

4824 EDMOOR LANE PRELIMINARY PLAN #12020007A

SHEET INDEX

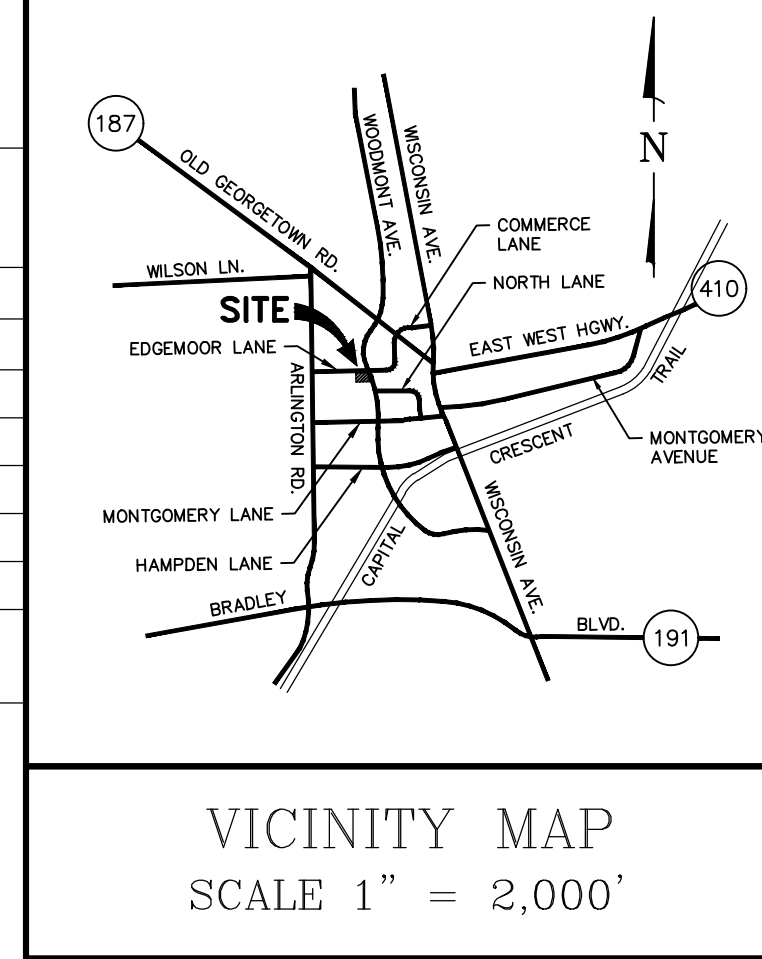
- PRELIMINARY PLAN
- RESOLUTION SHEET - PRELIMINARY PLAN
- RESOLUTION SHEET - PRELIMINARY PLAN 12020007A
- RESOLUTION SHEET - SKETCH PLAN
- AGENCY LETTERS SHEET

- SHEET REVISED BY THIS AMENDMENT
- SHEET ADDED BY THIS AMENDMENT

LIST OF AMENDMENT ITEMS

CHANGE NUMBER OF MULTI-FAMILY DWELLING UNITS FROM 76 TO 111, WITH THE OPTION TO CONVERT UP TO 65 UNITS TO SHORT TERM RESIDENTIAL RENTALS AND UP TO 22 UNITS TO "CO-LIVING".

SITE DATA	
SUBJECT PROPERTY	PART OF LOT 16, BLOCK 13 EDMOOR SUBDIVISION PLAT 517
PROPERTY OWNER	MACAW 100, LLC 325 7TH STREET, NW SUITE 400 S WASHINGTON, DC 20004
EXISTING LOT AREA:	8,006 SF (0.18 AC)
PRIOR DEDICATIONS:	653 SF (0.01 AC)
TRACT AREA:	8,659 SF (0.20 AC)
PROPOSED DEDICATION:	306 SF (0.01 AC)
PROPOSED SITE AREA:	7,700 SF (0.18 AC)
PROPOSED NUMBER OF LOTS:	1 LOT
ZONING CLASSIFICATION:	CR-2.5, C-0.5, R-2.5, H-120
PROPOSED USE:	RESIDENTIAL, HIGH-RISE WITH OPTIONAL HOTEL COMPONENT

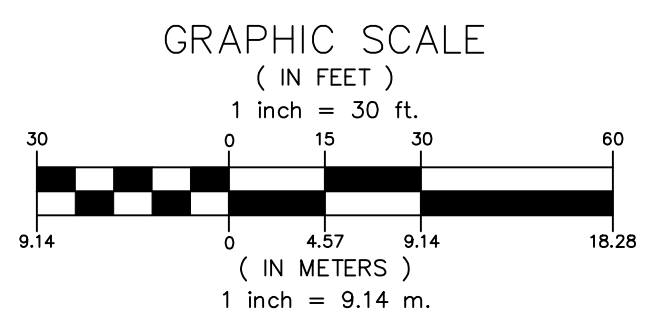
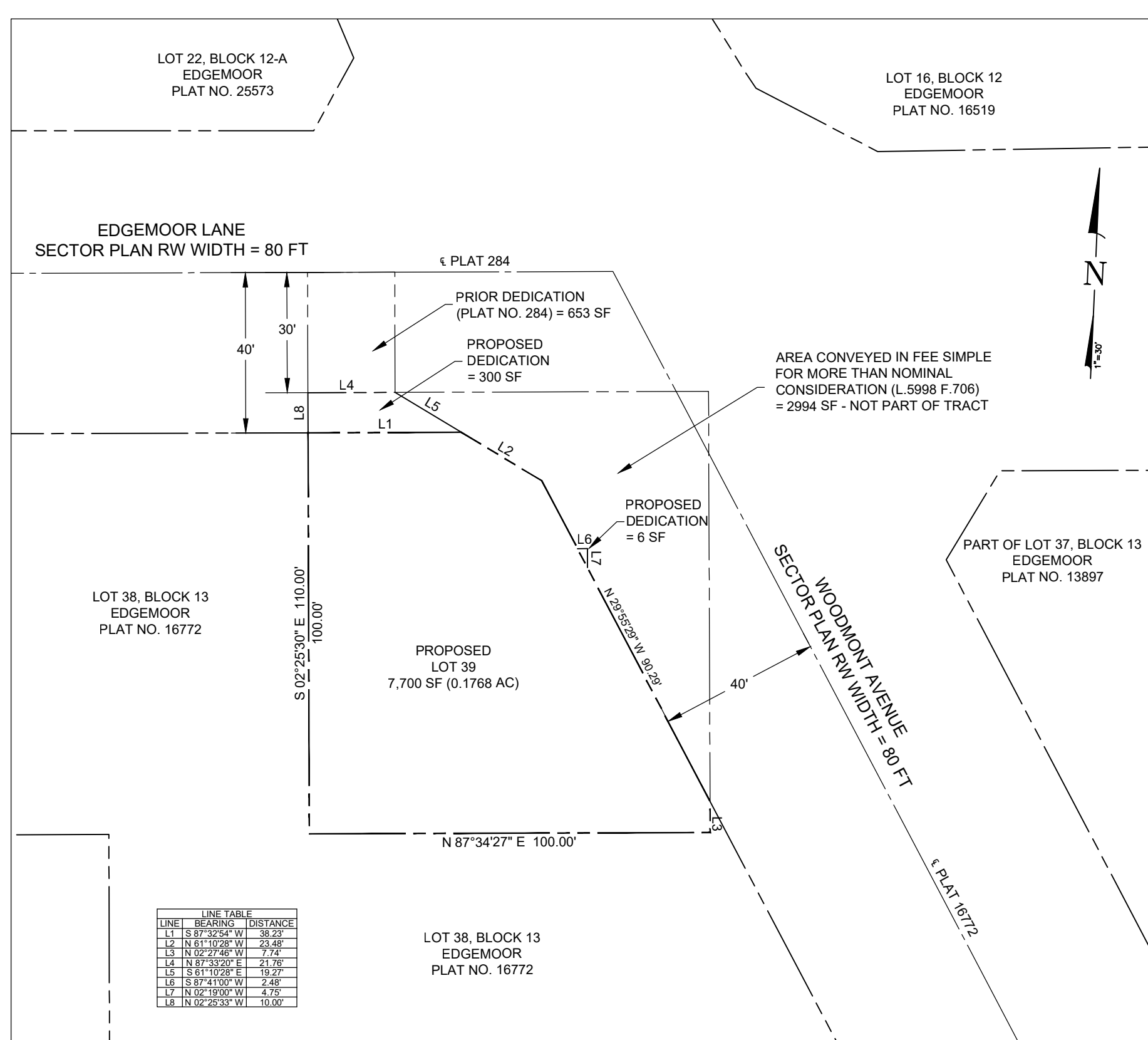


