The Maryland National Capital Park and Planning Commission

# LYTTONSVILLE AREA FUTURE NEIGHBORHOOD PARK FACILITY PLAN

2205 KANSAS AVENUE, SILVER SPRING, MARYLAND 20910

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\*NOTE: FOR ALL EROSION AND SEDIMENT CONTROL MEASURES, NOTES, AND DETAILS, SEE SHEETS C-400 - C-415.

### RECORD DRAWING CERTIFICATION

A record set of approved Sediment Control/Stormwater Management plans must be maintained on-site at all times. In addition to stormwater management items, these plans must include the number and location of all trees proposed to be planted to comply with the Tree Canopy Law. Any approved modifications or deletions of stormwater practices or tree canopy plantings or information must be shown on this record set of plans and on the Tree Canopy Requirements table. Upon completion of the project, this record set of plans, including hereon this signed Record Drawing Certification, must be submitted to the MCDPS inspector. In addition to this Record Drawing Certification, a formal Stormwater Management As-Built submission [x] is required [ ] is not required for this project.

If this project is subject to a Stormwater Management Right of Entry and Maintenance Agreement, that document is recorded in Montgomery County Land

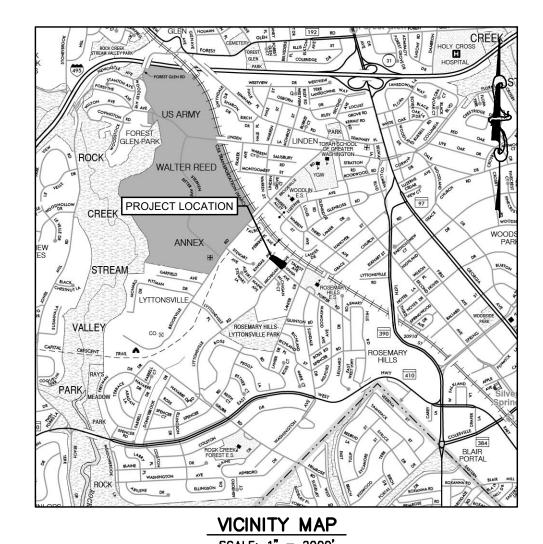
. This Record Drawing will serve as referenced in the recorded document.

This record drawing accurately and completely represents the stormwater management practices and tree canopy plantings as they were constructed or planted. All stormwater management practices were constructed per the approved Sediment Control / Stormwater Management plans or subsequent approved revisions."

Owner/Developer Signature

Effective for sediment control permit applications made on or after January 1, 2016.

FIELD CHECK OF RECORD DRAWING BY MCDPS INSPECTOR: INITIALS:



### **PROPERTY OWNER**

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION (M-NCPPC) 2425 REEDIE DRIVE, 14TH FLOOR WHEATON, MARYLAND 20902

### **APPLICANT**

- SEDIMENT CONTROL/STORMWATER MANAGEMENT CERTIFICATION -

MONTGOMERY COUNTY DEPARTMENT OF PARKS 2425 REEDIE DRIVE, 11TH FLOOR WHEATON, MARYLAND 20902 ATTN: CHING-FANG CHEN, PROJECT MANAGER EMAIL: CHING-FANG.CHEN@MONTGOMERYPARKS.ORG PH: (301) 495-2557

**CERTIFICATION OF THE QUANTITIES** 

'I hereby certify that the amount of excavation and fill as shown on these plans

Registration Number

has been computed to XXX cubic yards of excavation, XXX cubic yards of

fill and the total area to be disturbed as shown on these plans has been

**Note**: The earthwork cut and fill quantities and the area of disturbance

indicated in this certificate are calculated for the purpose of plan Approval and

**MAINTENANCE CERTIFICATION** 

hereby certify that the M-NCPPC Montgomery County Department of Parks will

assume non-structural maintenance responsibilities for all stormwater management

SWM) structures as listed and shown, hereon, in accordance with the Right of Entry

etween M-NCPPC and the Department of Environmental Protection dated 5/7/2007.

f, for any reason, future improvements on Parkland are planned that would impact

any of the SWM facilities included herein, M-NCPPC will notify the Department of

Environmental Protection during the facility planning/preliminary design stages for

Owner/Developer

**Printed Name** 

determined to be XXXXX square feet."

should not be used for contractual obligations.

### TREE CANOPY REQUIREMENTS TABLE To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Managemei

Exempt: Yes No If exempt under Section 55-5 of the Code, please check the

applicable exemption category below **Total Property Area** Total Disturbed Area sauare feet Shade Trees Required Shade Trees Proposed to be Planted

## (Trees Required – Trees Planted) x \$250

Fee in Lieu

If the square footage of the limits of disturbance is more than 40,000, then the number of shade trees required must be calculated using the following formula:

(Number of Square Feet in Limits of Disturbance  $\div$  40,000) × 15

EXEMPTION CATEGORIES: 55-5(a) any activity that is subject to Article II of 55-5(b) any commercial logging or timber narvesting operation with an approved exemption from

Article II of Chapter 22A; 55-5(f) any activity conducted by the County Park 55-5(g) routine or emergency maintenance of an existing stormwater management facility, including an

existing access road, if the person performing the

naintenance has obtained all required permits; person performing the work has obtained all

55-5(i) cutting or clearing any tree to comply with pplicable provisions of any federal, state, or local law overning safety of dams; OTHER: Specify per Section 55-5 of the Code.

## ESC/SWM SHEET X OF X

REQUI				OF THIS SITE TO OBTAIN PROVED SEDIMENT COI	
TYPE OF PERMIT	REQD	NOT REQD	PERMIT#	EXPIRATION DATE	WORK RESTRICTION DATES
MCDPS Floodplain District					
WATERWAYS/WETLAND(S):					
a. Corps of Engineers					
b. MDE					
c. MDE Water Quality Certification					
MDE Dam Safety		$\supset \subset$			
* DPS Roadside Trees				Approval Date	
Protection Plan					
N.P.D.E.S. NOTICE OF					DATE FILED
INTENT					
FEMA LOMR (Required Post Construction)					

\* A copy of the approved Roadside Trees Protection Plan must be delivered to the sediment control inspector at the preconstruction meeting

The Contractor shall call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The Contractor is responsible for ensuring that all underground utilities in the area of proposed work are located prior to commencing construction work. The Contractor is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

The Contractor is also responsible for locating all private utilities (not located by Miss Utility) within M-NCPPC property at their expense. All utilities shown on the plans are provided for information only and shall be considered approximate. M-NCPPC shall not be responsible for locating underground utilities. Any utilities or other underground facilities damaged during construction shall be repaired/replaced at the Contractor's expense.

### UTILITY SURVEY & RELOCATION CERTIFICATION SHOWN ON PLANS | RELOCATION REQ'D DATE RECEIVED

### **UTILITY STATEMENT**

THE ABOVE UTILITY COMPANIES HAVE BEEN CONTACTED REGARDING EXISTING UTILITIES WITHIN THIS PROJECT AREA AND INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM AVAILABLE RECORDS. HENCE, ANY UTILITY MODIFICATIONS REQUIRED BY THIS PROJECT HAVE BEEN COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES. THIS STATEMENT DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR FIELD LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO STARTING CONSTRUCTION.

SUBDIVISION: TBD

PARCEL: TBD; LOT/BLOCK: TBD

### **TECHNICAL REVIEW OF ADMINISTRATIVE REVIEW** SEDIMENT CONTROL ADA COMPLIANCE CERTIFICATION **TECHNICAL REVIEW OF SMALL LOT DRAINAGE APPROVAL** STORMWATER MANAGEMENT The undersigned does hereby certify that this project has N/A: 🔲 OR been designed in accordance with current ADA standards for accessible design and all applicable local, state, and federal requirements. Design Engineer Date

### and does not create or imply any right to divert or concentrate runoff onto any adjacent property without that property owner's permissión. It does not relieve the design engineer or other responsible person of professional liability or ethical responsibility for the dequacy of the drainage design as it affects uphill a downhill properties. SEDIMENT - XXXXXX SEDIMENT CONTROL PERMIT NO. STORMWATER = 289843 SM. FILE NO. STORMWATER MANAGEMENT: MCDPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT STARTED. NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED FOR A MCDPS ACCESS PERMIT

### CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

**CLARK | AZAR & ASSOCIATES** 20440 Century Blvd, Suite 220 Germantown, MD. 20874 T(301) 528-2010 www.clarkazar.com A Woman Owned Small Business

ON MALLORY 23.07.13 DAVID MITCHE \_andscape Designer Checked By: Checked By: License No. 31168 JASON AZAR, P.E. Date Checked By: Expiration Date 01/12/2025 MATT EDELMAN, E.I.T. 23.07.20 JASON AZAR Date Checked By

Professional Certification. I hereby certify that these locuments were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

**DRAINAGE STATEMENT** 

professional responsibility. I have analyzed the proposed design for sediment

current Maryland Law and have determined that if permission is required from

adjacent property owners, I have obtained it and have made copies of those

background, training and experience, I have determined that the proposed

mprovements shown on this plan meet relevant laws and regulations. I

further acknowledge that I have analyzed the post development drainage

patterns for this project from the standpoint of my responsibilities under

"I understand that DPS approval of this sediment control/stormwater

control permit no. XXXXX and hereby certify that, based upon my

management plan is for demonstrated compliance with required

environmental runoff treatment standards. This DPS sediment control/stormwater management plan approval does not relieve me of

permissions available to DPS."

