

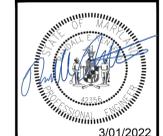
- LEGEND**
-  FIRE LANE
 -  PROPOSED FIRE HYDRANT
 -  EXISTING FIRE HYDRANT
 -  PROPOSED FIRE DEPARTMENT CONNECTION
 -  MAIN DOOR LOCATION
 -  SITE LIMITS
 -  PUBLIC STREET RIGHT OF WAY
 -  LOT LINES



AT-729
 Overall Length 47.000ft
 Overall Width 8.250ft
 Overall Body Height 10.475ft
 Min Body Ground Clearance 0.906ft
 Track Width 60.250ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 53.20°



PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 42356, Expiration Date: 12/19/22.



M:\MD_Montgomery\PST\Access\9850 Key West\Fire Access\9850 Key West Exhibit - Overlay\Key West Exhibit - Overlay.dwg Fire Access Exhibit Mar 29, 2022 8:54am

REVISION	DATE	REVISION	DATE	REVISION	DATE

APPLICANT:
THE ELMS AT PSTA, LLC

ATTN: KATHRYN KUBIT
 1355 BEVERLY ROAD, SUITE 240
 MCLEAN, VA 22101
 PHONE: (703) 734-9730
 EMAIL: kkubit@elmstreetdev.com

OWNER:
MONTGOMERY COUNTY

EOB 101 MONROE STREET
 ROCKVILLE, MD 20850

PSTA SITE

PARCEL 850, L.4047 F.003, PARCEL 925, L.3862 F. 772 AND PART A, L.16172 F.223

ELECTION DISTRICT No. 9
 MONTGOMERY COUNTY, MARYLAND

RODGERS CONSULTING

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874
 Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVIEWED		
RODGERS CONTACT:		
RELEASE FOR		
BY: _____	DATE: _____	

ACCESS EXHIBIT
9850 KEY WEST AVE.

SCALE:	3/01/2022
JOB No:	1" = 30'
DATE:	0643T
SHEET No:	MAR. 2022
1 OF 1	

From: [Rosa Gonzales](#)
To: [MCP-Chair](#)
Subject: Wootton Crossing Written Comments for the Upcoming Planning Board Public Hearing
Date: Tuesday, March 29, 2022 1:03:36 PM
Attachments: [image001.png](#)
[Wootton Crossing HOA Written Comments.pdf](#)
Importance: High

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good afternoon,

To whom this may concern, attached is a written notice from the Board of Directors of the Wootton Crossing HOA Community.

I appreciate if someone can get back to us before the meeting tomorrow.

Thanks

Visit our website/Contact Us



Access your Owner's Portal



Rosa Gonzales
Community Association Manager

Summit Management Services, AAMC
3833 Farragut Avenue
Kensington, Maryland 20895

Direct: 301-576-8372
Fax: 301-576-8372
Client Service: 301-495-0146

Celebrating 20 Years in Community Association Management

COVID-19 Office Operation: Summit Management offices are open by appointment only. Please contact our Client Service Representative to schedule. Should you wish to drop off your payment, correspondence, etc. at our office, please utilize the front door mail slot.

Disclosure: Summit Management Services, Inc. is a licensed collections agency in the state of Maryland and may be deemed a debt collector. Any information obtained from communication with our office may be used for that purpose.

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Dear Members of the Montgomery County Planning Board!

We, the homeowners of the Wootton Crossing community in Rockville, are pleased to learn about the upcoming changes to the former PSTA site which is zoned for a new residential development. We really appreciate the Planning Board's efforts to ensure the balance is achieved between the developer's goals, the comfort of current and prospective residents, and public interests.

The purpose of this document is to provide written comments expressing our unanimous concerns about the development plan # 820220050 (construction of 630 new housing units between Great Seneca Hwy & Key West Ave).

