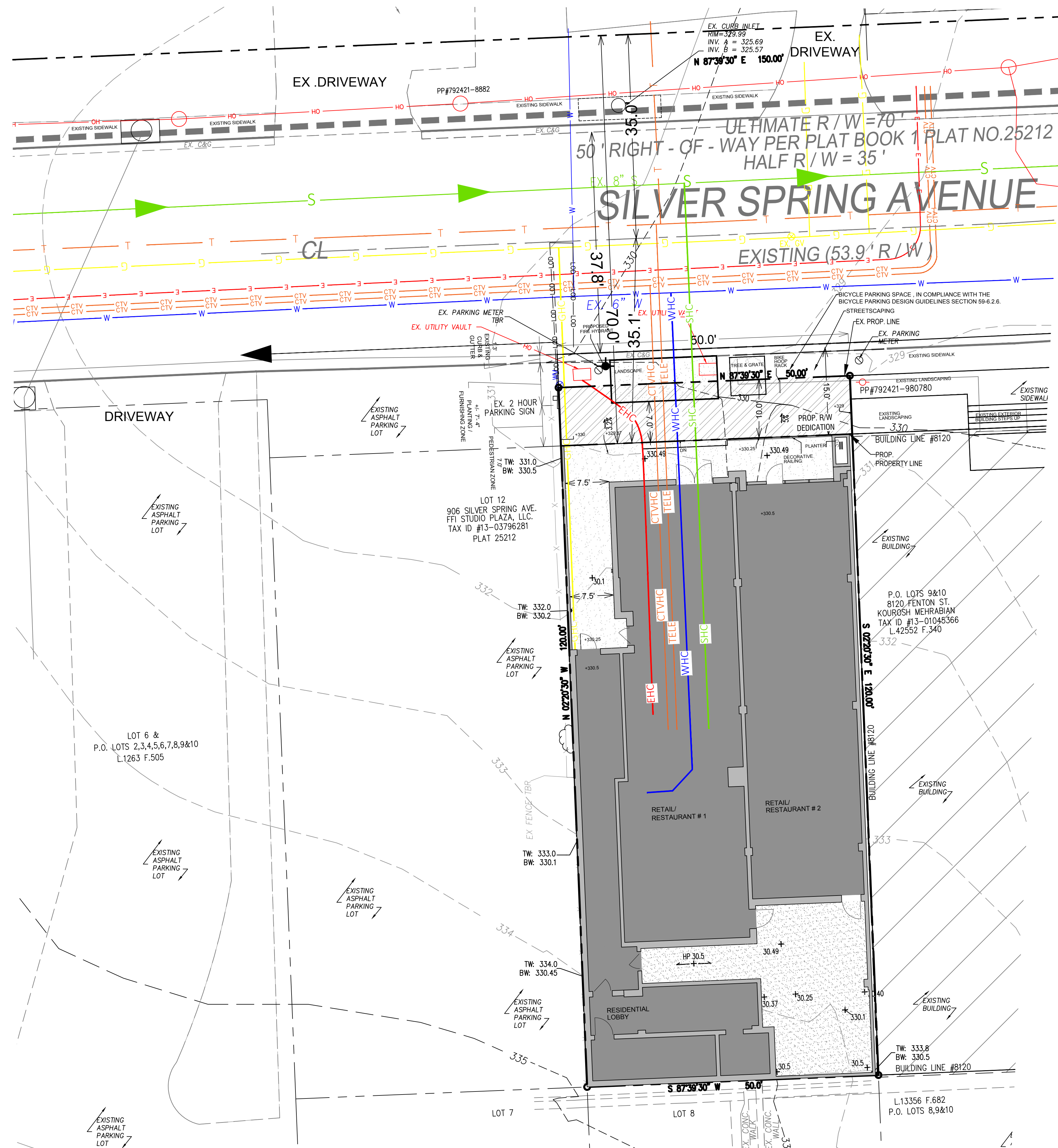
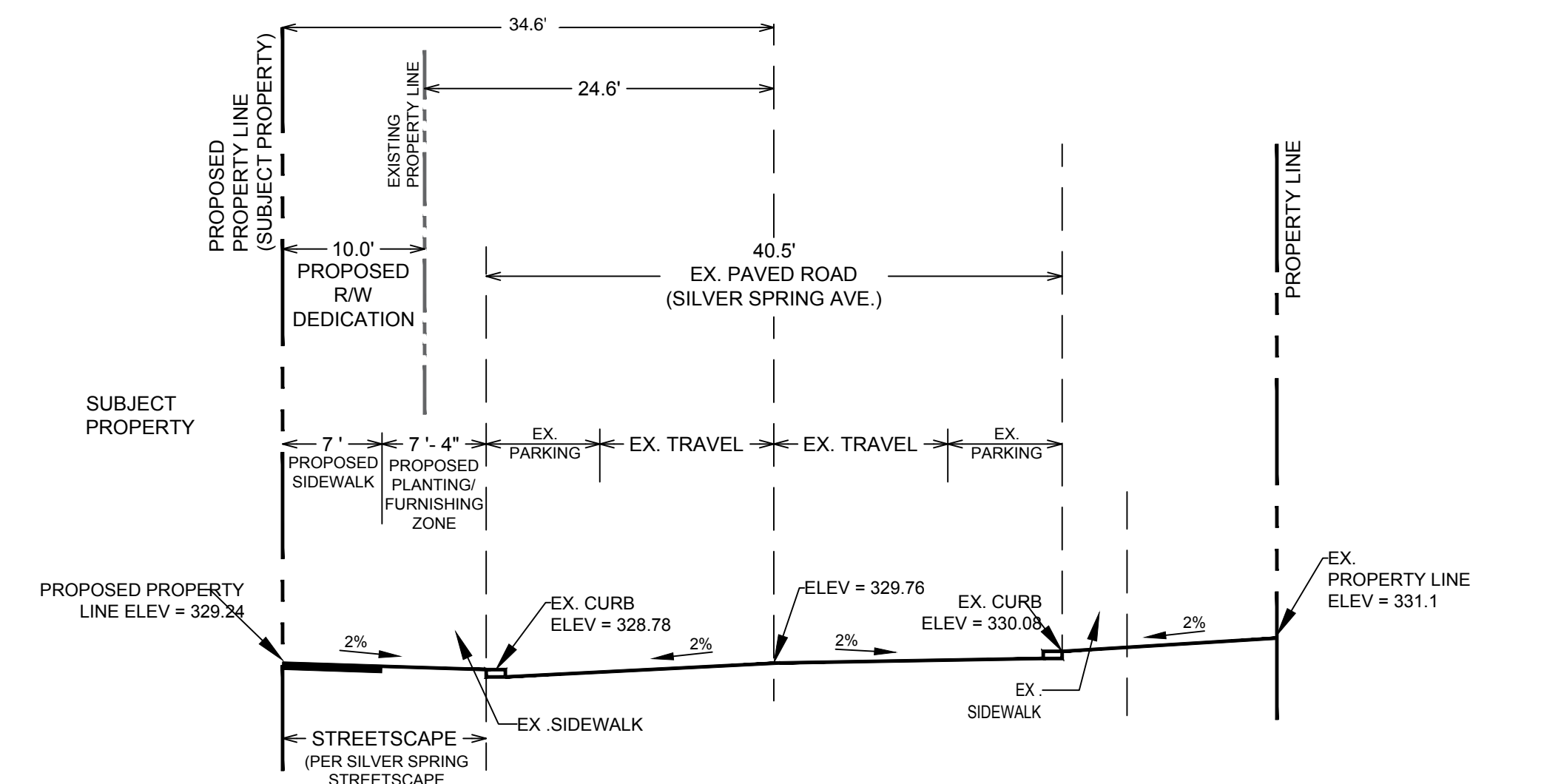


H. AND GRID NORTH  
V. MAG 33



NOTE : THERE IS NO DRIVEWAY FOR THE PROPOSED DEVELOPMENT.