Engineer's Signature

Printed Name and Title

Design Engineer Signature

Printed Name

Wheaton, Maryland 20902

Registration Number

OWNER'S/DEVELOPER'S CERTIFICATE

Attendance at a Department of Natural Resources approved training program

**DESIGN CERTIFICATION** 

I hereby certify that this plan has been prepared in accordance with the

"2011 Maryland Standards and Specifications for Soil Erosion and Sediment

Control", Montgomery County Department of Permitting Services Executive

Regulations 5-90, 7-02AM and 36-90, and Montgomery County Department

of Public Works and Transportation "Storm Drain Design Criteria", dated

"I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and that any responsible

personnel involved in the construction project will have a Certificate of

for the control of sediment and erosion before beginning this project."

The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks 2425 Reedie Drive, 11<sup>th</sup> Floor

(301) 495-2595

such improvements.

**REVIEW AND APPROVAL** REVISIONS Description Project Manager 1 23.08.18 35% Construction Documents Construction Manager Date Park Manager

**ISSUED FOR PROCUREMENT ON** 

Lyttonsville Area Future Neighborhood Park 2205 Kansas Avenue, Silver Spring, Maryland 20910

**COVER SHEET** 

SCALE: AS SHOWN

DPS approval of a sediment control or stormwater

management plan is for demonstrated compliance with

DWG.# C-001

ALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

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ON MALLORY 23.07.13 | DAVID MITCHE Landscape Designer Checked By: Architect Checked By JASON AZAR, P.E 23.07.20 | DANA CLAR Date | Checked By: Expiration Date 01/12/2025 MATT EDELMAN, E.I.T. 23.07.20 | JASON AZAF Date | Checked B

DESIGN

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 31168





## The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks 2425 Reedie Drive, 11<sup>th</sup> Floor Wheaton, Maryland 20902 (301) 495-2595

M-NCPPC SPECIFICATIONS SECTION 111 - AS-BUILT DRAWINGS (RECORD DRAWINGS)

MCDPS AS-BUILT/RECORD DRAWING PLAN REVIEW CHECKLIST - LATEST VERSION

CERTIFIED: A CERTIFIED DOCUMENT SHALL BE SEALED BY A PROFESSIONAL SURVEYOR.

THE CONTRACTOR SHALL PROVIDE BOTH IN ORIGINAL FORM AND AS A PDF

CONFORMANCE WITH THE CONTRACT DOCUMENTS AND REGULATORY PERMITS.

GEOTECHNICAL CERTIFICATIONS AS REQUIRED BY MCDPS, ETC.

ANY SIGNIFICANT DEVIATIONS FROM THE APPROVED DRAWINGS.

SUBMITTED TO THE M-NCPPC CONSTRUCTION MANAGER.

10. GIS LAYER FILES OF STORM DRAIN AND UNDERGROUND UTILITY ASSETS.

REQUIREMENTS OF THE PERMIT AGENCY AT THE TIME OF CONSTRUCTION.

APPROVAL AND FINAL RELEASE OF PERMIT AT NO ADDITIONAL COST TO THE OWNER.

DOCUMENTS RELATED TO THE PROJECT TO M-NCPPC.

FOR SERVICE EXTENSION PERMIT PROJECTS

111.02 REFERENCE STANDARDS

111.04 MATERIALS

NOT APPLICABLE

111.05 SUBMITTALS

111.06 QUALITY ASSURANCE

INCLUDES, BUT IS NOT LIMITED TO:

THROUGHOUT THE PARK

OF FACILITY ELEVATIONS.

SUCH AS WSSC AND MCDPS

PERMIT DRAWINGS

111.08 MEASUREMENT AND PAYMENT

NOT APPLICABLE.

111.07 CONSTRUCTION

THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CERTIFIED FINAL REDLINED AS-BUILT DRAWINGS OF THE

PROJECT AND OBTAIN APPROVAL AND CLOSEOUT OF ALL PERMITS. THE CONTRACTOR WILL ALSO SUPPLY ALL

WSSC SEWER AND WATER MAIN AS-BUILTS AND SERVICE CONNECTION FINAL INSTRUCTION AND REQUIREMENTS

B. THE CONTRACTOR SHALL SUBMIT CERTIFIED AS-BUILT PLANS AND SUPPORT DOCUMENTS DIRECTLY TO THE

C. DIGITAL FILES SHOULD BE IN AUTOCAD FORMAT AS WELL AS A SET OF VECTORED PDFS OF THE APPROVED AS-BUILT

A. THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN ALL PERTINENT RECORDS OF CONSTRUCTION MATERIALS, TESTING, AND INSPECTIONS REQUIRED TO DOCUMENT THAT THE ACTUAL CONSTRUCTION IS IN

B. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DEVELOP CERTIFIED FINAL REDLINED AS-BUILT

DRAWINGS OF THE PROJECT AND OBTAIN APPROVAL AND CLOSEOUT OF ALL PERMITS, INCLUDING THOSE FROM THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (MCDPS). PREPARATION OF AS-BUILT PLANS

1. CONFIRMING THE HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL NEW FACILITIES BUILT

2. STORM DRAIN AS WELL AS STORM WATER MANAGEMENT FACILITIES SHALL BE SURVEYED DURING

3. UNDERGROUND UTILITIES, IRRIGATION SYSTEMS, SEPTIC TANKS, ETC. INCLUDING PROFILES, INVERTS AND TOP

6. ANY UTILITY CERTIFICATION AS REQUIRED FOR AS-BUILT CERTIFICATION OF THE UNDERGROUND UTILITIES

ALL THE SURVEY WORK REQUIRED FOR AS-BUILT PLANS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

A DIGITAL FILE IN AUTOCAD FORMAT INCLUDING SCANS OF ALL APPROVED ELECTRONIC COPIES INCLUDING

11. ELECTRONIC VERSION OF THE APPROVED AS-BUILT PLANS AND OF ALL SUPPORTING DOCUMENTS MUST BE

C. IN ADDITION TO THE STANDARD REQUIREMENTS OF THE OWNER, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE

FOR COMPLETING ALL AS-BUILT REQUIREMENTS RELATED TO ANY PERMITS ISSUED FOR THE PROJECT. THE

CONTRACTOR SHALL PREPARE AS-BUILT PLANS IN ACCORDANCE WITH THE STANDARDS, PROCEDURES, AND

THIS INCLUDES ANY REQUIRED SURVEY, INSPECTION, AND PROFESSIONAL CERTIFICATION BY AN INDEPENDENT

FIRM FAMILIAR WITH THE WORK PERFORMED. FOR EXAMPLE, THE COMPLETED AS-BUILT PACKAGE FOR

STORMWATER MANAGEMENTS FACILITIES SHALL INCLUDE ALL SUPPORTING DOCUMENTS AND INFORMATION AS

REQUIRED ON THE LATEST MCDPS "AS-BUILT/RECORD DRAWING PLAN REVIEW CHECKLIST". FURTHERMORE, THE CONTRACTOR SHALL MAKE ANY AND ALL REPAIRS AND/OR MODIFICATIONS REQUIRED TO OBTAIN AS-BUILT

THE CONTRACTOR SHALL SUBMIT CERTIFIED AS-BUILT PLANS AND SUPPORT DOCUMENTS DIRECTLY TO THI

PERMITTING AGENCY, WITH ELECTRONIC COPIES ALSO SENT TO THE M-NCPPC CONSTRUCTION MANAGER, ONCE THE APPROPRIATE AGENCY APPROVES THE AS-BUILT PLANS AND M-NCPPC CONSTRUCTION MANAGER CONCURS

THE CONTRACTOR SHALL SUBMIT TO THE COMMISSION A DIGITAL FILE INCLUDING VECTORED PDFS OF ALL

THE CONTRACTOR SHALL COORDINATE WITH THE PERMITTING AGENCY AND INSPECTORS AS REQUIRED TO OBTAIN

PERMITTING AGENCIES INVOLVED AND M-NCPPC CONSTRUCTION MANAGER PRESENT. THE CONTRACTOR SHALL CONSIDER THE AS-BUILT PREPARATION, REVIEW, AND APPROVAL AS PART OF THE OVERALL CONSTRUCTION

SCHEDULE AND SHALL COMPLETE THIS WORK WITHIN THE CONTRACT PERIOD ESTABLISHED FOR THE PROJECT. THE DESIGN DOCUMENTS IN ELECTRONIC FILE FORMAT INCLUDING BASE SURVEY INFORMATION WILL BE PROVIDED

SERVICE CONNECTION FINAL INSTRUCTION AND REQUIREMENTS FOR SERVICE EXTENSION PERMIT PROJECTS". THE

CONTRACTOR SHALL ALSO PROVIDE COPIES TO THE M-NCPPC CONSTRUCTION MANAGER. THE CONTRACTOR IS

PROFILES, AND CROSS SECTIONS) FOR REVIEW AND APPROVAL THAT SHOW IN-STREAM STRUCTURES, POOLS,

RESPONSIBLE FOR OBTAINING THE CERTIFICATE OF SUBSTANTIAL COMPLETION AND WATER METER RELEASE(S).