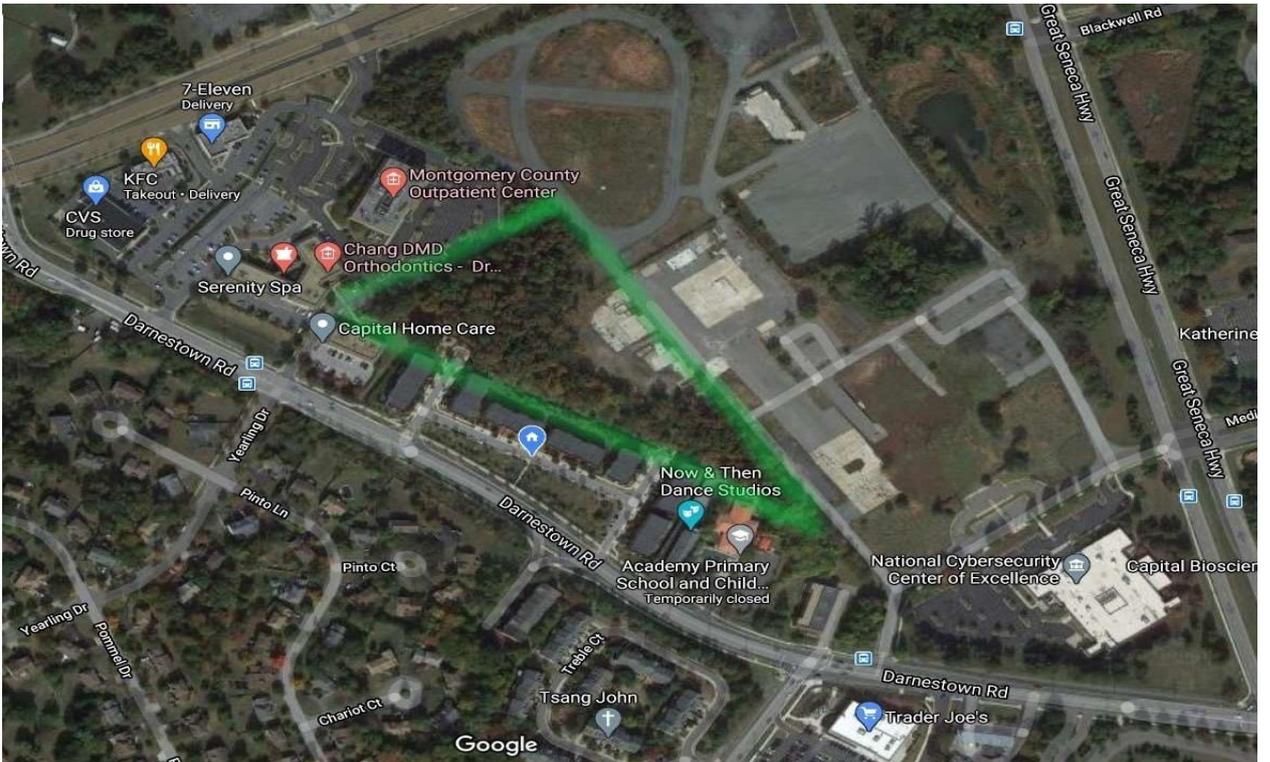
We are the only residential community adjacent to the development site and our well-being will be strongly affected by future construction. We have already submitted our written concerns about the developer's plan twice: in September 2020 and January 2021 to Tamika Graham, the Lead Reviewer for Montgomery Planning Board, and in July 2021 to Casey Anderson, the Chair of the Montgomery Planning Board. Unfortunately, they were substantially ignored by the developer. The developer made false claims that they tried to contact our HOA Board of Directors. We never got any word from the developer. Per our community manager Rosa Gonzales the only correspondence about the PSTA site development we got was a reply from the county Lead Reviewer Ms. Graham back in January 2021.

We recently got a chance to review the final developer's plan which will be discussed during the hearings on March, 31st, 2022. This plan looks even more worrisome to us than the preliminary one:

1. The plan completely eliminates any buffer between the Wootton Crossing townhomes and the prospective community. The new dwellings and parking lots will be built in a close proximity to our existing homes. According to the drawings there is actually no space between the projected townhomes and our property border (see the map below). Not only will we be exposed to the inevitable construction noise, dust, and debris, but the communities' separation and the privacy of our residents will be irrevocably ruined.



2. The plan destroys four acres of forested area north to our community (please, see below). It's a natural wildlife habitat with mature beautiful trees. It brings much needed shade and fresh air, reduces noise and absorbs cars and greenhouse emissions. How can the county hope to fight global warming if it allows cutting the forest which took more than three generations to grow?!



The forest removal also contradicts the Master Plan for the Great Seneca Technology Corridor and Montgomery County Forest Conservation Advisory Committee recommendations for maximum preservation and protection of existing forests, trees, canopy areas, and water streams: “The existing forests and wetlands should be preserved and enhanced for recreation and enjoyment of the natural environment”.

3. The proposed forest elimination aggravates the next major problem - the insufficiency of active and passive recreational amenities in the planned community. The developer plans to build 630 residential dwellings which will accommodate around 2,000 future residents. Those people are left without adequate walkable green areas. The closest local park (Washingtonian Woods) is in 1.5 mile from here and hence beyond the walking distance.

The developer wants to resolve this issue by preserving a small 2.5 acres of forested wetland tucked away at the intersection of multiple lanes highways. It's obviously insufficient for the projected high density neighborhood. Even now two hundred residents of the Wootton Crossing community have nowhere to go for a walk. What would two thousand people do?

The developer intends to 'lock' them all into the asphalt 'island' of 70 acres between Great Seneca Hwy, Key West Ave, and Darnestown Rd with a single tiny trail! Is this an appropriate contribution to current and future residents' wellbeing? We decline to believe the county officials will agree with such a humiliation to their taxpayers and voters!

The only way to resolve all these concerns is to preserve the entire forested area to the north to our community. With addition of natural surface trails it may be easily converted into a much needed passive recreation park. Both communities – the Wootton Crossing and the prospective new one – will benefit from this amendment.

Respectfully,

The Wootton Crossing HOA Board of Directors,

Homeowners and Residents

From: [Graham, Tamika](#)
To: [MCP-Chair](#)
Subject: FW: Former PSTA site development plan (public comment)
Date: Tuesday, March 29, 2022 2:42:32 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

Good afternoon,

Please add Mr. Lukashanets comments below to the public record for the above noted project.
Thanks!