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Civil Engineers
Land Planners
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9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301.670.0840
www.mhga.com

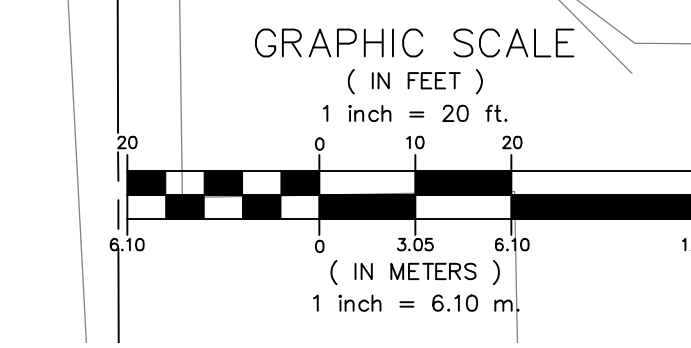
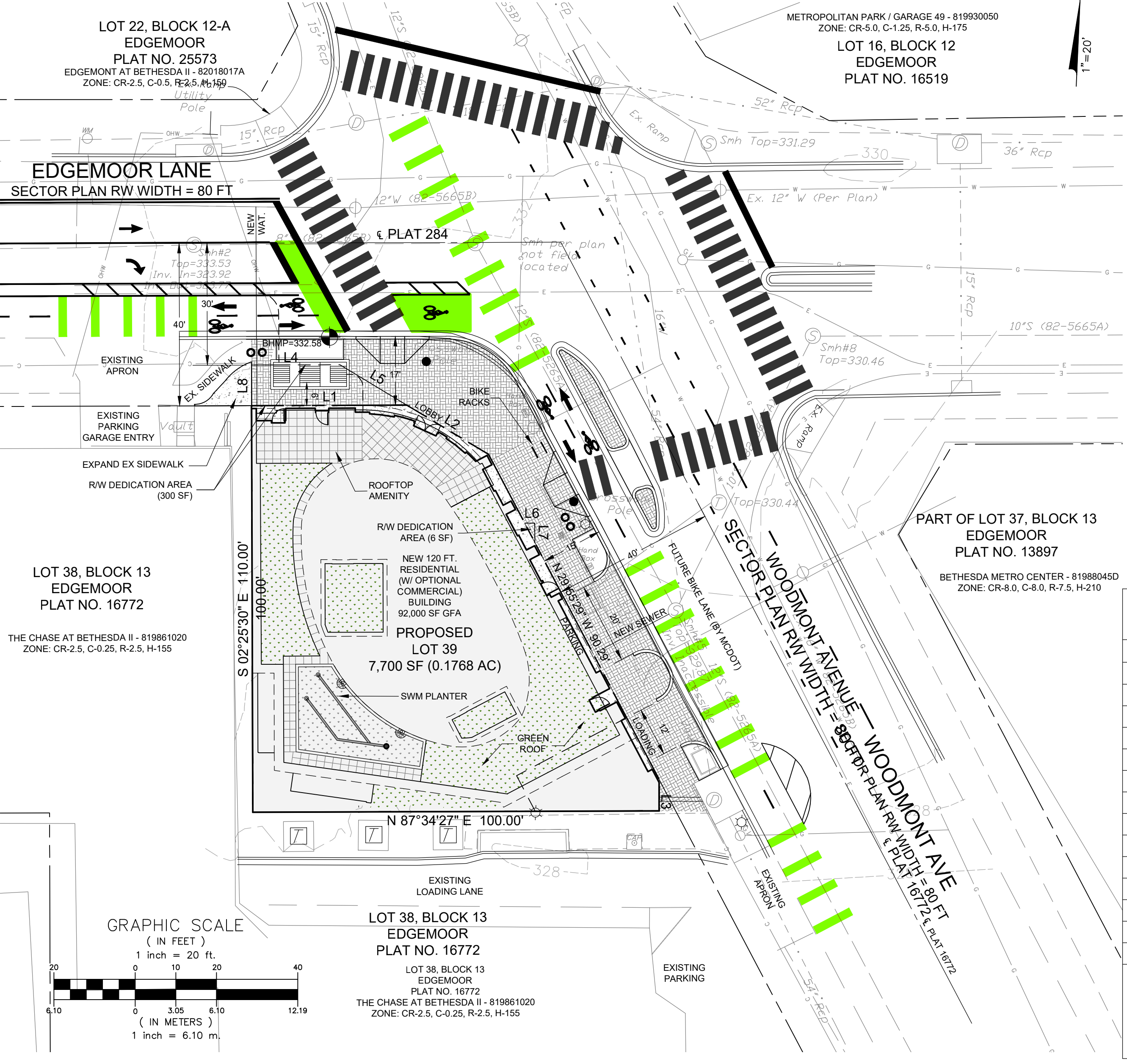
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BOUNDARY CERTIFICATION

I HEREBY CERTIFY THAT THE BOUNDARY SHOWN HEREON IS CORRECT BASED ON EXISTING DEEDS AND PLATS RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND, SUBJECT TO CHANGE UPON COMPLETION OF A FINAL RECORD PLAT.

DATE: _____
MACRIS, HENDRICKS, & GLASCOCK, P.A.
BY: WAYNE F. AUBERTIN
PROFESSIONAL LAND SURVEYOR
MARYLAND REG. NO. 21330
EXPIRATION DATE: JANUARY 7, 2023