E. STREAM RESTORATION: CONTRACTORS SHALL SUBMIT TO THE M-NCPPC CONSTRUCTION MANAGER (PLANS,

PAYMENT WILL BE FULL COMPENSATION FOR ALL MATERIAL, LABOR, EQUIPMENT, TOOLS AND INCIDENTAL ITEMS NECESSARY TO COMPLETE THE WORK PAYMENT SHALL BE MADE ON A LINIT RATE OR LUMP SUM BASIS AS SHOWN IN

THE BID PROPOSAL. UP TO 20% OF THE FULL PAYMENT FOR STORM WATER MANAGEMENT RFI ATED BID ITEMS MAY BE

WITHHELD AT THE DISCRETION OF THE COMMISSION PENDING MCDPS AND/OR WSSC APPROVAL OF THE AS-BUILT PLANS.

GLIDES/RUNS, BANKFUL CHANNEL DIMENSIONS, AND FEATURES WITH FIELD SURVEYED ELEVATIONS.

D. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE THE WASHINGTON SUBURBAN SANITARY COMMISSION (WSSC) FINAL SEWER AND WATER MAIN AS-BUILT. FOR INSTRUCTIONS. SEE WSSC "SEWER AND WATER MAIN AS-BUILTS AND

STRUCTURAL CERTIFICATIONS FOR ALL RETAINING WALLS, COLUMNS, BEAMS, SUPPORTS, ETC.

INSTALLATION. THIS INCLUDES FACILITY AND STRUCTURE INVERTS AND TOP ELEVATIONS AND DIMENSIONS OF CORE TRENCH, INFILTRATION TRENCH, FILTERS, UNDERGROUND STRUCTURES AND PIPE NETWORKS, AND

ANY CONSIDERABLE CHANGE OR SHIFT IN THE SIZE OR LOCATION OF ANY FACILITIES FROM APPROVED

PLANS AND ALL SUPPORTING DOCUMENTS MUST BE SUBMITTED TO THE M-NCPPC CONSTRUCTION MANAGER.

PERMITTING AGENCY, WITH ELECTRONIC VERSIONS TO THE M-NCPPC CONSTRUCTION MANAGER.

### REVISIONS Description Project Manager Date 1 23.08.18 35% Construction Documents Construction Manager Date Park Manager Date

**REVIEW AND APPROVAL** 

### GENERAL NOTES (M-NCPPC)

COMPENSATION.

- 1. CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO GET FAMILIAR WITH THE EXISTING CONDITIONS, DIFFICULTIES AND RESTRICTIONS ASSOCIATED WITH PERFORMING THE WORK REQUIRED
- UNLESS NOTED OTHERWISE, ALL WORK SHALL BE NEW AND M-NCPPC WILL NOT PROVIDE ANY EQUIPMENT, MATERIALS, OR LABOR FOR THE WORK.

TO SUBMITTING THE BID. FAILURE TO DO SO WILL NOT BE CONSIDERED AS A REASON FOR ADDITIONAL

- 3. DISCREPANCIES OR ERRORS IN THE BID DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF M-NCPPC PRIOR
- 4. ALL NOTES AND DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL UNLESS OTHERWISE NOTED.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ITEMS REQUIRED TO PROVIDE A SITE CLEAR OF OBSTRUCTIONS (ABOVE AND BELOW GRADE) AND ROUGH GRADE TO SPECIFIED ELEVATIONS AT THE BEGINNING
- 6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST APPLICABLE CODES, STANDARDS AND SPECIFICATIONS OF M-NCPPC. MONTGOMERY COUNTY, MARYLAND STATE AND FEDERAL REQUIREMENTS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ELEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN DOCUMENTS AND CONTRACT CONDITIONS INCLUDING THE 2010 ADA STANDARDS FOR A. THE CONTRACTOR SHALL PROVIDE THE COMMISSION WITH ELECTRONIC VERSIONS OF ALL SUBMITTALS, SHOP ACCESSIBLE DESIGN (ADA), THE MARYLAND ACCESSIBILITY CODE, AND UPDATES. IF THE CONTRACTOR OBSERVES THAT PORTIONS OF THE PROJECT ARE NON-COMPLIANT WITH THE ADA, HE SHALL NOTIFY THE DRAWINGS, CORRESPONDENCE, MATERIAL CERTIFICATIONS, DELIVERY TICKETS, OPERATING MANUALS, INSPECTIONS, AND TESTING RESULTS RELATED TO COMPLETED PROJECT AT THE TIME OF AS-BUILT SUBMISSION. CONSTRUCTION MANAGER SO THAT A FIELD ADJUSTMENT CAN BE MADE TO ENSURE COMPLIANCE. GRADE TOLERANCES SHALL BE MEASURED WITH A TWO (2) FOOT DIGITAL LEVEL.
  - 8. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED AND CONDUCTED BY M-NCPPC CONSTRUCTION MANAGER. PRIOR TO THIS MEETING THE CONTRACTOR SHALL NOT PERFORM ANY CONSTRUCTION RELATED ACTIVITY AT THE PROJECT SITE, EXCEPT LIMITED CLEARANCE FOR STAKEOUT AND FLAGGING OF LOD. ALL STAKEOUT AND FLAGGING WORK MUST BE DONE BY HAND AND ANY SMALL VEGETATION CLEARED FOR INSTALLATION OF THE LOD SHALL BE CUT TO THE GROUND. THE LOD SHALL BE APPROVED BY M-NCPPC CONSTRUCTION MANAGER AND PERMITTING AGENCIES HAVING JURISDICTION. M-NCPPC CONSTRUCTION MANAGER MAY REQUIRE MINOR ADJUSTMENTS TO THE LOD TO REDUCE IMPACTS ON EXISTING INFRASTRUCTURE AND NATURAL RESOURCES THAT ARE TO REMAIN WITH THE APPROVAL OF PERMITTING AUTHORITIES. THIS ADJUSTMENT SHALL BE PERFORMED AT NO ADDITIONAL COST TO M-NCPPC.
  - PRIOR TO THE START OF CONSTRUCTION, TREE PROTECTION MEASURES SHALL BE INSTALLED, INSPECTED AND SHALL BE MAINTAINED DURING CONSTRUCTION.
  - 10. CONTRACTOR SHALL VERIFY, IN THE FIELD, ALL DIMENSIONS PROVIDED ON THE DRAWINGS AND SPECIFICATIONS BEFORE STARTING ANY CONSTRUCTION ACTIVITY. IF FIELD CONDITIONS VARY FROM THOSE PROVIDED ON THE CONTRACT DOCUMENTS. THE M-NCPPC CONSTRUCTION MANAGER SHALL BE NOTIFIED IN WRITING, BEFORE PROCEEDING FURTHER WITH THE WORK
  - 11. ALL EXISTING CONDITIONS TO REMAIN SHALL BE VERIFIED, PHOTOGRAPHED AND DOCUMENTED PRIOR TO CONSTRUCTION. IF THEY ARE DIFFERENT FROM THE CONDITIONS SHOWN ON THE CONTRACT DRAWINGS, THE M-NCPPC CONSTRUCTION MANAGER SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK. ALL OTHER DAMAGES SHALL BE CORRECTED AND RESTORATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH M-NCPPC REQUIREMENTS AND TO THE SATISFACTION OF THE M-NCPPC CONSTRUCTION MANAGER AT NO ADDITIONAL COST TO M-NCPPC.
  - 12. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL MEET CURRENT MONTGOMERY COUNTY DPS STANDARDS AND INSPECTOR DIRECTIVES. THESE SHALL BE APPROVED BY THE PERMITTING AUTHORITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO MEET THE REQUIREMENTS OF THE MDE NOI. BEFORE THE START OF CONSTRUCTION, A SITE REPRESENTATIVE OF THE CONTRACTOR SHALL HAVE PROOF OF COMPLETION OF THE MDE RESPONSIBLE PERSONNEL CERTIFICATION.
  - 13. ANY WORK WITHIN THE MONTGOMERY COUNTY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MCDOT STANDARDS AND SPECIFICATIONS. ANY WORK WITHIN THE MARYLAND STATE HIGHWAY ADMINISTRATION RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MDSHA STANDARDS AND SPECIFICATIONS. THIS WORK INCLUDES, BUT IS NOT LIMITED TO, REPAIRING, RESTORING, AND OBTAINING FINAL INSPECTION APPROVAL.
  - 14. IF IT IS DETERMINED THAT TREES ARE DAMAGED DURING CONSTRUCTION, A CERTIFIED ARBORIST SHALL INSPECT THEM AND SUBMIT A REPORT RECOMMENDING APPROPRIATE ACTION FITHER TO REPAIR OR REPLACE IF APPROVED BY M-NCPPC CONSTRUCTION MANAGER, CORRECTIVE WORK AND/OR REPLACEMENT SHALL BE PERFORMED AT NO ADDITIONAL COST TO M-NCPPC.
  - 15. LOCATION FOR STABILIZED CONSTRUCTION ENTRANCE. STAGING AND STORAGE AREAS AND ACCESS ROUTES SHALL BE IDENTIFIED AND ADJUSTED IN THE FIELD WITH APPROVAL FROM THE M-NCPPC CONSTRUCTION
  - 16. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING ALL UTILITIES, INCLUDING CALLING "MISS UTILITY" AND ALL OTHER PRIVATE UTILITY LOCATING SERVICES FOR UTILITY LOCATION AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK. ALL THE EXISTING UTILITIES MAY NOT BE SHOWN ON THE DRAWINGS. PRIOR TO THE START OF CONSTRUCTION RELATED ACTIVITY, ALL UTILITIES WITHIN THE LOD OR TREE PLANTING AREAS SHALL BE LOCATED AND IDENTIFIED UTILIZING APPROPRIATED INSTRUMENTS. THE LOCATIONS SHALL BE STAKED AND
  - 17. THE CONTRACTOR SHALL NOTIFY THE M-NCPPC CONSTRUCTION MANAGER IMMEDIATELY IF EXISTING UTILITIES ARE FOUND WITHIN THE WORK AREA THAT ARE NOT SHOWN ON THE DRAWINGS AND IMPACT THE CONTRAC
  - 18. EXISTING SIGNS, FENCES, AND OTHER MINOR SITE FEATURES IN THE WAY OF PROPOSED CONSTRUCTION, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL
- FINAL APPROVAL AND PERMIT RELEASE WHICH INCLUDES A FINAL FIELD INSPECTION WITH STAFF FROM THE 19. DAMAGES TO EXISTING UTILITIES SHALL BE CORRECTED IMMEDIATELY IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFFECTED UTILITY. UPON COMPLETION OF THE CORRECTIVE ACTION A COPY OF THE APPROVAL DOCUMENTATION FROM THE UTILITY SHALL BE SUBMITTED TO THE M-NCPPC CONSTRUCTION MANAGER. REPAIR WORK WILL BE AT NO COST TO M-NCPPC. NO WORK SHALL BE PERFORMED OUTSIDE OF THE LOD WITHOUT PRIOR APPROVAL OF THE M-NCPPC CONSTRUCTION MANAGER. AREAS DISTURBED OUTSIDE APPROVED LOD SHALL BE RESTORED IMMEDIATELY TO THE SATISFACTION OF M-NCPPC CONSTRUCTION MANAGER AT NO COST TO M-NCPPC.
  - 20. UNI ESS OTHERWISE NOTED. THE PARK FACILITIES SHALL REMAIN OPEN THROUGHOUT CONSTRUCTION FOR USE BY PARKS STAFF AND THE PUBLIC. SAFE ACCESS FOR ALL USERS SHALL BE PROVIDED WITH APPROPRIATE DETOURS, FENCING, TEMPORARY FACILITIES, SIGNAGE, ETC. AND SHALL BE APPROVED BY M-NCPPC CONSTRUCTION MANAGER.
  - 21. IF THE CONTRACTOR FINDS THAT CONFLICTS EXIST AMONG VARIOUS CONTRACT/PERMIT REQUIREMENTS. THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENT.
  - 22. ONLY APPROVED PLANS THAT HAVE BEEN SIGNED BY THE APPROPRIATE AUTHORITIES SHALL BE USED FOR THE CONSTRUCTION OF THE IMPROVEMENTS.
  - 23. PRIOR TO VEGETATIVE STABILIZATION, ALL DISTURBED AREAS MUST BE TOPSOILED PER THE MONTGOMERY COUNTY "STANDARDS AND SPECIFICATIONS FOR TOPSOIL". IF ON-SITE MATERIALS DO NOT MEET REQUIREMENTS OF TOPSOIL COORDINATE WITH M-NCPPC REGARDING TILLING-IN OF CERTIFIED COMPOST TO ON-SITE SOILS TO MEET SPECIFICATIONS. IF THERE IS A CONFLICT BETWEEN MONTGOMERY COUNTY AND M-NCPPC SPECIFICATIONS, THE STRICTER SPECIFICATION WILL BE USED.
  - 24. METAL LANDSCAPE STAPLES ARE NOT ALLOWED TO BE USED FOR ANCHORING ANYTHING ON PARK PROPERTY. ALSO, EROSION CONTROL MATTING WITH PLASTIC NON-BIODEGRADABLE FIBERS OR FILAMENTS IN THEM WILL NOT BE ALLOWED ON PARK PROPERTY.
  - 25. PAVEMENT REMOVAL SHALL INCLUDE REMOVAL OF GRAVEL SUBBASE AND SCARIFICATION OF SUBGRADE, UNLESS OTHERWISE DIRECTED BY M-NCPPC CONSTRUCTION MANAGER.
  - 26. TOPOGRAPHY SURVEY WAS PROVIDED BY MONTGOMERY COUNTY DEPARTMENT OF PARKS AND THE PURPLE LINE DESIGN CONSULTANT AND SUPPLEMENTED WITH MONTGOMERY COUNTY GIS INFORMATION. NO BOUNDARY SURVEY WAS PERFORMED.
  - 27. THIS SITE IS LOCATED WITHIN THE ROCK CREEK WATERSHED OF MONTGOMERY COUNTY. RUNOFF FROM THIS SITE DRAINS INTO BETHESDA MAINSTEM, WHICH DRAINS INTO LOWER ROCK CREEK, WHICH FLOWS INTO ROCK CREEK AND EVENTUALLY INTO THE POTOMAC RIVER. THE CONTRACTOR SHALL TAKE PRECAUTIONS NOT TO CONTAMINATE THE RECEIVING WATERS