EXISTING STRUCTURES	EXISTING	PROPOSED PAVEMENT / SIDEWALK	PROPOSED PAVEMENT / SIDEWALK
BUILDING RESTRICTION LINE	EX. BRL	LIMIT OF DISTURBANCE	LDD
PROPERTY BOUNDARY LINE (EX)	---	PROPOSED GRADING	---
PROPERTY BOUNDARY LINE (NEW)	---	PROPOSED SPOT ELEVATION	+250
EXISTING TOPOGRAPHY	---	PROP. WATER HOUSE CONNECTION	WHC
EXISTING FENCE	X	PROP. SEWER HOUSE CONNECTION	SHC
EXISTING WATER LINE	W	PROP. GAS HOUSE CONNECTION	GHC
EXISTING SEWER LINE	S	PROP. UNDERGROUND ELECTRICAL HOUSE CONNECTION	EHC
EXISTING GAS LINE	G	PROP. UNDERGROUND TELEPHONE HOUSE CONNECTION	TELE
EXISTING TELEPHONE LINE	T	PROP. UNDERGROUND CABLE TV HOUSE CONNECTION	CTVHC
EXISTING CABLE TV LINE	CTV	PROPOSED DOWNSPOUT LOCATION	DSI
EXISTING ELECTRICAL LINE	E	PROPOSED AREA DRAIN TO STREET SWM INLET	ADI
EXISTING OVERHEAD POWER	OH	EXISTING SEWER MANHOLE	S
PROPOSED PERVIOUS CONC. PAVEMENT	---	EXISTING WATER METER	WM
PROPOSED BUILDING	---	EXISTING BUILDING	---
PROPOSED DOWNSPOUT	---	EXISTING TREE (TO BE SAVED)	TS
PROPOSED R/W DEDICATION	---	EXISTING TREE (TO BE REMOVED)	TR

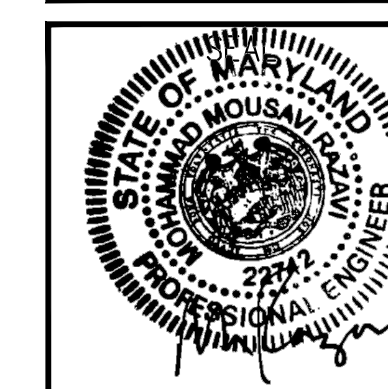
## PRELIMINARY PLAN FILE NUMBER : 120210240

EASLEYS - 904 SILVER SPRING AVENUE

TAX ID: 13-01042022  
TAX MAP: JN33  
LOT P8, BLOCK D  
WSSC GRID: 210NW01  
13TH ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND

SITUATED AT:  
904 SILVER SPRING AVE  
SILVER SPRING 20910-4618

OWNER/APPLICANT  
904 SILVER SPRING AVE. LTD.  
LIABILITY PARTNERSHIP  
13209 MOONLIGHT TRAIL DR  
SILVER SPRING MD 20906  
Phone: (240) 274-2585  
eMail: mannyandolgas@msn.com



**RAZTEC ASSOCIATES, INC.**  
civil engineers & planners  
341 West Patrick St.  
Frederick, Maryland 21701  
Phone: (301)775-4394  
email: raztecengr@comcast.net

PROFESSIONALS' REVIEW STATEMENT:  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER 22742 EXPIRES: JUNE 15, 2024

DRAWN BY: BF CHECKED BY: MR	DATE 5.14.2022	SCALE 1"=10'	SHEET NUMBER 4 OF 7
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### UTILITY NOTE:

- ALL PROPOSED UTILITY CONNECTION TO THE PROJECT ARE TO BE INSTALLED UNDERGROUND



# SITE PLAN

FILE NUMBER: 820210160  
FOR: 904 SILVER SPRING AVE. LTD  
LIABILITY LTD PARTNERSHIP

## PLAN NOTES:

- Address : 904 SILVER SPRING AVE, SILVER SPRING, MD 20910
- PLAT NO.: 54
- OWNER: LIABILITY LTD. PARTNERSHIP
- ZONE: CR-3.0 (FENTON VILLAGE OVERLAY)  
C-2.0  
R-2.75  
H-110 T

MAXIMUM BUILDING HEIGHT: PROVIDED 60'.

60' MAX. PER SILVER SPRING CBD SECTOR PLAN – PROPERTIES BETWEEN GEORGIA AVENUE AND FENTON STREET NOT FRONTING ON EITHER STREET ARE LIMITED TO 60 FEET BUT MAY GO UP TO 90 FEET FOR PROJECTS THAT ARE AT LEAST 33 PERCENT RESIDENTIAL AND WHERE THE ADDITIONAL HEIGHT IS PLACED CLOSEST TO GEORGIA AVENUE AND TAPERED DOWN MOVING EAST TO FENTON STREET.

Building Coverage: 4,080 SF

FAR: 10,000 SF (STANDARD METHOD OF DEVELOPMENT)

Parking: N/A (WITHIN PARKING DISTRICT)– REFER PARKING TABULATION CHART;  
Open Space Required– 0%

Setbacks: PER SECTION 59.4.5.3.C.3

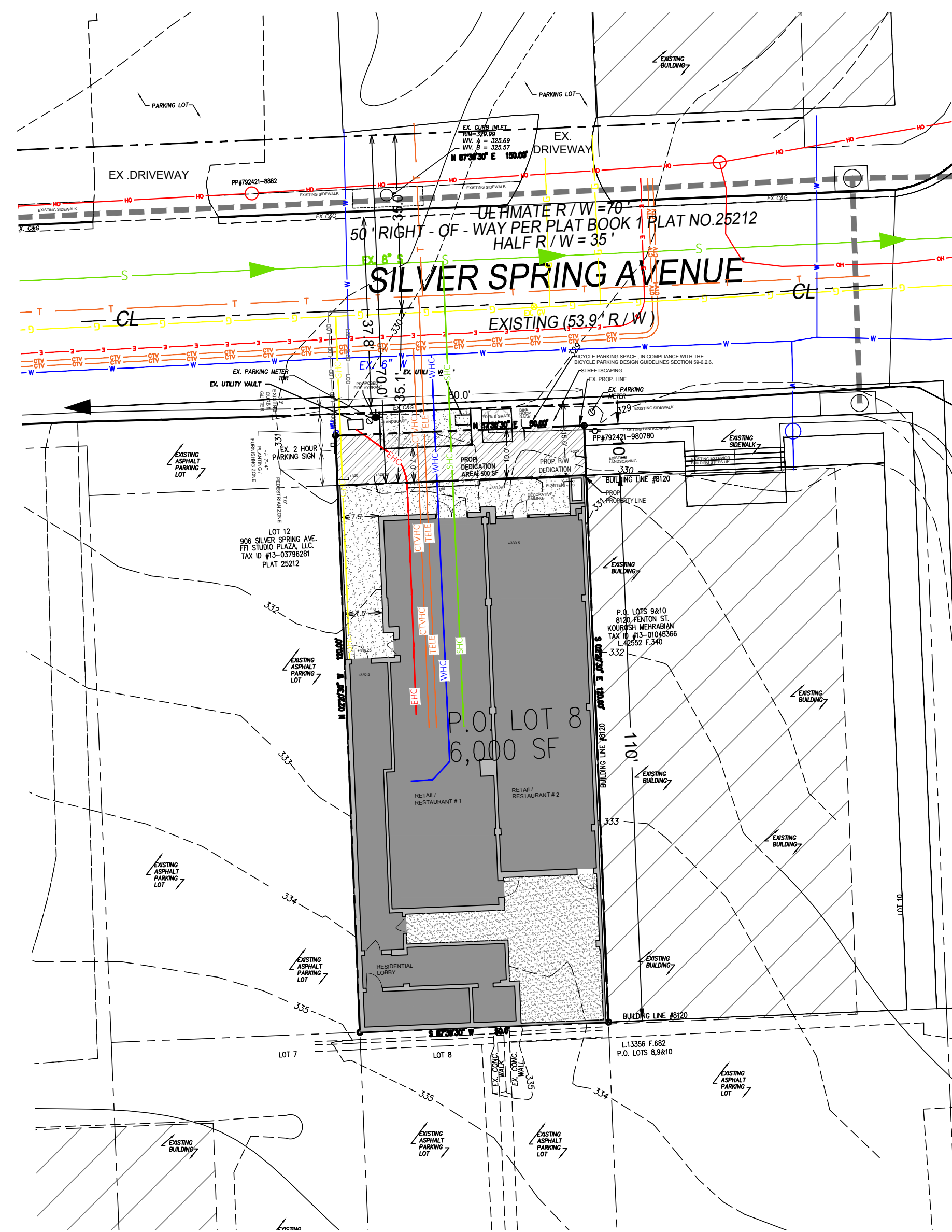
Front Setback–0'

Side Setback– 0'

Rear Setback– 0'

Note: The site is surrounded by other properties that are within the CR-3.0 Zone and the property confronting subject property is also within the CR-3.0 zone. These properties are also in the Fenton Village Overlay zone.

- MASTER PLAN: 2000 SILVER SPRING CBD SECTOR PLAN
- TAX MAP: JN343
- TAX ID #: 01042022
- ELECTION DISTRICT: 13TH
- EXISTING USE: COMMERCIAL / VACANT
- PROPOSED USE: MULTI-USE (TOTAL: 10,000 SF):  
GROUND FLOOR: RETAIL/ RESTAURANT (3,180 SF)  
CORRIDOR/ RESIDENTIAL CIRCULATION (900SF)  
UPPER LEVELS: RESIDENTIAL/CIRCULATION (5,920 SF)
- EXISTING SITE AREA: 6,000 S.F. (0.138 ACRES)
- PROPOSED SITE AREA: 5,500 S.F. (0.126 ACRES) – AFTER DEDICATION
- WATERSHED: SLIGO CREEK
- WSSC GRID: 210NW01
- WATER AND SEWER SERVICE TO BE PROVIDED BY WSSC.
- WATER CATEGORY: W-1
- SEWER CATEGORY: S-1
- ELECTRIC SERVICE IS PROVIDED BY PEPCO
- GAS SERVICE IS PROVIDED BY WASHINGTON GAS COMPANY.
- THIS SITE IS NOT WITHIN SPECIAL PROTECTION AREA OR PMA.
- THERE ARE NO STREAMS OR WETLANDS ON THE SUBJECT SITE.
- THERE ARE NO 100 YR. FLOODPLAINS ON THE SUBJECT SITE.
- THIS SITE IS NOT WITHIN A HISTORIC DISTRICT / AREA.
- THE TOPOGRAPHY SHOWN ON THE PLAN IS 1' TOPOGRAPHY FROM A FIELD RUN SURVEY BY GOODE SURVEYS, LLC DATED AUGUST 2019.



