

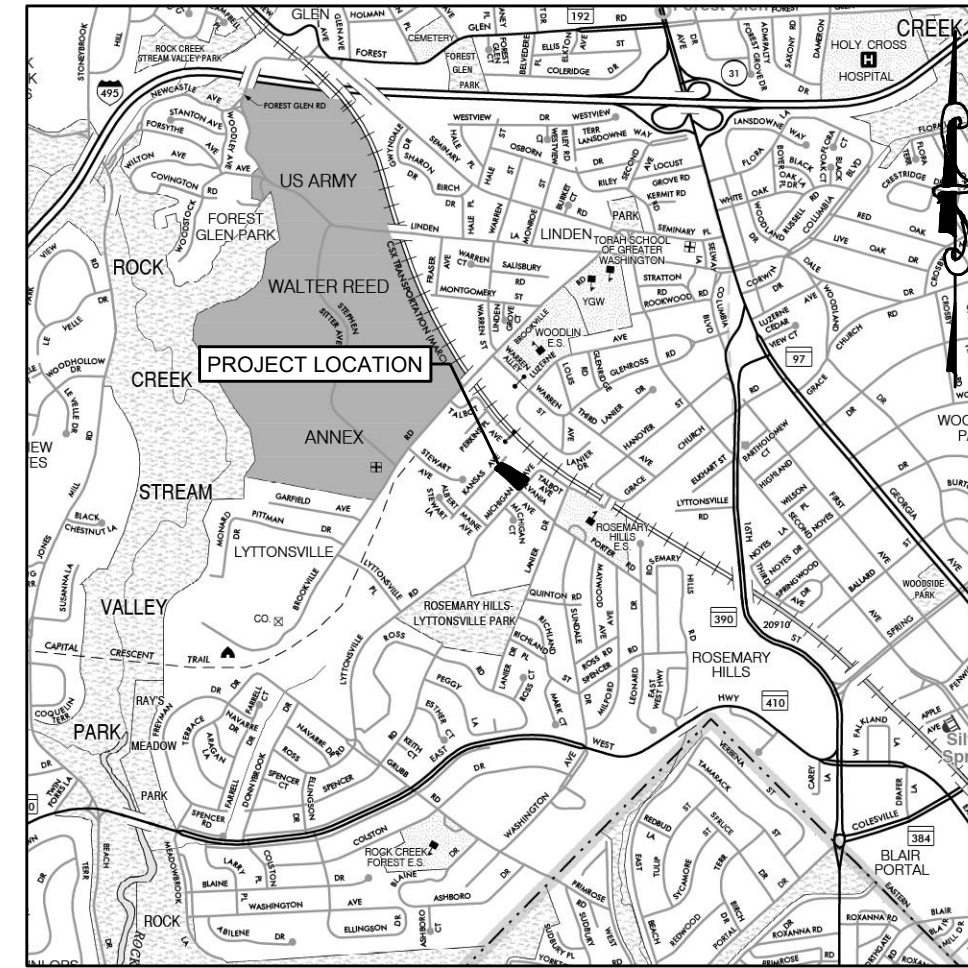
The Maryland National Capital Park and Planning Commission
LYTTONSVILLE AREA FUTURE NEIGHBORHOOD PARK
FACILITY PLAN

2205 KANSAS AVENUE, SILVER SPRING, MARYLAND 20910

ESC/SWM SHEET X OF X

SHEET INDEX table with columns: SHEET NUMBER, DRAWING NUMBER, SHEET TITLE. Rows include COVER SHEET, GENERAL NOTES AND APPROVALS, EXISTING CONDITIONS AND DEMOLITION PLAN, etc.

\*NOTE: FOR ALL EROSION AND SEDIMENT CONTROL MEASURES, NOTES, AND DETAILS, SEE SHEETS C-400 - C-415.



VICINITY MAP
SCALE: 1" = 2000'

PROPERTY OWNER
MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION (M-NCPPC)
2425 REEDIE DRIVE, 14TH FLOOR
WHEATON, MARYLAND 20902

APPLICANT
MONTGOMERY COUNTY DEPARTMENT OF PARKS
2425 REEDIE DRIVE, 11TH FLOOR
WHEATON, MARYLAND 20902
ATTN: CHING-FANG CHEN, PROJECT MANAGER
EMAIL: CHING-FANG.CHEN@MONTGOMERYPARKS.ORG
PH: (301) 495-2557

TREE CANOPY REQUIREMENTS TABLE. Includes sections for Total Property Area, Shade Trees Required, Fee In Lieu, Required Number of Shade Trees, and Exemption Categories.

RELATED REQUIRED PERMITS table with columns: TYPE OF PERMIT, REQD, NOT REQD, PERMIT #, EXPIRATION DATE, WORK RESTRICTION DATES. Lists various permits like MCDPS Floodplain District, etc.

\* A copy of the approved Roadside Trees Protection Plan must be delivered to the sediment control inspector at the preconstruction meeting.

MISS UTILITY
The Contractor shall call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The Contractor is responsible for ensuring that all underground utilities in the area of proposed work are located prior to commencing construction work.

The Contractor is also responsible for locating all private utilities (not located by Miss Utility) within M-NCPPC property at their expense. All utilities shown on the plans are provided for information only and shall be considered approximate.

UTILITY SURVEY & RELOCATION CERTIFICATION table with columns: UTILITY, DATE REQUESTED, DATE RECEIVED, SHOWN ON PLANS (Y/N), RELOCATION REQ'D (Y/N). Lists utilities like PEPCO, WSSC, AT&T, etc.

UTILITY STATEMENT
THE ABOVE UTILITY COMPANIES HAVE BEEN CONTACTED REGARDING EXISTING UTILITIES WITHIN THIS PROJECT AREA AND INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM AVAILABLE RECORDS.

RECORD DRAWING CERTIFICATION form. Includes sections for Record Drawing Certification, Stormwater Management Right of Entry and Maintenance Agreement, and Field Check of Record Drawing by MCDPS Inspector.

- SEDIMENT CONTROL/STORMWATER MANAGEMENT CERTIFICATION -

OWNER'S/DEVELOPER'S CERTIFICATE and CERTIFICATION OF THE QUANTITIES forms. Includes sections for Design Certification and Maintenance Certification.

DRAINAGE STATEMENT form. Includes a section for Design Certification.

ADA COMPLIANCE CERTIFICATION form. Includes a section for Design Certification.

TECHNICAL REVIEW OF SEDIMENT CONTROL, ADMINISTRATIVE REVIEW, TECHNICAL REVIEW OF STORMWATER MANAGEMENT, and SMALL LOT DRAINAGE APPROVAL forms.

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION.

CLARK | AZAR & ASSOCIATES logo and contact information: 20440 Century Blvd, Suite 220, Germantown, MD, 20874.

DESIGN table with columns: NAME, DATE, CHECKED BY. Lists Jon Mallory, Jason Azar, P.E., Matt Edelman, E.I.T., and David Mitchell.

Professional Certification section with a signature and seal of a Professional Engineer, DANA CLARK, License No. 31168.

The Maryland-National Capital Park and Planning Commission logo and address: 2425 Reedie Drive, 11th Floor, Wheaton, Maryland 20902.

REVIEW AND APPROVAL table with columns: POSITION, DATE. Lists Project Manager, Construction Manager, and Park Manager.

ISSUED FOR PROCUREMENT ON table with columns: REV. NO., DATE, DESCRIPTION. Lists revision 1 on 23.08.18 for 35% Construction Documents.

Project information: Lyttonsville Area Future Neighborhood Park, 2205 Kansas Avenue, Silver Spring, Maryland 20910. DWG. # C-001, SHT. # of.

Vertical text on the left margin: FINAL SCANNED: PLAN SCANNED: TBD PARK CODE: LYTTONSVILLE Park Facility Plan\CD\DWG\C-001 - COVER SHEET.dwg C-001 Plotted By: Matt Edelman, 9/22/2023 5:06 PM, \_NCS-full.ctb

111.01 DESCRIPTION  
THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CERTIFIED FINAL REDLINED AS-BUILT DRAWINGS OF THE PROJECT AND OBTAIN APPROVAL AND CLOSOUT OF ALL PERMITS. THE CONTRACTOR WILL ALSO SUPPLY ALL DOCUMENTS RELATED TO THE PROJECT TO M-NCPPC.

111.02 REFERENCE STANDARDS  
• MCDPS AS-BUILT/RECORD DRAWING PLAN REVIEW CHECKLIST - LATEST VERSION  
• WSSC SEWER AND WATER MAIN AS-BUILTS AND SERVICE CONNECTION FINAL INSTRUCTION AND REQUIREMENTS FOR SERVICE EXTENSION PERMIT PROJECTS

111.03 DEFINITIONS  
CERTIFIED: A CERTIFIED DOCUMENT SHALL BE SEALED BY A PROFESSIONAL SURVEYOR.

111.04 MATERIALS  
NOT APPLICABLE.

111.05 SUBMITTALS  
A. THE CONTRACTOR SHALL PROVIDE THE COMMISSION WITH ELECTRONIC VERSIONS OF ALL SUBMITTALS, SHOP DRAWINGS, CORRESPONDENCE, MATERIAL CERTIFICATIONS, DELIVERY TICKETS, OPERATING MANUALS, INSPECTIONS, AND TESTING RESULTS RELATED TO COMPLETED PROJECT AT THE TIME OF AS-BUILT SUBMISSION. THE CONTRACTOR SHALL PROVIDE BOTH IN ORIGINAL FORM AND AS A PDF.  
B. THE CONTRACTOR SHALL SUBMIT CERTIFIED AS-BUILT PLANS AND SUPPORT DOCUMENTS DIRECTLY TO THE PERMITTING AGENCY, WITH ELECTRONIC VERSIONS TO THE M-NCPPC CONSTRUCTION MANAGER.  
C. DIGITAL FILES SHOULD BE IN AUTOCAD FORMAT AS WELL AS A SET OF VECTORED PDFS OF THE APPROVED AS-BUILT PLANS AND ALL SUPPORTING DOCUMENTS MUST BE SUBMITTED TO THE M-NCPPC CONSTRUCTION MANAGER.

111.06 QUALITY ASSURANCE  
NOT APPLICABLE.

111.07 CONSTRUCTION  
A. THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN ALL PERTINENT RECORDS OF CONSTRUCTION MATERIALS, TESTING, AND INSPECTIONS REQUIRED TO DOCUMENT THAT THE ACTUAL CONSTRUCTION IS IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND REGULATORY PERMITS.  
B. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DEVELOP CERTIFIED FINAL REDLINED AS-BUILT DRAWINGS OF THE PROJECT AND OBTAIN APPROVAL AND CLOSOUT OF ALL PERMITS, INCLUDING THOSE FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (MCDPS). PREPARATION OF AS-BUILT PLANS INCLUDES, BUT IS NOT LIMITED TO:  
1. CONFIRMING THE HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL NEW FACILITIES BUILT THROUGHOUT THE PARK  
2. STORM DRAIN AS WELL AS STORM WATER MANAGEMENT FACILITIES SHALL BE SURVEYED DURING INSTALLATION. THIS INCLUDES FACILITY AND STRUCTURE INVERTS AND TOP ELEVATIONS AND DIMENSIONS OF CORE TRENCH, INFILTRATION TRENCH, FILTERS, UNDERGROUND STRUCTURES AND PIPE NETWORKS, AND GEOTECHNICAL CERTIFICATIONS AS REQUIRED BY MCDPS, ETC.  
3. UNDERGROUND UTILITIES, IRRIGATION SYSTEMS, SEPTIC TANKS, ETC. INCLUDING PROFILES, INVERTS AND TOP OF FACILITY ELEVATIONS.  
4. STRUCTURAL CERTIFICATIONS FOR ALL RETAINING WALLS, COLUMNS, BEAMS, SUPPORTS, ETC.  
5. ANY CONSIDERABLE CHANGE OR SHIFT IN THE SIZE OR LOCATION OF ANY FACILITIES FROM APPROVED DRAWINGS.  
6. ANY UTILITY CERTIFICATION AS REQUIRED FOR AS-BUILT CERTIFICATION OF THE UNDERGROUND UTILITIES SUCH AS WSSC AND MCDPS.  
7. ALL THE SURVEY WORK REQUIRED FOR AS-BUILT PLANS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
8. ANY SIGNIFICANT DEVIATIONS FROM THE APPROVED DRAWINGS.  
9. A DIGITAL FILE IN AUTOCAD FORMAT INCLUDING SCANS OF ALL APPROVED ELECTRONIC COPIES INCLUDING PERMIT DRAWINGS.  
10. GIS LAYER FILES OF STORM DRAIN AND UNDERGROUND UTILITY ASSETS.  
11. ELECTRONIC VERSION OF THE APPROVED AS-BUILT PLANS AND OF ALL SUPPORTING DOCUMENTS MUST BE SUBMITTED TO THE M-NCPPC CONSTRUCTION MANAGER.  
C. IN ADDITION TO THE STANDARD REQUIREMENTS OF THE OWNER, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMPLETING ALL AS-BUILT REQUIREMENTS RELATED TO ANY PERMITS ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL PREPARE AS-BUILT PLANS IN ACCORDANCE WITH THE STANDARDS, PROCEDURES, AND REQUIREMENTS OF THE PERMIT AGENCY AT THE TIME OF CONSTRUCTION.  
THIS INCLUDES ANY REQUIRED SURVEY, INSPECTION, AND PROFESSIONAL CERTIFICATION BY AN INDEPENDENT FIRM FAMILIAR WITH THE WORK PERFORMED. FOR EXAMPLE, THE COMPLETED AS-BUILT PACKAGE FOR STORMWATER MANagements FACILITIES SHALL INCLUDE ALL SUPPORTING DOCUMENTS AND INFORMATION AS REQUIRED ON THE LATEST MCDPS "AS-BUILT/RECORD DRAWING PLAN REVIEW CHECKLIST". FURTHERMORE, THE CONTRACTOR SHALL MAKE ANY AND ALL REPAIRS AND/OR MODIFICATIONS REQUIRED TO OBTAIN AS-BUILT APPROVAL AND FINAL RELEASE OF PERMIT AT NO ADDITIONAL COST TO THE OWNER.  
THE CONTRACTOR SHALL SUBMIT CERTIFIED AS-BUILT PLANS AND SUPPORT DOCUMENTS DIRECTLY TO THE PERMITTING AGENCY, WITH ELECTRONIC COPIES ALSO SENT TO THE M-NCPPC CONSTRUCTION MANAGER. ONCE THE APPROPRIATE AGENCY APPROVES THE AS-BUILT PLANS AND M-NCPPC CONSTRUCTION MANAGER CONCURS, THE CONTRACTOR SHALL SUBMIT TO THE COMMISSION A DIGITAL FILE INCLUDING VECTORED PDFS OF ALL APPROVED PERMIT DRAWINGS.  
THE CONTRACTOR SHALL COORDINATE WITH THE PERMITTING AGENCY AND INSPECTORS AS REQUIRED TO OBTAIN FINAL APPROVAL AND PERMIT RELEASE WHICH INCLUDES A FINAL FIELD INSPECTION WITH STAFF FROM THE PERMITTING AGENCIES INVOLVED AND M-NCPPC CONSTRUCTION MANAGER PRESENT. THE CONTRACTOR SHALL CONSIDER THE AS-BUILT PREPARATION, REVIEW, AND APPROVAL AS PART OF THE OVERALL CONSTRUCTION SCHEDULE AND SHALL COMPLETE THIS WORK WITHIN THE CONTRACT PERIOD ESTABLISHED FOR THE PROJECT. THE DESIGN DOCUMENTS IN ELECTRONIC FILE FORMAT INCLUDING BASE SURVEY INFORMATION WILL BE PROVIDED TO THE CONTRACTOR.  
D. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE THE WASHINGTON SUBURBAN SANITARY COMMISSION (WSSC) FINAL SEWER AND WATER MAIN AS-BUILT. FOR INSTRUCTIONS, SEE WSSC "SEWER AND WATER MAIN AS-BUILTS AND SERVICE CONNECTION FINAL INSTRUCTION AND REQUIREMENTS FOR SERVICE EXTENSION PERMIT PROJECTS". THE CONTRACTOR SHALL ALSO PROVIDE COPIES TO THE M-NCPPC CONSTRUCTION MANAGER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE CERTIFICATE OF SUBSTANTIAL COMPLETION AND WATER METER RELEASE(S).  
E. STREAM RESTORATION, CONTRACTORS SHALL SUBMIT TO THE M-NCPPC CONSTRUCTION MANAGER (PLANS, PROFILES, AND CROSS SECTIONS) FOR REVIEW AND APPROVAL THAT SHOW IN-STREAM STRUCTURES, POOLS, GLIDES/RUNS, BANKFUL CHANNEL DIMENSIONS, AND FEATURES WITH FIELD SURVEYED ELEVATIONS.

111.08 MEASUREMENT AND PAYMENT  
PAYMENT WILL BE FULL COMPENSATION FOR ALL MATERIAL, LABOR, EQUIPMENT, TOOLS AND INCIDENTAL ITEMS NECESSARY TO COMPLETE THE WORK. PAYMENT SHALL BE MADE ON A UNIT RATE OR LUMP SUM BASIS AS SHOWN IN THE BID PROPOSAL. UP TO 50% OF THE FULL PAYMENT FOR STORM WATER MANAGEMENT RELATED BID ITEMS MAY BE WITHHELD AT THE DISCRETION OF THE COMMISSION PENDING MCDPS AND/OR WSSC APPROVAL OF THE AS-BUILT PLANS.