**ISSUED FOR PROCUREMENT ON** 

## NOT FOR CONSTRUCTION

M-NCPPC MONTGOMERY PARKS - GRADING AND ADA CONPLIANCE NOTE

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ELEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA). THE ABA ACCESSIBILITY GUIDELINES FOR OUTDOOR DEVELOPED AREAS (WHERE NOTED IN CONTRACT DOCUMENTS), AND THE 2019 M-NCPPC ADA COMPLIANCE MANUAL IF THE CONTRACTOR OBSERVES OR HAS CONCERNS THAT PORTIONS OF THE PROJECT ARE NON-COMPLIANT WITH ADA, THEY SHALL NOTIFY THE M-NCPPC CONSTRUCTION MANAGER IMMEDIATELY SO THAT A FIELD ADJUSTMENT CAN BE MADE TO ENSURE COMPLIANCE. FINAL GRADES SHALL BE MEASURED WITH A 2-FOOT DIGITAL LEVEL.
- VERIFY ALL EXISTING AND PROPOSED GRADES PRIOR TO FINAL CONSTRUCTION. CONTRACTOR SHALL STAKE OUT OR FORM GRADES IN THE FIELD FOR REVIEW BY M-NCPPC CONSTRUCTION MANAGER PRIOR TO FINAL
- PROPOSED GRADING SHALL MEET EXISTING GRADE LINIFORMLY TO ENSURE A SMOOTH TRANSITION. NOTIFY M-NCPPC CONSTRUCTION MANAGER IMMEDIATELY IF THERE ARE ANY EDGE CONDITION THAT CREATES AREAS WITHOUT POSITIVE DRAINAGE AND/OR CHANGES IN LEVEL
- ALL LONGITUDINAL SLOPES ALONG THE WALKS SHALL BE NO STEEPER THAN 4.5% WITHOUT RAILING AND 7.8% WITH RAILING. THE CROSS-SLOPE SHALL BE MINIMUM 1% AND MAXIMUM 1.5% OR AS NOTED ON THE DRAWINGS. ALL LANDING AND TRANSITION AREAS SHALL BE LESS THAN 1.5% IN ALL DIRECTIONS. THESE LIMITS PROVIDE A 0.5% MARGIN FROM THE DEPARTMENT OF JUSTICE (DOJ) ADA REQUIREMENTS TO ALLOW FOR CONSTRUCTION
- ANY HARDSCAPE, LANDINGS, ACCESSIBLE PARKING SPACES, COURTS, SHELTERS, GATHERING AREAS, GRILL PADS, AND OTHER APPLICABLE FEATURES THAT ARE BUILT WITHOUT COMPLYING WITH THE ABOVE CODE MUST BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO M-NCPPC.