1 SITE PLAN

Scale: 1" = 20'



## SEE SHEET C-4 FOR SITE PLAN

### NOTE:

- THERE IS NO DRIVEWAY TO THE PROPOSED DEVELOPEMENT

### SITE PLAN NOTES:

- An on-site pre-construction meeting is required to be set up with the Department of Permitting Services (DPS), Zoning & Site Plan Enforcement Division before any building construction activity occurs on-site. The owner or his designee who has signature authority, and general contractor must attend the pre-construction meeting with the DPS Site Plan Enforcement inspector. A copy of the Certified Site Plan is required to be on-site at all times. To schedule a Site Plan inspection with DPS, Zoning & Site Plan Enforcement Division, please contact Brian Keeler, 240-581-4485.

## DEVELOPMENT STANDARDS <sup>1</sup>

ZONE: CR-3.0 (FENTON VILLAGE OVERLAY) C-2.0, R-2.75, H-110 T	REQUIRED / ALLOWED	PROVIDED
PREVIOUS DEDICATION PREVIOUS TRACT AREA PROPOSED DEDICATION PROPOSED LOT AREA (NET) BUILDING HEIGHT (TO PEAK OF ROOF)	N/A 6,000 SF 500 SF N/A 60 '	N/A 6,000 SF 500 SF 5,500 SF ROOF WILL NOT EXCEED MAX.
MAX. FAR DENSITY <sup>1 &amp; 2</sup>	STANDARD METHOD: THE GREATER OF 0.5 FAR OR 10,000 GROSS FLOOR AREA OR FENTON VILLAGE OVERLAY: FAR 2.0 (IF APPROVED)	STANDARD METHOD: 10,000 SF
MINIMUM LOT WIDTH	N/A	N/A
LOT COVERAGE	N/A	74.20 %
BUILDING SETBACKS	FRONT: 0' SIDE: 0' REAR: 0'	FRONT: 0' SIDE: 0' REAR: 0'
ACCESSORY STRUCTURE SETBACKS	FRONT: 0' SIDE: EQUAL TO PRINCIPAL BUILDING SETBACK REAR: EQUAL TO PRINCIPAL BUILDING SETBACK	FRONT: N/A SIDE: N/A REAR: N/A
PARKING SETBACK	N/A	N/A
OPEN SPACE (MULTI-USE)	0%	0%
BUILD-TO-AREA (BTA, max setback & min % of bldg facade)	MULTI-USE • FRONT SETBACK • BUILDING IN FRONT STREET BTA • SIDE STREET SETBACK • BUILDING IN SIDE STREET SETBACK	• 7' • 100% • N/A • N/A
BUILDING ORIENTATION • ENTRANCE FACING STREET OR OPEN SPACE • ENTRANCE SPACING (MAX)	• REQUIRED • 75'	• PROVIDED • PROVIDED
TRANSPARENCY FOR WALLS FACING A STREET OR OPEN SPACE • GROUND STORY, FRONT (MIN.) • GROUND STORY, SIDE/REAR (MIN.) • UPPER STORY (MIN.) • BLANK WALL, FRONT (MAX) • BLANK WALL, SIDE/REAR (MAX)	• 60% • 30% • 20% • 25' • 35'	• 60% • 33% • 23% • 20' • N/A (INFILL PROJECT)
ALLOWED BUILDING ELEMENTS • GALLERY / AWNING • PORCH / STOOP • BALCONY	• YES • YES • YES	• PROVIDED (GROUND FL) • N/A • PROVIDED (UPPER FLs)

### FOOTNOTES:

- MIXED-USE (COMMERCIAL/RESIDENTIAL) PROJECT TO BE CONSTRUCTED IN COMPLIANCE WITH CHAPTER 59 - ZONING CODE, MONTGOMERY COUNTY MD, STANDARD METHOD DEVELOPMENT, SECTION 59.4.5.3.C.
- PER SECTION 59.4.9.8.C.4, IN THE CR ZONE UNDER THE STANDARD METHOD OF DEVELOPMENT- THE MAX. FAR IS 2.0 IF APPROVED BY SITE PLAN UNDER SECTION 7.3.4.
- PER SECTION 4.1.7.B.2.b- "ALL STRUCTURES & USES CUSTOMARILY ALLOWED ON THE LOT ARE ALLOWED IN THE BUILD-TO-AREA EXCEPT THE SURFACE PARKING LOT". NO SURFACE PARKING IS PROPOSED.

### PARKING TABULATION

BICYCLE					
USE	PROPOSED USE	REQUIRED		PROVIDED	
RESIDENTIAL (UPPER FLOORS)	6 UNITS	(LESS THAN 20 UNITS) – 0		0	
EATING & DRINKING (GROUND FLOOR)	3,120 S.F.	FOR 10,000 S.F. OF GFA / 1.0 ( 10 MAX ) PERCENT LONG TERM		1.0	1.0
				15 %	1.0
TOTAL					2.0

VEHICULAR						
USE	PROPOSED USE	BASELINE MINIMUM	BASELINE MAXIMUM	REQUIRED		PROVIDED (✕)
				MIN	MAX	
RESIDENTIAL (UPPER FLOORS)	1 BDR – 6 UNITS	1.0	1.25	6	7.5	0
EATING & DRINKING (G.F.) 1000 S.F. OF PATRON USE	1,100 S.F.	4.0	12.0	5	13	0
TOTAL				11	20.5	0

(\*) THE PROJECT IS LOCATED WITHIN THE SILVER SPRING PARKING DISTRICT AND WILL BE SUBJECT TO THE PARKING DISTRICT TAX REGULATIONS IN LIEU OF PROVIDING THE FULL MINIMUM PARKING REQUIRED .

### 4-Story Building at 10,000 SF

CELLAR		1,488 SF (*not included in 10,000 SF)
GROUND FLOOR	RETAIL/ RESTAURANT: RESIDENTIAL CORRIDOR/LOBBY:	3,180 SF 900 SF
2ND – 4TH FLOORS	RESIDENTIAL:	5,920 SF
TOTAL		10,000 SF

REV#	DATE	

## COVER SHEET

FILE NUMBER : 820210160

EASLEYS - 904 SILVER SPRING AVENUE

TAX ID: 13-01042022  
TAX MAP: JN33  
LOT P8, BLOCK D  
WSSC GRID: 210NW01  
13TH ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND

SITUATED AT:  
904 SILVER SPRING AVE  
SILVER SPRING 20910-4618

OWNER/ APPLICANT  
904 SILVER SPRING AVE. LTD.  
LIABILITY PARTNERSHIP  
13209 MOONLIGHT TRAIL DR  
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Phone: (240) 274-2585  
eMail: mannyandolgas@msn.com



**RAZTEC ASSOCIATES, INC.**  
civil engineers & planners  
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Phone: (301)775-4394  
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DRAWN BY: BF CHECKED BY: MR	DATE 5.14.2022	SCALE 1"=20'	SHEET NUMBER C001 1 OF 23
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DEPARTMENT OF TRANSPORTATION

Marc Elrich  
*County Executive*

Christopher R. Conklin  
*Director*

June 02, 2022

Mr. Marco Fuster, Planner Coordinator  
Down-County Planning Division  
The Maryland-National Capital  
Park & Planning Commission (M-NCPPC)  
2425 Reedie Drive  
Wheaton, Maryland 20902

RE: Preliminary Plan No. 120210240  
Easleys  
Preliminary Plan Letter

Dear Mr. Fuster:

We have completed our review of the preliminary plan uploaded on eplans dated May 17, 2022, and the storm drain study received via email on May 31, 2022. A previous plan was reviewed by the Development Review Committee at its February 15, 2022, meeting. We recommend approval of the plan subject to the following comments:

**Significant Plan Review Comments**

1. The roadway cross section for the roadways along the frontage shall be the following:  
Silver Spring Avenue-From the Property Line to the Face of Curb
  - Proposed 7-ft sidewalk
  - Proposed 7-ft 4-in (7'-4") proposed Planting/Furnishing Zone per Silver Spring Streetscape Guidelines as shown in the plan.
2. **Storm Drain Analysis:** The revised storm drain analysis received via email on May 31, 2022, was reviewed and is acceptable. The applicant shall upload the revised storm drain study to eplans at the certified preliminary plan stage. No improvements are needed to the downstream public storm drain system for this plan.
3. **Sight Distance:** There is no vehicular access to this site, therefore sight distance requirement is not necessary.
4. The streetscape shall be per Silver Spring Streetscape standards.