- 1. CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO GET FAMILIAR WITH THE EXISTING CONDITIONS, DIFFICULTIES AND RESTRICTIONS ASSOCIATED WITH PERFORMING THE WORK REQUIRED UNDER THIS CONTRACT.
- 2. UNLESS NOTED OTHERWISE, ALL WORK SHALL BE NEW AND M-NCPPC WILL NOT PROVIDE ANY EQUIPMENT, MATERIALS, OR LABOR FOR THE WORK.
- 3. DISCREPANCIES OR ERRORS IN THE BID DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF M-NCPPC PRIOR TO SUBMITTING THE BID. FAILURE TO DO SO WILL NOT BE CONSIDERED AS A REASON FOR ADDITIONAL COMPENSATION.
- 4. ALL NOTES AND DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL UNLESS OTHERWISE NOTED.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ITEMS REQUIRED TO PROVIDE A SITE CLEAR OF OBSTRUCTIONS (ABOVE AND BELOW GRADE) AND ROUGH GRADE TO SPECIFIED ELEVATIONS AT THE BEGINNING OF CONSTRUCTION.
- 6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST APPLICABLE CODES, STANDARDS AND SPECIFICATIONS OF M-NCPPC, MONTGOMERY COUNTY, MARYLAND STATE AND FEDERAL REQUIREMENTS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ELEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN DOCUMENTS AND CONTRACT CONDITIONS INCLUDING THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA), THE MARYLAND ACCESSIBILITY CODE, AND UPDATES. IF THE CONTRACTOR OBSERVES THAT PORTIONS OF THE PROJECT ARE NON-COMPLIANT WITH THE ADA, HE SHALL NOTIFY THE CONSTRUCTION MANAGER SO THAT A FIELD ADJUSTMENT CAN BE MADE TO ENSURE COMPLIANCE. GRADE TOLERANCES SHALL BE MEASURED WITH A TWO (2) FOOT DIGITAL LEVEL.
- 8. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED AND CONDUCTED BY M-NCPPC CONSTRUCTION MANAGER. PRIOR TO THIS MEETING THE CONTRACTOR SHALL NOT PERFORM ANY CONSTRUCTION RELATED ACTIVITY AT THE PROJECT SITE, EXCEPT LIMITED CLEARANCE FOR STAKEOUT AND FLAGGING OF LOD. ALL STAKEOUT AND FLAGGING WORK MUST BE DONE BY HAND AND ANY SMALL VEGETATION CLEARED FOR INSTALLATION OF THE LOD SHALL BE CUT TO THE GROUND. THE LOD SHALL BE APPROVED BY M-NCPPC CONSTRUCTION MANAGER AND PERMITTING AGENCIES HAVING JURISDICTION. M-NCPPC CONSTRUCTION MANAGER MAY REQUIRE MINOR ADJUSTMENTS TO THE LOD TO REDUCE IMPACTS ON EXISTING INFRASTRUCTURE AND NATURAL RESOURCES THAT ARE TO REMAIN WITH THE APPROVAL OF PERMITTING AUTHORITIES. THIS ADJUSTMENT SHALL BE PERFORMED AT NO ADDITIONAL COST TO M-NCPPC.
- 9. PRIOR TO THE START OF CONSTRUCTION, TREE PROTECTION MEASURES SHALL BE INSTALLED, INSPECTED AND SHALL BE MAINTAINED DURING CONSTRUCTION.
- 10. CONTRACTOR SHALL VERIFY, IN THE FIELD, ALL DIMENSIONS PROVIDED ON THE DRAWINGS AND SPECIFICATIONS BEFORE STARTING ANY CONSTRUCTION ACTIVITY. IF FIELD CONDITIONS VARY FROM THOSE PROVIDED ON THE CONTRACT DOCUMENTS, THE M-NCPPC CONSTRUCTION MANAGER SHALL BE NOTIFIED IN WRITING, BEFORE PROCEEDING FURTHER WITH THE WORK.
- 11. ALL EXISTING CONDITIONS TO REMAIN SHALL BE VERIFIED, PHOTOGRAPHED AND DOCUMENTED PRIOR TO CONSTRUCTION. IF THEY ARE DIFFERENT FROM THE CONDITIONS SHOWN ON THE CONTRACT DRAWINGS, THE M-NCPPC CONSTRUCTION MANAGER SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK. ALL OTHER DAMAGES SHALL BE CORRECTED AND RESTORATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH M-NCPPC REQUIREMENTS AND TO THE SATISFACTION OF THE M-NCPPC CONSTRUCTION MANAGER AT NO ADDITIONAL COST TO M-NCPPC.
- 12. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL MEET CURRENT MONTGOMERY COUNTY DPS STANDARDS AND INSPECTOR DIRECTIVES. THESE SHALL BE APPROVED BY THE PERMITTING AUTHORITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO MEET THE REQUIREMENTS OF THE MDE NOI. BEFORE THE START OF CONSTRUCTION, A SITE REPRESENTATIVE OF THE CONTRACTOR SHALL HAVE PROOF OF COMPLETION OF THE MDE RESPONSIBLE PERSONNEL CERTIFICATION.
- 13. ANY WORK WITHIN THE MONTGOMERY COUNTY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MCDOT STANDARDS AND SPECIFICATIONS. ANY WORK WITHIN THE MARYLAND STATE HIGHWAY ADMINISTRATION RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MDSHA STANDARDS AND SPECIFICATIONS. THIS WORK INCLUDES, BUT IS NOT LIMITED TO, REPAIRING, RESTORING, AND OBTAINING FINAL INSPECTION APPROVAL.
- 14. IF IT IS DETERMINED THAT TREES ARE DAMAGED DURING CONSTRUCTION, A CERTIFIED ARBORIST SHALL INSPECT THEM AND SUBMIT A REPORT RECOMMENDING APPROPRIATE ACTION EITHER TO REPAIR OR REPLACE. IF APPROVED BY M-NCPPC CONSTRUCTION MANAGER, CORRECTIVE WORK AND/OR REPLACEMENT SHALL BE PERFORMED AT NO ADDITIONAL COST TO M-NCPPC.
- 15. LOCATION FOR STABILIZED CONSTRUCTION ENTRANCE, STAGING AND STORAGE AREAS AND ACCESS ROUTES SHALL BE IDENTIFIED AND ADJUSTED IN THE FIELD WITH APPROVAL FROM THE M-NCPPC CONSTRUCTION MANAGER.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING ALL UTILITIES, INCLUDING CALLING "MISS UTILITY" AND ALL OTHER PRIVATE UTILITY LOCATING SERVICES FOR UTILITY LOCATION AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK. ALL THE EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. PRIOR TO THE START OF CONSTRUCTION RELATED ACTIVITY, ALL UTILITIES WITHIN THE LOD OR TREE PLANTING AREAS SHALL BE LOCATED AND IDENTIFIED UTILIZING APPROPRIATED INSTRUMENTS. THE LOCATIONS SHALL BE STAKED AND FLAGGED.
- 17. THE CONTRACTOR SHALL NOTIFY THE M-NCPPC CONSTRUCTION MANAGER IMMEDIATELY IF EXISTING UTILITIES ARE FOUND WITHIN THE WORK AREA THAT ARE NOT SHOWN ON THE DRAWINGS AND IMPACT THE CONTRACT WORK.
- 18. EXISTING SIGNS, FENCES, AND OTHER MINOR SITE FEATURES IN THE WAY OF PROPOSED CONSTRUCTION, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO M-NCPPC.
- 19. DAMAGES TO EXISTING UTILITIES SHALL BE CORRECTED IMMEDIATELY IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFFECTED UTILITY. UPON COMPLETION OF THE CORRECTIVE ACTION A COPY OF THE APPROVAL DOCUMENTATION FROM THE UTILITY SHALL BE SUBMITTED TO THE M-NCPPC CONSTRUCTION MANAGER. REPAIR WORK WILL BE AT NO COST TO M-NCPPC. NO WORK SHALL BE PERFORMED OUTSIDE OF THE LOD WITHOUT PRIOR APPROVAL OF THE M-NCPPC CONSTRUCTION MANAGER. AREAS DISTURBED OUTSIDE APPROVED LOD SHALL BE RESTORED IMMEDIATELY TO THE SATISFACTION OF M-NCPPC CONSTRUCTION MANAGER AT NO COST TO M-NCPPC.
- 20. UNLESS OTHERWISE NOTED, THE PARK FACILITIES SHALL REMAIN OPEN THROUGHOUT CONSTRUCTION FOR USE BY PARKS STAFF AND THE PUBLIC. SAFE ACCESS FOR ALL USERS SHALL BE PROVIDED WITH APPROPRIATE DETOURS, FENCING, TEMPORARY FACILITIES, SIGNAGE, ETC. AND SHALL BE APPROVED BY M-NCPPC CONSTRUCTION MANAGER.
- 21. IF THE CONTRACTOR FINDS THAT CONFLICTS EXIST AMONG VARIOUS CONTRACT/PERMIT REQUIREMENTS, THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
- 22. ONLY APPROVED PLANS THAT HAVE BEEN SIGNED BY THE APPROPRIATE AUTHORITIES SHALL BE USED FOR THE CONSTRUCTION OF THE IMPROVEMENTS.
- 23. PRIOR TO VEGETATIVE STABILIZATION, ALL DISTURBED AREAS MUST BE TOPSOILED PER THE MONTGOMERY COUNTY "STANDARDS AND SPECIFICATIONS FOR TOPSOIL". IF ON-SITE MATERIALS DO NOT MEET REQUIREMENTS OF TOPSOIL, COORDINATE WITH M-NCPPC REGARDING TILLING-IN OF CERTIFIED COMPOST TO ON-SITE SOILS TO MEET SPECIFICATIONS. IF THERE IS A CONFLICT BETWEEN MONTGOMERY COUNTY AND M-NCPPC SPECIFICATIONS, THE STRICTER SPECIFICATION WILL BE USED.
- 24. METAL LANDSCAPE STAPLES ARE NOT ALLOWED TO BE USED FOR ANCHORING ANYTHING ON PARK PROPERTY. ALSO, EROSION CONTROL MATTING WITH PLASTIC NON-BIODEGRADABLE FIBERS OR FILAMENTS IN THEM WILL NOT BE ALLOWED ON PARK PROPERTY.
- 25. PAVEMENT REMOVAL SHALL INCLUDE REMOVAL OF GRAVEL SUBBASE AND SCARIFICATION OF SUBGRADE, UNLESS OTHERWISE DIRECTED BY M-NCPPC CONSTRUCTION MANAGER.
- 26. TOPOGRAPHY SURVEY WAS PROVIDED BY MONTGOMERY COUNTY DEPARTMENT OF PARKS AND THE PURPLE LINE DESIGN CONSULTANT AND SUPPLEMENTED WITH MONTGOMERY COUNTY GIS INFORMATION. NO BOUNDARY SURVEY WAS PERFORMED.
- 27. THIS SITE IS LOCATED WITHIN THE ROCK CREEK WATERSHED OF MONTGOMERY COUNTY. RUNOFF FROM THIS SITE DRAINS INTO BETHESDA MAINSTEM, WHICH DRAINS INTO LOWER ROCK CREEK, WHICH FLOWS INTO ROCK CREEK AND EVENTUALLY INTO THE POTOMAC RIVER. THE CONTRACTOR SHALL TAKE PRECAUTIONS NOT TO CONTAMINATE THE RECEIVING WATERS.

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ELEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA), THE ABA ACCESSIBILITY GUIDELINES FOR OUTDOOR DEVELOPED AREAS (WHERE NOTED IN CONTRACT DOCUMENTS), AND THE 2019 M-NCPPC ADA COMPLIANCE MANUAL. IF THE CONTRACTOR OBSERVES OR HAS CONCERNS THAT PORTIONS OF THE PROJECT ARE NON-COMPLIANT WITH ADA, THEY SHALL NOTIFY THE M-NCPPC CONSTRUCTION MANAGER IMMEDIATELY SO THAT A FIELD ADJUSTMENT CAN BE MADE TO ENSURE COMPLIANCE. FINAL GRADES SHALL BE MEASURED WITH A 2-FOOT DIGITAL LEVEL.
- 2. VERIFY ALL EXISTING AND PROPOSED GRADES PRIOR TO FINAL CONSTRUCTION. CONTRACTOR SHALL STAKE OUT OR FORM GRADES IN THE FIELD FOR REVIEW BY M-NCPPC CONSTRUCTION MANAGER PRIOR TO FINAL COMPENSATION.
- 3. PROPOSED GRADING SHALL MEET EXISTING GRADE UNIFORMLY TO ENSURE A SMOOTH TRANSITION. NOTIFY M-NCPPC CONSTRUCTION MANAGER IMMEDIATELY IF THERE ARE ANY EDGE CONDITION THAT CREATES AREAS WITHOUT POSITIVE DRAINAGE AND/OR CHANGES IN LEVEL.
- 4. ALL LONGITUDINAL SLOPES ALONG THE WALKS SHALL BE NO STEEPER THAN 4.5% WITHOUT RAILING AND 7.8% WITH RAILING. THE CROSS-SLOPE SHALL BE MINIMUM 1% AND MAXIMUM 1.5% OR AS NOTED ON THE DRAWINGS. ALL LANDING AND TRANSITION AREAS SHALL BE LESS THAN 1.5% IN ALL DIRECTIONS. THESE LIMITS PROVIDE A 0.5% MARGIN FROM THE DEPARTMENT OF JUSTICE (DOJ) ADA REQUIREMENTS TO ALLOW FOR CONSTRUCTION TOLERANCES.
- 5. ANY HARDCAPE, LANDINGS, ACCESSIBLE PARKING SPACES, COURTS, SHELTERS, GATHERING AREAS, GRILL PADS, AND OTHER APPLICABLE FEATURES THAT ARE BUILT WITHOUT COMPLYING WITH THE ABOVE CODE MUST BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO M-NCPPC.

FINAL SCANNED:

PLAN SCANNED:

PARK CODE: TBD

Plotted By: Matt Edelman, 8/22/2023 5:06 PM, \_MCS-full.cb

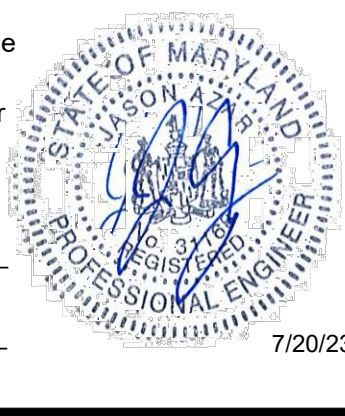
LYTTONSVILLE PARK FACILITY Plan\CD\DWG\C-005 - GENERAL NOTES.dwg C-005 J:\05.046 - Lyttonsville Park Facility Plan\CD\DWG\C-005 - GENERAL NOTES.dwg C-005

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

CLARK | AZAR & ASSOCIATES  
20440 Century Blvd, Suite 220  
Germantown, MD, 20874  
(301) 528-2010  
www.clarkazar.com  
A Woman Owned Small Business

DESIGN		
JON MALLORY Landscape Designer	23.07.13 Date	DAVID MITCHELL Checked By:
Architect	Date	Checked By:
JASON AZAR, P.E.	23.07.20 Date	DANA CLARK Checked By:
Engineer	Date	Checked By:
MATT EDELMAN, E.I.T.	23.07.20 Date	JASON AZAR Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 31168  
Expiration Date 01/12/2025



The Maryland-National Capital Park and Planning Commission  
Montgomery County Department of Parks  
2425 Reddie Drive, 11th Floor  
Wheaton, Maryland 20902  
(301) 495-2595

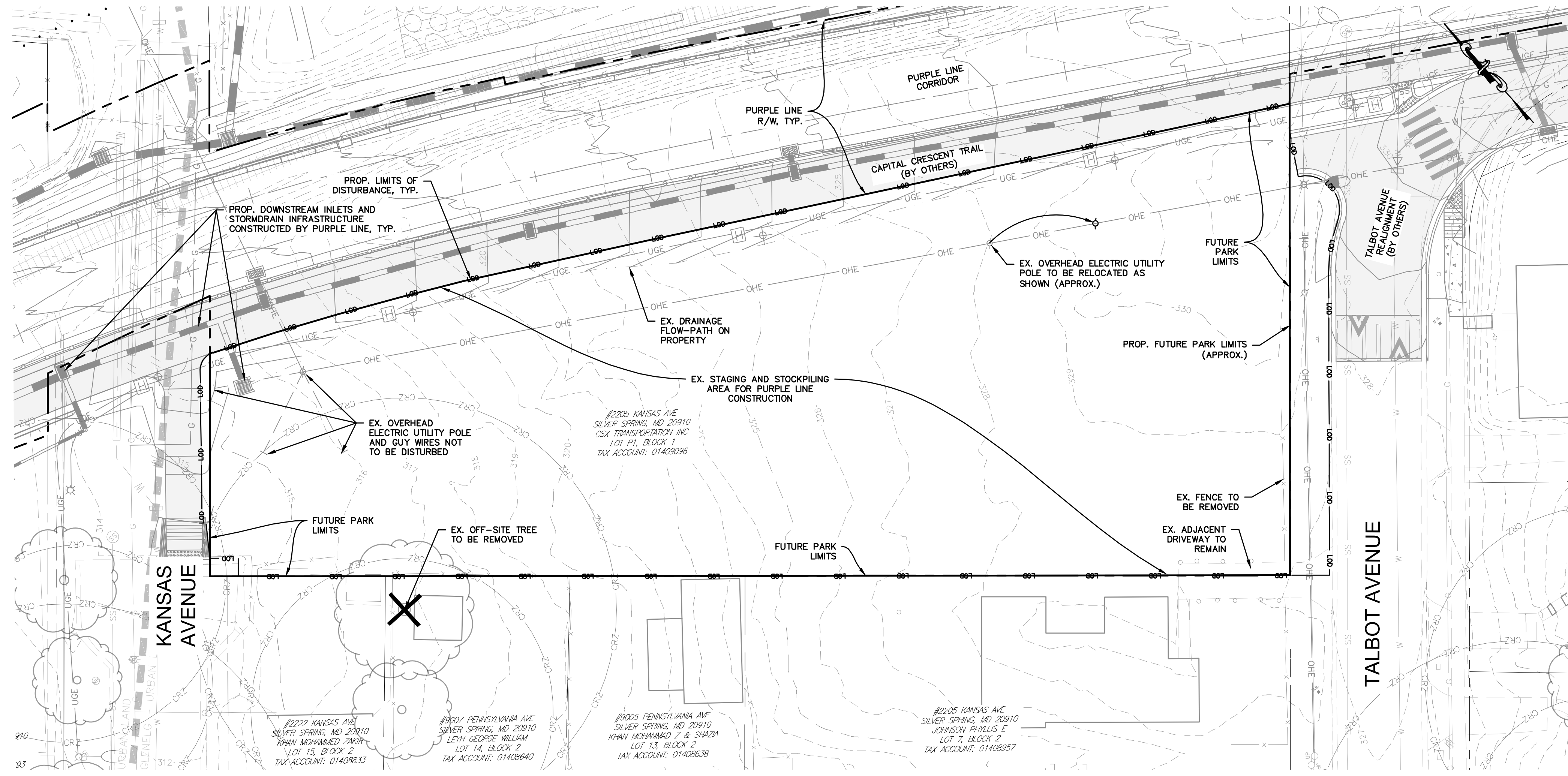
REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON _____	
REVISIONS			
Rev. No.	Date	Description	
1	23.08.18	35% Construction Documents	

Lyttonsville Area Future Neighborhood Park  
2205 Kansas Avenue, Silver Spring, Maryland 20910  
**GENERAL NOTES AND APPROVALS**  
SCALE: AS SHOWN  
SUBDIVISION: TBD  
PARCEL: TBD; LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

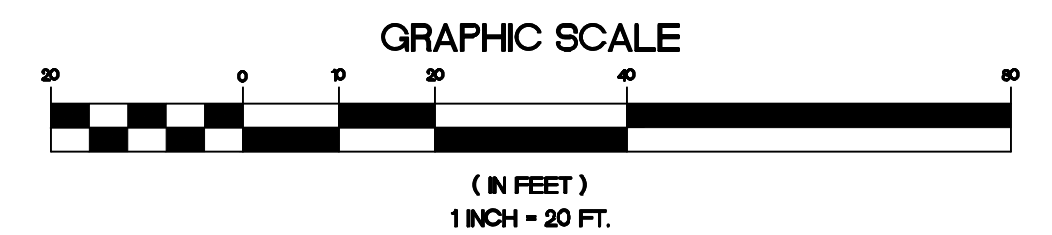
DWG. #  
**C-005**  
SHT. # \_\_\_ of \_\_\_

DEMOLITION LEGEND	
---	PROPOSED LIMITS OF DISTURBANCE
X	EXISTING TREE TO BE REMOVED

- GENERAL NOTES**
- EX. TOPOGRAPHIC SURVEY INFORMATION SHOWN AS APPROXIMATE AND PER PURPLE LINE CONSULTANT DESIGN FILES TRANSMITTED TO PARKS. ALL INFORMATION MUST BE FIELD VERIFIED. NO BOUNDARY SURVEY PROVIDED. ALL PROPERTY INFORMATION SHOWN AS APPROXIMATE.
  - ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE OF PROJECT LIMITS OF DISTURBANCE TO BE CONSTRUCTED BY PURPLE LINE AND ARE FOR INFORMATIONAL PURPOSES ONLY.