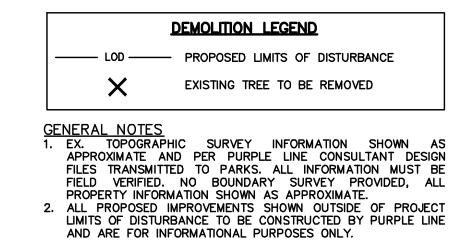
ESC/SWM SHEET X OF X

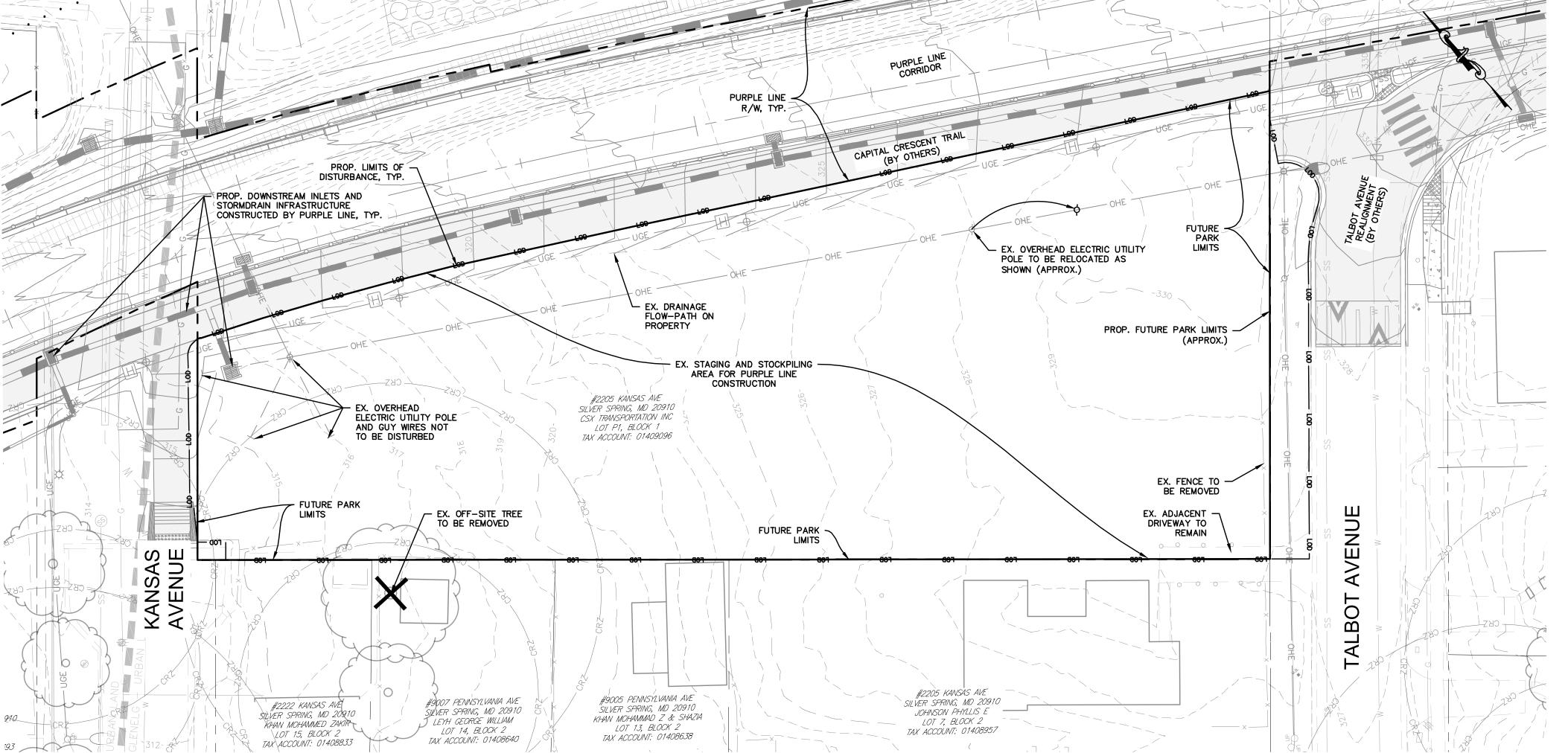
Lyttonsville Area Future Neighborhood Park 2205 Kansas Avenue, Silver Spring, Maryland 20910

**GENERAL NOTES AND APPROVALS** 

DWG.#

SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD SCALE: AS SHOWN LIBER/FOLIO: TBD





EXISTING CONDITIONS AND DEMOLITION PLAN

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



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			docu
JON MALLORY	23.07.13	DAVID MITCHELL	that
Landscape Designer	Date	Checked By:	the I
Architect	Date	Checked By:	Lice
JASON AZAR, P.E.	23.07.20	DANA CLARK	
Engineer	Date	Checked By:	Expi
MATT EDELMAN, E.I.T.	23.07.20	JASON AZAR	
Drawn by	Date	Checked By:	

ofessional Certification. I hereby certify that these cuments were prepared or approved by me, and at I am a duly licensed professional engineer under e laws of the State of Maryland.

ense No. 31168 piration Date <u>01/12/2025</u>

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The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks 2425 Reedie Drive, 11 <sup>th</sup> Floor
Wheaton, Maryland 20902 (301) 495-2595

REVIEW AND APPROVAL		ISSUE	D FOR PRO	Lyttonsville Ar	
				REVISIONS	2205 Kansas Avenu
		Rev. No.	Date	Description	
Project Manager	Date	1	23.08.18	35% Construction Documents	EXISTING CON
Construction Manager	Date	-			_
Park Manager	Date				SCALE: AS SHOWN

Lyttonsville Area Future Neighborhood Park	DV
2205 Kansas Avenue, Silver Spring, Maryland 20910	יאטן

**EXISTING CONDITIONS AND DEMOLITION PLAN** 

SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD LIBER/FOLIO: TBD

1 INCH = 20 FT.

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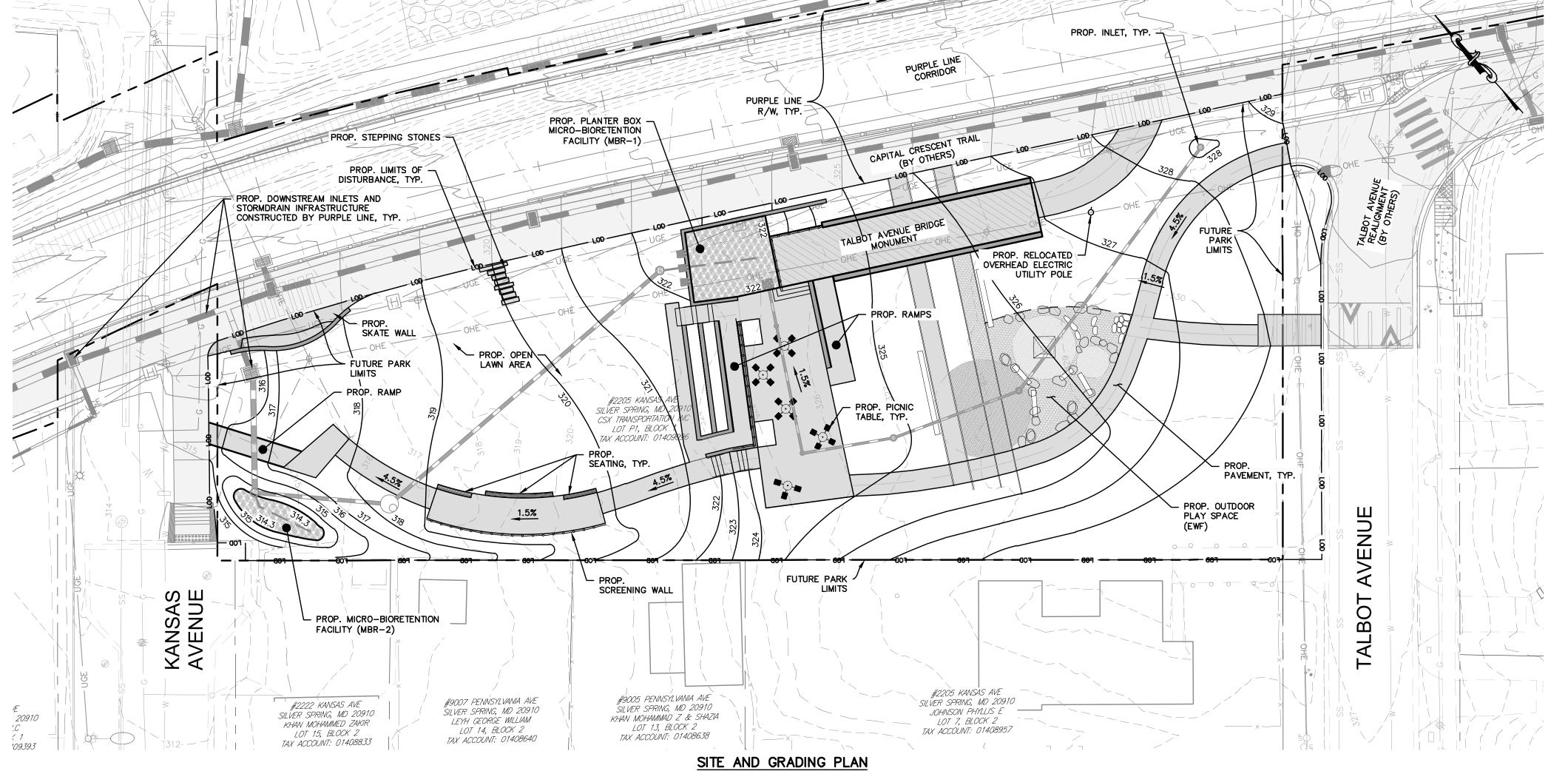
PROPOSED PAVEMENT