**Office of the Director**

101 Monroe Street 10<sup>th</sup> Floor · Rockville Maryland 20850 · 240-777-7170 · 240-777-7178 FAX

[www.montgomerycountymd.gov](http://www.montgomerycountymd.gov)

*Located one block west of the Rockville Metro Station*

Mr. Marco Fuster  
 Preliminary Plan No. 120210240  
 June 02, 2022  
 Page 2

5. **Transportation Demand Management (TDM):**

The project is located in the Red Subdivision Staging Policy Area (SSPA) and the Silver Spring Transportation Management District (TMD). The total amount of square footage proposed for the project (6 dwelling units and 3600 sf ground floor retail) has not been provided. A project in a Red Policy Area with less than or equal to 40,000 gsf in a Red SSPA must submit a Project-Based Level 1 Basic Plan. The Plan must be submitted to and approved by MCDOT prior to issuance of any building permit by the Department of Permitting Services.

A Level 1 Basic Plan must include the following:

- a. Appointment of Transportation Coordinator (a person to work with MCDOT and TMD representatives to assist with the Department's efforts to achieve the NADMS and other commuting goals)
- b. Notification of the Transportation Coordinator's contact information and any changes to the information.
- c. Access to the Project (owner must provide space on-site by prior arrangement with MCDOT or TMD representatives to allow the Department to promote TDM)
- d. TDM Information (TDM-related information must be placed in a location visible to displayed in a location(s) visible to employees, residents, and other project users.)

The applicant should coordinate with Ms. Sandra Brecher, Chief of the Commuter Services Section. Ms. Brecher may be contacted at [Sandra.Brecher@montgomerycountymd.gov](mailto:Sandra.Brecher@montgomerycountymd.gov) or at 240-777-8380.

**Standard Plan Review Comments**

1. All Planning Board Opinions relating to this plan or any subsequent revision, project plans or site plans should be submitted to the Montgomery County Department of Permitting Services (MCDPS) in the package for record plats, storm drain, grading or paving plans, or application for access permit. Include this letter and all other correspondence from this department.
2. Trees in the County right-of-way (ROW) – spacing and species to be in accordance with the applicable MCDOT standards. Tree planting within the public ROW must be coordinated with MCDPS ROW Plan Review Section.
3. No steps, stoops or retaining walls for the development are allowed in County ROW. No door swings into county ROW.
4. If the proposed development will alter any existing streetlights, please contact Mr. Dan Sanayi of our Traffic Engineering Design and Operations Section at (240) 777-2190 or at

Mr. Marco Fuster  
Preliminary Plan No. 120210240  
June 02, 2022  
Page 3

[yazdan.sanayi@montgomerycountymd.gov](mailto:yazdan.sanayi@montgomerycountymd.gov) for proper executing procedures. All costs associated with such relocations shall be the responsibility of the applicant.

5. Relocation of utilities along existing roads to accommodate the required roadway improvements shall be the responsibility of the applicant.
6. Design all access points and alleys to be at-grade with the sidewalk, dropping down to street level between the sidewalk and roadway.
7. Posting of a ROW permit bond is a prerequisite to MCDPS approval of the record plat. The ROW permit will include, but not necessarily be limited to, the following improvements:
  - a. Sidewalk and Planting/Furnishing Zone per Silver Spring Streetscape Guidelines along Silver Spring Avenue.
  - b. Enclosed storm drainage and/or engineered channel (in accordance with the MCDOT Storm Drain Design Criteria) within the County ROW and all drainage easements.
  - c. Permanent monuments and property line markers, as required by Section 50.4.3(G) of the Subdivision Regulations.
  - d. Erosion and sediment control measures as required by Chapter 19 and on-site stormwater management where applicable shall be provided by the Developer (at no cost to the County) at such locations deemed necessary by the MCDPS and will comply with their specifications. Erosion and sediment control measures are to be built prior to construction of streets, houses and/or site grading and are to remain in operation (including maintenance) as long as deemed necessary by the MCDPS.

Thank you for the opportunity to review this preliminary plan. If you have any questions or comments regarding this letter, please contact Mr. Deepak Somarajan, our Development Review Engineer for this project at [deepak.somarajan@montgomerycountymd.gov](mailto:deepak.somarajan@montgomerycountymd.gov) or at (240) 777-7170.

Sincerely,

*Deepak Somarajan*

Deepak Somarajan, Engineer III  
Development Review Team  
Office to Transportation Policy

Mr. Marco Fuster  
Preliminary Plan No. 120210240  
June 02, 2022  
Page 4

cc: SharePoint correspondence Folder FY-22

cc-e: Mike Razavi	Raztech Associates Inc.
Katherine Mencarini	MNCPPC
Atiq Panjshiri	MCDPS RWPR
Sam Farhadi	MCDPS RWPR
Mark Etheridge	MCDPS WRS
Mark Terry	MCDOT DTEO
Dan Sanayi	MCDOT DTEO
Sandra Brecher	MCDOT CSS
Beth Dennard	MCDOT CSS
Rebecca Torma	MCDOT OTP



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
County Executive

Mitra Pedoeem  
Director

January 5, 2022

Mr. Mike Razavi P.E.  
Raztec Associates, Inc.  
341 West Patrick Street  
Frederick, Maryland 21701

Re: **COMBINED STORMWATER MANAGEMENT  
CONCEPT/SITE DEVELOPMENT  
STORMWATER MANAGEMENT PLAN** for  
904 Silver Spring Avenue  
Preliminary Plan #: 120210240  
SM File #: 287178  
Tract Size/Zone: 0.14 acres/CR-3.0  
Total Concept Area: 0.14 acres  
Lots/Block: N/A  
Parcel(s): N/A  
Watershed: Sligo Creek

Dear Mr. Razavi:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above-mentioned site is **acceptable**. Due to the small lot size and a negligible increase in runoff, existing utilities, and the existing shallow storm drain system a stormwater management waiver is hereby granted.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

- An engineered sediment control plan must be submitted for this development.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 **is required**.

This letter must appear on the sediment control/stormwater management plan at its initial submittal. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.



2425 Reedy Drive, 7th Floor, Wheaton, Maryland 20902 | 240-777-0311  
[www.montgomerycountymd.gov/permittingervices](http://www.montgomerycountymd.gov/permittingervices)

*Mr. Mike Razavi*  
*January 5, 2022*  
*Page 2 of 2*

If you have any questions regarding these actions, please feel free to contact Leo Galanko at 240-777-6242.

Sincerely,

*Mark Etheridge*

Mark C. Etheridge, Manager  
Water Resources Section  
Division of Land Development Services

MCE: lmg

cc: N. Braunstein  
SM File # 287178

ESD: Required/Provided 950 cf / 0 cf  
PE: Target/Achieved: 2.0"/0"  
STRUCTURAL: 0 cf  
WAIVED: 0.14 ac.





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**Department of Permitting Services  
Fire Department Access and Water Supply Comments**

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**DATE:** 23-Mar-22  
**TO:** Mike Razavi  
Raztec Associates Inc.  
**FROM:** Marie LaBaw  
**RE:** Easleys  
120210240 820210160

---

**PLAN APPROVED**

1. Review based only upon information contained on the plan submitted **22-Mar-22**. Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

**\*\*\* Building shall meet all IBC and NFPA code requirements to be reviewed and approved by DPS Commercial Building review group including firefighter access to HVAC units which are currently inaccessible from the exterior \*\*\***

# **RAZTEC ASSOCIATES, INC**

Civil Engineers

Land Planners

March 21, 2022

S Marie LaBaw PHD, PE  
Fire Department Access and Water Supply  
Department of Permitting Services  
2425 Reddie Drive, 7th Floor  
Wheaton, Maryland 20 02

RE: Preliminary Plan # 120210240/ Site Plan # 820210160

Dear Marie,

As previously discussed, and in consideration of the above reference retail / residential project and on behalf of our client, we are requesting the review and approval of a performance-based design chapter 3, in lieu of the prescriptive compliance with MCER-8-16 section 18.2.3.2.3.6

The existing site is an in -fill, 120 feet long x 50 feet wide with a ROW dedication of 10 feet. The net lot area is 5,500 sf. The proposed development has a footprint of 4,080 sf with direct access to Silver Spring Ave (North side). The site has a grade differential of approximately 5 feet from the rear (south) side to the front (North)side.

The MCER- 8-16 requires a 15 feet wide clear and unobstructed walkable grade from a fire department apparatus access point to all around the footprint of a building within 450 feet.

The proposed building consists of a one-story retail/ restaurant and an additional three levels of residential units above, with a total of six apartment units, two units per floor. The residential stair and elevator tower are located at the southwest corner of the site on the property lines.