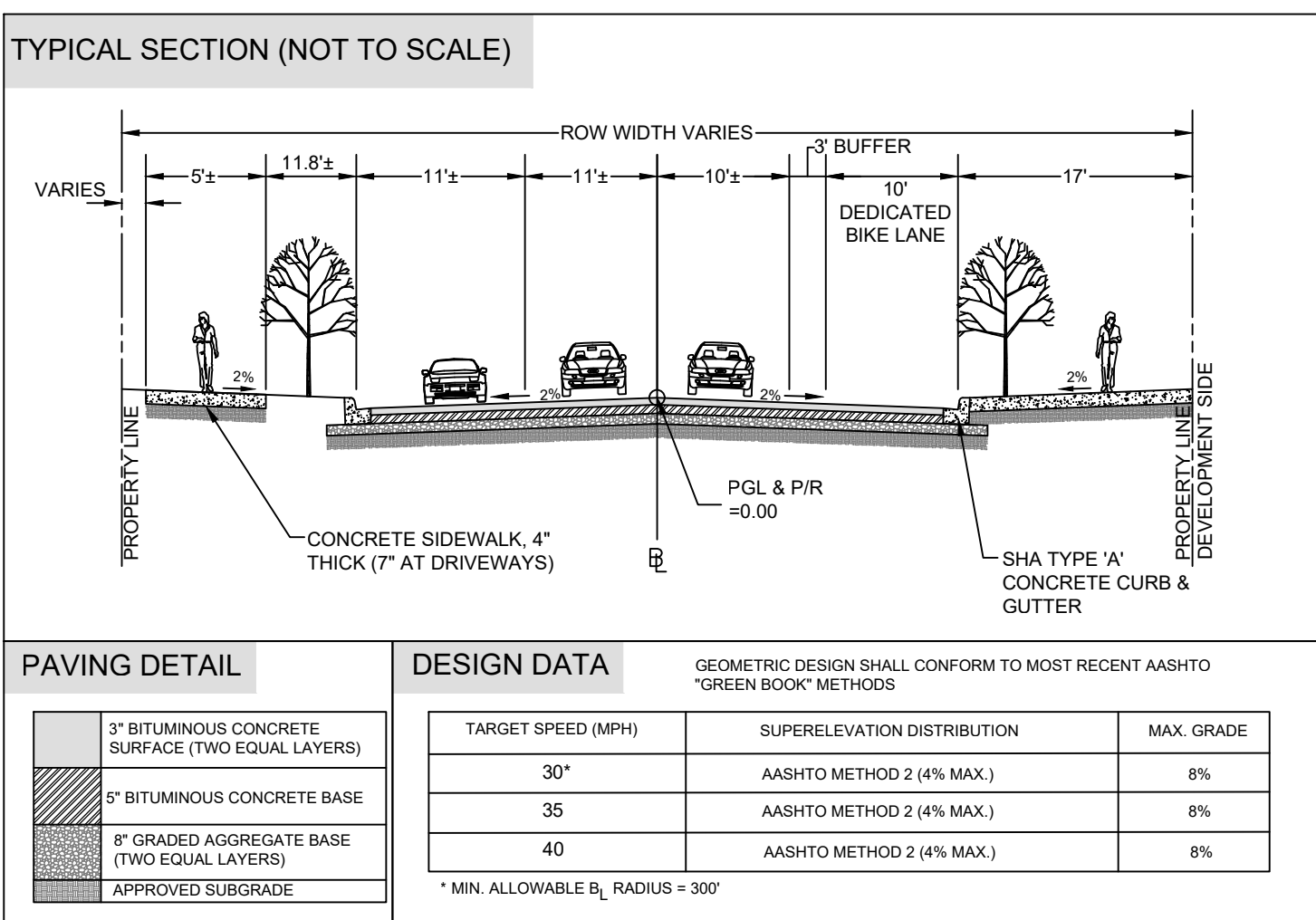
CR-2.5 C-0.5 R-2.5 H-120 ZONE DEVELOPMENT STANDARDS			
OPTIONAL METHOD OF DEVELOPMENT - BETHESDA OVERLAY ZONE ZONING ORDINANCE SECTIONS 59-4.5.4 & 59-4.9.2 & BETHESDA DOWNTOWN PLAN			
DEVELOPMENT STANDARD	PERMITTED/REQUIRED	APPROVED BY 120200070	PROPOSED BY 12020007A
MAX. TOTAL DENSITY (FAR)	2.50 (21,647.5 SF)	10.62 (92,000 SF)	10.62 (92,000 SF) ⁴
BOZ DENSITY	N/A	70,352.50 SF ²	70,352.50 SF ²
MAX. COMMERCIAL DENSITY (FAR)	0.5 (4,329.5 SF)	0.00 (0 SF)	0.00 (0 SF)
MAX. RESIDENTIAL DENSITY (FAR)	2.5 (21,647.5 SF)	10.62 (92,000 SF)	10.62 (92,000 SF) ⁴
MAX. NUMBER OF RESIDENTIAL UNITS	N/A	77 UNITS	111 UNITS (▲)
MIN. NUMBER OF LONG TERM RENTALS	N/A	N/A	46 UNITS (▲)
MAX. NUMBER OF SHORT TERM RENTALS	N/A	N/A	65 UNITS (▲)
MIN. NUMBER OF MPDUS	15%	15%	15-37% (17 UNITS)
MAX. BUILDING HEIGHT	120 FT	120 FT ¹	120 FT ¹
MIN. FRONT STREET SETBACK (WOODMONT AVE.) ²	0 FT	0 FT	0 FT
MIN. SIDE STREET SETBACK (EDMOOR LN.) ³	0 FT	0 FT	0 FT
MIN. SIDE SETBACK (SOUTH) ³	0 FT	0 FT	0 FT
MIN. REAR SETBACK (WEST) ³	0 FT	0 FT	0 FT

1. BUILDING HEIGHT IS MEASURED FROM EDMOOR LANE AT MIDDLE OF BUILDING FRONTAGE.
2. A PARK IMPACT PAYMENT CONTRIBUTION AT THE APPLICABLE RATE PER SF OF APPROVED BOZ DENSITY GROSS FLOOR AREA IS TO BE MADE PRIOR TO ISSUANCE OF THE BUILDING PERMIT. FINAL AMOUNT TO BE DETERMINED AT SITE PLAN.
3. FINAL BUILDING SETBACKS WILL BE ESTABLISHED AT THE TIME OF SITE PLAN, PER 59-4.5.4.B.3.
4. FINAL DENSITY TO BE DETERMINED AT SITE PLAN, BUT SHOULD NOT EXCEED THE LIMIT SHOWN ON THIS PLAN.

CR-2.5 C-0.5 R-2.5 H-120 ZONE DEVELOPMENT STANDARDS ("CO-LIVING" OPTION)			
OPTIONAL METHOD OF DEVELOPMENT - BETHESDA OVERLAY ZONE ZONING ORDINANCE SECTIONS 59-4.5.4 & 59-4.9.2 & BETHESDA DOWNTOWN PLAN			
DEVELOPMENT STANDARD	PERMITTED/REQUIRED	APPROVED BY 120200070	PROPOSED BY 12020007A
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MAX. RESIDENTIAL DENSITY (FAR)	2.5 (21,647.5 SF)	10.62 (92,000 SF)	10.62 (92,000 SF) ⁴
MAX. NUMBER OF RESIDENTIAL UNITS	N/A	77 UNITS	89 UNITS (▲)
MIN. NUMBER OF LONG TERM RENTALS	N/A	N/A	24 UNITS (▲)
MAX. NUMBER OF SHORT TERM RENTALS	N/A	N/A	65 UNITS (▲)
MIN. NUMBER OF MPDUS	15%	15%	15-58% (14 UNITS)
MAX. NUMBER OF "CO-LIVING" UNITS ⁵	N/A	N/A	22 UNITS (▲)
MAX. BUILDING HEIGHT	120 FT	120 FT ¹	120 FT ¹
MIN. FRONT STREET SETBACK (WOODMONT AVE.) ²	0 FT	0 FT	0 FT
MIN. SIDE STREET SETBACK (EDMOOR LN.) ³	0 FT	0 FT	0 FT
MIN. SIDE SETBACK (SOUTH) ³	0 FT	0 FT	0 FT
MIN. REAR SETBACK (WEST) ³	0 FT	0 FT	0 FT