**EXISTING CONDITIONS AND DEMOLITION PLAN**  
SCALE: 1" = 20'



CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

DESIGN		
JON MALLORY Landscape Designer	23.07.13 Date	DAVID MITCHELL Checked By:
Architect	Date	Checked By:
JASON AZAR, P.E. Engineer	23.07.20 Date	DANA CLARK Checked By:
MATT EDELMAN, E.I.T. Drawn by	23.07.20 Date	JASON AZAR Checked By:

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License No. 31168  
Expiration Date 01/12/2025

7/20/23

**The Maryland-National Capital Park and Planning Commission**

Montgomery County Department of Parks  
2425 Reddie Drive, 11<sup>th</sup> Floor  
Wheaton, Maryland 20902  
(301) 495-2595

REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON _____	
REVISIONS			
Rev. No.	Date	Description	
1	23.08.18	35% Construction Documents	

Lyttonsville Area Future Neighborhood Park  
2205 Kansas Avenue, Silver Spring, Maryland 20910

**EXISTING CONDITIONS AND DEMOLITION PLAN**

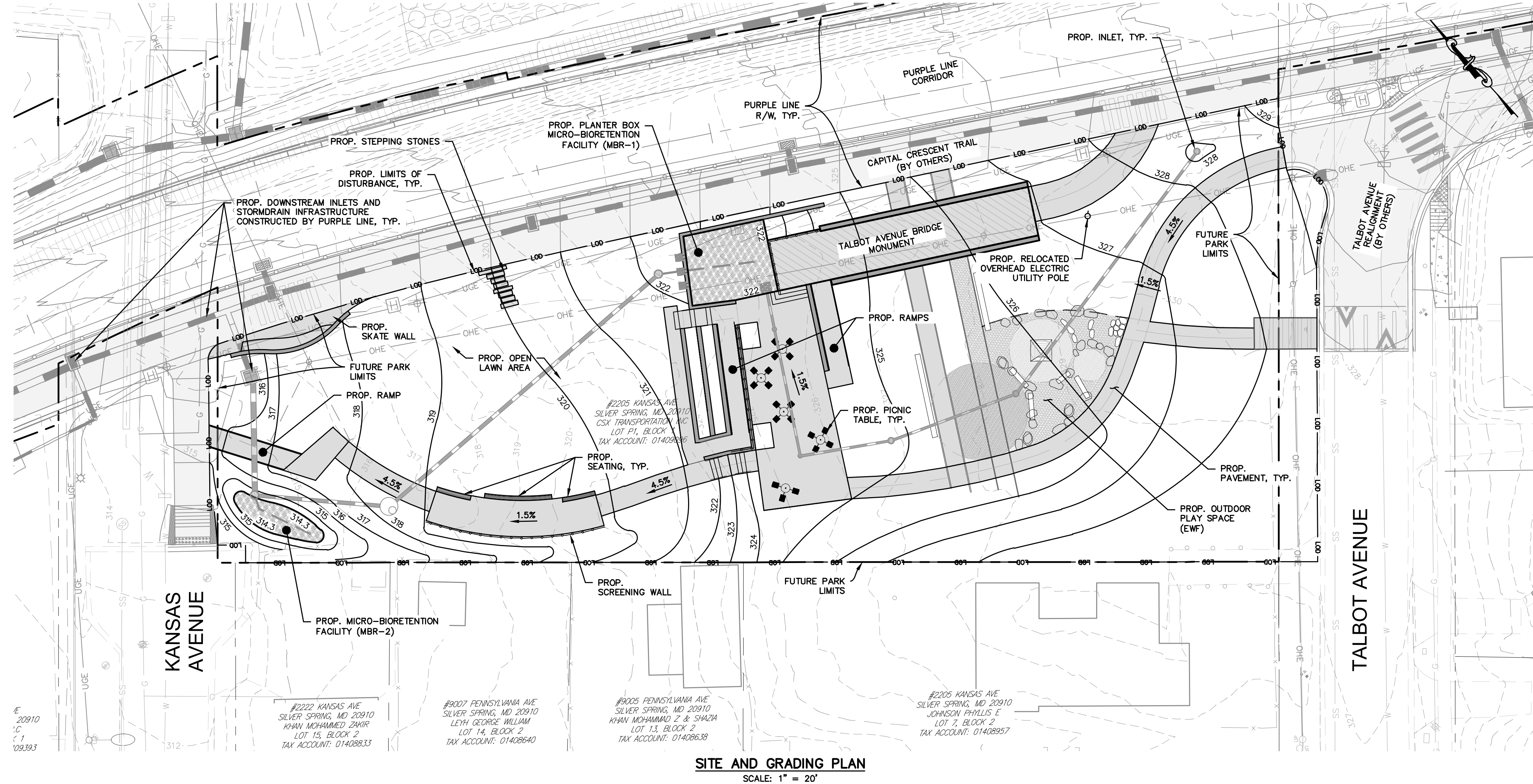
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SUBDIVISION: TBD  
PARCEL: TBD, LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

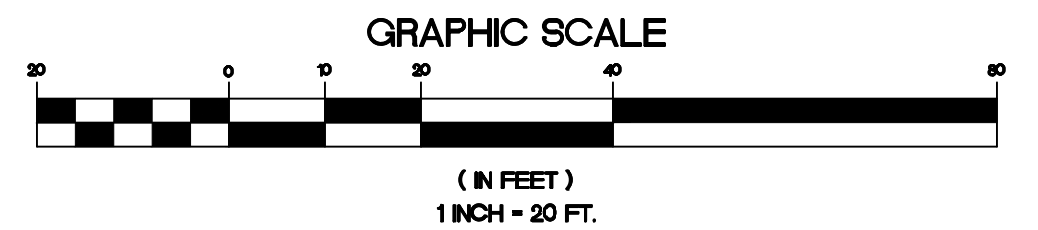
DWG. # **C-100**  
SHT. # \_\_\_ of \_\_\_

**SITE AND GRADING LEGEND**

	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED PAVEMENT
	PROPOSED PLAY SPACE (EWF)
	PROPOSED MICRO-BIORETENTION AREA
	PROPOSED BRIDGE MONUMENT



**SITE AND GRADING PLAN**  
SCALE: 1" = 20'



FINAL SCANNED:

PLAN SCANNED:

PARK CODE: TBD

Plotting By: Matt Edelman, 8/22/2023 5:07 PM, \_NCS-fujicb

J:\05.046 - Lyttonsville Park Facility Plan\CAD\DWG\C-200 - SITE AND GRADING PLAN.dwg C-200

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REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON _____		
REVISIONS		
Rev. No.	Date	Description
1	23.08.18	35% Construction Documents

Lyttonsville Area Future Neighborhood Park  
2205 Kansas Avenue, Silver Spring, Maryland 20910

**SITE AND GRADING PLAN**

SCALE: AS SHOWN

SUBDIVISION: TBD  
PARCEL: TBD; LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

DWG. # **C-200**  
SHT. # \_\_\_ of \_\_\_

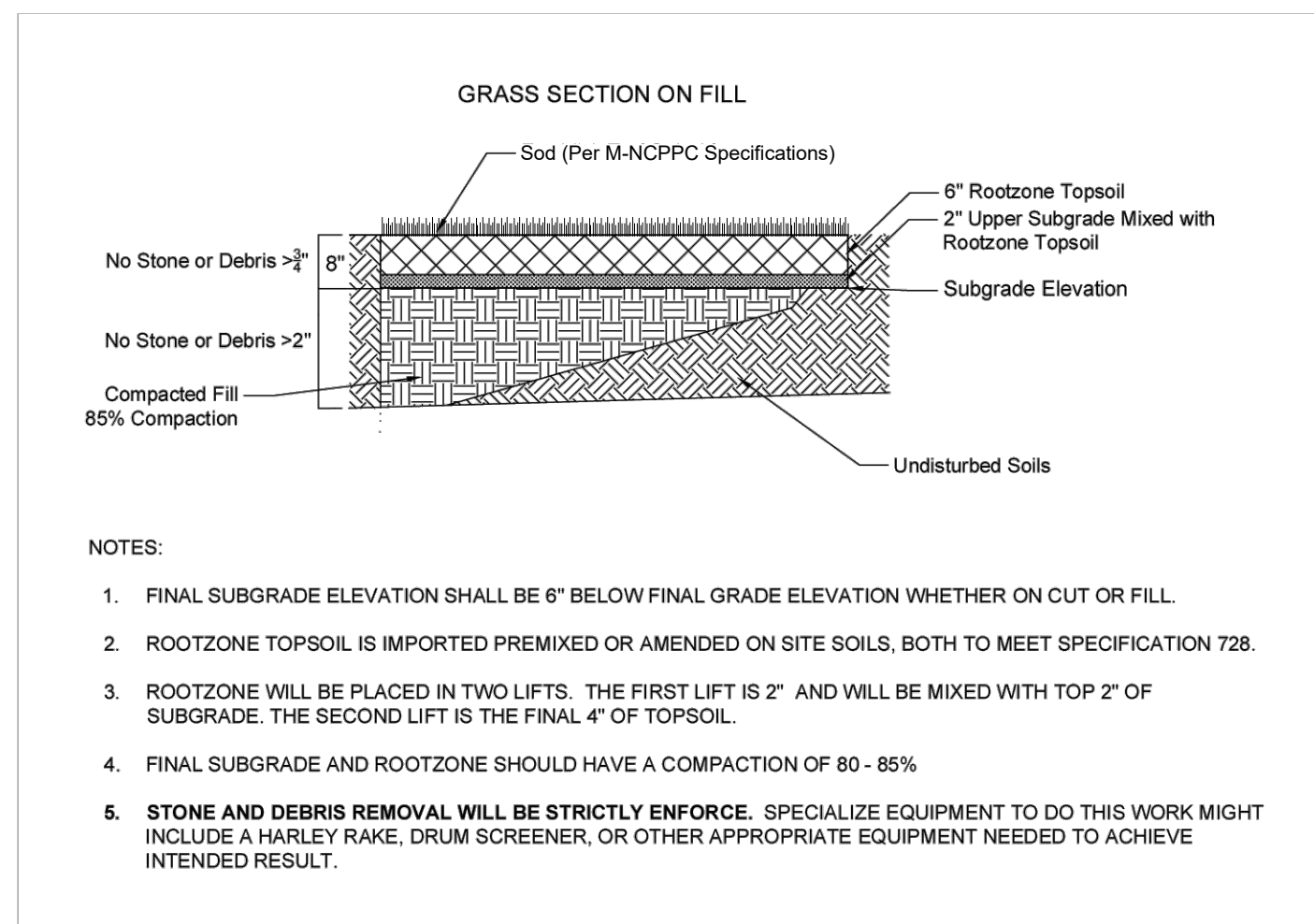
FINAL SCANNED:

PLAN SCANNED:

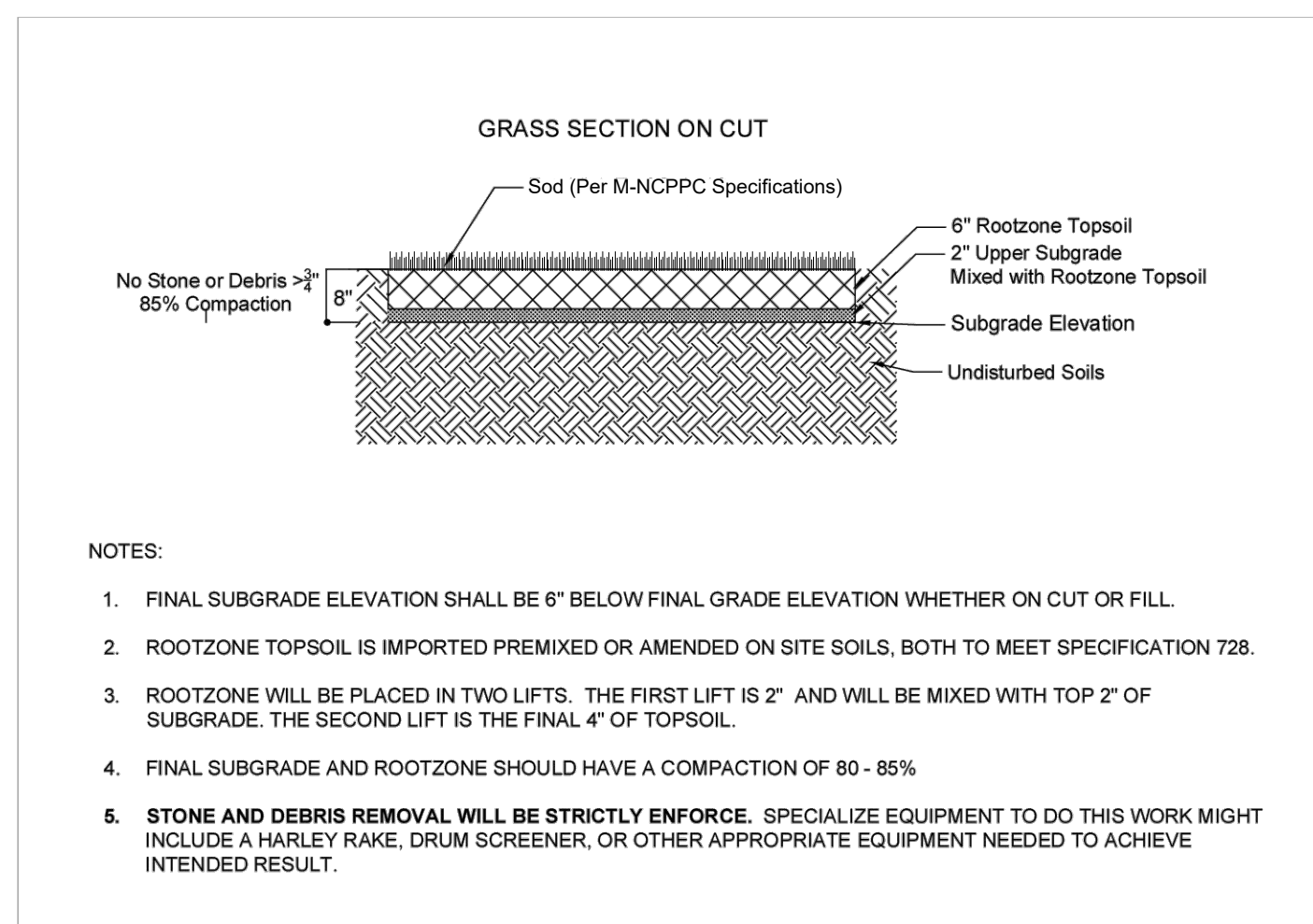
PARK CODE: TBD

Plotted By: Matt Edelman, 8/22/2023 5:07 PM, \_NCS-f-lic.cb

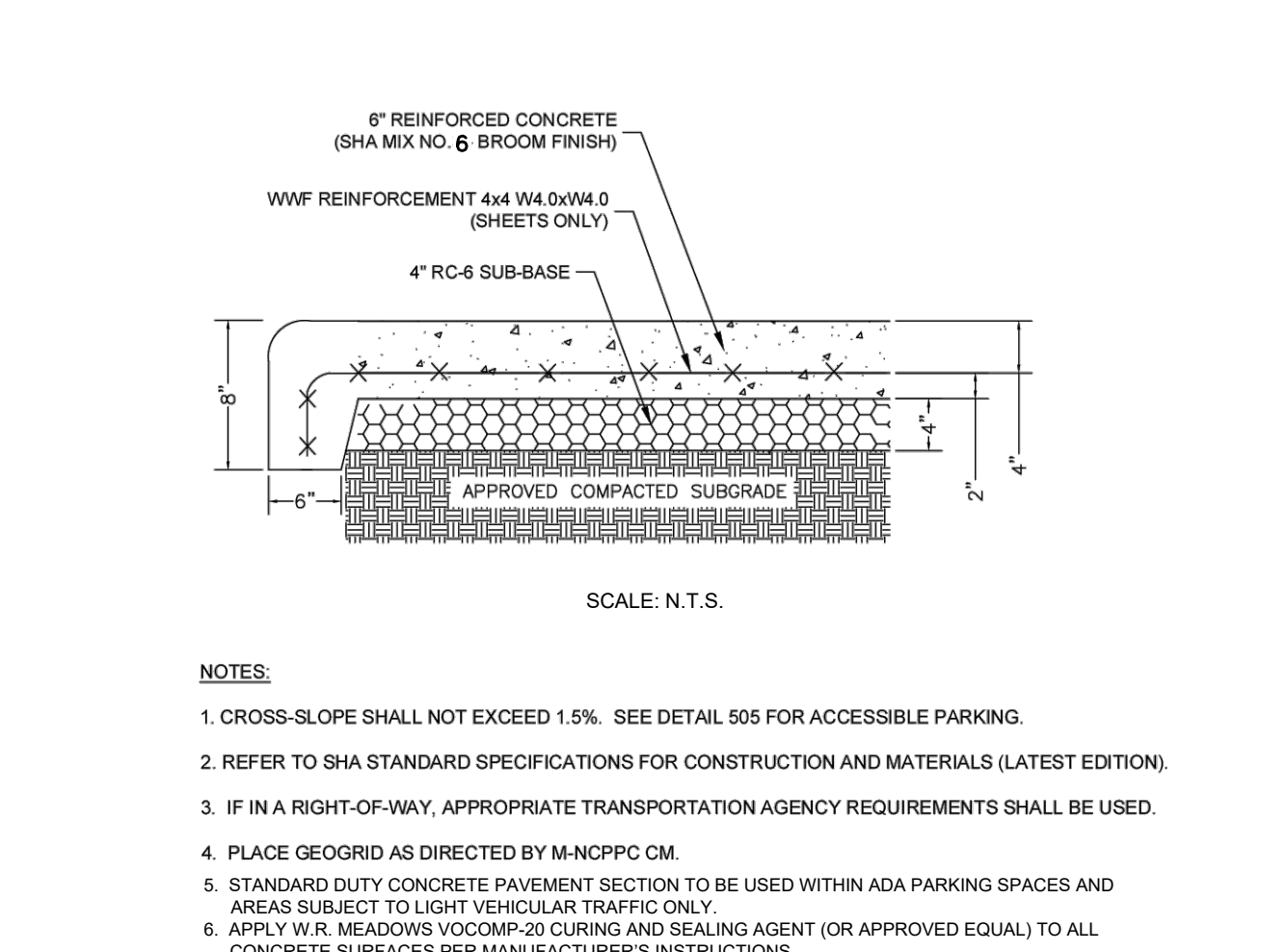
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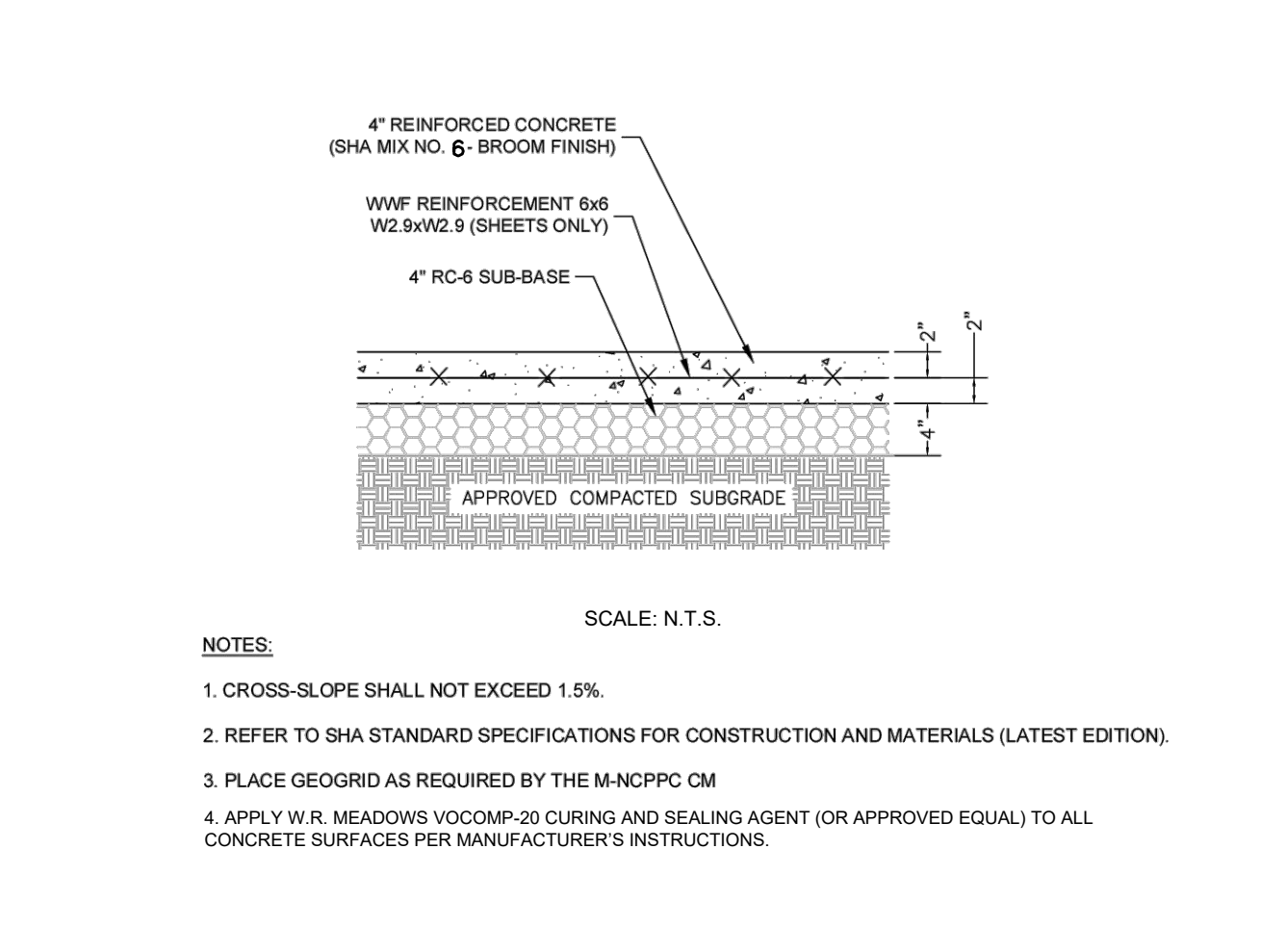
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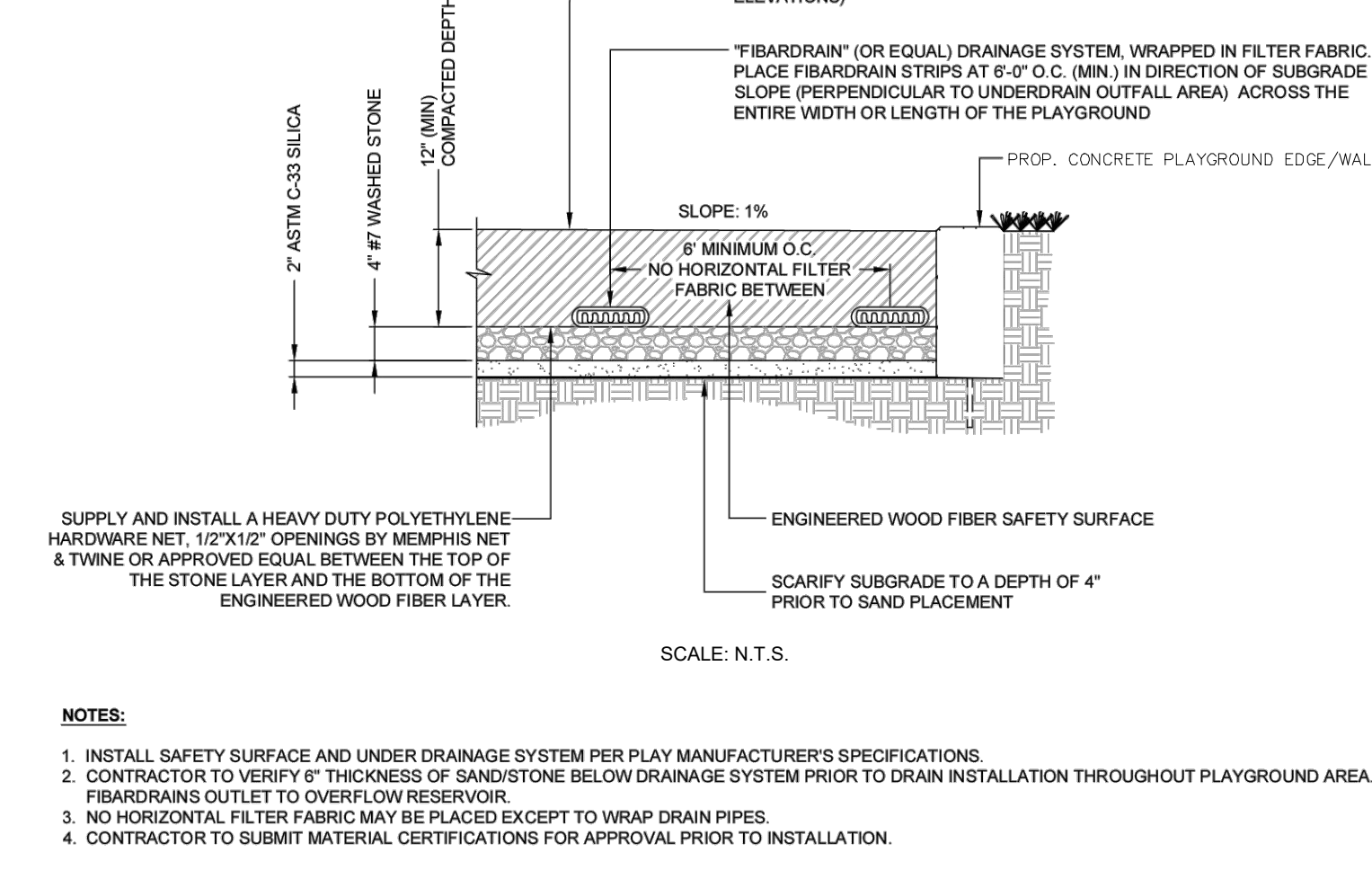
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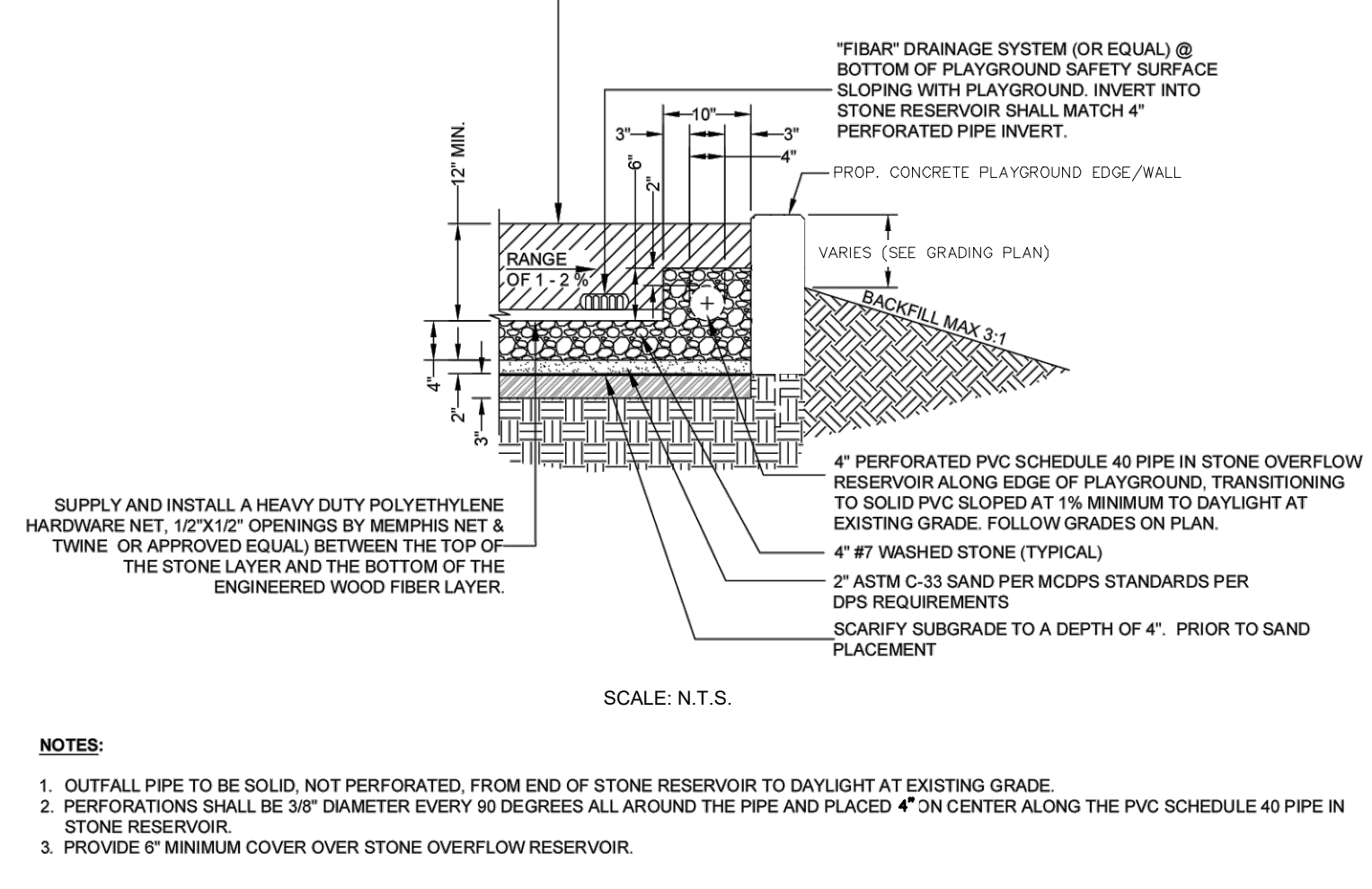
3 CONCRETE PAVEMENT - PARKING LOTS AND WALKWAYS WITH VEHICULAR USE JANUARY 2021



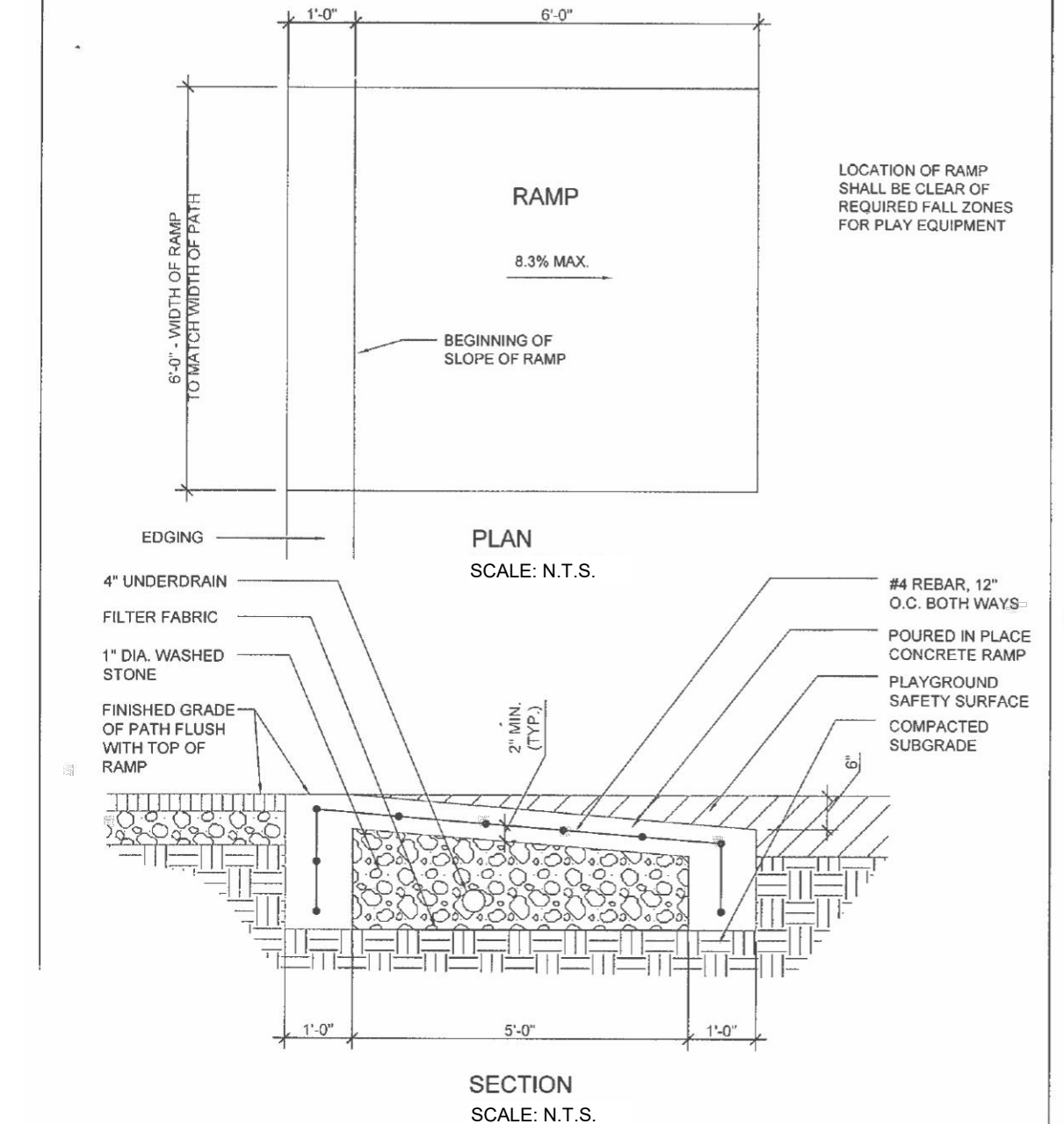
4 CONCRETE PAVEMENT - PEDESTRIAN WALKWAYS JANUARY 2021



5 SAFETY SURFACE (WOOD FIBER) SECTION JANUARY 2021



6 OVERFLOW SWM DRAIN FOR PLAYGROUND SECTION JANUARY 2021



7 SAFETY SURFACE (CONCRETE RAMP) SECTION N.T.S. Detail No. 18 AUGUST 2008

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<p><b>CLARK   AZAR &amp; ASSOCIATES</b> 20440 Century Blvd, Suite 220 Germantown, MD, 20874 (301) 528-2010 www.clarkazar.com A Woman Owned Small Business</p>		
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JON MALLORY Landscape Designer	23.07.13	DAVID MITCHELL
Architect	Date	Checked By:
JASON AZAR, P.E.	23.07.20	DANA CLARK
Engineer	Date	Checked By:
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Construction Manager	Date	Rev. No.	Date
Park Manager	Date	1	23.08.18
			35% Construction Documents