Best regards,

Tamika



Tamika Graham, AICP

Planner III, Mid-County Planning Division

Montgomery County Planning Department
2425 Reedie Dr., 14th Flr., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



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From: Graham, Tamika
Sent: Tuesday, March 29, 2022 2:31 PM
To: serge.lukashanets@gmail.com
Cc: Findley, Steve <Steve.Findley@montgomeryplanning.org>; Rosa Gonzales <rosa.gonzales@summitmanage.com>
Subject: RE: Former PSTA site development plan (public comment)

Mr. Lukashanets:

Thank you for your input which will be included in the public comment summary, along with other HOA comments received from Ms. Gonzales. The Site Plan will appear before the Planning Board for their consideration on Thursday, March 31. You can sign up to testify virtually, no later than Wednesday, 3/30 by noon, using this link: <https://montgomeryplanningboard.org/meetings/signup-to-testify/sign-testify-form/>. I will forward the HOA's correspondences, but you can also send additional correspondence directly to this email address: mcp-chair@mncppc-mc.org.

Please see my brief comments below. Additional details from the Site Plan Staff Report can be

found here: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/PSTA-Site-Plan-Staff-Report-FINAL-FINAL.pdf>.

Please let me know if you have additional questions about the Project or the public hearing process.

Best regards,

Tamika



Tamika Graham, AICP

Planner III, Mid-County Planning Division

Montgomery County Planning Department
2425 Reddie Dr., 14th Fl., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



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From: Serge Lukashanets <serge.lukashanets@gmail.com>

Sent: Monday, March 28, 2022 12:50 PM

To: Graham, Tamika <tamika.graham@montgomeryplanning.org>

Cc: Findley, Steve <steve.findley@montgomeryplanning.org>; Rosa Gonzales <rosa.gonzales@summitmanage.com>

Subject: Re: Former PSTA site development plan (public comment)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Dear Ms. Graham,

We are contacting you again in regards to the development plan # 820220050 (construction of 630 new housing units between Great Seneca Hwy & Key West Ave).

In July 2021 we had already submitted our concerns to the Planning Board about the preliminary plan of this development, but unfortunately they were substantially ignored. The developer made false claims that they tried to contact our HOA Board of Directors. In reality we never got any word from the developer. They even failed to correctly spell the name of our community which is Wootton Crossing, not Wootton Crest. Our concerns were not addressed, and the preliminary plan was approved by the county officials.

Now, the final developer's plan is going to be discussed during the hearings on March, 31st, 2022. This plan looks even more worrisome to us than the preliminary one:

1. It completely eliminates any buffer between the Wootton Crossing townhomes and the prospective community. Some of the houses and parking lots will be built within less than a couple of feet from our property border (see the map attached). The communities' separation and the privacy of our residents will be irrevocably ruined.

Based on the zoning districts of the HOA and PSTA properties, combined with the proposal for townhouses that abut the same compatible use – townhouses, the Zoning Ordinance does not require a screening buffer. A hedgerow will be planted between the property line in certain areas. The hedgerow screen and other plantings on the Wootton Crossing property will remain.

2. The developer further insists on destroying four acres of natural forested area north to our community. It's a mature forest with tall leafy beautiful trees and a small pond. It brings much needed shade and fresh air, reduces noise and absorbs cars and greenhouse emissions. The proposed plan contradicts The Master Plan for the Great Seneca Technology Corridor and Montgomery County Forest Conservation Advisory Committee recommendations for maximum preservation and protection of existing forests, trees, canopy areas and water streams.

The Forest Conservation Law, Chapter 22A of the Montgomery County Code allows a Property Owner to remove existing forest on their Property and imposes reforestation requirements and mitigation tree plantings for the removal of specimen-size trees. The proposal to remove existing forest on the PSTA Site complies with the Forest Conservation Law and Regulations. For the 5 acres to be removed, the Application is providing approximately 11 acres of reforestation, some of which will be met on-site in new landscaping. The 3+ acres of retained forest, including the natural area and stream at the intersection of Great Seneca Highway and Key West Avenue is a recommendation of the Master Plan and will be preserved and protected within a Conservation Easement. The project will also include some stream enhancements. The mature trees in forested stream valley buffer area will be maintained to yield all the environmental benefits you've noted.

3. The planned public recreational amenities are clearly insufficient for more than 2,000 of current and prospective area residents. The developer fails to provide a large green local park for active recreation required under Great Seneca Master Plan, calling for a small-sized athletic field instead. A clubhouse with a pool and small mews area are clearly privately owned and not openly accessible/usable by the general public. Most importantly the stream buffer area proposed for passive recreation is reduced to ridiculously small 2.5 acres of forested wetland tucked away at the intersection of multiple lanes highways.

Efforts to pursue and realize the Master Plan park recommendation was addressed thoroughly during the Preliminary Plan through substantial coordination between the former-land owner (Montgomery County), the Applicant, and the Park Planning and Stewardship Division. Please see the Preliminary Plan Staff Report here: <https://montgomeryplanningboard.org/wp-content/uploads/2021/07/120200100-PSTA-Preliminary-Plan-Staff-Report-Final-Draft-FINAL.pdf> .