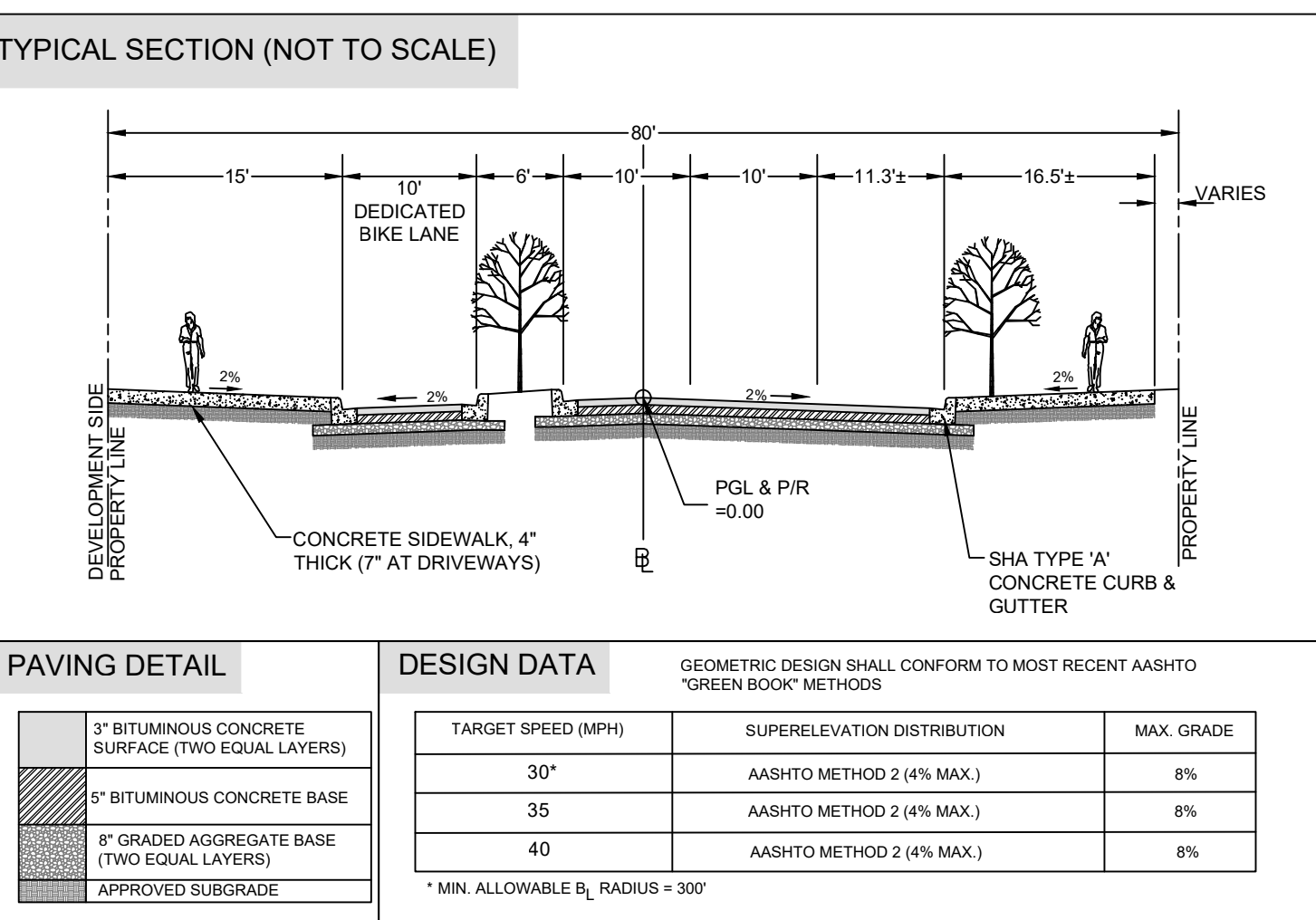
1. BUILDING HEIGHT IS MEASURED FROM EDMOOR LANE AT MIDDLE OF BUILDING FRONTAGE.
2. A PARK IMPACT PAYMENT CONTRIBUTION AT THE APPLICABLE RATE PER SF OF APPROVED BOZ DENSITY GROSS FLOOR AREA IS TO BE MADE PRIOR TO ISSUANCE OF THE BUILDING PERMIT. FINAL AMOUNT TO BE DETERMINED AT SITE PLAN.
3. FINAL BUILDING SETBACKS WILL BE ESTABLISHED AT THE TIME OF SITE PLAN, PER 59-4.5.4.B.3.
4. FINAL DENSITY TO BE DETERMINED AT SITE PLAN, BUT SHOULD NOT EXCEED THE LIMIT SHOWN ON THIS PLAN.
5. "CO-LIVING" UNITS WILL CONSIST OF 3 OR 4 BEDROOM UNITS WITH EACH BEDROOM RESIDENT HOLDING A SEPARATE CONTRACT WITH THE OWNER/OPERATOR. THESE UNITS ARE EXEMPT FROM MPDU REQUIREMENTS.

- GENERAL NOTES**
- THE TOPOGRAPHY SHOWN IS TAKEN FROM A FIELD RUN SURVEY PREPARED BY MHG DATED ON JUNE 27, 2019. THE HORIZONTAL DATUM IS BASED ON THE MARYLAND COORDINATE SYSTEM NAD 83(2011) DATUM AS PROJECTED BY NCS.
 - EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
 - BOUNDARY INFORMATION IS BASED ON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY MHG DATED JULY 1, 2019.
 - THE PROPERTY IS WITHIN THE BETHESDA DOWNTOWN PLAN AND BETHESDA OVERLAY ZONE.
 - THE PROPERTY IS WITHIN THE LITTLE FALLS BRANCH WATERSHED.
 - THE EXISTING WATER SERVICE CATEGORY IS W-1.
 - THE EXISTING SEWER SERVICE CATEGORY IS S-1.
 - A SIMPLIFIED NRIFSD FOR THE PROPERTY WAS APPROVED ON AUGUST 26, 2019 UNDER PLAN # 42020018E.
 - THE PROPERTY IS NOT IDENTIFIED IN THE LOCATION ATLAS AND INDEX OF HISTORICAL SITES, NOR IS IT IDENTIFIED IN THE MASTER PLAN FOR HISTORIC PRESERVATION.
 - A STORMWATER MANAGEMENT CONCEPT FOR THIS DEVELOPMENT WAS APPROVED ON FEBRUARY 19, 2020 BY THE DEPARTMENT OF PERMITTING SERVICES UNDER PLAN #285454.
 - ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE; SEE APPROVED UTILITY DRAWINGS. SERVICING UTILITY COMPANIES INCLUDE:
 - WATER & SEWER: HSSC
 - NATURAL GAS: WASHINGTON GAS
 - ELECTRIC: PEPCO
 - TELECOMMUNICATIONS: VERIZON & COMCAST
 - PROPERTY LINES AND LOT/PARCEL AREAS ARE SUBJECT TO ADJUSTMENT AT THE TIME OF SUBDIVISION RECORD PLAT COMPUTATION.
 - UNLESS SPECIFICALLY NOTED ON THIS PLAN DRAWING OR IN THE PLANNING BOARD CONDITIONS OF APPROVAL, THE BUILDING FOOTPRINTS, BUILDING HEIGHTS, SETBACKS, ON-SITE PARKING, SITE CIRCULATION, AND SIDEWALKS SHOWN ON THIS PRELIMINARY PLAN OF SUBDIVISION ARE ILLUSTRATIVE. THE FINAL DETAILS OF BUILDINGS, STRUCTURES, AND HARDSCAPE WILL BE DETERMINED AT THE TIME OF SITE PLAN REVIEW. REFER TO THE ZONING DATA TABLE FOR DEVELOPMENT STANDARDS SUCH AS SETBACKS, BUILDING RESTRICTION LINES, BUILDING HEIGHT AND LOT COVERAGE FOR EACH LOT. OTHER LIMITATION FOR SITE DEVELOPMENT MAY ALSO BE INCLUDED IN THE CONDITIONS OF THE PLANNING BOARD'S APPROVAL.