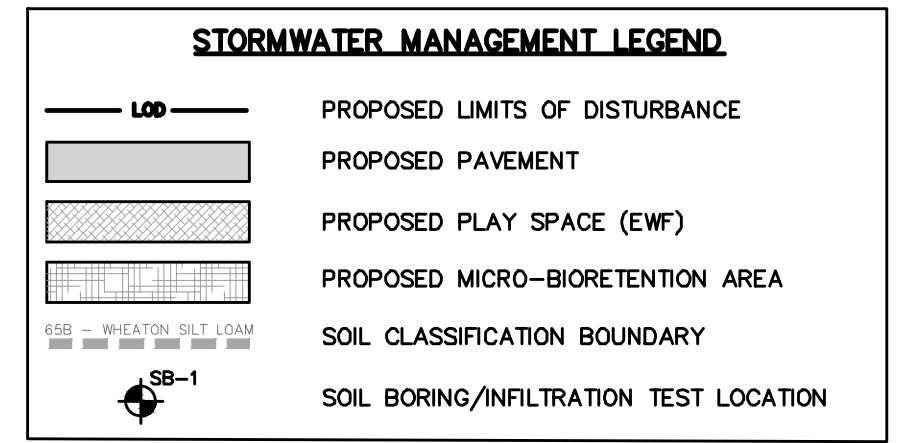
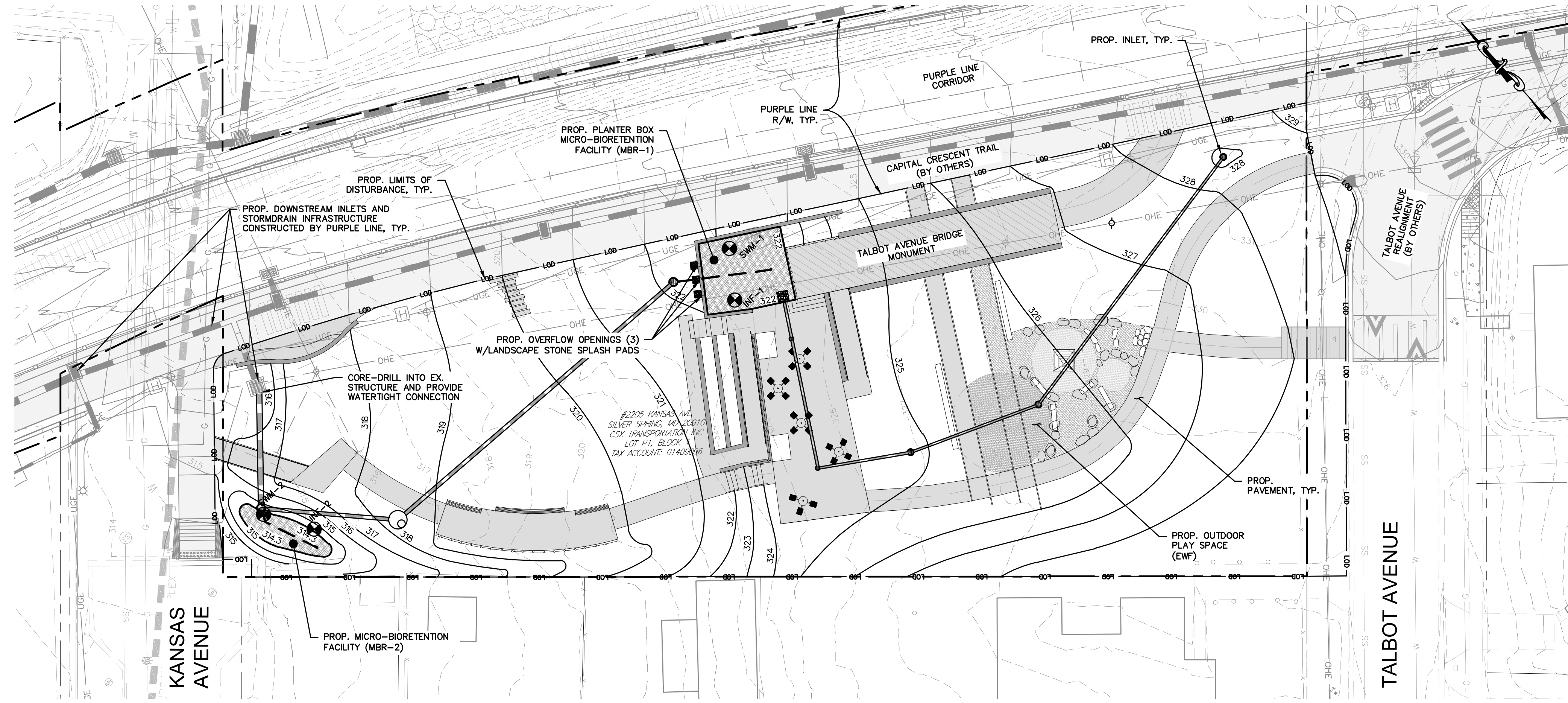
**Lyttonville Area Future Neighborhood Park**  
2205 Kansas Avenue, Silver Spring, Maryland 20910

**SITE DETAILS**

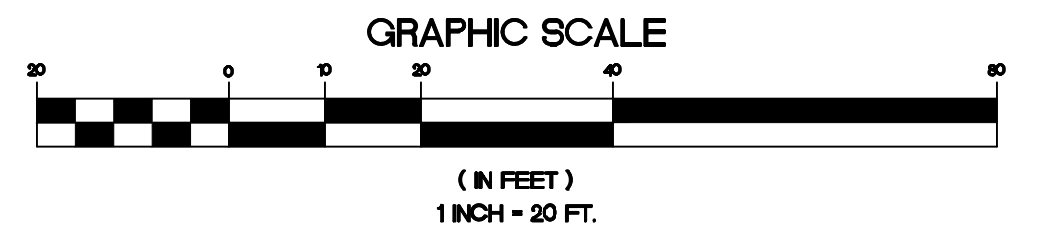
SCALE: AS SHOWN

SUBDIVISION: TBD  
PARCEL: TBD; LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

DWG. # **C-205**  
SHT. # \_\_\_ of \_\_\_



**STORMWATER MANAGEMENT PLAN**  
SCALE: 1" = 20'



ESC/SWM SHEET X OF X

FINAL SCANNED: PLAN SCANNED: TBD PARK CODE: TBD

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Construction Manager	Date		
Park Manager	Date		

Lyttonsville Area Future Neighborhood Park  
2205 Kansas Avenue, Silver Spring, Maryland 20910

**STORMWATER MANAGEMENT PLAN**

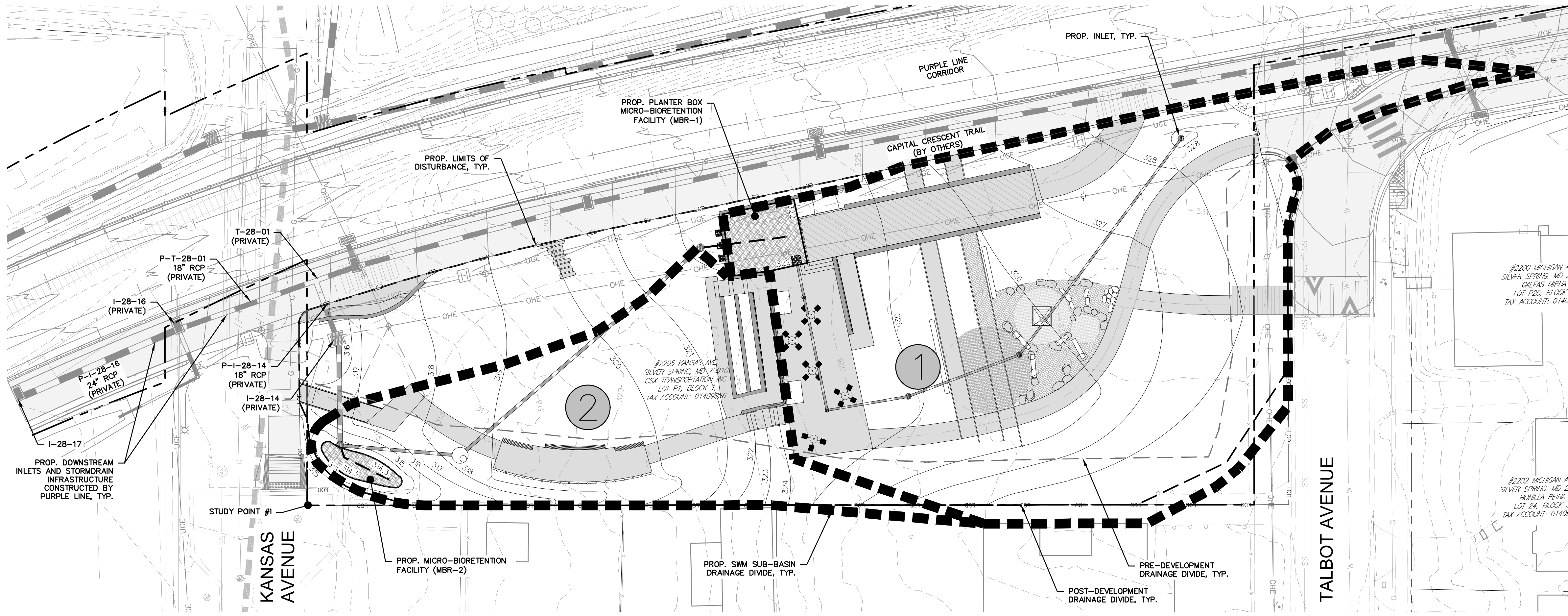
SCALE: AS SHOWN

SUBDIVISION: TBD  
PARCEL: TBD; LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

DWG. # **C-300**  
SHT. # \_\_\_ of \_\_\_

J:\05.046 - Lyttonsville Park Facility Plan\CAD\DWG\C-300 - STORMWATER MANAGEMENT PLAN.dwg C-300 Plotted By: Matt Edelman, 8/22/2023 5:07 PM \_NCS-vllj.ctb





POST-DEVELOPMENT DRAINAGE AREA MAP  
SCALE: 1" = 20'

**LEGEND**

	POST-DEVELOPMENT SWM DRAINAGE AREA
	PRE-DEVELOPMENT DRAINAGE DIVIDE
	POST-DEVELOPMENT DRAINAGE DIVIDE
	PROPOSED LIMITS OF DISTURBANCE

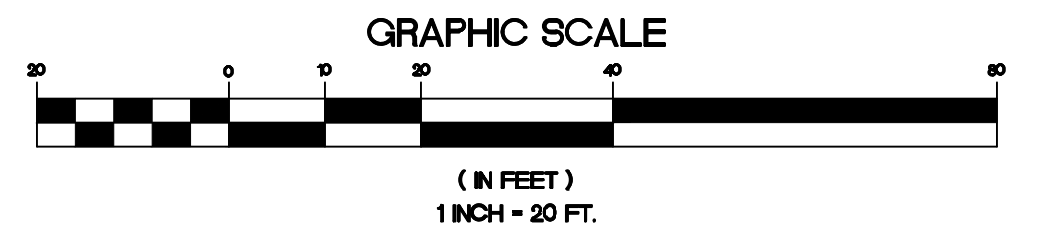
**LIMITS OF DISTURBANCE:**  
TOTAL AREA = 30,898 SF  
PERVIOUS AREA = 22,045 SF  
IMPERVIOUS AREA = 8,853 SF  
PERCENT IMPERVIOUS = 28.7%

**DRAINAGE AREA 1 (TO MBR-1):**  
TOTAL AREA = 19,447 SF  
PERVIOUS AREA = 12,071 SF  
IMPERVIOUS AREA = 7,376 SF  
PERCENT IMPERVIOUS = 37.9%

**DRAINAGE AREA 1 (TO MBR-2):**  
TOTAL AREA = 8,161 SF  
PERVIOUS AREA = 6,347 SF  
IMPERVIOUS AREA = 1,814 SF  
PERCENT IMPERVIOUS = 22.2%

DOWNSTREAM PIPE ID	STRUCTURE	PRE-DEVELOPMENT 10-YR FLOW (CFS)	POST-DEVELOPMENT 10-YR FLOW (CFS)	PIPE SIZE	PIPE CAPACITY (CFS)	EXCESS PIPE CAPACITY (CFS)
P-I-28-14	I-28-14	1.07	2.23	18"	7.43	5.20
P-T-28-01	T-28-01	6.87	8.03	18"	10.25	2.22
P-I-28-16	I-28-16	7.66	8.82	24"	16.33	7.51
	I-28-17	-	-	-	-	-

- NOTES:**
1. DOWNSTREAM ANALYSIS TO OFFSITE PRIVATE STORMDRAIN SYSTEM PERFORMED TO (3) STRUCTURES DOWNSTREAM OF ON-SITE CONNECTION.
  2. OFFSITE PRIVATE STORMDRAIN SYSTEM TO BE CONSTRUCTED BY THE PURPLE LINE.
  3. DOWNSTREAM PIPE FLOW INFORMATION PROVIDED BY THE PURPLE LINE FOR ANALYSIS OF ADEQUATE CAPACITY IN SYSTEM FOR POST-DEVELOPMENT FLOWS FROM PROPOSED PARK SITE DEVELOPMENT. PROPOSED DOWNSTREAM STORMDRAIN SYSTEM HAS ADEQUATE EXCESS CAPACITY TO ACCOMMODATE FUTURE PARK SITE DEVELOPMENT FLOWS.



ESC/SWM SHEET X OF X

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Lyttonsville Area Future Neighborhood Park  
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**DRAINAGE AREA MAP**

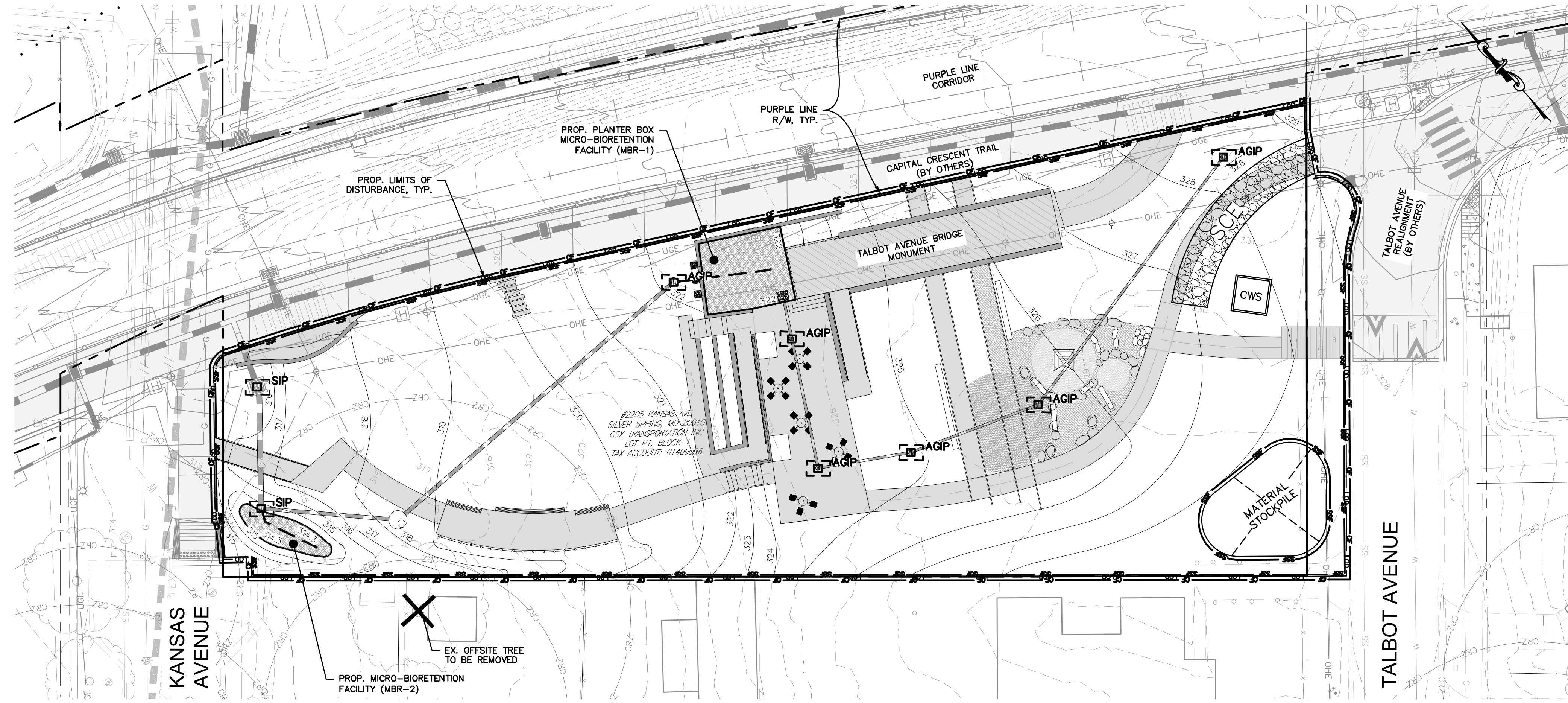
SCALE: AS SHOWN

SUBDIVISION: TBD  
PARCEL: TBD; LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

DWG. #  
**C-311**  
SHT. # \_\_\_ of \_\_\_

FINAL SCANNED: PLAN SCANNED: TBD PARK CODE: J:\105.046 - Lyttonsville Park Facility Plan\CAD\CAD\C-310 - STORMWATER MANAGEMENT DETAILS.dwg C-311 Plotted By: Matt Edelman, 9/22/2023 5:07 PM \_INC3-full.ctb



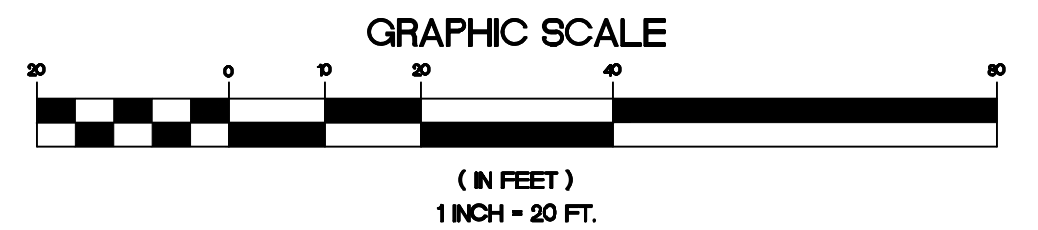


EROSION AND SEDIMENT CONTROL PLAN  
SCALE: 1" = 20'

**EROSION AND SEDIMENT CONTROL LEGEND**

	PROPOSED STANDARD INLET PROTECTION
	PROPOSED AT-GRADE INLET PROTECTION
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED CONCRETE WASHOUT STATION
	PROPOSED MATERIAL STOCKPILE AREA
	EXISTING TREE TO BE REMOVED
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED SUPER SILT FENCE
	PROPOSED CONSTRUCTION FENCE
	SOIL CLASSIFICATION BOUNDARY

- GENERAL NOTES:**
- ALL EROSION CONTROL MEASURES ARE SHOWN OFFSET FOR GRAPHICAL PURPOSES ONLY. THESE MEASURES SHOULD BE PLACED ALONG LOD.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION FENCING ALONG THE ENTIRE LIMITS OF DISTURBANCE OR CURRENT ACTIVE CONSTRUCTION WORK AREA THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL COORDINATE WITH PARKS TO DETERMINE EXACT LIMITS IN FIELD.