The apartment windows, balconies and roof terraces are oriented towards Silver Spring Avenue. The building west wall is a blank wall, adjacent to the existing building with no window openings. There are no window openings at the rear of the building (South side) and no access for the firefighters to access via ladders or aerial apparatus. The retail spaces have direct frontage to the main street and convenience access to trash/recycling area which loops back to the exit lobby corridor. The FDC and lock box are also located within the fire department access path adjacent to the main residential entrance. The building will be protected with an automatic sprinkler system in accordance to NFPA 13 and a fire alarm system with the annunciator panel located inside the main entrance to the building. We are proposing a fire hydrant to be located in the ROW and within 100 feet from the proposed FDC location.

341 West Patrick Street, Frederick, MD. 21701. Tel (301)775-4394  
mike@raztecengineers.com



# **RAZTEC ASSOCIATES, INC**

Civil Engineers

Land Planners

In addition, the architectural design features a podium roof terrace at approximately 16 feet above the finished grade within 15 feet from the fire department operations lane.

We thank you for assistance in this project and please contact us should you have any questions or need additional information.

Attachments:

Fire Access Plans, 3D Views

Yours Truly,  
Raztec Associates, Inc.



Mohammad (Mike) Razavi, PE



## PROFESSIONAL REVIEW CERTIFICATION:

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 22742

Expiration: June 15, 2022

### FIRE CODE ENFORCEMENT

#### Fire Department Access Review

Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation

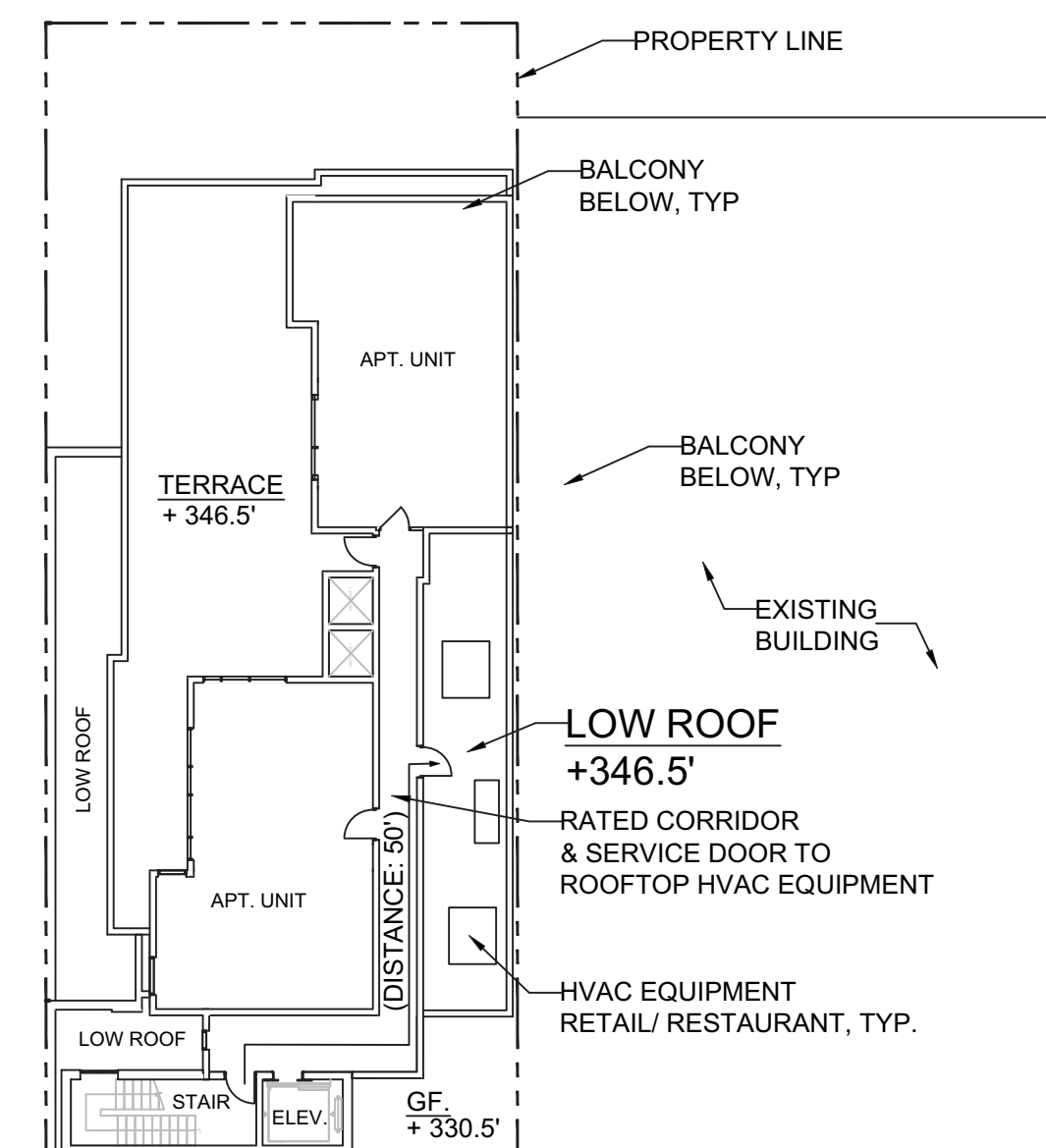
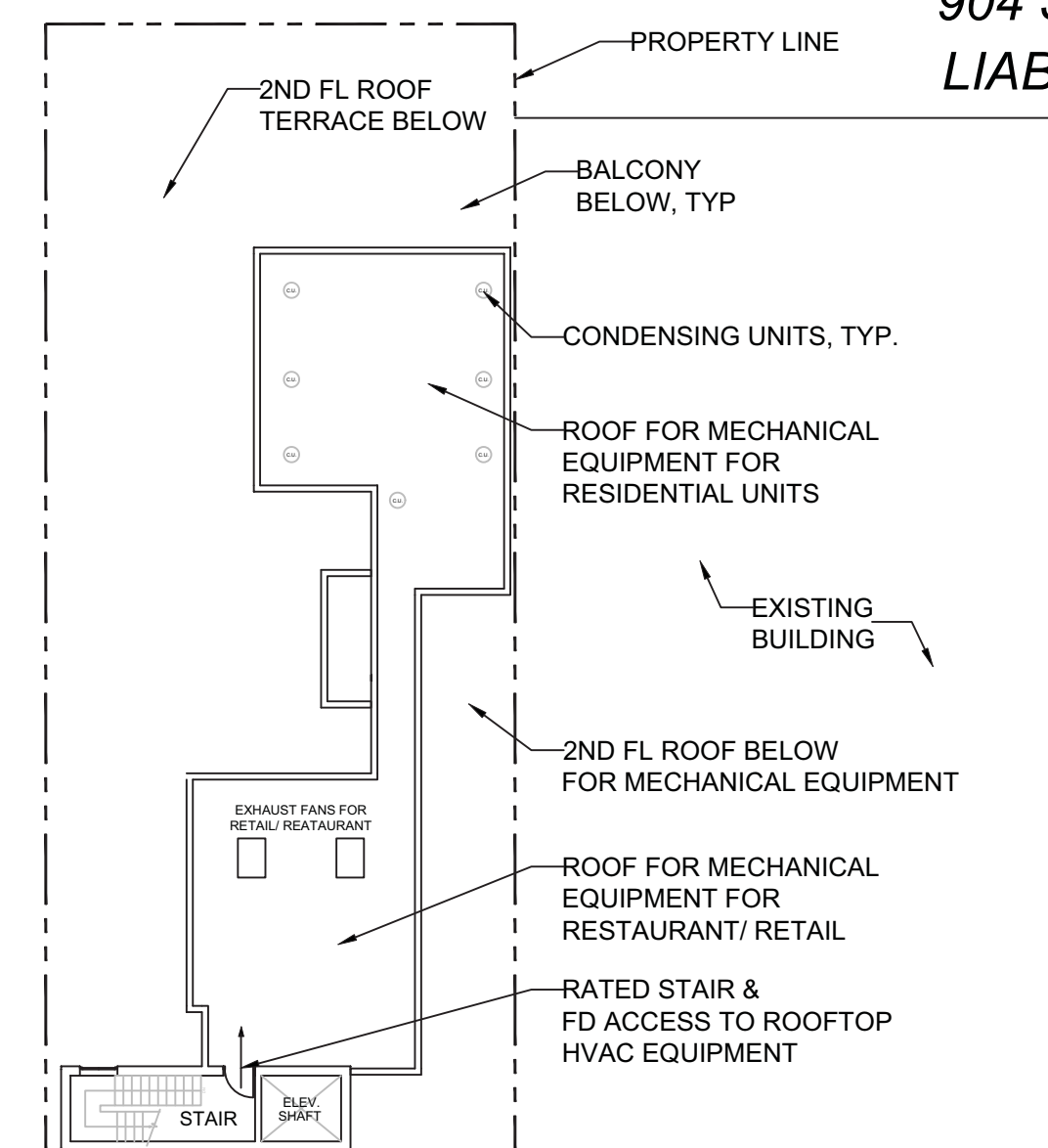
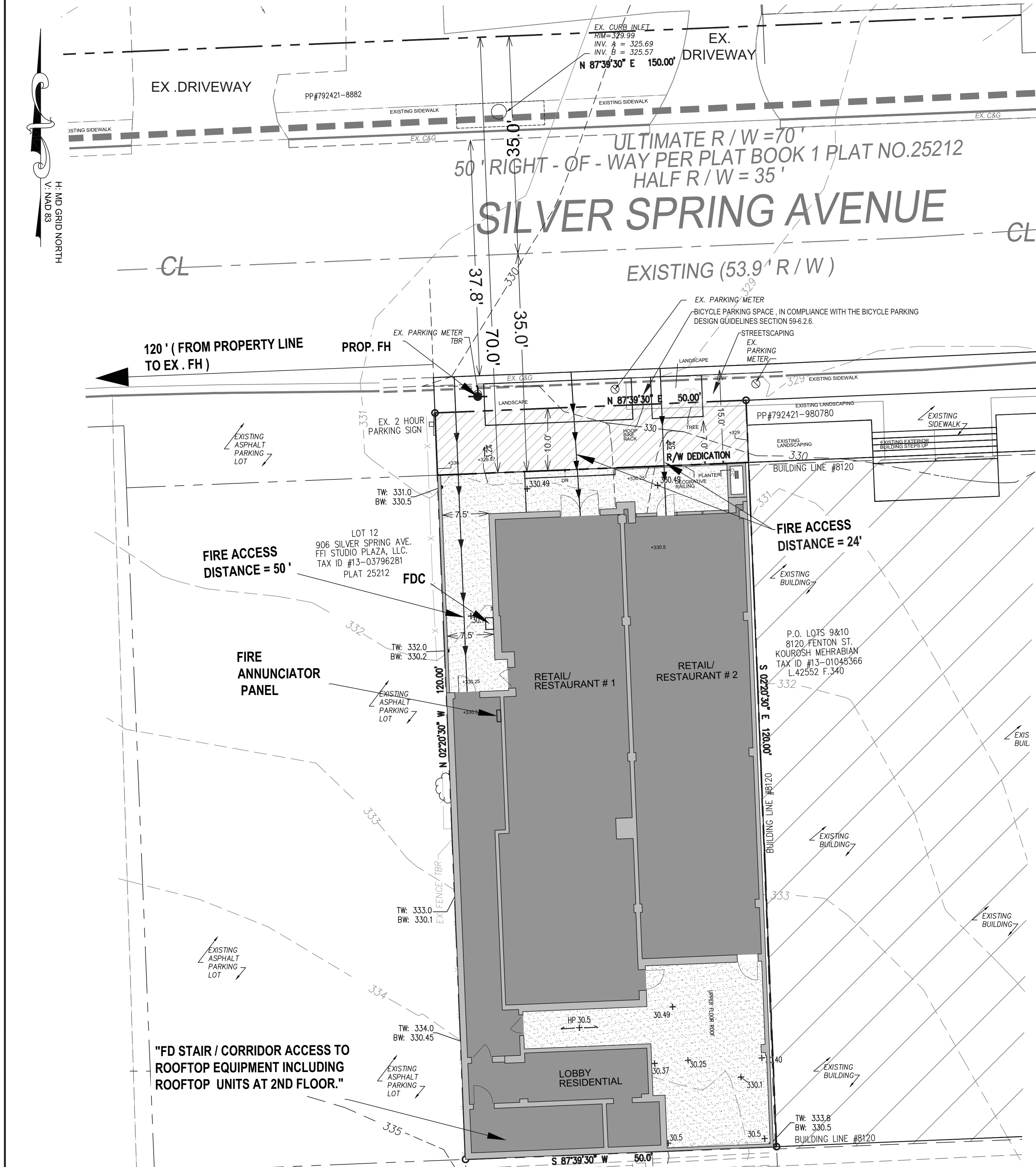
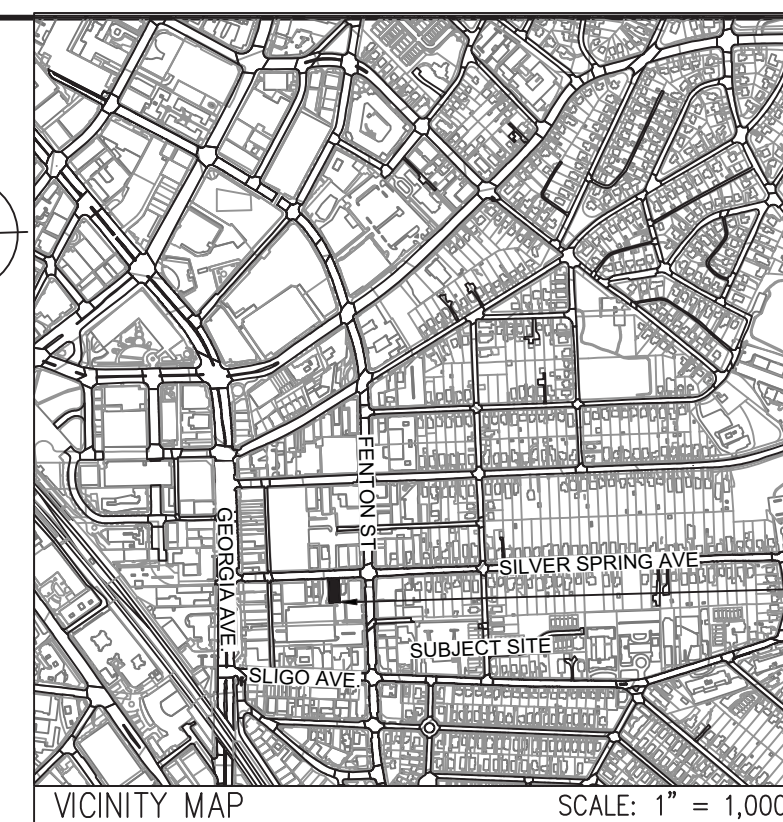
BY: SAC FM: 43 DATE: 3/23/2022