GENERAL NOTES

- LATEST EDITION OF THE MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS SHALL APPLY FOR MATERIALS AND METHODS OF CONSTRUCTION.
- PUBLIC UTILITY EASEMENTS (PUEs) ARE SUBJECT TO "DECLARATIONS OF TERMS AND PROVISIONS OF THE PUBLIC UTILITY EASEMENTS" RECORDED AS LIBER 3834, FOLIO 457 IN THE LAND RECORDS OF MONTGOMERY COUNTY.
- STANDARD ELEVATION AT PROPERTY LINE, RELATIVE TO PGL, SHALL NOT VARY AT DRIVEWAYS.
- PAVING DETAIL DEPICTS THE MINIMUM REQUIRED SECTION. IF SUFFICIENT SUBGRADE SUPPORT IS NOT ASSURED, AN ENGINEERED PAVING DESIGN USING SHA METHODOLOGY WILL BE REQUIRED.
- NOTE THAT WITHIN A GIVEN CONTEXT, THIS STANDARD MAY NEED TO BE MODIFIED TO PROVIDE ADDITIONAL REQUIRED FEATURES SUCH AS MASTER PLANNED BIKEWAYS, AUXILIARY LANES AT INTERSECTIONS, OR STORMWATER MANAGEMENT FACILITIES. ADDITIONAL RIGHT-OF-WAY MAY BE NECESSARY TO ACCOMMODATE SUCH FEATURES.
- SELECTION OF APPROPRIATE TARGET SPEED (EQUAL OR SLIGHTLY LESS THAN THE DESIGN SPEED) IS SUBJECT TO COUNTY REVIEW AND APPROVAL. APPROVED TARGET AND DESIGN SPEEDS MUST APPEAR ON CONSTRUCTION DRAWINGS.
- THE 2% CROSS-SLOPE RATE SHOWN IS TO BE USED FOR A MAXIMUM WIDTH OF TWO TRAFFIC LANES STARTING AT THE HIGH POINT OF THE PAVING SECTION. IF ADDITIONAL LANES ARE NECESSARY BELOW, THEY MUST BE CROSS-SLOPED AT A 4% MINIMUM RATE TO ENSURE ADEQUATE DRAINAGE.
- ALL UNPAVED AREAS WITHIN THE LIMITS OF DISTURBANCE SHALL BE STABILIZED WITH ESTABLISHED GRASS TURF OR APPROVED LANDSCAPING.
- STREET TREES OF APPROVED TYPE, SIZE AND SPACING SHALL BE PLANTED AT LOCATIONS SHOWN. STREET TREE PLANTING SHALL ONLY APPLY FOR 30 & 35 MPH TARGET SPEEDS, OR FOR ROADWAYS WITH A 40 MPH TARGET SPEED IF TREES FROM THE "SMALL STREET-TREE" LIST ARE USED.



GENERAL NOTES

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- STREET TREES OF APPROVED TYPE, SIZE AND SPACING SHALL BE PLANTED AT LOCATIONS SHOWN.