Ms. Graham! Let us give you the big picture – the developer intends to 'lock' more than 2,000 people into the asphalt 'island' of 70 acres with no access to adequate green space within walkable distance. The closest park (Washingtonian Woods) is more than 1.5 mile away from there. And the developer tries to convince the county

that a single trail through the 2.5 acres pocket is an appropriate contribution to current and future residents' wellbeing? We decline to believe the county officials will accept such a humiliation to their taxpayers and voters!

The proposed open spaces will be accessible to the public. Public green spaces to be provided include the following which totals over 7 acres of land: · 0.50-acre Civic Green accessible to retail space · 3.17-acre Park with youth soccer field · 3.14-acre of forested stream valley buffer with nature surface trails · 0.20-acre meadows (through-block connection with green space) · 0.44-acre clubhouse with pool, community room, and bicycle repair station. This Site proposes more public open space (16% of tract area) than required by law through the Zoning Ordinance (10%) and complies with the Planning Board's Recreation Guidelines for Residential Development. The redevelopment will be walkable and bikeable with the delivery of sidewalks along all new public roadways. Additionally, both Great Seneca Highway and Key West Avenue will have 10-foot-wide shared use pathways with green buffers from traffic, Medical Center Drive Extension will have separated bicycle lanes and the first constructed segment of the signature [Life Sciences Center Loop Trail](#), and Blackwell Road will have bicycle lanes.

Respectfully,

Serge Lukashanets,
The President of the Wootton Crossing HOA

On Tue, Sep 15, 2020 at 5:11 PM Graham, Tamika
<tamika.graham@montgomeryplanning.org> wrote:

Mr. Lukashanets:

Thank you very much for these comments which will become a part of the public record for the project. You are correct regarding the delay of the Planning Board hearing. Additional review time has been approved to allow various County agencies to continue to work with the Applicant to revise and refine the proposal to address open space, recreation areas, and other elements of zoning compliance. Currently, I do not have a scheduled Board date to share with you. Once a date is confirmed, the Wootton Crossing community will receive a mailed notice of the hearing date.

The Great Seneca Science Corridor Master Plan specifically calls out the preservation of forest and the stream valley buffer at the corner of Key West Avenue and Great Seneca Highway, which is included in the proposal. In addition to that environmentally sensitive area, we note the concern you've raised regarding environmental recommendations and the proposed loss of forest that abuts your community. I am copying our Environmental Planner, Steve Findley, for this review. The Planning Dept. is reviewing the proposal against relevant local and area-wide plans and policy documents as part of the regulatory process and we will take a closer look at this issue. In the meantime, please let me know if

you have further questions about the overall process.

Best regards,

Tamika



Tamika Graham, AICP

Senior Planner, Mid-County Planning Division

Montgomery County Planning Department
2425 Reedie Dr., 13th Fl., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



WE'RE MOVING!

THE NEW PARK AND PLANNING HEADQUARTERS WILL BE LOCATED AT
2425 REEDIE DRIVE, WHEATON, MD 20902 IN AUGUST 2020.

From: Sergey Lukashanets <serge.lukashanets@gmail.com>
Sent: Tuesday, September 8, 2020 8:41 AM
To: Graham, Tamika <tamika.graham@montgomeryplanning.org>
Subject: Former PSTA site development plan

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Dear Ms. Graham,

We are contacting you on behalf of the Wootton Crossing Community in Rockville regarding the development plan # 120200100 (construction of 645 new housing units between Great Seneca Hwy & Key West Ave).

We are the only residential community adjacent to the development site and our well-being will be strongly affected by future construction. Until now we didn't have a chance to raise our concerns – the public hearing (tentatively scheduled for August 6, 2020) didn't happen. We don't want to lose the opportunity to be heard before the developer's application is officially approved.

We watched the recorded virtual meeting of the Master Plan Advisory Committee (July 28, 2020) and we completely agree with the experts' comments and recommendations. We carefully reviewed the developer's preliminary plan and found that it doesn't provide any parks or walkable green spaces for more than two thousands of new residents. The developer also plans to completely destroy the 3,2 acres of forested area north to our community (please, see attached picture). It's a wildlife habitat (we saw deers, foxes, groundhogs and even coyotes there) with mature beautiful trees. The map provided by the developer also doesn't reflect the fact that this forested area has a natural water stream.

The amended Master Plan for the Great Seneca Technology Corridor (General Urban Guidelines) states: "The existing forests and wetlands should be preserved and enhanced for recreation and enjoyment of the natural environment". The

developer's plan violates these recommendations. It doesn't provide prospective residents with nature friendly recreational sites or walkable green parks.

Montgomery County Forest Conservation Advisory Committee also recommends maximum preservation and protection of existing forests, trees canopy areas and water streams.

We think the best solution would be to adjust the development plan so that the forested area to the north to our community is PRESERVED. And with addition of wooded pathways it may be converted into a local park. Both communities – the Wootton Crossing and the prospective new one – will benefit from this amendment.