# FIRE ACCESS PLAN

FILE NUMBER: 120210240

FOR:

904 SILVER SPRING AVE. LTD  
LIABILITY LTD PARTNERSHIP

## PLAN NOTES:

- Address : 904 SILVER SPRING AVE, SILVER SPRING, MD 20910
  - PLAT NO.: 54
  - OWNER: LIABILITY LTD. PARTNERSHIP
  - ZONE: CR-3.0 - C-2.0 R-2.75 H - 110 T ( FENTON VILLAGE OVERLAY )
  - MASTER PLAN: 2000 SILVER SPRING CBD SECTOR PLAN
  - TAX MAP: JN343
  - TAX ID #: 01042022
  - ELECTION DISTRICT: 13TH
  - EXISTING USE: COMMERCIAL / VACANT
  - PROPOSED USE: MULTI-USE: LOWER LEVEL RESTAURANT.  
UPPER LEVELS: APARTMENTS
  - EXISTING SITE AREA: 6,000 S.F. (0.138 ACRES)
  - PROPOSED SITE AREA: 5,500 S.F. (0.126 ACRES) - AFTER DEDICATION
  - WATERSHED: SLIGO CREEK
  - WSSC GRID: 210NW01
  - WATER AND SEWER SERVICE TO BE PROVIDED BY WSSC.
  - WATER CATEGORY: W-1
  - SEWER CATEGORY: S-1
  - ELECTRIC SERVICE IS PROVIDED BY PEPCO
  - GAS SERVICE IS PROVIDED BY WASHINGTON GAS COMPANY.
  - THIS SITE IS NOT WITHIN SPECIAL PROTECTION AREA OR PMA.
  - THERE ARE NO STREAMS OR WETLANDS ON THE SUBJECT SITE.
  - THERE ARE NO 100 YR. FLOODPLAINS ON THE SUBJECT SITE.
  - THIS SITE IS NOT WITHIN A HISTORIC DISTRICT / AREA.
  - THE TOPOGRAPHY SHOWN ON THE PLAN IS 1' TOPOGRAPHY FROM A FIELD RUN SURVEY BY GOODE SURVEYS, LLC DATED AUGUST 2019.
  - Zoning: CR 3.0/Overlay Fenton Village
- Maximum Building Height: 60' PER SILVER SPRING CBD SECTOR PLAN - PROPERTIES BETWEEN GEORGIA AVENUE AND FENTON STREET NOT FRONTING ON EITHER STREET ARE LIMITED TO 60 FEET BUT MAY GO UP TO 90 FEET FOR PROJECTS THAT ARE AT LEAST 33 PERCENT RESIDENTIAL AND WHERE THE ADDITIONAL HEIGHT IS PLACED CLOSEST TO GEORGIA AVENUE AND TAPERED DOWN MOVING EAST TO FENTON STREET.

Building Coverage: 10,000 SF  
Parking: N/A (WITHIN PARKING DISTRICT);  
Open Space Required- 0%

Setbacks:  
Front Setback-0'  
Side Setback- 0'  
Rear Setback- 0'

Note: The site is surrounded by other properties that are within the CR3.0 zone and the property confronting subject property is also within the CR3.0 zone. These properties are also in the Fenton Village Overlay zone.