ESC/SWM SHEET X OF X

FINAL SCANNED: PLAN SCANNED: TBD PARK CODE: TBD

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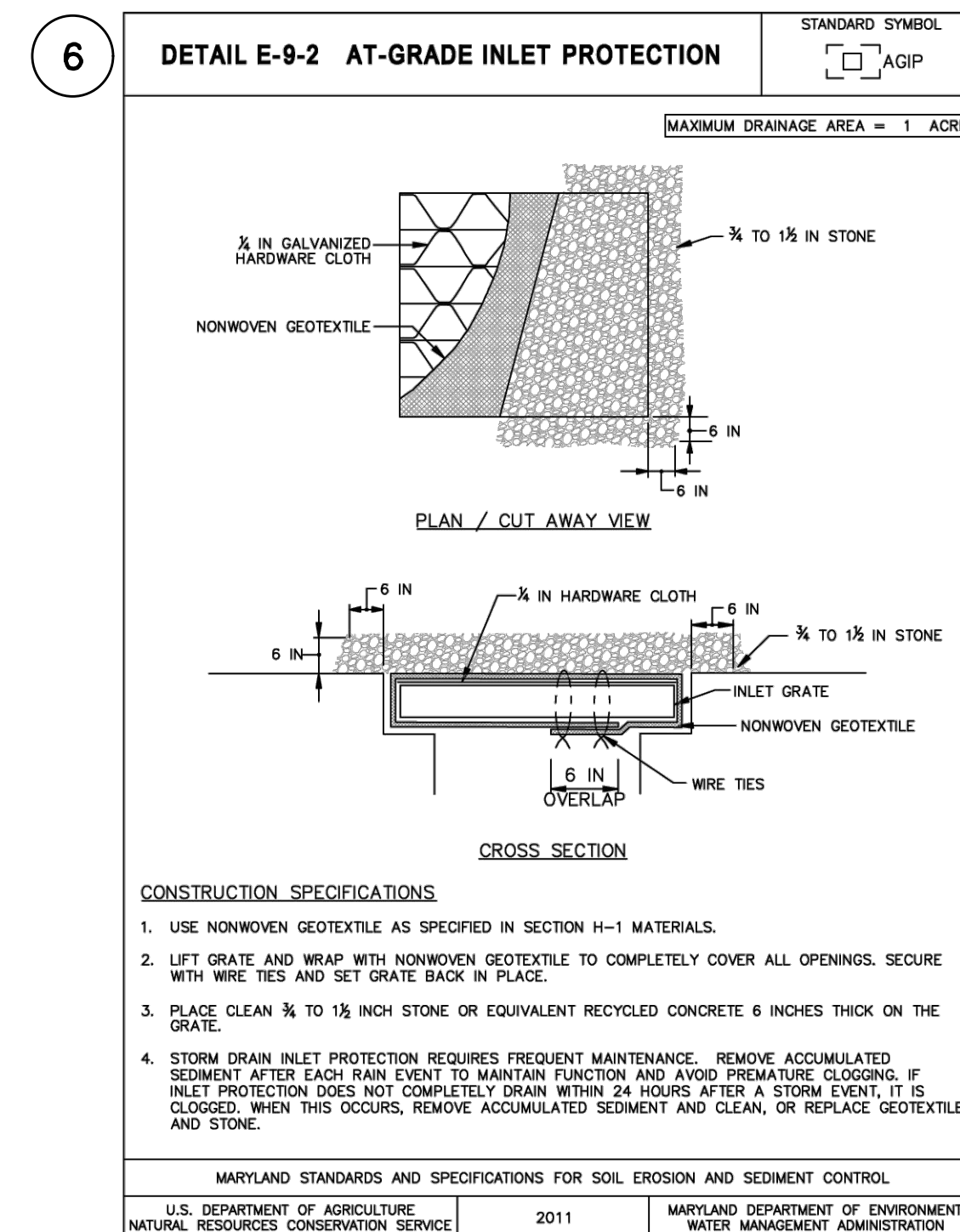
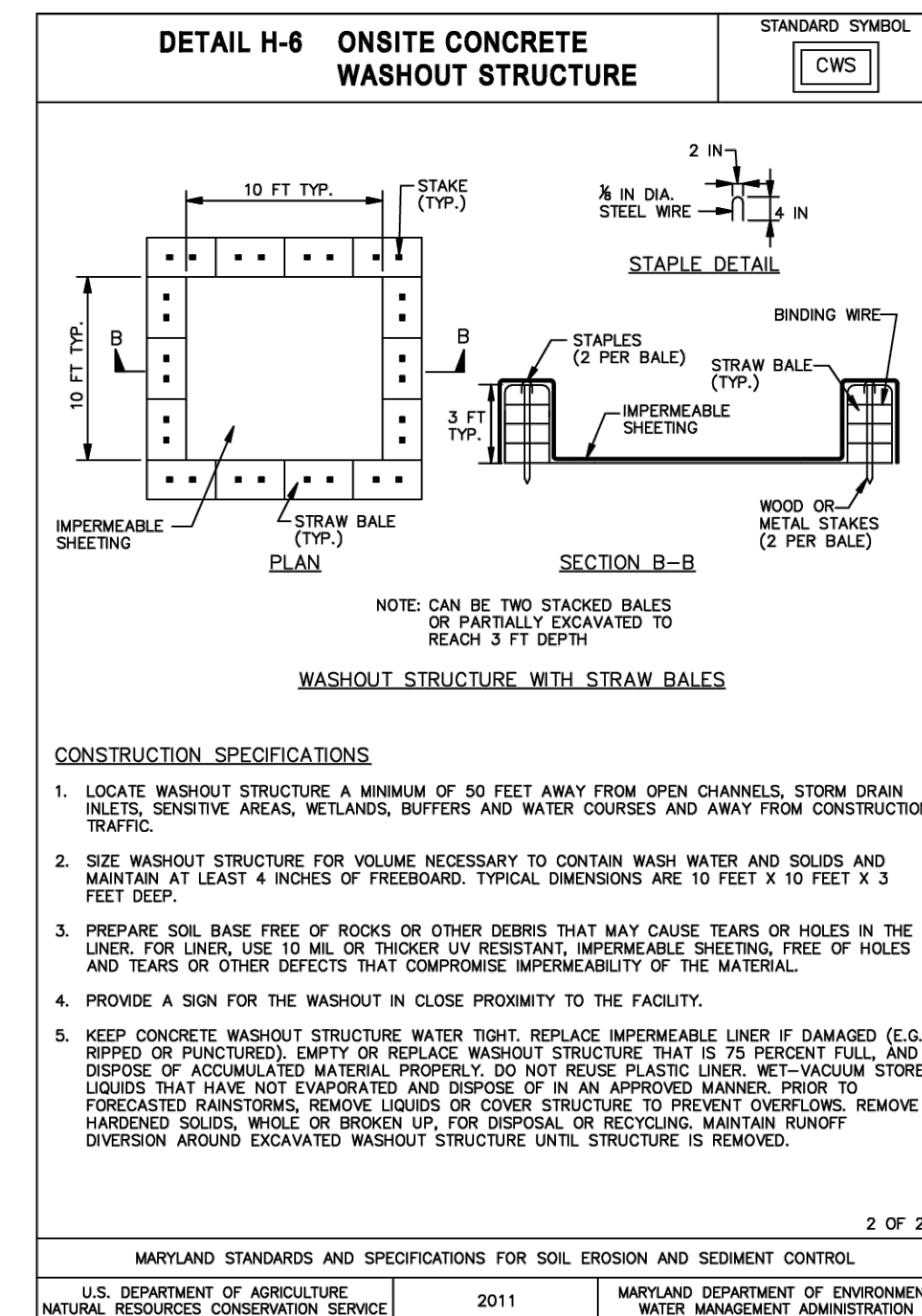
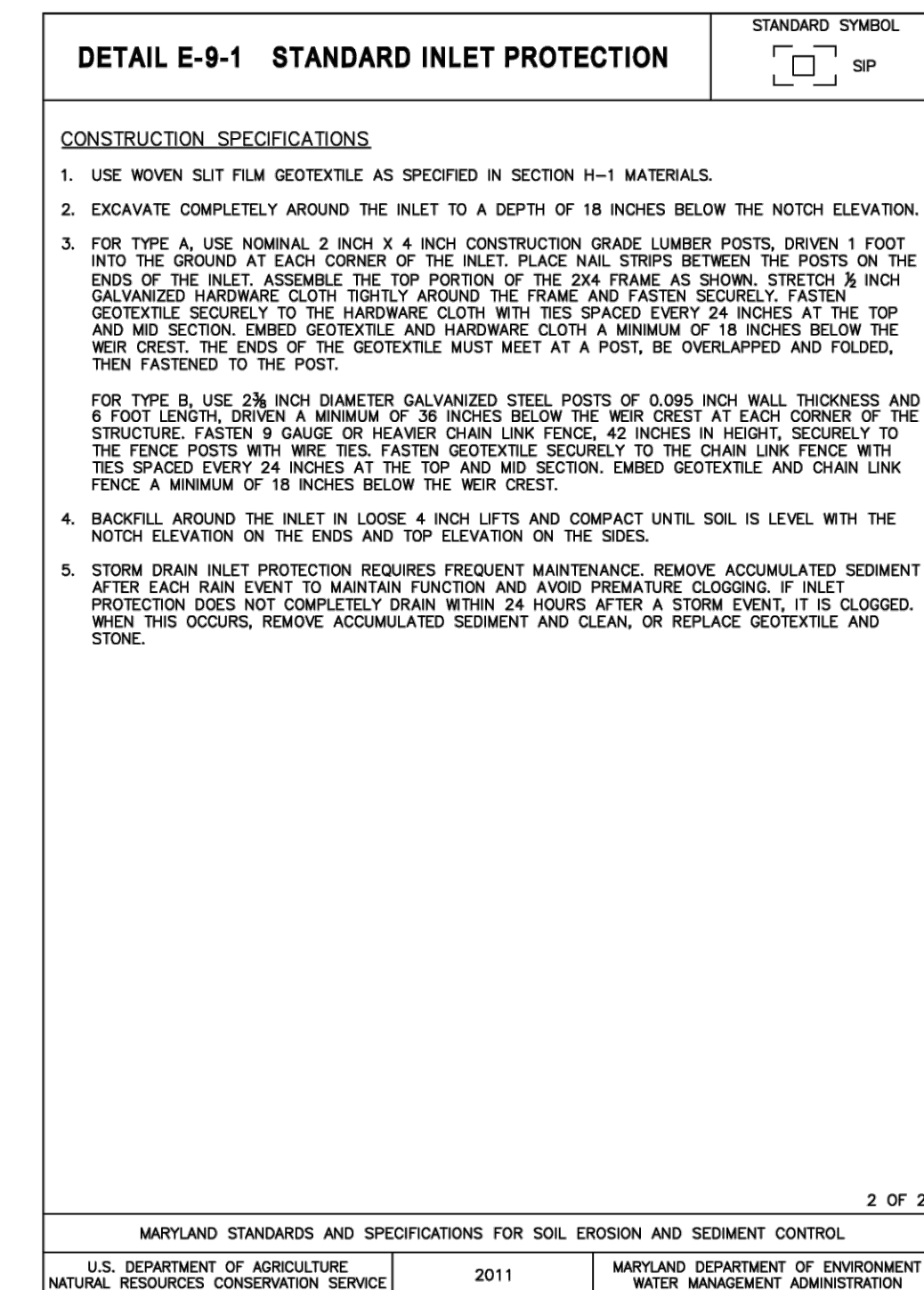
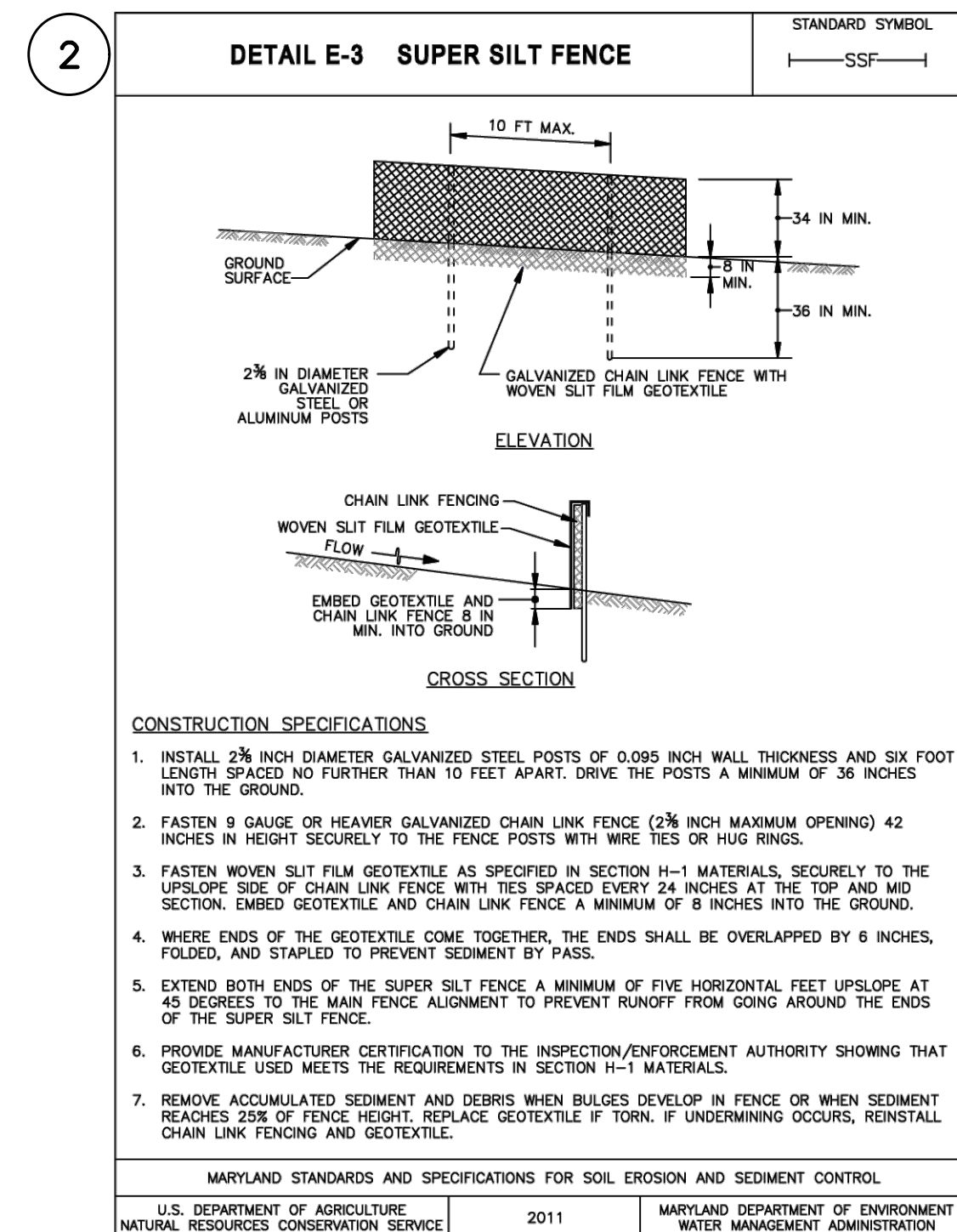
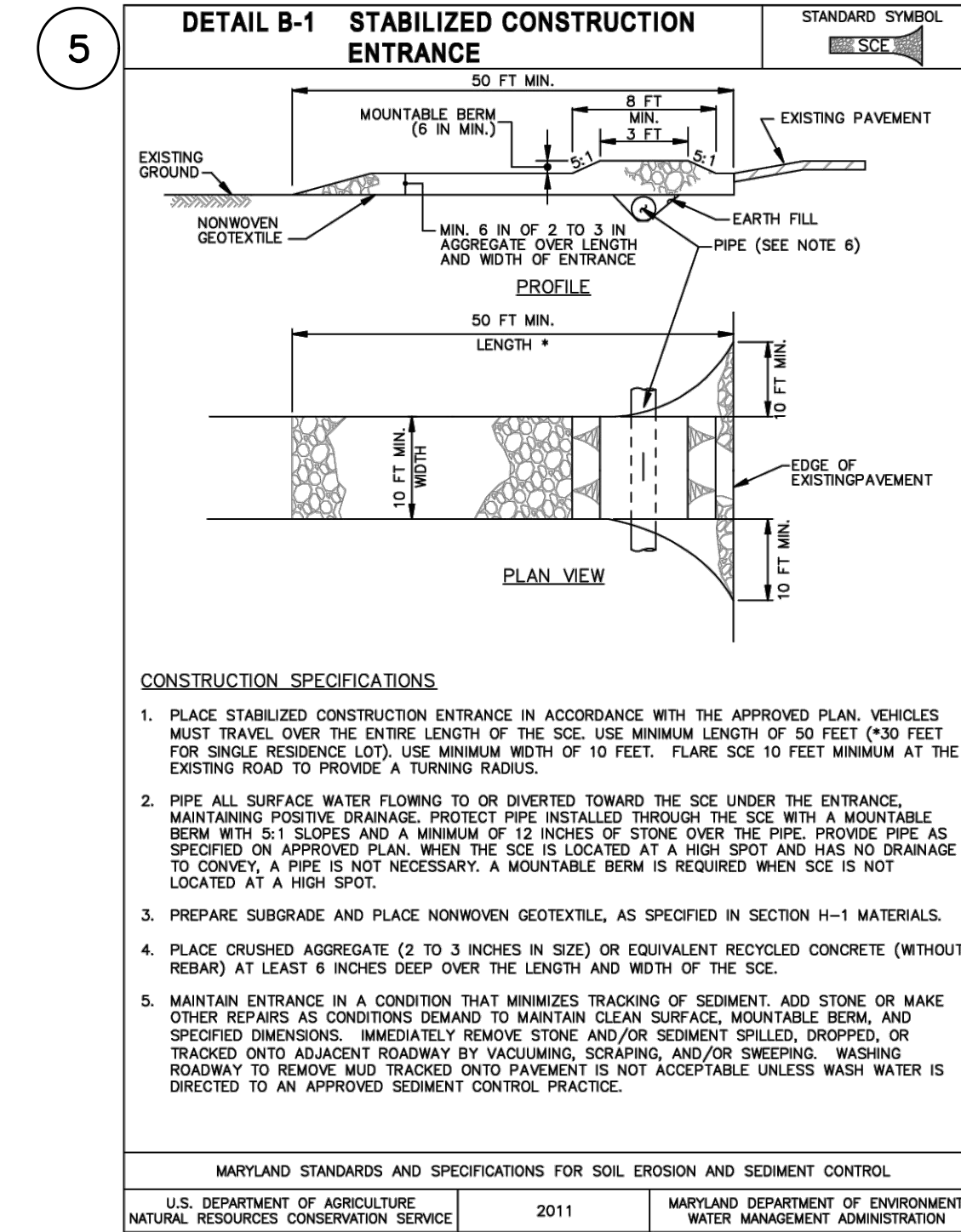
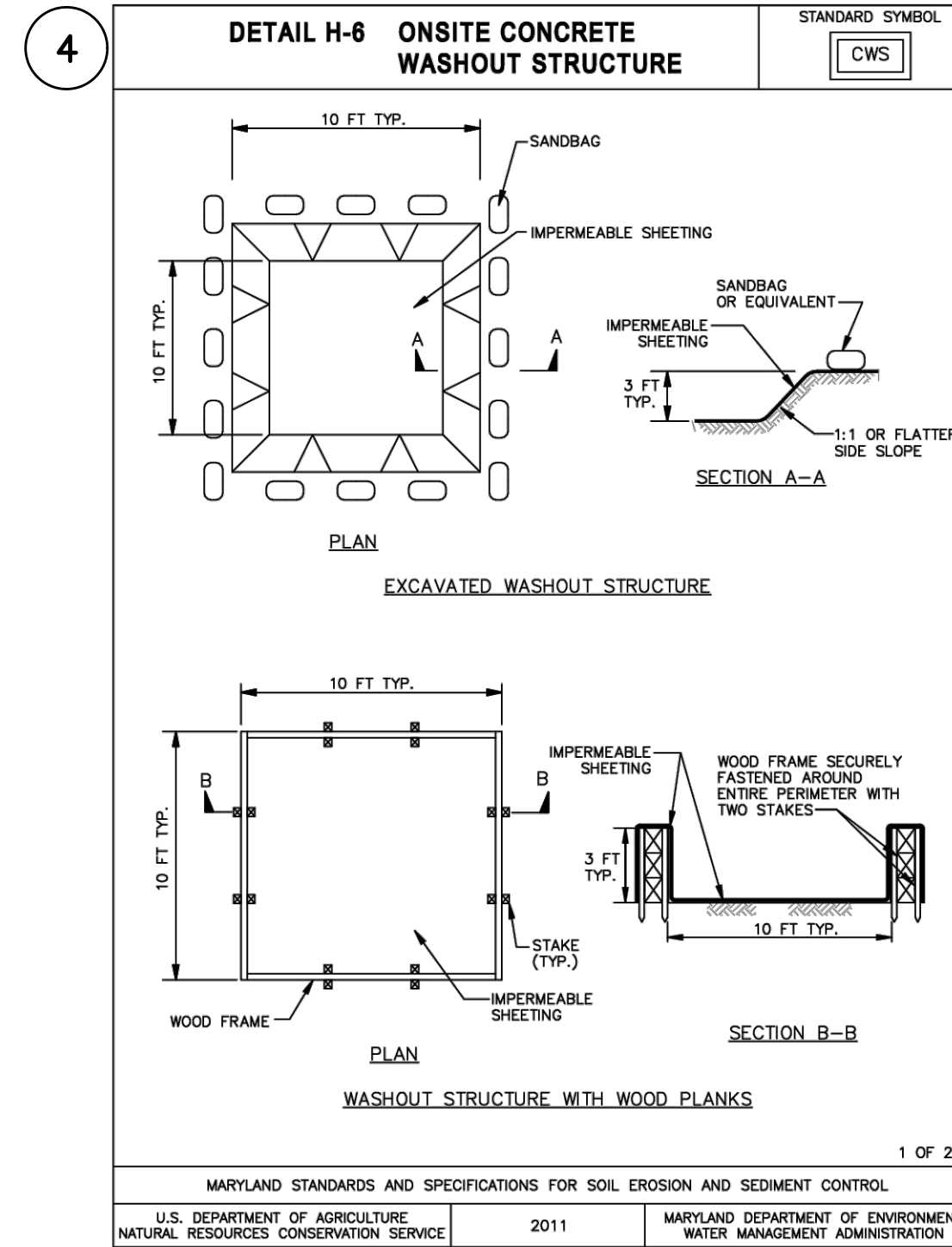
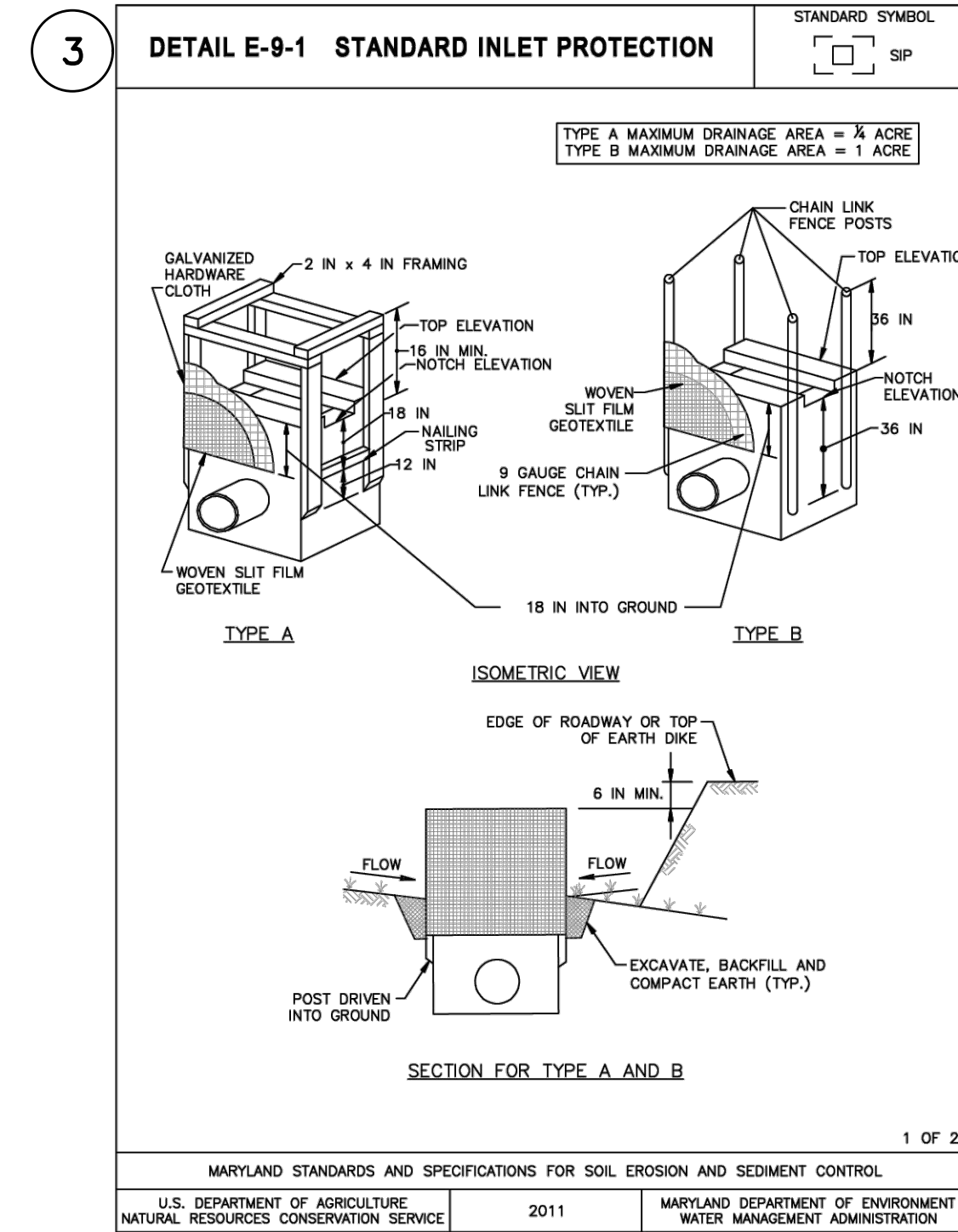
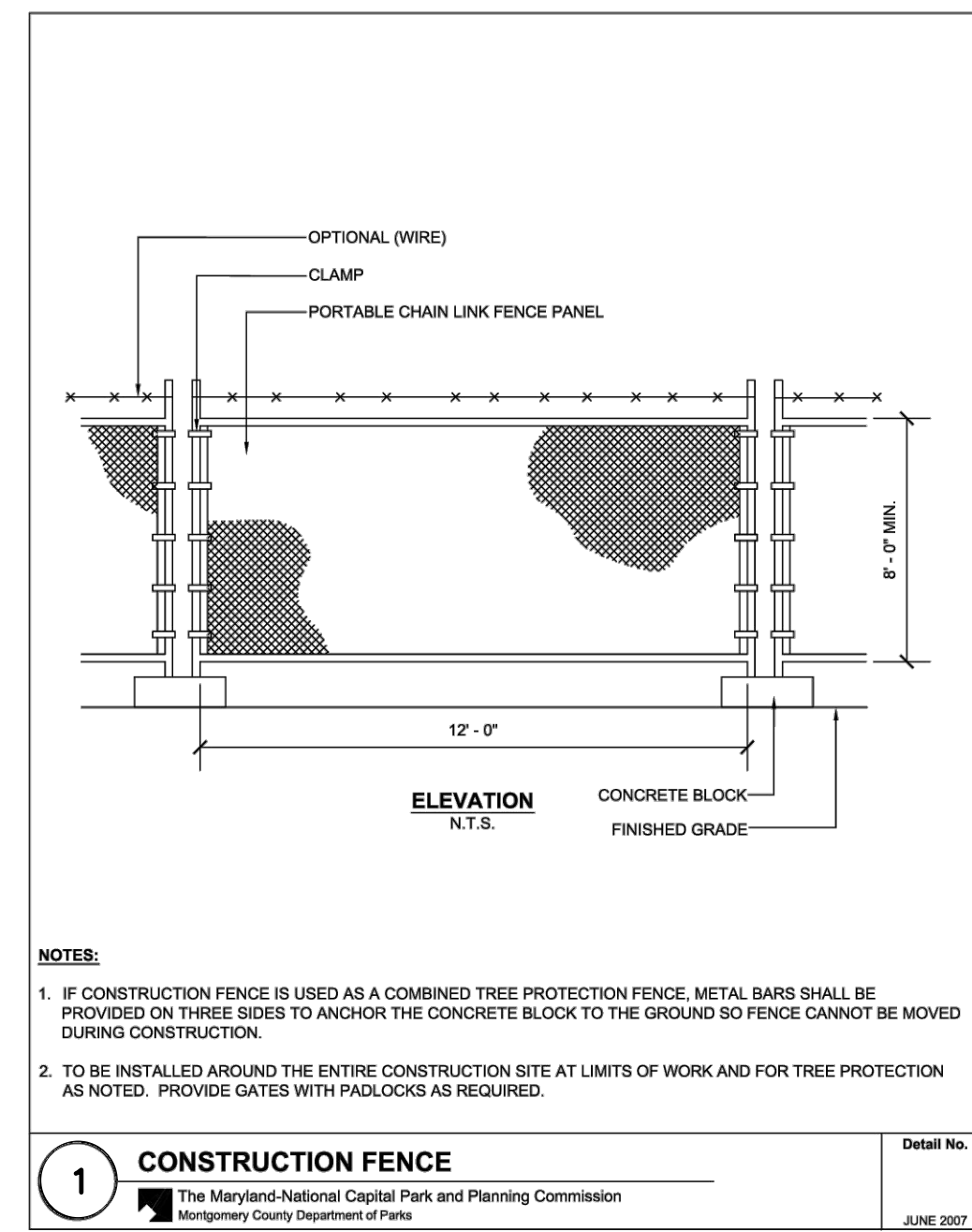
Lyttonsville Area Future Neighborhood Park  
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**EROSION AND SEDIMENT CONTROL PLAN**