PROPOSED LIMITS OF DISTURBANCE

PROPOSED MICRO-BIORETENTION AREA

PROPOSED PLAY SPACE (EWF)

PROPOSED BRIDGE MONUMENT

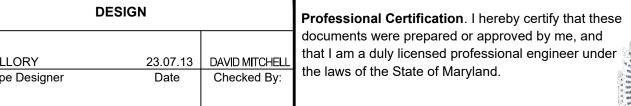


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JON MALLORY	23.07.13	DAVID MITCHELL
Landscape Designer	Date	Checked By:
Architect	Date	Checked By:
JASON AZAR, P.E.	23.07.20	DANA CLARK
Engineer	Date	Checked By:
MATT EDELMAN, E.I.T.	23.07.20	JASON AZAR
Drawn by	Date	Checked By:



cense No. 31168 piration Date 01/12/2025

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The Maryland-National Capital	
Park and Planning Commission	
Montgomery County Department of Parks	
2425 Reedie Drive, 11 <sup>th</sup> Floor	ļ
Wheaton, Maryland 20902	

(301) 495-2595

		REVISIONS		
		Rev. No.	Date	Description
Project Manager	Date	1	23.08.18	35% Construction Documents
Construction Manager	Date			
Park Manager	Date			

**REVIEW AND APPROVAL** 

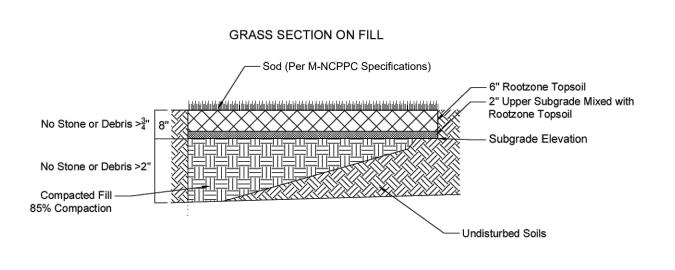
ISSUED FOR PROCUREMENT ON\_

Lyttonsville Area Future Neighborhood Park
2205 Kansas Avenue, Silver Spring, Maryland 20910

## SITE AND GRADING PLAN

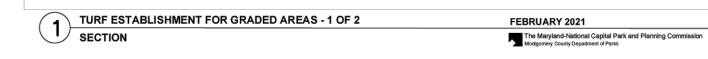
SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD LIBER/FOLIO: TBD SCALE: AS SHOWN

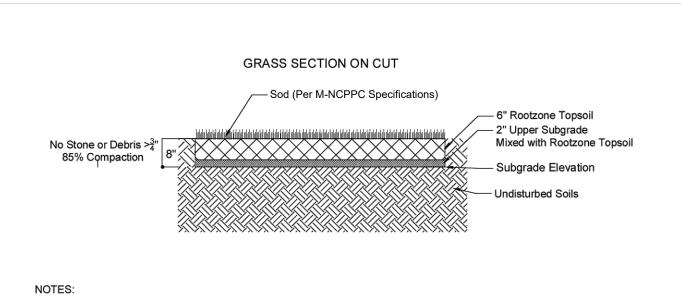
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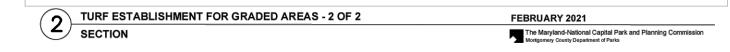
### NOTES:

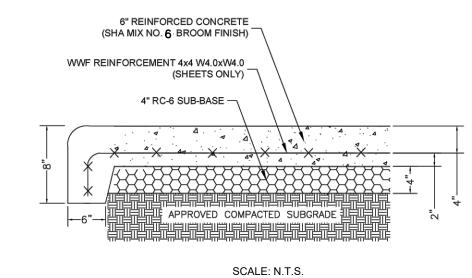
- 1. FINAL SUBGRADE ELEVATION SHALL BE 6" BELOW FINAL GRADE ELEVATION WHETHER ON CUT OR FILL.
- 2. ROOTZONE TOPSOIL IS IMPORTED PREMIXED OR AMENDED ON SITE SOILS, BOTH TO MEET SPECIFICATION 728.
- ROOTZONE WILL BE PLACED IN TWO LIFTS. THE FIRST LIFT IS 2" AND WILL BE MIXED WITH TOP 2" OF SUBGRADE. THE SECOND LIFT IS THE FINAL 4" OF TOPSOIL.
- 4. FINAL SUBGRADE AND ROOTZONE SHOULD HAVE A COMPACTION OF 80 85%
- 5. STONE AND DEBRIS REMOVAL WILL BE STRICTLY ENFORCE. SPECIALIZE EQUIPMENT TO DO THIS WORK MIGHT INCLUDE A HARLEY RAKE, DRUM SCREENER, OR OTHER APPROPRIATE EQUIPMENT NEEDED TO ACHIEVE INTENDED RESULT.





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### OTES:

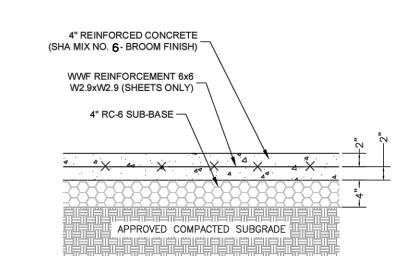
- CROSS-SLOPE SHALL NOT EXCEED 1.5%. SEE DETAIL 505 FOR ACCESSIBLE PARKING.
- $2.\ REFER\ TO\ SHA\ STANDARD\ SPECIFICATIONS\ FOR\ CONSTRUCTION\ AND\ MATERIALS\ (LATEST\ EDITION).$
- 3. IF IN A RIGHT-OF-WAY, APPROPRIATE TRANSPORTATION AGENCY REQUIREMENTS SHALL BE USED.
- 4. PLACE GEOGRID AS DIRECTED BY M-NCPPC CM.
- 5. STANDARD DUTY CONCRETE PAVEMENT SECTION TO BE USED WITHIN ADA PARKING SPACES AND AREAS SUBJECT TO LIGHT VEHICULAR TRAFFIC ONLY.
- 6. APPLY W.R. MEADOWS VOCOMP-20 CURING AND SEALING AGENT (OR APPROVED EQUAL) TO ALL CONCRETE SURFACES PER MANUFACTURER'S INSTRUCTIONS.

  The Maryland-National Capital Park and Planning Commission

  CONCRETE PAVEMENT PARKING LOTS AND WALKWAYS WITH VEHICULAR USE

  Montgomery County Department of Parks

  No. 514



### NOTES:

- 1. CROSS-SLOPE SHALL NOT EXCEED 1.5%.
- $2.\ REFER\ TO\ SHA\ STANDARD\ SPECIFICATIONS\ FOR\ CONSTRUCTION\ AND\ MATERIALS\ (LATEST\ EDITION).$

SCALE: N.T.S.

- 3. PLACE GEOGRID AS REQUIRED BY THE M-NCPPC CM
- 4. APPLY W.R. MEADOWS VOCOMP-20 CURING AND SEALING AGENT (OR APPROVED EQUAL) TO ALL CONCRETE SURFACES PER MANUFACTURER'S INSTRUCTIONS.

CONCRETE PAVEMENT - PEDESTRIAN WALKWAYS

SECTION

JANUARY 2021

The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks

No. 513

### FINISHED GRADE (SEE SITE PLANS FOR SLOPES & ELEVATIONS) - "FIBARDRAIN" (OR EQUAL) DRAINAGE SYSTEM, WRAPPED IN FILTER FABRIC. PLACE FIBARDRAIN STRIPS AT 6'-0" O.C. (MIN.) IN DIRECTION OF SUBGRADE SLOPE (PERPENDICULAR TO UNDERDRAIN OUTFALL AREA) ACROSS THE ENTIRE WIDTH OR LENGTH OF THE PLAYGROUND PROP. CONCRETE PLAYGROUND EDGE/WALL SLOPE: 1% 6' MINIMUM O.C 🗸 NO HORIZONTAL FILTER 🚣 SUPPLY AND INSTALL A HEAVY DUTY POLYETHYLENE-- ENGINEERED WOOD FIBER SAFETY SURFACE HARDWARE NET, 1/2"X1/2" OPENINGS BY MEMPHIS NET & TWINE OR APPROVED EQUAL BETWEEN THE TOP OF THE STONE LAYER AND THE BOTTOM OF THE SCARIFY SUBGRADE TO A DEPTH OF 4" ENGINEERED WOOD FIBER LAYER. PRIOR TO SAND PLACEMENT

### IOTES:

INSTALL SAFETY SURFACE AND UNDER DRAINAGE SYSTEM PER PLAY MANUFACTURER'S SPECIFICATIONS.
 CONTRACTOR TO VERIFY 6" THICKNESS OF SAND/STONE BELOW DRAINAGE SYSTEM PRIOR TO DRAIN INSTALLATION THROUGHOUT PLAYGROUND AREA. FIBARDRAINS OUTLET TO OVERFLOW RESERVOIR.