## FIRE CODE ENFORCEMENT

### Fire Department Access Review

Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation

BY: *SAC* PM: 43 DATE: 3/23/2022

## LEGEND

BUILDING RESTRICTION LINE	PROPOSED PAVEMENT / SIDEWALK	STAIR
PROPERTY BOUNDARY LINE	PROPOSED GRADING	100
EXISTING TOPOGRAPHY	PROPOSED SPOT ELEVATION	+250
EXISTING FENCE		
TO BE REMOVED		
PROPOSED BUILDING	EXISTING BUILDING	
PROPOSED FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
EXISTING TREE (TO BE SAVED)		

REV#	DATE	

FIRE ACCESS PLAN			
FILE NUMBER : 120210240			
EASLEYS - 904 SILVER SPRING AVENUE			
TAX ID: 13-01042022 TAX MAP: JN33 LOT P8, BLOCK D WSSC GRID: 210NW01 13TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND	SITUATED AT: 904 SILVER SPRING AVE SILVER SPRING 20910-4618	OWNER/APPLICANT: 904 SILVER SPRING AVE LTD. LIABILITY PARTNERSHIP 13209 MOONLIGHT TRAIL DR SILVER SPRING MD 20910 Phone: (240) 274-2585 eMail: mannyandolgas@msn.com	
		<b>RAZTEC ASSOCIATES, INC.</b> civil engineers & planners 341 West Patrick St. Frederick, Maryland 21701 Phone: (301)775-4394 email: raztecengr@comcast.net	
PROFESSIONALS' REVIEW STATEMENT: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER: 22742 EXPIRES: JUNE 15, 2022			
DRAWN BY: BF CHECKED BY: MR	DATE 3.16.2022	SCALE AS SHOWN	SHEET NUMBER 5 OF 5



## DPS-ROW CONDITIONS OF APPROVAL

ATTACHMENT C  
May 19, 2022

### **820210160 Easleys**

Contact: Sam Farhadi at 240 777-6333

We have reviewed site and landscape plan files:

**“07-SITE-820210160-004.pdf V1”** uploaded on/ dated **“5/17/2022”** and  
**“08-LL-820210160-001.pdf V3”** uploaded on/ dated **“5/17/2022”**.

The following needs to be addressed prior to the certification of site plan:

1. Ensure/ provide/ label ADA compliant public sidewalk along the site frontage and where connections are made to the existing sidewalks.

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April 5, 2022

Avgerinos Vakalopoulos  
Architectural Design Services, Inc.  
945-B Russell Avenue  
Gaithersburg, Maryland 20879

Ref: 904 Silver Spring Avenue  
Traffic Noise Assessment  
C&A Project # 37572

Dear Avi,

This report provides an assessment of anticipated traffic noise impact from nearby roadways to the proposed residential building to be located at 904 Silver Spring Avenue in Silver Spring, MD. The proposed building has an approximate footprint of 4,080 square-feet and will have residential windows and terraces exposed to traffic along Silver Spring Avenue.

The location of the proposed residential building is shown in **Figure 1**.



Figure 1: Markup showing 904 Silver Spring Avenue property line

This report will provide a projection of existing and 20-year future noise levels to residential units, including the unit terraces overlooking Silver Spring Avenue.



## 1.0 Terminology and Criteria

The following summarizes the commonly used acoustical terminology and criteria that are applicable to this project:

### 1.1 A-Weighted Sound Pressure Level (dBA)

A-weighted sound levels provide excellent correlation to the human response to noise at low to moderate sound levels. The A-weighting network approximates the sensitivity of the human ear at moderate sound levels by de-emphasizing high and low frequencies because the ear is less sensitive to these ranges. Unless otherwise indicated, all noise levels are expressed in decibels referenced to  $20 \times 10^{-6}$  Pa.

### 1.2 Day-Night Noise Level (Ldn)

The Day-Night noise level, or Ldn, is the average sound pressure level over a 24-hour period with a 10-decibel correction applied to the hours between 10:00 PM and 7:00 AM. This 10-decibel factor accounts for increased sensitivity to noise during the nighttime hours.

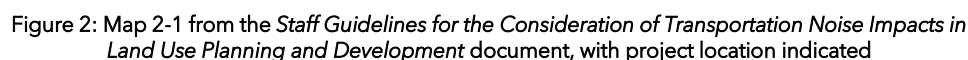
### 1.3 Staff Guidelines for the Consideration of Transportation Noise Impacts in Land Use Planning and Development

Traffic noise impact for proposed residential developments in Montgomery County is governed by *Table 2-1* in the *Staff Guidelines for the Consideration of Transportation Noise Impacts in Land Use Planning and Development (June 1983)* document. This table is shown below:

Guideline Value	Area of Application
Ldn = 55 dBA	This guideline is suggested as an appropriate goal in permanent rural areas of the County where residential zoning is for five or more acres per dwelling unit and background levels are low enough to allow maintenance of a 55 dBA Level. This guideline is consistent with Federal, State, and County goals for residential areas.
Ldn = 60 dBA	This is the basic residential noise guideline which will be applied in most areas of the County where suburban densities predominate. Maintenance of this level will protect health and substantially prevent activity interference both interiors and outdoors. Noise attenuation measures will be recommended to allow attainment of this level.
Ldn = 65 dBA	This guideline will generally be applied in the urban ring, freeway, and major highway corridor areas, where ambient levels are such that application of a stricter guideline would be infeasible or inequitable. Significant activity interference will occur outdoors and interiors if windows are partially opened, but available evidence indicates hearing is adequately protected. Noise attenuation measures will be strongly recommended to attain this level.

<sup>1</sup> Building line as used here refers to habitable structures only. It does not include garages, sheds, or recreational accessory buildings.

According to the *Staff Guidelines for the Consideration of Transportation Noise Impacts in Land Use Planning and Development (June 1983)* document, the areas where these exterior guideline values apply are shown in *Map 2-1*, shown here as **Figure 2**. The red dot represents the project site, and is shown in the 65 dBA Ldn zone:



## 2.0 Existing Conditions

## 2.1 Testing

Our measurement location is shown in **Figure 3**.

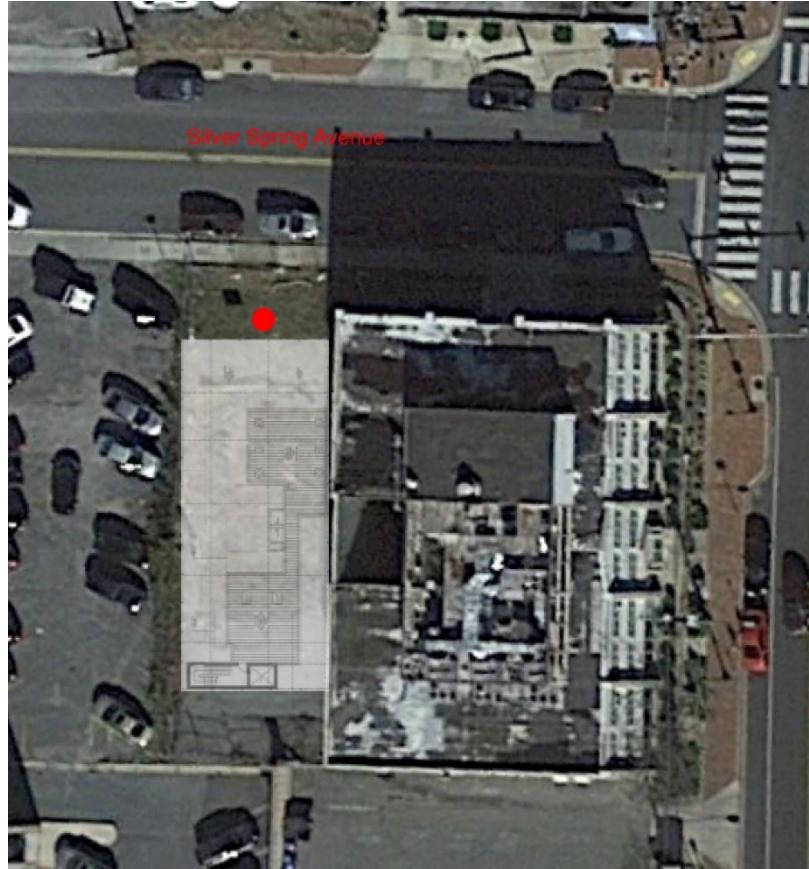


Figure 3: Markup showing 24-hour monitor location

The 24-hour measurement was taken a calibrated Type 1 sound level meter, Brüel & Kjaer type 2250. Noise levels were sampled each minute over the entire 24-hour period, from which the average noise levels over each hour (Hourly  $L_{eq}$ ) were derived. Results of our 24-hour monitoring, along with their corresponding Ldn correction values, are presented in Figures 4 and 5.