SCALE: AS SHOWN

SUBDIVISION: TBD  
PARCEL: TBD; LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

DWG. # **C-400**  
SHT. # \_\_\_ of \_\_\_



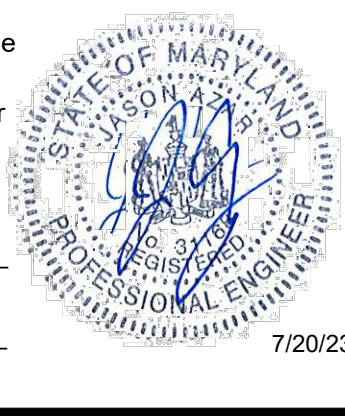
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REVISIONS		
Rev. No.	Date	Description
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**EROSION AND SEDIMENT CONTROL DETAILS**

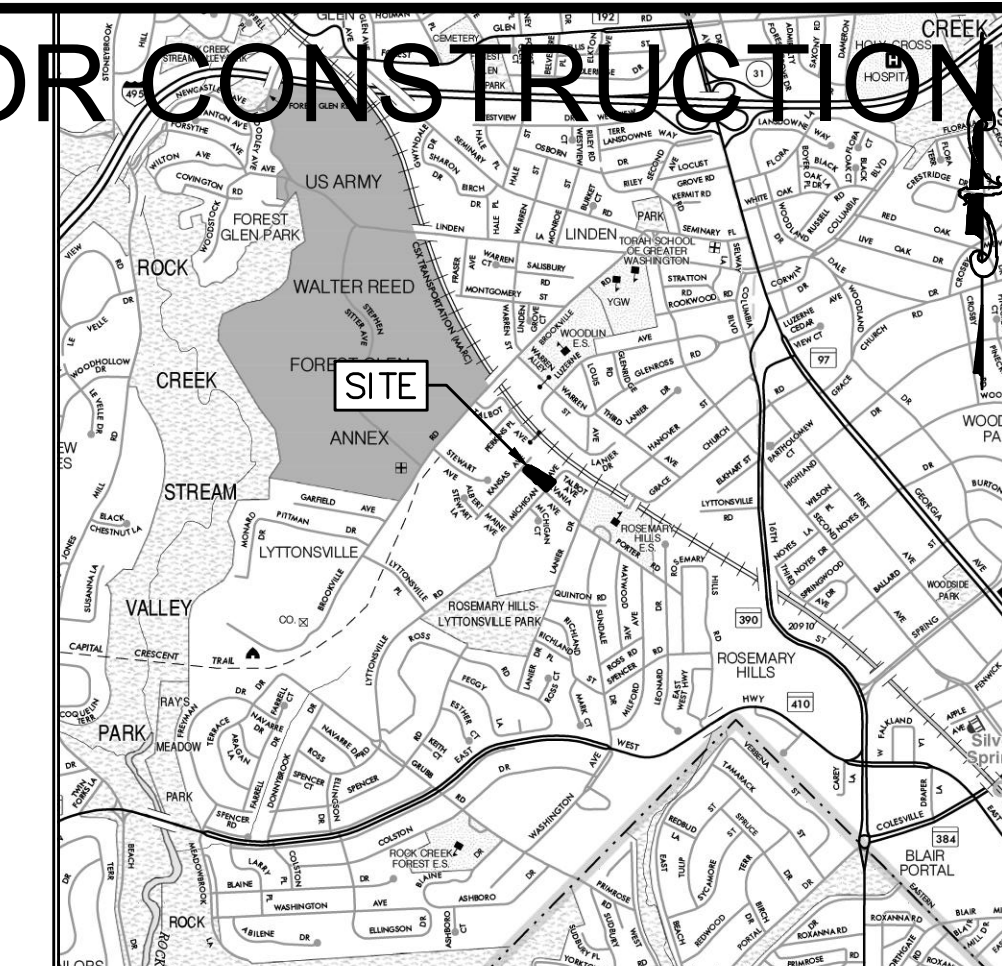
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DWG. # **C-410**  
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 LIBER/FOLIO: TBD



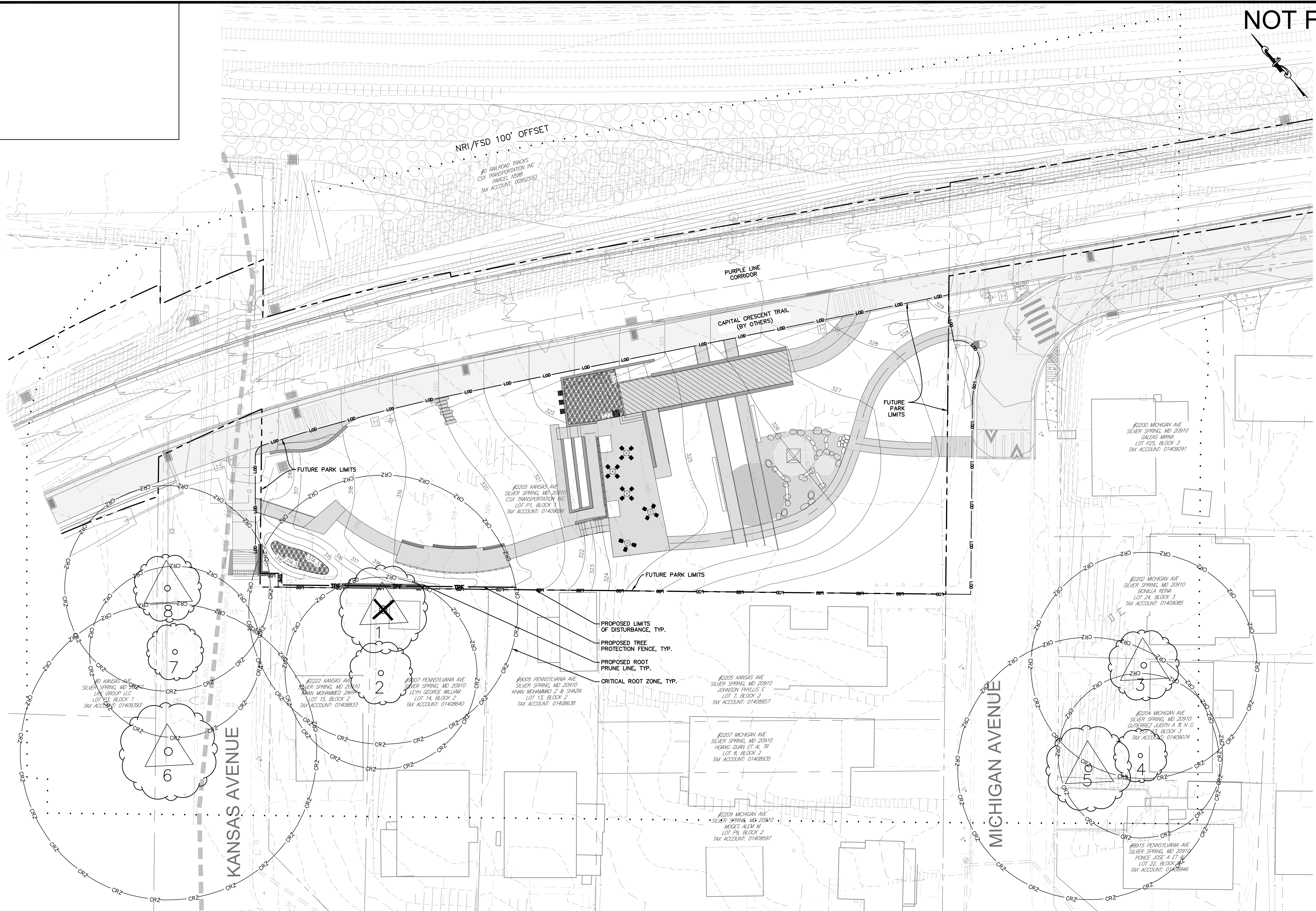
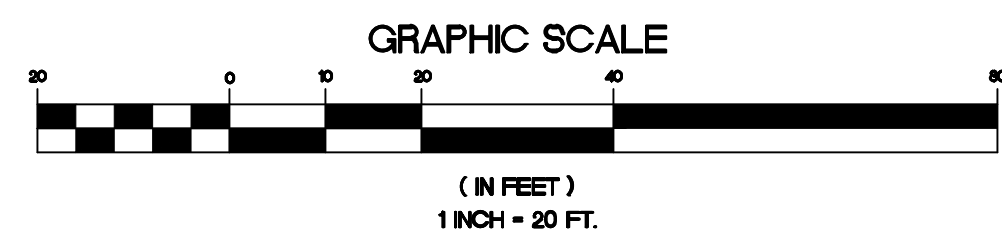
NOT FOR CONSTRUCTION