Sincerely,

Serge Lukashanets,

Member of the Wootton Crossing HOA Board of Directors

(240)-413-5829

From: [Graham, Tamika](#)
To: [MCP-Chair](#)
Subject: FW: Wotton Crossing HOA - Board concerns regarding Development Plan # 120200100
Date: Tuesday, March 29, 2022 2:49:31 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[WCH- Notice \(Development Plan # 120200100\) \(revision\).docx](#)
[image012.png](#)

Good afternoon,

Please add Ms. Gonzales' letter to the public record that was resubmitted for the PSTA Site Plan No. 820220050. Thanks!

Best regards,

Tamika



Tamika Graham, AICP

Planner III, Mid-County Planning Division

Montgomery County Planning Department
2425 Reedie Dr., 14th Fl., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



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From: Graham, Tamika
Sent: Monday, March 28, 2022 10:36 AM
To: 'Rosa Gonzales' <rosa.gonzales@summitmanage.com>
Cc: Evelyn Diaz <evelyn.diaz@summitmanage.com>; Findley, Steve <Steve.Findley@montgomeryplanning.org>; 'Kate Kubit' <kkubit@elmstreetdev.com>
Subject: RE: Wotton Crossing HOA - Board concerns regarding Development Plan # 120200100

Good morning, Ms. Gonzalez,

Thank you for your email. During the Preliminary Plan review, I forwarded your correspondence to Kate Kubit, the primary contact from the Applicant team, to respond to you directly (also copied herein). I will defer to the Applicant regarding various efforts that were made to reach the HOA and the correspondence that occurred. Staff outlined the HOA's concerns during the prior Planning Board hearing presentation and Staff Report found here:
<https://montgomeryplanningboard.org/wp-content/uploads/2021/07/120200100-PSTA-Preliminary-Plan-Staff-Report-Final-Draft-FINAL.pdf>.

Subsequent to your last email, the Applicant sent a virtual community meeting invitation to surrounding residents, including the Wotton Crossing HOA, to learn more about the project and to address community concerns. The Site Plan is now going to the Planning Board for their consideration on Thursday, March 31. You can sign up to testify virtually, no later than Wednesday, 3/30 by noon, using this link: <https://montgomeryplanningboard.org/meetings/signup-to-testify/sign-testify-form/>.

Please see my comments to your letter below in blue:

1. This area is a wildlife habitat and has a water stream in it.

The approved Natural Resource Inventory/Forest Stand Delineation, which evaluates all regulated environmental resources, was approved and did not find a stream on the western side of the Site nearby the Wotton Crossing property. As required by law, a 3.35-acre stream valley buffer was placed over the existing 720 linear feet of stream channel on the northeast corner of the Site for protection. Additionally, the Maryland Department of Natural Resources issued a letter indicating that no regulated wildlife identified as Rare, Threatened, In Need of Conservation, and Endangered Species were found on the Site. During the Preliminary Plan, the Planning Board found that the Proposal complies with Chapter 22A, Forest Conservation Law and the Planning Board's Updated Environmental Guidelines that prescribes environmental protection procedures during the development process.

2. Montgomery County Officials strongly recommends preserving existing forests and wetlands "for recreation and enjoyment of the natural environment".

The former PSTA Site was county-owned and sold to the Applicant with an agreement that the redevelopment will implement the recommendations of the 2010 Great Seneca Science Corridor (GSSC) Master Plan. The GSSC Master Plan lays out both general recommendations for the plan area and specific recommendations for the PSTA Site for high-density residential development. Generally, the Master Plan provides a blueprint for the future that will transform the Life Sciences Center (LSC) into a vibrant place served by transit and enhanced by activating uses, open spaces, and amenities. The Subject Property is within the LSC West District. Specifically, the Master Plan states to: "replace the Public Safety Training Academy (PSTA) in the LSC West District with a new residential community that includes supporting retail, open spaces, and community facilities." Further, the Proposal includes the preservation and enhancement of the existing mature forest and stream valley buffer area at the intersection of Key West Avenue and Great Seneca Highway. The area will be preserved and improved with natural surface trails for recreation and benches for contemplative enjoyment, and some restoration work to improve the water quality of the stream.

3. The developer's plan violates those said recommendations.

The Proposal implements the Master Plan vision for redevelopment balanced with environmental preservation. The Planning Board approved the Preliminary Plan and found the subdivision of the land for the redevelopment is in compliance with the technical analysis for approval and the recommendations of the GSSC Master Plan as described above and expounded upon in the Staff Report.

4. The developer's plan preserves no forest area as a public park or walkable green space for 645 new housing units with thousands of residents.