Figure 4: Measurement Results and Corresponding Ldn Levels		
Hour	Measured Noise Level (dB, $L_{eq}$ )	Corresponding Ldn Level (dB)
12AM	53	63
1AM	60	70
2AM	57	67
3AM	55	65
4AM	48	58
5AM	51	61
6AM	52	62
7AM	51	61
8AM	55	55
9AM	55	55



Figure 4: Measurement Results and Corresponding Ldn Levels		
Hour	Measured Noise Level (dB, Leq)	Corresponding Ldn Level (dB)
10AM	56	56
11AM	55	55
12PM	53	53
1PM	57	57
2PM	54	54
3PM	59	59
4PM	53	53
5PM	54	54
6PM	54	54
7PM	52	52
8PM	51	51
9PM	52	52
10PM	51	61
11PM	49	59
Overall (average) Noise Level	54 dBA Leq	58 dBA Ldn

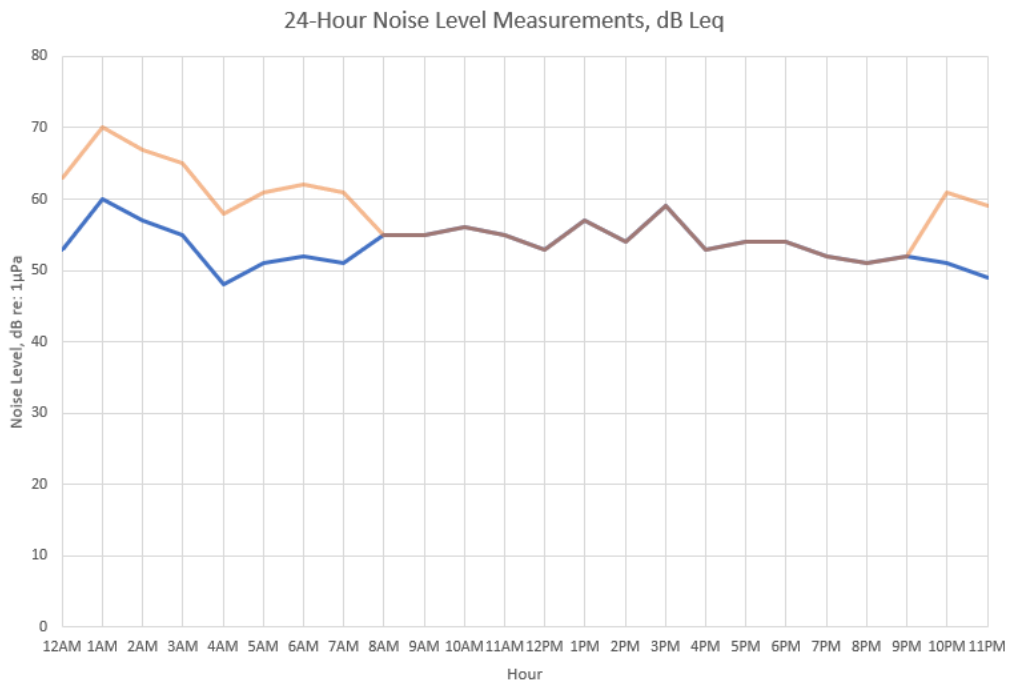


Figure 5: Graph of Hourly 24-Hour Monitoring Results and Corresponding Ldn

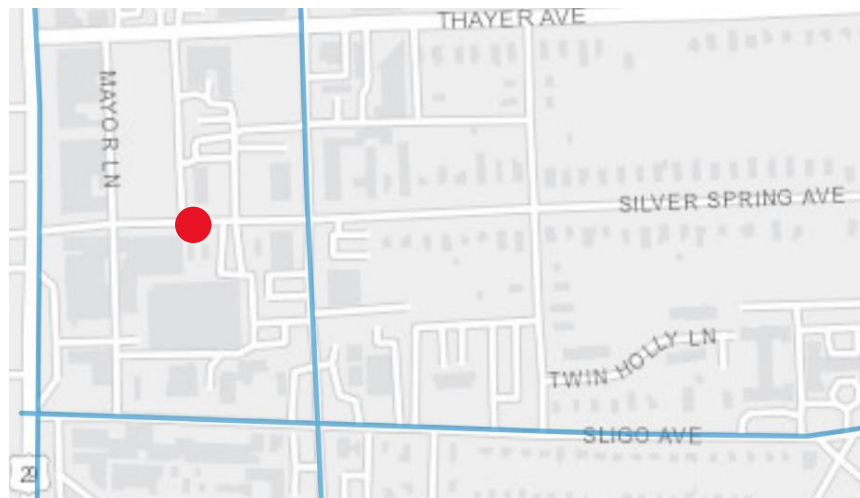
### 3.0 Noise Assessment

#### 3.1 Existing Traffic and Transit Noise

The measured noise levels, as well as the corresponding Ldn overall (average noise levels, **54 and 58 dBA**, respectively), are below the 65 dBA Ldn allowable limit at the building property line. This means that additional mitigation (e.g., noise barriers) will **not** be required to meet the governing *Staff Guidelines for the Consideration of Transportation Noise Impacts in Land Use Planning and Development* (June 1983) document limits.

#### 3.2 20-Year Future Traffic and Transit Noise Levels

The *Maryland State Highway Administration (MDSHA)* provides traffic counts for various roadways in Maryland, however, at the time of this writing a traffic study could not be found for Silver Spring Avenue. We did note that traffic data had been collected for Sligo Avenue, which runs parallel to Silver Spring Ave to the South. This is shown in the below image from the MDSHA Traffic Count module (blue lines represent roadways with traffic count data; project site is shown in red):



Similar to Silver Spring Avenue, Sligo Avenue is a two-lane road bound by two four-lane intersections at Georgia Avenue and Fenton St. Due to the similarity to the project site, the traffic counts for Sligo Avenue were used for our analysis.

Traffic count data is provided in this location up to 2018, at which time the Annual Average Weekday Traffic (AAWDT) was 6,564 vehicles. As the MDSHA did not provide any projected future traffic count data, we assumed a conservative traffic growth of 2% per year until the year 2042 (see Assumptions in Section 3.3). This calculates to be 10,557 vehicles, or a 49% increase over the projected 2022 traffic count.

Applying the same percent increase to the noise levels, we project the Ldn in this area will increase by 3 – 5 decibels. Based on this, the projected traffic noise level for the 20-year future is **61 – 63 dBA**.

This noise level is below the allowable 65 dBA Ldn limit, and therefore will **not** require additional noise mitigation treatments (e.g., noise barriers).

### 3.3 Noise Study Assumptions

As there were no future traffic count projections provided by MDSHA, it was necessary to make certain assumptions for our study. These included the following:

- Our study was based on 2018 traffic counts along Sligo Avenue.
- Per a previously submitted traffic noise impact report, which we understand to be an acceptable reference per the project team, a 2% traffic increase each year was used to project 2042 (20-year) traffic counts (*Ethan Jackson Property (Parcel 952) Roadway Noise Impact Analysis* by Phoenix Noise & Vibration, September 27, 2017)
- This noise study assumes a linear increase in traffic counts and does not consider any future variations in traffic type (e.g., increase in the number of electric vehicles or trucks).

### 3.4 Terrace Noise Levels

As the South terraces will have direct line-of-sight to traffic along Silver Spring Avenue, there is not much to impede the transfer of noise at these areas (e.g., little-to-no building shielding, no noise barriers). A small distance attenuation of 2 - 3 decibels can be assumed, which would result in a noise level of approximately 51 dBA based on existing levels and 55 dBA based on the 20-year future traffic counts at the terraces.

### 3.5 Interior Noise Levels

As determined in Sections 3.1 and 3.2, the exterior noise levels (present and future) are below the limit which would require additional mitigation to achieve a 45 dBA interior noise level based on the Ldn levels. Regardless, we have projected the exterior noise levels through various glazing constructions for the residential windows.

We project that interior noise levels (based on existing traffic noise levels) of around 35 - 40 dBA can be achieved with standard insulated glazing construction rated for **STC 31 / OITC 25** (1/4" glass - 1/2" airspace - 1/4" glass used for our evaluation). Note that achievement of this noise level assumes a window-closed condition.

If lower noise intrusion levels are desired, please see **Figure 6** for projections through increased glazing construction:



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Figure 6: Interior Noise Level Projections through Various Glazing Types			
Description of Assembly	Glass Performance Ratings	Projected Interior Noise Level (Existing Traffic Noise)	Projected Interior Noise Level (Future Traffic Noise)
Standard insulated; 1/4" - 1/2" - 1/4"	STC 31 / OITC 25	35 - 40 dBA	39 - 44 dBA
Insulated, single pane lamination; 1/4" - 1/2" - 3/8" laminated	STC 37 / OITC 31	31 - 36 dBA	35 - 40 dBA
Insulated, single pane lamination, increased airspace; 1/4" - 1" - 3/8" laminated	STC 40 / OITC 29	32 - 37 dBA	36 - 41 dBA
Insulated, double pane lamination; 1/2" laminated - 1" - 3/8" laminated	STC 48 / OITC 35	27 - 32 dBA	31 - 36 dBA

This completes our comments at this time. Please do not hesitate to reach out with any questions or comments.

Kind Regards,



Christopher J. Petropulos  
Senior Associate

Cc: Alexis D. Kurtz, Associate Principal / Cerami & Associates

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