REVISIONS

NO.	DESCRIPTION	DATE

TAX MAP #H122 WSSC 209N005

PLAT 517

7TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

**PART OF LOT 16
BLOCK 13
EDMOOR**

PROJ. MGR: PGL
DRAWN BY: PGL
SCALE: AS SHOWN
DATE: 02.08.2023

**PRELIMINARY PLAN
12020007A**

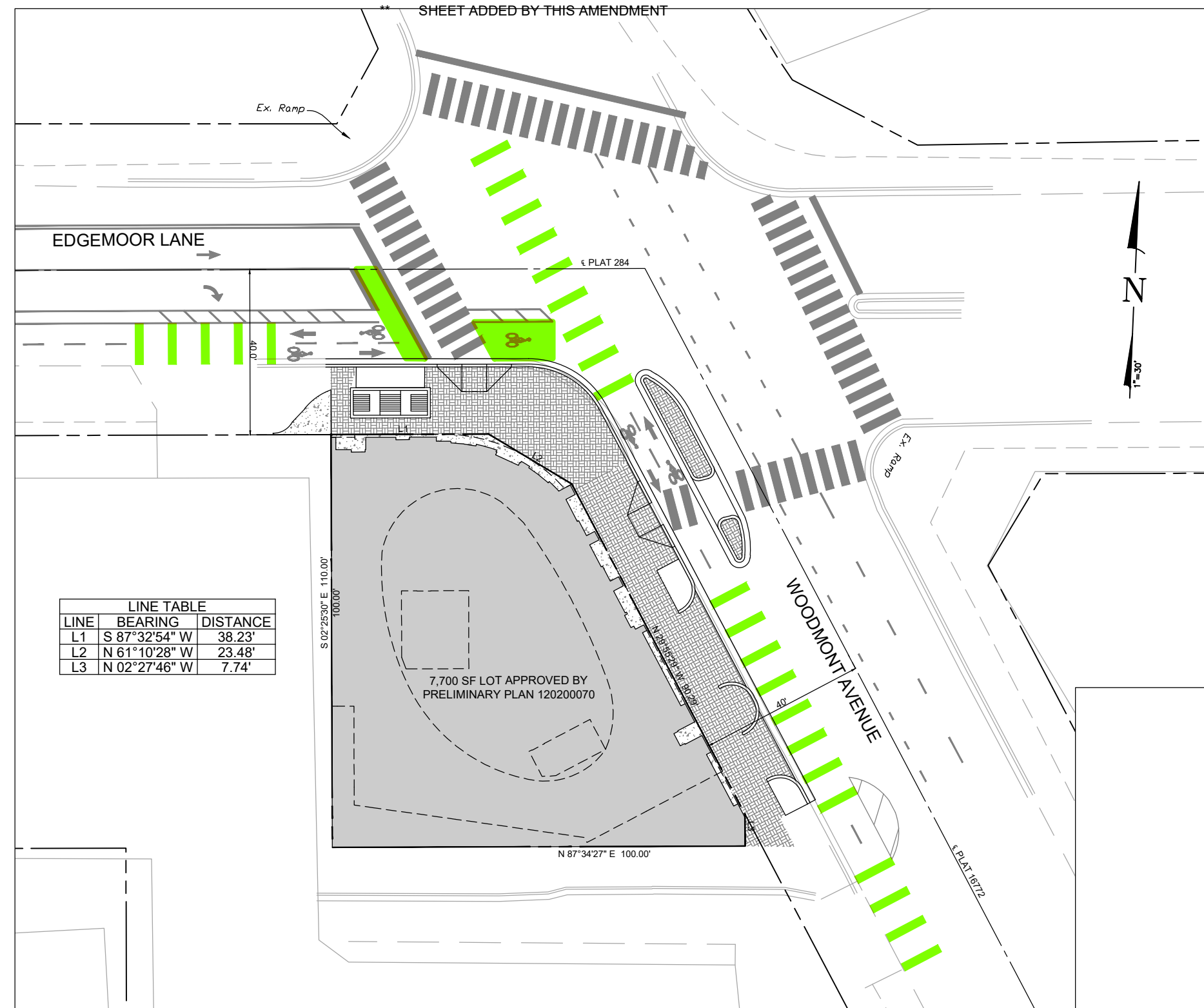
PROJECT NO. 18.266.11
SHEET NO. 1 OF 5

4824 EDMOOR LANE SITE PLAN #82021004A

SHEET INDEX

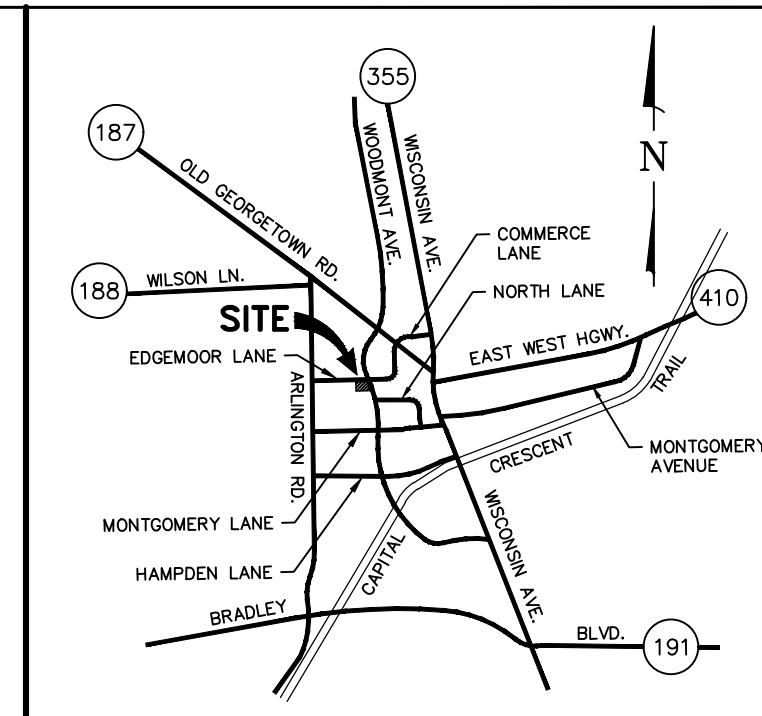
- * C0.01 COVER SHEET
- * C0.01A DEVELOPMENT DATA SHEET
- C0.02 SITE PLAN RESOLUTION 820210040
- C0.03 SITE PLAN RESOLUTION 82021004A
- ** C0.03A PRELIMINARY PLAN RESOLUTION 120200070
- C0.04 PRELIMINARY PLAN RESOLUTION 12020007A
- ** C0.04A SKETCH PLAN RESOLUTION
- C0.05 AGENCY LETTERS
- * C0.06 RECREATIONAL FACILITIES CALCULATIONS
- C0.11 GREEN COVER EXHIBIT
- C0.12 LOADING MANAGEMENT PLAN
- C0.13 SITE PLAN
- C2.01 TREE SAVE PLAN
- L2.01 LANDSCAPE PLAN
- * A0101 FLOOR PLAN LEVEL P2
- * A0102 FLOOR PLAN LEVEL P1
- * A0103 FLOOR PLAN LEVEL 1 (GROUND FLOOR)
- * A0104 FLOOR PLAN LEVEL 2
- * A0105 FLOOR PLAN LEVELS 3-4
- * A0106 FLOOR PLAN LEVELS 5-11
- * A0107 FLOOR PLAN LEVEL 12
- * A0108 FLOOR PLAN PENTHOUSE
- * A0109 ROOF PLAN
- A0110 ROOF LIGHTING DETAILS
- A0111 ROOF LIGHTING PLAN
- * A0201 NORTH ELEVATION
- * A0202 EAST ELEVATION
- * A0203 SOUTH ELEVATION
- * A0204 WEST ELEVATION
- * A0301 EAST-WEST BUILDING SECTION
- * A0302 NORTH-SOUTH BUILDING SECTION
- A1000 BUILDING SEPARATION EXHIBIT
- * A1001 BUILDING WINDOW OVERLAP EXHIBIT - PODIUM LEVELS
- * A1002 BUILDING WINDOW OVERLAP EXHIBIT - UPPER LEVELS
- * A1003 BUILDING WINDOW OVERLAP EXHIBIT - UPPER LEVELS
- * A1004 PUBLIC ART EXHIBIT

* SHEET REVISED BY THIS AMENDMENT
* SHEET ADDED BY THIS AMENDMENT



SITE LOCATION PLAN
1"=30'

Development Program Table	
Deadline	Task
Prior to Certified Site Plan Approval	Provide Certification to Staff from a qualified professional that exterior lighting in the Site Plan conforms to the latest Illuminating Engineering Society of North America (IESNA) recommendations (Model Lighting Ordinance MLO: June 15, 2011, or as superseded) for a development of this type. (Condition 9.a)
Before Issuance of Building Permit	Enter into an MPDU Agreement with DHCA that satisfies the requirements of Chapter 25A (condition 4.b)
Before any Demolition, Clearing, Grading or Construction	Provide proof of purchase and/or payment equivalent to 0.1880 Building Lot Terminations (BLTs) to MCDPS (Condition 5.d.i)
Before Issuance of Use & Occupancy Certificate	Coordinate with and gain approval from MCDOT on a Level 3 Results Transportation Demand Management (TDM) Plan to participate in the Bethesda Transportation Management District (TMD) and work towards the Sector Plan goal of 55 percent Non-Auto Driver Mode Share (NAMDS). (Condition 14)
Before Issuance of Use & Occupancy Certificate	Enter into a Site Plan Surety and Maintenance Agreement with the Planning Board in a form approved by the M-NCPPC Office of General Counsel that outlines the responsibilities of the Applicant. The Agreement must include a performance bond or other form of surety in accordance with Section 59.7.3.4.k.4 of the Montgomery County Zoning Ordinance. A cost estimate of the materials and facilities, which, upon Staff approval, will establish the surety amount. (Condition 19)
Before Issuance of Use & Occupancy Certificate	Submit financial surety, in a form approved by the M-NCPPC Office of General Counsel to the M-NCPPC Planning Department for the mitigation plantings required by the approved Tree Save Plan. The financial surety must be provided for a period of 5 years which may be reduced to 3 years upon request by the Applicant and approval by M-NCPPC Forest Conservation Inspector. (Condition 13.d)
Before Issuance of Use & Occupancy Certificate	Construct all streetscape improvements along the property's frontage on Edmoor Lane and Woodmont Avenue, consistent with the 2020 Bethesda Downtown Streetscape Standards. (Condition 7.a)
Before Issuance of Use & Occupancy Certificate	Install all on-site amenities including, but not limited to lights, sidewalks / pedestrian pathways, hardscape, benches, trash receptacles, bicycle facilities, recreation amenities, and rooftop amenities. (Condition 8.a)
Before Issuance of Use & Occupancy Certificate	Obtain certification that the noise impacted units have been constructed in accordance with the recommendations of an engineer that specializes in acoustical treatments. (Condition 11.d)
Before Issuance of Use & Occupancy Certificate	Participate on a pro-rata basis, in the amount of \$33,000.00 towards the future construction of the Sector-Planned bicycle facilities on the Edmoor Lane and Woodmont Avenue frontages. (Preliminary Plan 120200070 Condition 10)
Before Issuance of Use & Occupancy Certificate	Include details for the Public Art that clearly indicate the overall dimensions, prescribed materials and any lighting fixtures. (Condition 20.c)
Before Issuance of Use & Occupancy Certificate	Include notes describing the Bird-Safe design principles to be incorporated into the building architecture. (Condition 20.d)
Before Issuance of Use & Occupancy Certificate	Show trash and recycling receptacles along the Site frontage in accordance with the Bethesda Streetscape Standards. (Condition 20.e)
Before Issuance of Use & Occupancy Certificate	Revise short-term bicycle parking racks to conform with Montgomery County Bicycle Design Guidelines. (Condition 20.f)
Before Issuance of Use & Occupancy Certificate	Add a note stating that "Minor modifications to the limits of disturbance shown on the Certified Site Plan within the public right-of-way for utility connections may be done during the review of the right-of-way permit drawings by the Department of Permitting Services". (Condition 20.g)
Before Issuance of Use & Occupancy Certificate	Ensure consistency of all details and layout between Site and Landscape Plans. (Condition 20.h)
Before Issuance of Use & Occupancy Certificate	Provide an average building separation of 35 feet with a minimum separation distance of 30 feet, as approved by the Design Advisory Panel on June 24, 2020. (Condition 20.i)



VICINITY MAP
SCALE 1" = 2,000'

MHG
Civil Engineers
Land Planners
Landscape Architects
Land Surveyors

9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301.670.0840
www.mhgpa.com

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Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the Laws of the State of Maryland. Lic. No. 16905 Exp. Date: 04.21.2024

MACAW 100, LLC
C/O ACUMEN COMPANIES
601 MASSACHUSETTS AVE, NW
SUITE 410 WEST
WASHINGTON, DC 20001
(202)536-2660
CONTACT: SHAWN WEINGAST

PROJECT TEAM
OWNER/APPLICANT:
MACAW 100, LLC
C/O ACUMEN COMPANIES
601 MASSACHUSETTS AVE, NW
SUITE 410 WEST
WASHINGTON, DC 20001
PHONE: (202) 536-2660
CONTACT: SHAWN WEINGAST
EMAIL: SHAWN@ACUMENCOS.COM

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
MACRIS, HENDRICKS & GLASCOCK, P.A.
9220 WIGHTMAN ROAD, SUITE 120
MONTGOMERY VILLAGE, MD 20886
PHONE: (301) 670-0840
CONTACT: PATRICK LA VAY, P.E.
EMAIL: PLAVAY@MHGPA.COM

TRAFFIC ENGINEER:
WELLS & ASSOCIATES
1110 BONIFANT STREET, SUITE 210
SILVER SPRING, MD 20910
PHONE: (301) 971-2415
CONTACT: NANCY RANDALL, AICP
EMAIL: AMRANDALL@WJWELLS.COM