The Site Plan proposes 630 residential dwelling units. Some of the forest along with western side of the Site along with the existing mature forest at the corner of Great Seneca Highway and Key West Avenue will be preserved with a Conservation Easement. The redevelopment will be walkable and bikeable with the delivery of sidewalks along all new public roadways. Additionally, both Great Seneca Highway and Key West Avenue will have 10-foot-wide shared use pathways with green buffers from traffic, Medical Center Drive Extension will have separated bicycle lanes and the Life Sciences Center Loop Trail, and Blackwell Road will have bicycle lanes. Public green spaces to be provided include the following which totals over 7 acres of land: • 0.50-acre Civic Green accessible to retail space • 3.17-acre Park with youth soccer field • 3.14-acre of forested stream valley buffer with nature surface trails • 0.20-acre mews (through-block connection with green space) • 0.44-acre clubhouse with pool, community room, and bicycle repair station. This Site proposes more public open space (16%) than required by law through the Zoning Ordinance (10%).

You can read more from the Site Plan Staff Report found here:

<https://montgomeryplanningboard.org/wp-content/uploads/2022/03/PSTA-Site-Plan-Staff-Report-FINAL-FINAL.pdf>.

Please let me know if you have further questions about the Proposal or about how to testify this upcoming Thursday.

Best regards,

Tamika



Tamika Graham, AICP

Planner III, Mid-County Planning Division

Montgomery County Planning Department
2425 Reedy Dr., 14th Fl., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



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From: Rosa Gonzales <rosa.gonzales@summitmanage.com>

Sent: Friday, March 25, 2022 1:06 PM

To: Graham, Tamika <tamika.graham@montgomeryplanning.org>

Cc: Evelyn Diaz <evelyn.diaz@summitmanage.com>; Findley, Steve <steve.findley@montgomeryplanning.org>

Subject: RE: Wotton Crossing HOA - Board concerns regarding Development Plan # 120200100

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good Afternoon Tamika,

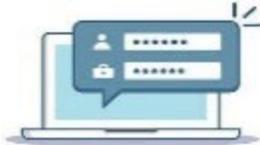
I hope all is well. From our last conversation the community over at Wootton Crossing HOA expressed concerns regarding the new development that will be building behind the community. I've never hear back from anyone and it was recently brought to my attention that a meeting is being held next Wednesday.

I am attached the questions the board previously had that were not answered. I am hoping you can assist us with this please or direct me .

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Rosa Gonzales
Community Association Manager

Summit Management Services, AAMC
3833 Farragut Avenue
Kensington, Maryland 20895

Direct: 301-576-8372
Fax: 301-576-8372
Client Service: 301-495-0146

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From: Graham, Tamika <tamika.graham@montgomeryplanning.org>

Sent: Thursday, January 21, 2021 9:05 AM

To: Rosa Gonzales <rosa.gonzales@summitmanage.com>

Cc: Evelyn Diaz <evelyn.diaz@summitmanage.com>; Findley, Steve <steve.findley@montgomeryplanning.org>

Subject: RE: Wotton Crossing HOA - Board concerns regarding Development Plan # 120200100

Ms. Gonzalez:

Thank you for these comments which will become a part of the public record for the project. The Great Seneca Science Corridor Master Plan specifically calls out the preservation of forest and the stream valley buffer at the corner of Key West Avenue and Great Seneca Highway, which the project will preserve. In addition to that environmentally sensitive area, we note the concern you've raised regarding environmental recommendations and the proposed loss of forest that abuts your community. I've copied Steve Findley, our Environmental Planner for this project. The Planning Department is reviewing the proposal against relevant local and area-wide plans and policy documents as part of the regulatory process and we will take a closer look at your question when we receive a new plan submittal from the Applicant.

I do not have a scheduled Board date to share with you at this time. Additional review time has been approved by the Planning Board to allow various County agencies to continue to work with the Applicant on various elements of zoning compliance. Once a date is confirmed, the Wooten Crossing community will receive a mailed notice of the hearing date. In the meantime, please let me know if you have further questions about the overall process.

Best regards,

Tamika



Tamika Graham, AICP
Senior Planner, Mid-County Planning Division

Montgomery County Planning Department
2425 Reedie Dr., 13th Flr., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



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THE NEW PARK AND PLANNING HEADQUARTERS WILL BE LOCATED AT
2425 REEDIE DRIVE, WHEATON, MD 20902 IN AUGUST 2020.

From: Rosa Gonzales <rosa.gonzales@summitmanage.com>

Sent: Wednesday, January 20, 2021 9:36 AM

To: Graham, Tamika <tamika.graham@montgomeryplanning.org>

Cc: Evelyn Diaz <evelyn.diaz@summitmanage.com>

Subject: Wotton Crossing HOA - Board concerns regarding Development Plan # 120200100

Importance: High

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good Morning Tamika,

Please disregard the notice I sent to you yesterday please use this attached notice when you meet with Kate please.

Thank you so much and have great day.



Rosa Gonzales
Community Association Manager

Summit Management Services, AAMC
3833 Farragut Avenue
Kensington, Maryland 20895

Direct: 301-576-8372
Fax: 301-576-8382
Customer Service: 301-495-0146

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January 19, 2021

Re: Developer Plan # 120200100

Dear Tamica Graham:

This letter serves as an official written notice to remind you of the concerns Wootton Crossing Homeowner Association has regarding the Development Plan #120200100. This plan is adjacent to the only residential community (Wootton Crossing HOA) being affected by this planned development.

There has been concerns raised regarding the development plan that is scheduled to take place in the existing forested area in the near future.