VICINITY MAP  
SCALE: 1"=2000'

LEGEND

- EX. SIGNIFICANT TREE GREATER THAN OR EQUAL TO 24" DBH WITH CRZ
- EX. SPECIMEN TREE GREATER THAN OR EQUAL TO 30" DBH WITH CRZ
- ADJACENT PROPERTY LINES
- PROPERTY LINE
- 1' EXISTING CONTOUR
- 5' EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- SOILS BOUNDARY
- 100' NRI/FSD BOUNDARY
- TREE TO BE REMOVED
- LIMITS OF DISTURBANCE
- ROOT PRUNE TRENCH
- TREE PROTECTION FENCE
- 15-24.9% SLOPES
- 25% AND GREATER SLOPES



SIMPLIFIED NRI/FSD PLAN  
SCALE: 1" = 20'

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

**CLARK | AZAR & ASSOCIATES**  
20440 Century Blvd, Suite 220  
Germantown, MD, 20874  
(301) 528-2010  
www.clarkazar.com  
A Woman Owned Small Business

DESIGN		
JON MALLORY Landscape Designer	23.07.13 Date	DAVID MITCHELL Checked By:
Architect	Date	Checked By:
JASON AZAR, P.E.	23.07.20	DANA CLARK
Engineer	Date	Checked By:
MATT EDELMAN, E.I.T.	23.07.20	JASON AZAR
Drawn by	Date	Checked By:

**Professional Certification.** I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland.

License No. 3126  
Expiration Date 03/20/2024

**The Maryland-National Capital Park and Planning Commission**  
Montgomery County Department of Parks  
2425 Reddie Drive, 11<sup>th</sup> Floor  
Wheaton, Maryland 20902  
(301) 495-2595

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON		
REVISIONS		
Rev. No.	Date	Description
1	23.08.18	35% Construction Documents

Lyttonsville Area Future Neighborhood Park  
2205 Kansas Avenue, Silver Spring, Maryland 20910

**SIMPLIFIED NRI-FSD/TREE SAVE PLAN**  
PLAN NO. 42024013E

SCALE: AS SHOWN

DWG. #  
**L-0.1**  
SHT. # \_\_\_ of \_\_\_

SUBDIVISION: TBD  
PARCEL: TBD, LOT/BLOCK: TBD  
LIBER/FOLIO: TBD

FINAL SCANNED: PLAN SCANNED: TBD PARK CODE: 105.046 - Lyttonsville Park Facility Plan\CAD\CWG\0-1 - SIMPLIFIED NRI AND TREE SAVE PLAN.dwg LO.1 Plotted By: Matt Edelman, 8/22/2023 5:08 PM. \_NCS-full.ctb

Sequence of Events for Properties Required to Comply With Forest Conservation Plans, Exemptions from Submitting Forest Conservation Plans, and Tree Save Plans

The property owner is responsible for ensuring all tree protection measures are performed in accordance with the approved final forest conservation plan or tree save plan, and as modified in the field by a Planning Department Forest Conservation Inspector.

Pre-Construction

- 1. An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged and before any land disturbance.
2. The property owner must arrange for the meeting and following people should participate at the pre-construction meeting: the property owner or their representative, construction superintendent, International Society of Arboriculture (ISA) certified arborist/Maryland Licensed Tree Expert (representing owner)...

GENERAL NRI/FSD NOTES

- 1. THIS PROPERTY IS CURRENTLY UNZONED.
2. THE TOTAL TRACT AREA IS 0.68 ACRES. SITE FIELDWORK WAS PERFORMED ON MAY 23, 2023, BY JONATHAN MALLORY, CLARK AZAR & ASSOCIATES.
4. THE PROPERTY TAX ACCOUNT NUMBER ASSOCIATED WITH THE PLAN IS 01409096.
5. THIS PROPERTY IS NOT WITHIN AN SPA OR PMA.
6. THIS PROPERTY QUALIFIES FOR A MODIFICATION TO EXISTING NON-RESIDENTIAL PROPERTY EXEMPTION FROM FOREST CONSERVATION UNDER THE PROVISION OF SECTION 22A-5(1) OF THE FOREST CONSERVATION MANUAL.

SITE NARRATIVE AND FOREST SUMMARY

INTRODUCTION
CLARK AZAR & ASSOCIATES PERFORMED A SIMPLIFIED NATURAL RESOURCE INVENTORY FOR THE PROJECT KNOWN AS LYTONSVILLE LOCAL PARK DURING MAY 2023. THE NATURAL RESOURCE INVENTORY WAS CONDUCTED USING THE GUIDELINES SET FORTH IN THE MDNR STATE FOREST CONSERVATION TECHNICAL MANUAL AND MNCPPC TREE, APPROVED TECHNICAL MANUAL.

GENERAL INFORMATION
THIS IS A PROPOSED 0.68 ACRE SITE TO BE CONVEYED TO MONTGOMERY COUNTY, MD. THE SITE IS CURRENTLY UNDER CONSTRUCTION FOR THE PURPLE LINE WITH RESIDENTIAL PROPERTIES TO THE SOUTH, EAST, AND WEST. CURRENTLY, THERE IS NO VEHICULAR ACCESS EXCEPT FOR CONSTRUCTION VEHICLES. THE SITE LIES WITHIN ROCK CREEK WATERSHED, USE 1.

ENVIRONMENTAL FEATURES
100 YEAR FLOODPLAIN
THE FEMA FLOOD MAP COMMUNITY-PANEL # 24031C0370D INDICATES THERE IS NO FLOODPLAIN ON THE PROPERTY AND IS ZONE X, AREA OF MINIMAL FLOOD CONCERN.

SOILS
ACCORDING TO THE USDA NRCS WEBSEIL SURVEY FOR MONTGOMERY COUNTY, MOST OF THE PROPERTY IS COMPOSED OF ZUB-GLENELG-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES (HYDROLOGICAL CLASS D) AND SOME 400-URBAN LAND (HYDROLOGICAL CLASS D) SOIL.

NONTIDAL WETLANDS
THERE WERE NO WETLANDS OBSERVED WITHIN 100' OF THE PROPOSED PROPERTY LINE DURING THE FIELD INVESTIGATION.

STREAMS AND DRAINAGEWAYS
THERE WERE NO STREAMS OBSERVED ON OR OFFSITE DURING THE FIELD INVESTIGATION.

TOPOGRAPHY AND STEEP SLOPES
THE SITE SLOPES DOWN TOWARDS THE NORTHWEST. THE MAJORITY OF STEEP SLOPES EXIST TO THE NORTH BY THE EXISTING RAILROAD.

CRITICAL HABITATS
THE MDNR HAS BEEN NOTIFIED OF THE PROJECT AREA AND DESCRIPTION. THERE APPEAR TO BE NO CRITICAL WILDLIFE HABITATS FROM THE FIELD INSPECTION. COPIES OF CORRESPONDENCE WILL BE PROVIDED.

CULTURAL FEATURES
THE SITE DOES NOT APPEAR IN CLOSE PROXIMITY TO INDIVIDUAL HISTORIC SITES FOUND IN MNCPPC HISTORIC PROPERTIES INTERACTIVE MAP. IT APPEARS THE DEVELOPMENT OF THE SUBJECT SITE WILL NOT IMPACT ANY HISTORIC SITES.

FOREST STAND INFORMATION
THERE ARE NO FORESTS ON THE PROPOSED PROPERTY.

- 3. A Maryland Licensed Tree expert must perform, or directly supervise, the implementation of all stress reduction measures. Documentation of the process (including photographs) may be required by the Forest Conservation Inspector, and will be determined at the pre-construction meeting.
4. Temporary tree protection devices must be installed per the approved Forest Conservation Plan, Exemption Plan, or Tree Save Plan and prior to any land disturbance. The Forest Conservation Inspector, in coordination with the DPS Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the approved plan.

During Construction

- 7. Periodic inspections will be made by the Forest Conservation Inspector. Corrections and repairs to tree protection devices must be completed within the timeframe given by the Inspector.
8. The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understory, ground cover, and any other undisturbed areas shown on the approved plan.

Post-Construction

- 9. After construction is completed, but before tree protection devices have been removed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective measures, which may include:
a. Removal, and possible replacement, of dead, dying, or hazardous trees
b. Pruning of dead or declining limbs
c. Soil aeration
d. Fertilization
e. Watering
f. Wound repair
g. Clean up of retention areas, including trash removal
10. After the final inspection and completion of all corrective measures the Forest Conservation Inspector will request all temporary tree and forest protection devices be removed from the site.

NATURAL RESOURCE DATA TABLE

Table with 2 columns: Feature, Value. Total Area (acres): 0.68, Total Forest (acres): 0, Total Wetland (acres): 0, Total Forest in Wetlands (acres): 0, Total floodplain (acres): 0, Total Forest in Floodplains (acres): 0, Total Stream Buffers (acres): 0, Total Forest in Stream Buffers (acres): 0.

SOILS TABLE

Table with 5 columns: MAP UNIT, MAP UNIT NAME, HIGHLY ERODIBLE (Y/N), HYDRIC (Y/N), PRIME AGRICULTURAL LAND (Y/N). Rows: 400 Urban land, 2UB Glenelg-Urban land complex, 0 to 8 percent slopes.

SIGNIFICANT TREE IDENTIFICATION:

Table with 7 columns: Point #, Total DBH: (inches), Common Name, Scientific Name, General Condition, Condition Notes, Save or Remove. Rows: 1 Silver maple (Acer saccharinum), 2 Eastern cottonwood (Populus deltoides), 3 Burford holly (Ilex cornuta 'Burfordii'), 4 Burford holly (Ilex cornuta 'Burfordii'), 5 Cherry species (Prunus species), 6 Callery pear (Pyrus calleryana), 7 Callery pear (Pyrus calleryana), 8\* Black locust (Robinia pseudoacacia).

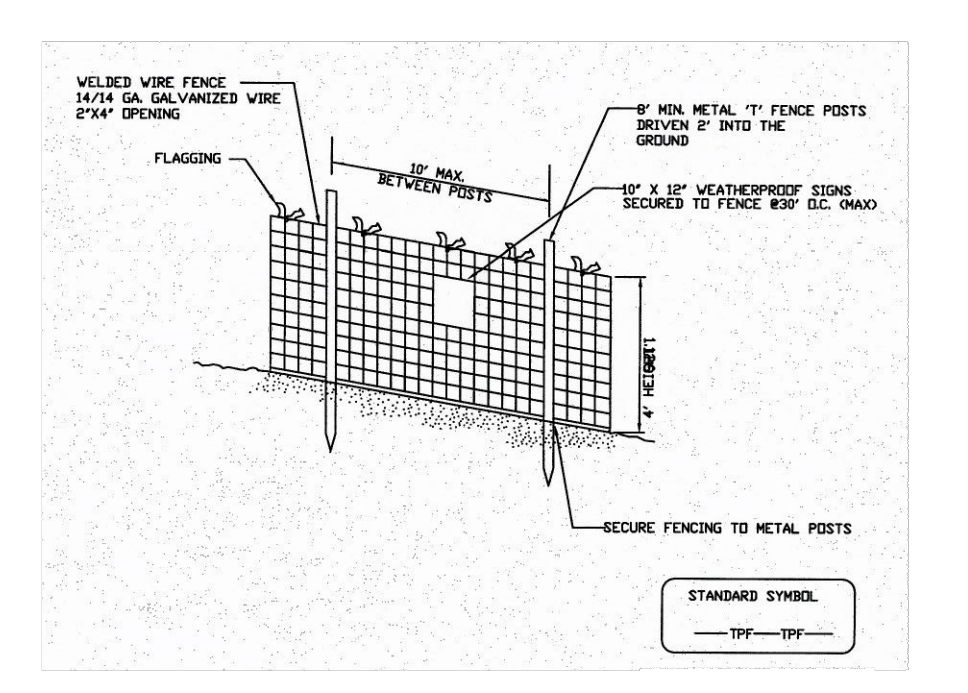
- 1. BOLD TYPE DENOTES SPECIMEN TREE
2. "\*" DENOTES DBH MEASURED BY OCULAR ESTIMATE

Condition Scoring System table: No apparent problems: Excellent, Minor problems: Good, Major problems: Fair, Extreme problems: Poor.

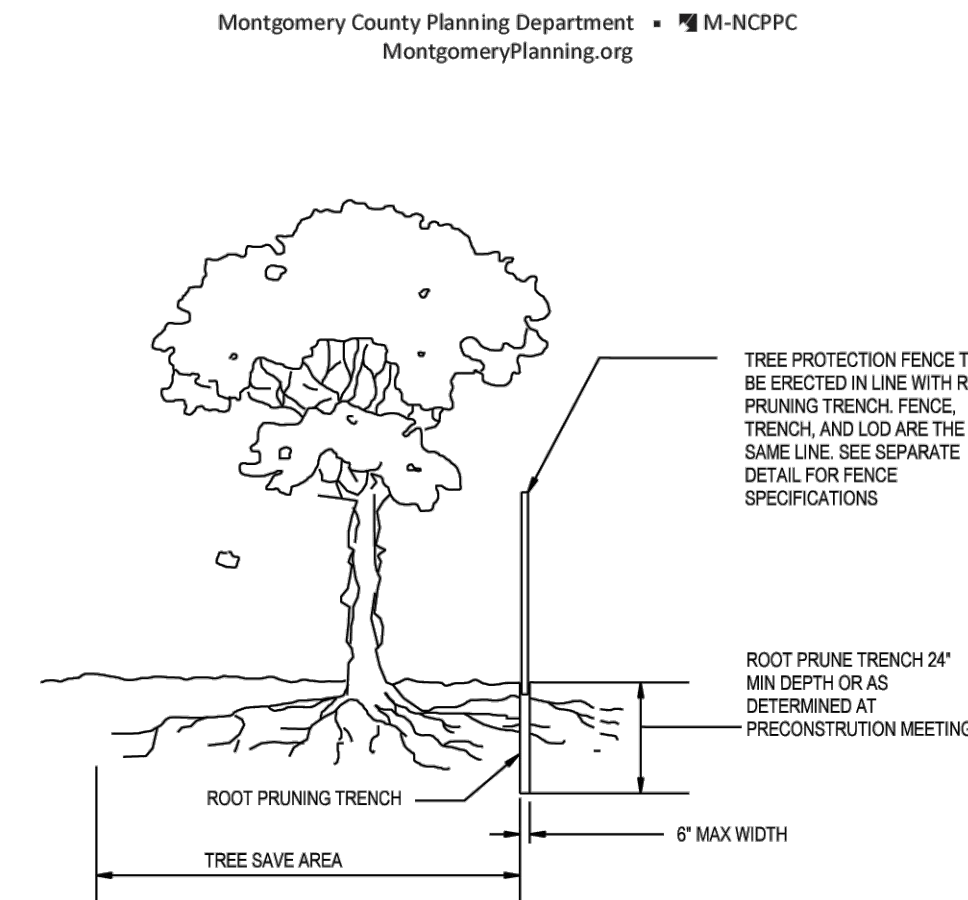
STANDARD TREE SAVE PLAN FOR CONSTRUCTION

- (1) after the limits of disturbance have been staked and flagged, but before any clearing or grading begins (the purpose of the meeting should be to field verify the limits of clearing specified on the approved plan, authorize necessary adjustments, and to authorize necessary stress reduction measures and installation of protection devices);
(2) after necessary stress reduction measures have been completed and the protection measures have been installed, but before any clearing or grading begins (the purpose of the meeting should be to field verify that both measures have been done correctly and to authorize clearing and grading);
(3) after completion of all construction activities to determine the level of compliance with the approved plan;
(4) before the start of any required reforestation planting (the purpose of the meeting should be to determine whether necessary pre-planting measures have been completed and authorize any necessary adjustments to the planting specification);
(5) after required reforestation and afforestation planting has been completed to verify that the planting is acceptable and to begin the required maintenance and management period;
(6) Two years after reforestation and afforestation have been completed, to determine survival and assess necessary maintenance activities for the remaining duration of the maintenance and management period; and
(7) At the end of the maintenance and management period to determine the level of compliance with provisions of the planting plan and, if appropriate, authorize release of any financial security.

Tree Protection Fence Detail



- NOTES
1. Practice may be combined with sediment control fencing.
2. Location and limits of fencing should be coordinated in field with arborist.
3. Boundaries of protection area should be staked prior to installing protective device. Root damage should be avoided.
4. Protection signage is required.
5. Fencing shall be maintained throughout construction.



- NOTES:
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRECONSTRUCTION MEETING.
2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRECONSTRUCTION MEETING AND FLAGGED PRIOR TO TRENCHING.
3. EXACT LOCATION OF TRENCH SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FOREST CONSERVATION (FC) INSPECTOR.
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FC INSPECTOR.
5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.
6. ALL PRUNING MUST BE EXECUTED WITH LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FC INSPECTOR.

ROOT PRUNING DETAIL NTS

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

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A Woman Owned Small Business

DESIGN table with columns: Name, Title, Date, Checked By. Includes Jon Mallory, David Mitchell, Jason Azar, Dana Clark, Matt Edelman, Jason Azar.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland.
License No. 3126
Expiration Date 03/20/2024

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reddie Drive, 11th Floor
Wheaton, Maryland 20902
(301) 495-2595

REVIEW AND APPROVAL table with columns: Name, Title, Date. Includes Project Manager, Construction Manager, Park Manager.

ISSUED FOR PROCUREMENT ON:
REVISIONS table with columns: Rev. No., Date, Description. Includes revision 1 on 23.08.18 for 35% Construction Documents.
Lyttonsville Area Future Neighborhood Park
2205 Kansas Avenue, Silver Spring, Maryland 20910
SIMPLIFIED NRI-FSD/TREE SAVE PLAN
NOTES AND DETAILS
PLAN NO. 42024013E
SCALE: AS SHOWN

DWG. # L-0.2
SHT. # of
SUBDIVISION: TBD
PARCEL: TBD, LOT/BLOCK: TBD
LIBER/FOLIO: TBD