LAND USE ATTORNEY:
LERCH, EARLY & BREWER, CHTD.
7600 WISCONSIN AVENUE, SUITE 700
BETHESDA, MD 20814
PHONE: (301) 841-3832
CONTACT: PATRICIA A. HARRIS
EMAIL: PAHARRIS@LERCHEARLY.COM

ARCHITECT:
BONSTRA HARESIGN ARCHITECTS
1728 FOURTEENTH ST. NW, SUITE 300
WASHINGTON, DC 20009
PHONE: (202) 328-5731
CONTACT: WADE MCKINNEY
EMAIL: WMCKINNEY@BONSTRA.COM

TAX MAP HN122 WSSC 209NW05

PLAT 517
7TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

**PART OF LOT 16
BLOCK 13
EDGEMOOR**

PROJ. MGR PGL
DRAWN BY PGL
SCALE AS SHOWN
DATE 02.08.2023

**SITE PLAN
COVER SHEET**

C0.01
PROJECT NO. 18.266.11
SHEET NO. 1 OF 1

LIST OF AMENDMENT ITEMS	
1	CHANGE NUMBER OF MULTI-FAMILY DWELLING UNITS FROM 76 TO 111, WITH THE OPTION TO CONVERT UP TO 65 UNITS TO SHORT TERM RESIDENTIAL RENTALS AND UP TO 22 UNITS TO "CO-LIVING".
2	UPDATE BICYCLE PARKING REQUIREMENTS.
3	MINOR CHANGES ON THE EASTERN AND NORTHERN FACADES.
4	ADDITIONAL WINDOWS ADDED TO ALL ELEVATIONS.

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF SITE PLAN APPROVAL NO. 82021004A INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

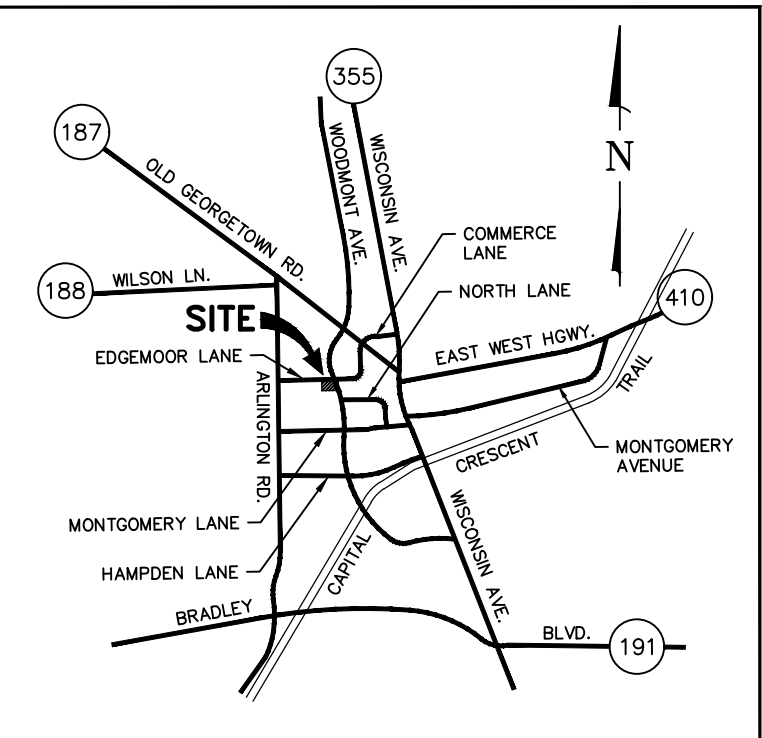
DEVELOPER: MACAW 100, LLC C/O ACUMEN COMPANIES SHAWN WEINGAST
COMPANY CONTACT PERSON

ADDRESS: 1101 K STREET NW, WASHINGTON DC 20004

PHONE: (202) 536-2660

EMAIL: SHAWN@ACUMENCOS.COM

SIGNATURE: _____



VICINITY MAP
SCALE 1" = 2,000'

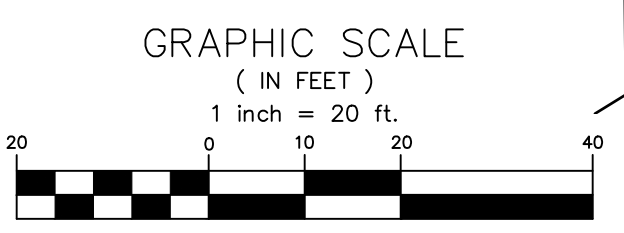
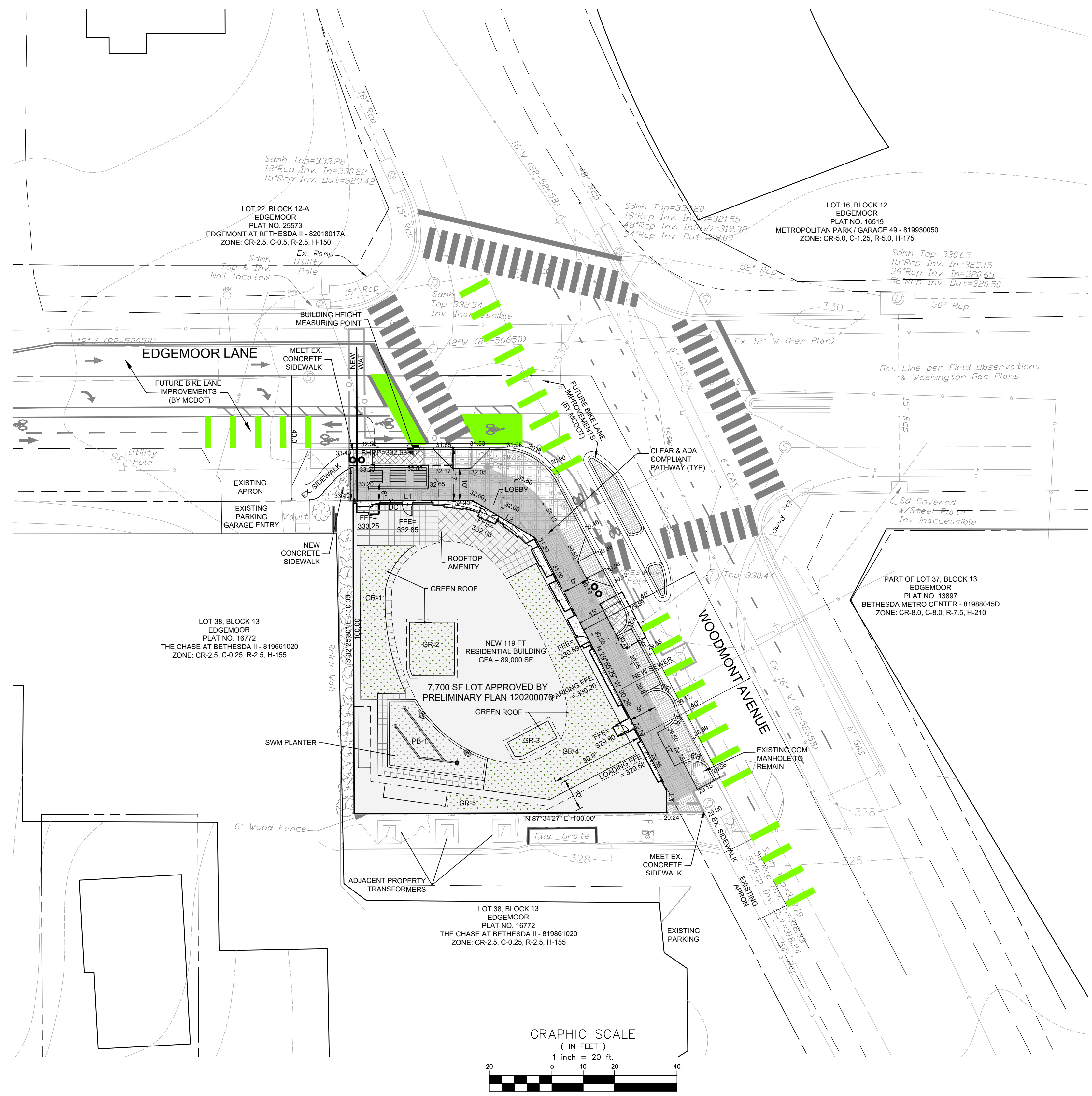
ABBREVIATIONS