The community has strong objections to the developers' proposed plan which includes devastation to the forested area adjacent to our community. Here are a few of the Board of Directors and Residents comments/concerns regarding the development plan #120200100.

1. This area is a wildlife habitat and has a water stream in it.
2. Montgomery County Officials strongly recommends preserving existing forests and wetlands "for recreation and enjoyment of the natural environment".
3. The developer's plan violates those said recommendations.
4. The developer's plan preserves no forest area as a public park or walkable green space for 645 new housing units with thousands of residents.

In conclusion, on behalf of the Board of Directors, we ask that the developer complies with state and federal laws related to existing forests and wetlands. Revise its current faulty plan to include a forest area as public park or walkable green space separating the two communities.

The Board is available and willing to schedule a conference call to discuss the details of their concerns with Montgomery County Planning Committee and the developer.

Please do not hesitate to contact us if we can be of further assistance.

Sincerely,

Summit Management Services, Inc. AAMC

Rosa Gonzales
Community Association Manager
Wootton Crossing HOA

From: [Graham, Tamika](#)
To: [MCP-Chair](#)
Cc: [Folden, Matthew](#)
Subject: PSTA Site Plan - DPS Stormwater Management Concept Letter
Date: Tuesday, March 29, 2022 2:52:02 PM
Attachments: [SDP_285681.Elms at PSTA.pdf](#)
[image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

Good afternoon,

Please include the attached letter for the public record to replace the stormwater management letter appended to the posted staff report dated 3/21/22.

Best regards,

Tamika



Tamika Graham, AICP

Planner III, Mid-County Planning Division

Montgomery County Planning Department
2425 Reddie Dr., 14th Flr., Wheaton, MD 20902
tamika.graham@montgomeryplanning.org
o: 301.495.4551 | f: 301.495.1313



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DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

January 27, 2022

Mr. Neil Blanc
Rodgers Consulting
19847 Century Blvd., Suite 200
Germantown, MD 20874

Re: **SITE DEVELOPMENT STORMWATER
MANAGEMENT PLAN** for
PSTA Site (The Elms at PSTA)
Address: 9701 Great Seneca Highway
PP#: 1202000100
SP#: 820220050
SM File #: 285681
Tract Size square 44.63 ac./1,944,513 sq. ft.
Total Concept Area: 46.38 ac./2,020,513 sq. ft.
Legal Description: Parcel 850 L.3862 F. 776/
Parcel 925 L. 3862/F.772/ Part of Parcel A
L.3862 F.772/Part of Parcel D L.16172 F. 223/
Part of Parcel V L. 16172 F. 270
Zone: CR-1.0
Watershed: Muddy Branch/I-P
Type of Development: Redevelopment

Dear Mr. Blanc:

Based on a review by the Department of Permitting Services Staff, the Site Development Stormwater Plan for the above-mentioned site is **acceptable**. The stormwater management concept proposes to meet required stormwater management goals of Environmental Site Design to the Maximum Extent Practicable with microbioretention facilities, bio-swales, and sheet flow to conservation. Structural facilities (Stormfilters) are proposed for volume not able to be treated in ESD measures. The concept includes approval for limited compensation in one study area for volume not able to be achieved in another.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. A detailed review of the stormwater management computations will occur at the time of detailed plan review. This is a concept approval and design details including location, safe placement, sizing, conveyance, constructability, and access will be reviewed at detailed plan stage.



255 Rockville Pike, 2nd Floor, Rockville, Maryland 20850 | 240-777-0311
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2. An engineered sediment control plan must be submitted for this development.
3. All filtration media for manufactured best management practices must consist of MDE and/or DPS approved material.
4. The detailed plan must utilize DPS guidance in affect at the time of review.
5. Stormwater Management compensation will be limited to approximate the volume approved with this Concept and is limited to volume needed for Great Seneca Highway improvements.
6. Obtain Floodplain District Permit for work in the Floodplain and/or the Floodplain buffer if needed.
7. DPS does not review or approve SWM for improvements to State Highway Administration (SHA) Right-of-Way. To demonstrate the required coordination, the detailed engineering set must include SWM sheets as approved by SHA. Those sheets should be clearly marked as for review, approval, permitting, inspection and as-built by SHA and not DPS.
8. DPS reviews, approves and permits Sediment Control for all proposed work in the SHA ROW. To demonstrate the required coordination, the detailed engineering set must include storm drain and paving sheets pertaining to ROW improvements. Those roadway improvement sheets must be approved by SHA should be clearly marked as for review, approval, permitting and inspection by SHA and not DPS.
9. All underground facilities must be designed with flowsplitter structures, in accordance with WRTP-4 for SWM Access and other guidance for underground water quality structures.
10. Detail plan must clearly delineate the limits of each Study Area to demonstrate coordination with the SWM computations.
11. Detail Plan must include a listing of all lots, blocks, parcels, and public roads covered by the permit.
12. If possible, please reach out prior to preparing the Final Engineering to discuss formatting and sheet contents that will streamline the review and approval.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 **is not required**.

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable

Mr. Neil Blanc
January 27, 2022
Page 3 of 3

Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Mary Fertig at 240-777-6202 or at mary.fertig@montgomerycountymd.gov.

Sincerely,



Mark C. Etheridge, Manager
Water Resources Section
Division of Land Development Services

cc: N. Braunstein
SM File # 285681

Great Seneca Highway
ESD: Required/Provided 3,099 cf / 0 cf
PE: Target/Achieved: 1.8"/0.0"
STRUCTURAL: n/a
WAIVED: n/a
Compensation in site (not in ROW) privately maintained facilities

Study Area 1
ESD: Required/Provided: 21,319 cf / 13,920 cf
PE: Target/Achieved: 1.8"/1.18"
STRUCTURAL: 7,399 cf/8,957 cf
WAIVED: n/a

Study Area 2
ESD: Required/Provided 4,712 cf / 4,904 cf
PE: Target/Achieved: 1.8"/0.72"
STRUCTURAL: 11,767 cf/12,822 cf
WAIVED: n/a

Study Area 3
ESD: Required/Provided 117,121 cf / 14,250 cf
PE: Target/Achieved: 1.8"/0.22"
STRUCTURAL: 102,871 cf/ 104,174 cf
WAIVED: n/a

From: [Tallerico, Laura M.](#)
To: [MCP-Chair](#)
Cc: [Sears, Barbara A.](#); [Kate Kubit](#)
Subject: PSTA Site Plan No. 820220050 - Item 12 on Planning Board Agenda of March 31, 2022 - Request of Applicant to Include Materials into the Record
Date: Tuesday, March 29, 2022 12:25:56 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Dear Chairman Anderson,

On behalf of the Applicant in the above-referenced plan, we wish to submit the following documents into the record of the Planning Board hearing. The Site Plan is scheduled for hearing on March 31, 2022 as Item 12.

- March 21, 2022 Staff report for Site Plan No. 820220050 and its attachments
 - Staff Report: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/PSTA-Site-Plan-Staff-Report-FINAL-FINAL.pdf>
 - Attachment A: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/Attachment-A-Site-Plan.pdf>
 - Attachment B: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/Attachment-B-Final-Forest-Conservation-Plan.pdf>
 - Attachment C: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/Attachment-C-Prior-Approvals-PBRES-120200100.pdf>
 - Attachment D: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/Attachment-D-Agency-Approvals.pdf>
 - Attachment E: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/Attachment-E-Parking-Waiver-Request.pdf>
 - Attachment F: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/Attachment-F-Applicants-Architecture-Design-Guidelines-03.11.22.pdf>
 - Attachment G: <https://montgomeryplanningboard.org/wp-content/uploads/2022/03/Attachment-G-Public-Correspondence-GSSC-IAC.pdf>
- The Approved and adopted 2010 Great Seneca Science Corridor Master Plan:
https://www.montgomeryplanning.org/community/gaithersburg/documents/GSSCAprovedandAdopted_web.pdf

As a result of size limitations, the below-listed documents have been uploaded to the following link: <https://miles.sharefile.com/d-s7bdc9f6e42a4491193b000ed45b0ef7d>. To access these documents, please click the link and download them. Please reply to this email confirming that you were able to access and download the linked documents. Should you encounter any issue in accessing the linked documents, please contact me as soon as possible.

- July 29, 2021 Montgomery County Planning Board Resolution No. 21-082 approving Preliminary Plan No. 120200100.
- Application Drawings, including:
 - Site Plan
 - Landscape and Lighting Plan
 - Architectural Elevations
 - Final Forest Conservation Plan
- Support Documents, including:
 - October 2021 Statement of Justification
 - February 8, 2022 Plan Review Response Matrix (1/25/22 DRC comments)
 - June 25, 2021 Department of Permitting Services approval letter for Stormwater Management Concept
 - June 2021 PSTA Site Stormwater Management Concept Plan Report #285691
 - Storm Drain Outfall Computations
 - September 2021 Sight Distance Analysis
 - June 23 2021 Sight Distance Approval
 - January 20, 2021 Memorandum from David E. Dize to Gwen Wright regarding Redevelopment of Public Safety Training Academy (PSTA) Site
 - September 28, 2021 Green Tape Request
 - October 13, 2021 PSTA Site Phase I Noise Analysis
 - March 10, 2022 Department of Permitting Services approval letter for Flood Plain Study for PSTA Site (Floodplain Study Number 286994)
 - October 21, 2021 Owner Authorization Letter
- Support Drawings, including
 - Natural Resources Inventory (PSTA Site)
 - Natural Resources Inventory (Parcel V)
 - Stormwater Management Concept Plan
 - Fire Department Access Plan
 - Offsite Storm Drain Tie-in Exhibit
 - Color Coded Utility Plan
 - Renderings for Street A & Blackwell Road Intersection and Key West Ave. Parking Access & Shared Path

Thank you for your attention to this matter. If you have any questions, please feel free to contact me.

Laura M. Tallerico

Associate

11 N. Washington Street | Suite 700 | Rockville, MD 20850-4229
D: +1 301.517.4833 | O: +1 301.762.1600 | F: +1 301.517.4833



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