ARCH	ARCHITECTURAL
BC	BACK OF CURB
BLDG	BUILDING
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
CG	CURB & GUTTER
CONC	CONCRETE
DIP	DUCTILE IRON PIPE
ELEC	ELECTRIC
EP	EDGE OF PAVING
EX	EXISTING
FC	FOREST CONSERVATION
FDC	FIRE DEPARTMENT CONNECTION
FFE	FINISHED FLOOR ELEVATION
FL	FLOW LINE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
MB	MICRO-BIORETENTION
MECH	MECHANICAL
NIC	NOT IN CONTRACT
PLUMB	PLUMBING
RCP	REINFORCED CONCRETE PIPE
REM	REMOVE
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
S	SANITARY SEWER
SWM	STORMWATER MANAGEMENT
S/W	SIDEWALK
TBR	TO BE REMOVED
TC	TOP OF CURB
TS	TOP OF STAIR
TW	TOP OF WALL
TYP	TYPICAL
W	WATER

LEGEND

--- 402 ---	CONTOUR (2FT)	--- 402 ---
--- 410 ---	CONTOUR (2FT)	--- 410 ---
+ 03.25	SPOT ELEVATION	+ 03.25
==	CURB & GUTTER	==
[Pattern]	BRICK PAVERS	[Pattern]
[Pattern]	ROOFTOP PAVERS	[Pattern]
[Pattern]	CONCRETE PAVING	[Pattern]
---	LIMITS OF DISTURBANCE	---
8" W	WATER LINE	8" W
[Symbol]	FIRE HYDRANT	[Symbol]
6" S	SEWER LINE	6" S
[Symbol]	STORM DRAIN	[Symbol]
[Symbol]	NATURAL GAS	[Symbol]
[Symbol]	UNDERGROUND ELECTRIC	[Symbol]
[Symbol]	UNDERGROUND COMMUNICATION	[Symbol]
[Symbol]	LIGHT POLE	[Symbol]
[Symbol]	PROPERTY BOUNDARY	[Symbol]
[Symbol]	STREET TREE	[Symbol]

- GENERAL NOTES**
- THE TOPOGRAPHY SHOWN IS TAKEN FROM A FIELD RUN SURVEY PREPARED BY MHG DATED ON JUNE 27, 2019. THE HORIZONTAL DATUM IS BASED ON THE MARYLAND COORDINATE SYSTEM NAD 83(2011) DATUM AS PROJECTED BY NCS.
 - EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
 - BOUNDARY INFORMATION IS BASED ON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY MHG DATED JULY 1, 2019.
 - THE PROPERTY IS WITHIN THE BETHESDA DOWNTOWN PLAN AND BETHESDA OVERLAY ZONE.
 - THE PROPERTY IS WITHIN THE LITTLE FALLS BRANCH WATERSHED.
 - THE EXISTING WATER SERVICE CATEGORY IS W-1.
 - THE EXISTING SEWER SERVICE CATEGORY IS S-1.
 - A SIMPLIFIED NR/FSO FOR THE PROPERTY WAS APPROVED ON AUGUST 26, 2019 UNDER PLAN # 42020018E.
 - THE PROPERTY IS NOT IDENTIFIED IN THE LOCATION ATLAS AND INDEX OF HISTORICAL SITES, NOR IS IT IDENTIFIED IN THE MASTER PLAN FOR HISTORIC PRESERVATION.
 - A STORMWATER MANAGEMENT CONCEPT FOR THIS DEVELOPMENT WAS APPROVED ON FEBRUARY 19, 2020 BY THE DEPARTMENT OF PERMITTING SERVICES UNDER PLAN #285454. A REVISION TO GRANT SITE DEVELOPMENT STORMWATER MANAGEMENT APPROVAL IS CURRENTLY UNDER REVIEW BY MCDPS UNDER PLAN #285454.
 - ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE; SEE APPROVED UTILITY DRAWINGS. SERVICING UTILITY COMPANIES INCLUDE:
WATER & SEWER: WSSC
NATURAL GAS: WASHINGTON GAS
ELECTRIC: PEPCO
TELECOMMUNICATIONS: VERIZON & COMCAST
 - PROPERTY LINES AND LOT/PARCEL AREAS ARE SUBJECT TO ADJUSTMENT AT THE TIME OF SUBDIVISION RECORD PLAT COMPUTATION.
 - ADA COMPLIANT PUBLIC SIDEWALK, MINIMUM OF 5 FEET WIDE SHALL BE MAINTAINED ALONG SITE FRONTAGE & WITHIN THE PUBLIC RIGHT-OF-WAY. ALL NEW MANHOLE AND VAULT COVERS SHALL BE ADA COMPLIANT, WHERE POSSIBLE.
 - ALL SITE FRONTAGE WORK AND STREETS CAPING IN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE LATEST BETHESDA STREETS CAPING STANDARDS AND IS SUBJECT TO REVIEW AND APPROVAL BY MCDPS RIGHT-OF-WAY AT THE TIME OF PERMIT REVIEW.
 - IN AREAS WHERE BUILDING IS SET BACK FROM PROPERTY LINE ALONG INTERFACE WITH PUBLIC RIGHT-OF-WAY, DELINEATING OR ALTERNATIVE MATERIALS SHALL BE USED TO DISTINGUISH BETWEEN PUBLIC AND PRIVATE MAINTENANCE.
 - PAVEMENT MARKINGS AND IMPROVEMENTS IN THE RIGHT-OF-WAY ASSOCIATED WITH BIKE LANE CONSTRUCTION ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. BIKE LANE CONSTRUCTION WILL BE PROVIDED IN FUTURE BY OTHERS. ANY SIGNAGE AND MARKING REQUIRED FOR ACCESS TO THIS DEVELOPMENT IS SUBJECT TO REVIEW AND APPROVAL BY MCDOT AND MCDPS RIGHT-OF-WAY AT THE TIME OF PERMIT REVIEW.
 - SIDEWALK CAFE SEATING IN PUBLIC RIGHT-OF-WAY IS NOT PROPOSED BY THIS PLAN.
 - POSITIVE SLOPE/DRAINAGE AWAY FROM THE BUILDING AND TOWARD THE RIGHT-OF-WAY SHALL BE PROVIDED ALONG ALL FRONTAGES.
 - MINOR MODIFICATIONS TO THE LIMITS OF DISTURBANCE SHOWN WITHIN THE PUBLIC RIGHT OF WAY FOR UTILITY CONNECTIONS MAY BE DONE DURING REVIEW OF THE RIGHT OF WAY PERMIT DRAWINGS BY THE DEPARTMENT OF PERMITTING SERVICES (DPS).



DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF SITE PLAN APPROVAL NO. 820210040 INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER: EDGEWOOD 48, LLC C/O ACUMEN COMPANIES
SHAWN WEINGAST
CONTACT PERSON

ADDRESS: 1101 K STREET NW, WASHINGTON DC 20004

PHONE: (202) 536-2660

EMAIL: SHAWN@ACUMENCOS.COM

SIGNATURE:

TAX MAP HN122 WSSC 209N005

PLAT 517
7TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

**PART OF LOT 16
BLOCK 13
EDGEWOOD**

PROJ. MGR PGL
DRAWN BY PGL
SCALE 1"=20'
DATE 12.22.2020

SITE PLAN

C2.01
PROJECT NO. 18.266.11
SHEET NO. 4 OF 4