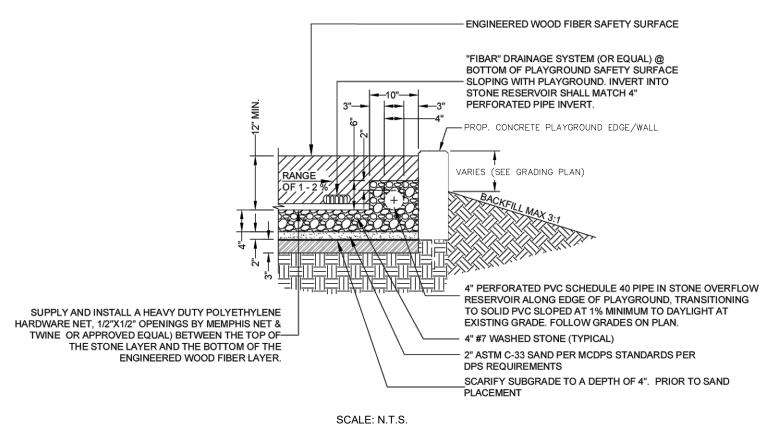
SCALE: N.T.S.

FIBARDRAINS OUTLET TO OVERFLOW RESERVOIR.

3. NO HORIZONTAL FILTER FABRIC MAY BE PLACED EXCEPT TO WRAP DRAIN PIPES.

4. CONTRACTOR TO SUBMIT MATERIAL CERTIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.





- 1. OUTFALL PIPE TO BE SOLID, NOT PERFORATED, FROM END OF STONE RESERVOIR TO DAYLIGHT AT EXISTING GRADE.
  2. PERFORATIONS SHALL BE 3/8" DIAMETER EVERY 90 DEGREES ALL AROUND THE PIPE AND PLACED 4" ON CENTER ALONG THE PVC SCHEDULE 40 PIPE IN
- 3. PROVIDE 6" MINIMUM COVER OVER STONE OVERFLOW RESERVOIR.

OVERFLOW SWM DRAIN FOR PLAYGROUND
SECTION

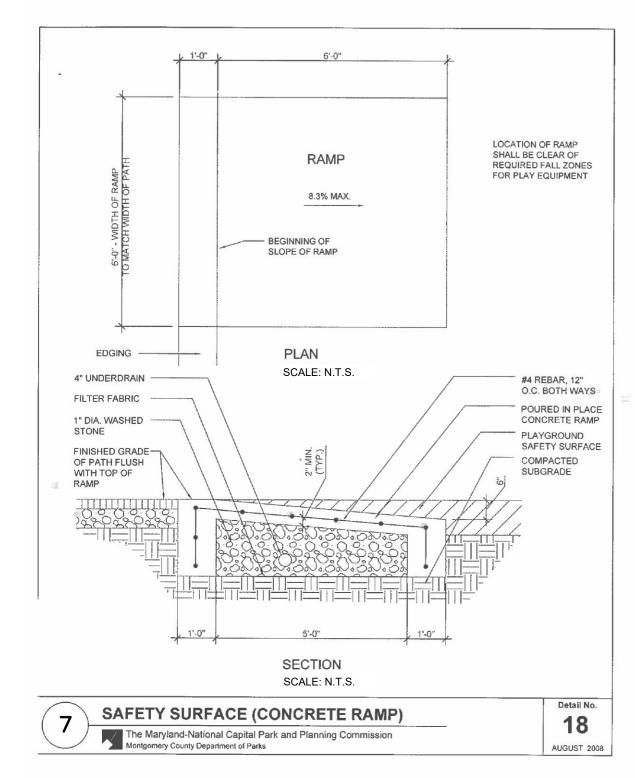
OVERFLOW SWM DRAIN FOR PLAYGROUND

JANUARY 2021

The Maryland-National Capital Park and Planning Commission

No. 1111

## NOT FOR CONSTRUCTION



CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



DESIGN

JON MALLORY
23.07.13
DAVID MITCHELL
Landscape Designer
Date
Checked By:

Architect
Date
Checked By:

JASON AZAR, P.E.
Engineer
Date
Checked By:

MATT EDELMAN, E.I.T.
Date
Checked By:
Date
Checked By:

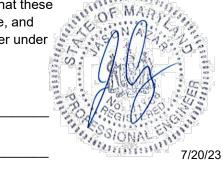
Marchitect
Date
Checked By:

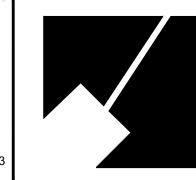
Checked By:

Expiration Date
O1/12/2025

Expiration Date
O1/12/2025

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.







REVIEW AND APPROVAL			ISSUED FOR PROCUREMENT ON			
			REVISIONS			
		Rev. No.	Date	Description		
Project Manager	Date	1	23.08.18	35% Construction Documents		
Construction Manager	Date					
Park Manager	Date					

Lyttonsville Area Future Neighborhood Park 2205 Kansas Avenue, Silver Spring, Maryland 20910

SITE DETAILS

SCALE: AS SHOWN

SUBDIVISION: TBD
PARCEL: TBD; LOT/BLOCK: TBD

DWG. #

C-205
SHT. # \_\_ of \_\_

NOT FOR CONSTRUCTION STORMWATER MANAGEMENT LEGEND

PROPOSED LIMITS OF DISTURBANCE

PROPOSED PLAY SPACE (EWF)

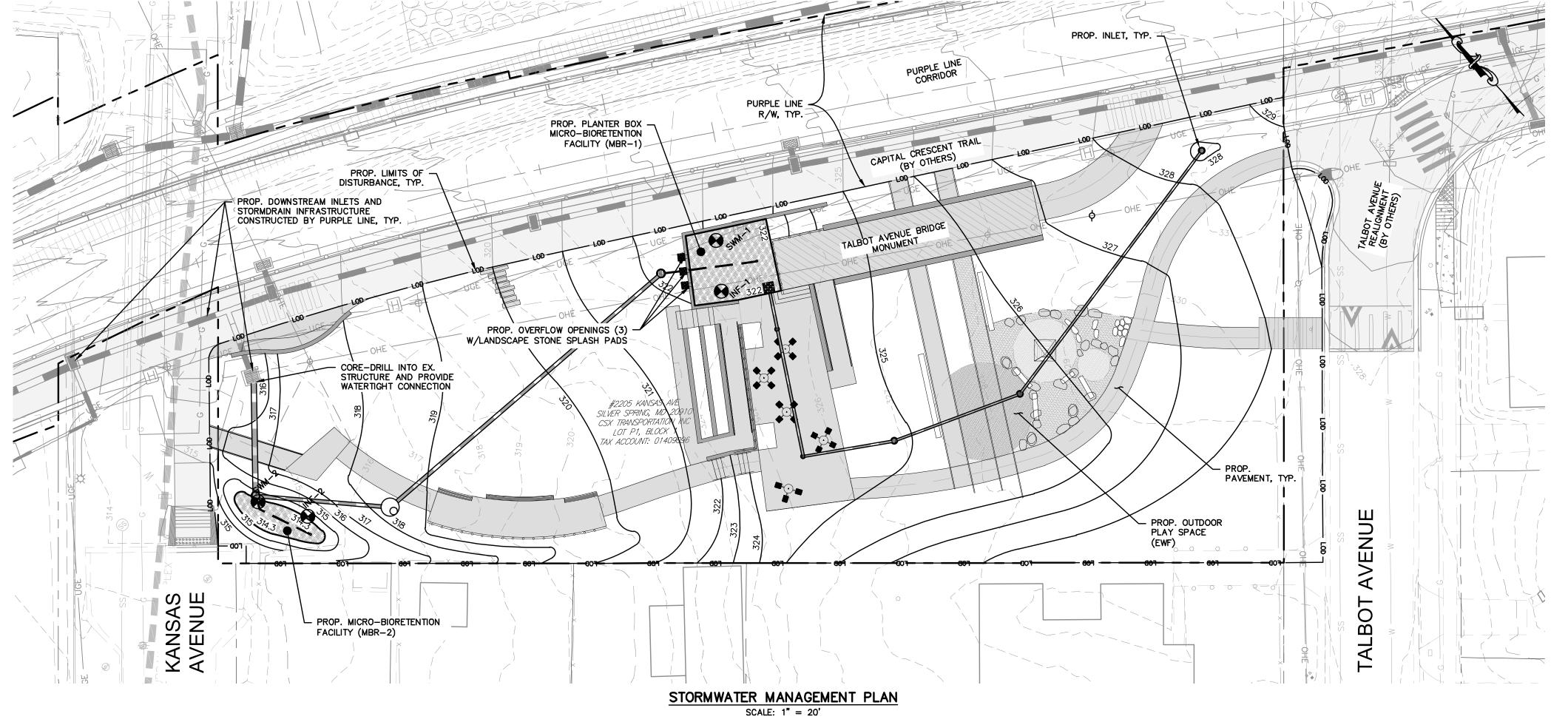
SOIL CLASSIFICATION BOUNDARY

PROPOSED MICRO-BIORETENTION AREA

SOIL BORING/INFILTRATION TEST LOCATION

PROPOSED PAVEMENT

65B - WHEATON SILT LOAM



CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

**CLARK | AZAR & ASSOCIATES** 20440 Century Blvd, Suite 220 Germantown, MD. 20874 T(301) 528-2010

www.clarkazar.com

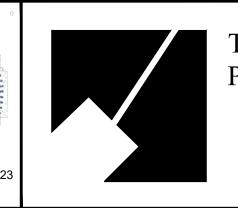
A Woman Owned Small Business

23.07.13 DAVID MITCHEL JON MALLORY Date Checked By: Landscape Designer Architect Date Checked By: JASON AZAR, P.E. Date Checked By: MATT EDELMAN, E.I.T. 23.07.20 JASON AZAR Date Checked By:

DESIGN

**Professional Certification**. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 31168 Expiration Date 01/12/2025



The Maryland-National Capital Park and Planning Commission	
Montgomery County Department of Parks 2425 Reedie Drive, 11 <sup>th</sup> Floor Wheaton, Maryland 20902 (301) 495-2595	

REVIEW AND APPROVAL			D FOR P	ROCUREMENT ON	Lyttonsville Ar	
				REVISIONS	2205 Kansas Avenu	
		Rev. No.	Date	Description		
Project Manager	Date	1	23.08.18	35% Construction Documents	STORMWATER	
Construction Manager	Date					
Park Manager	Date				SCALE: AS SHOWN	

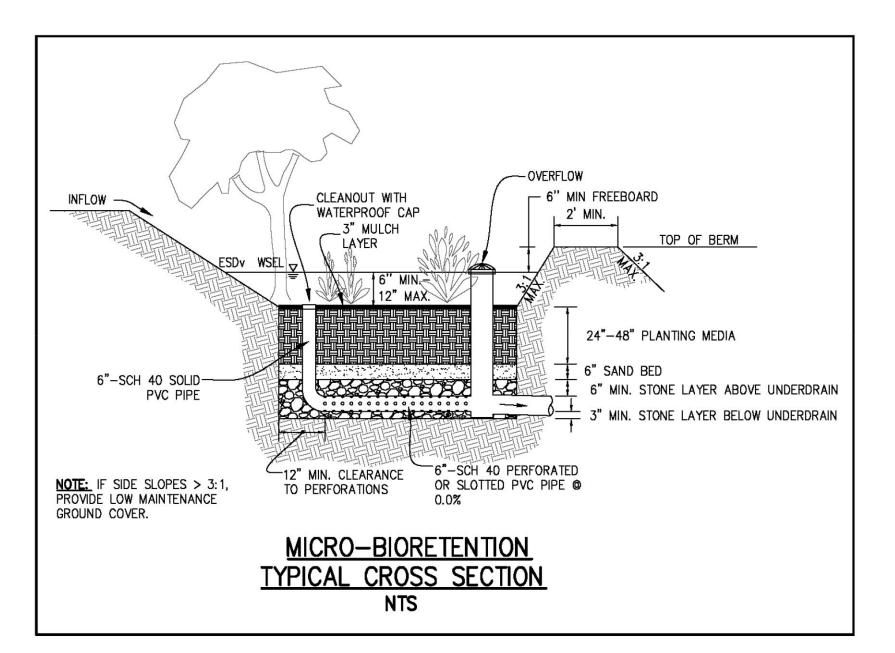
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	ISSUED FOR PROCUREMENT ON	Ly	⁄ttonsvi	lle Ar	rea Future Neighborho	od Park	
	REVISIONS				e, Silver Spring, Maryland 20		DWG.

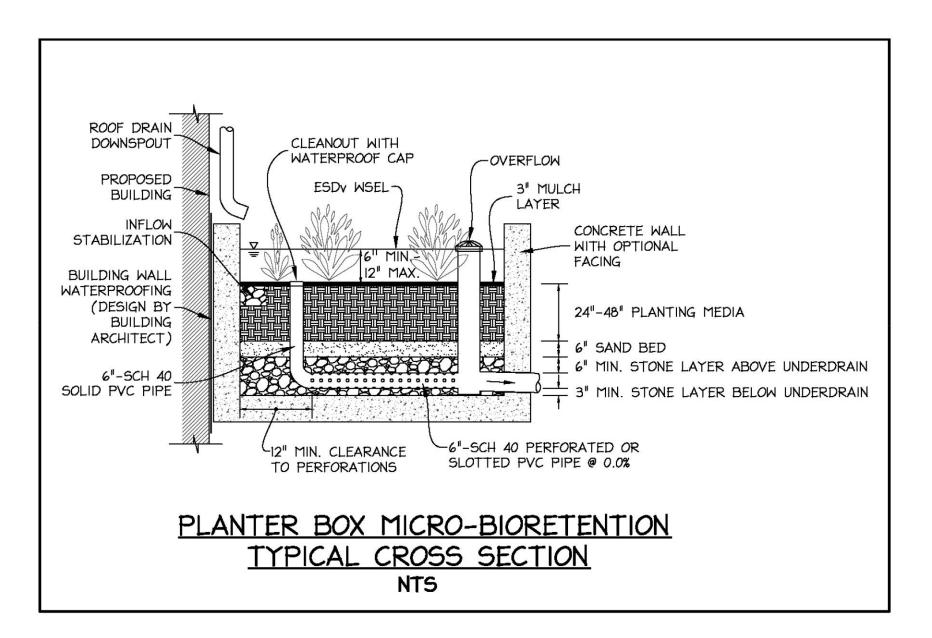
LIBER/FOLIO: TBD

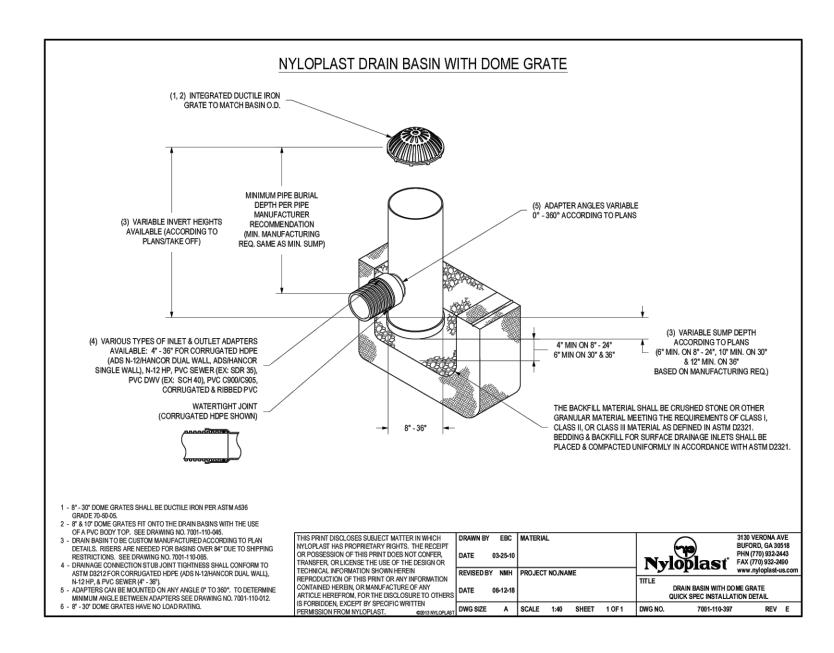
## STORMWATER MANAGEMENT PLAN

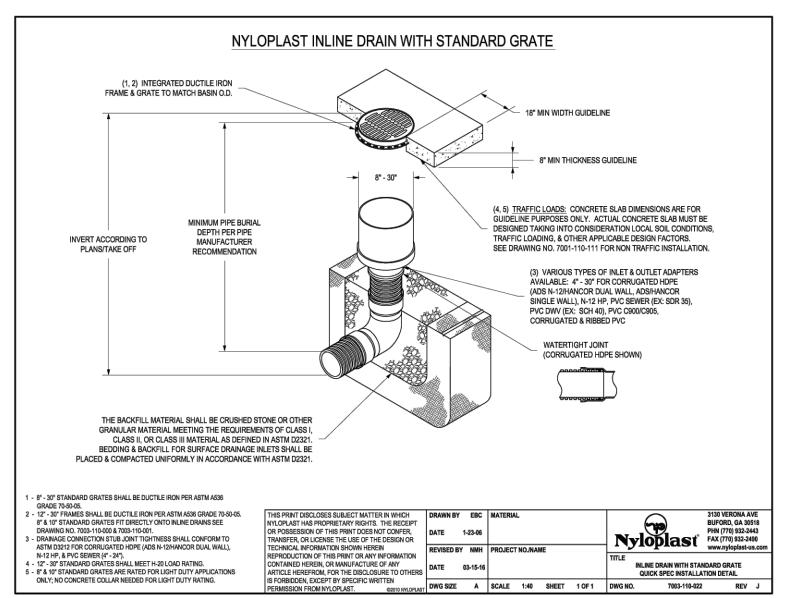
SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD

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C-300
<b>SHT. #</b> of









### CONSTRUCTION INSPECTION

CHECK-OFF LIST FOR MICRO BIORETENTION FACILITY (MBR-1, MBR-2) INSPECTOR DEVELOPER MANDATORY NOTIFICATION: Inspection and approval of each practice is INITIALS/DATE INITIALS/DATE required at these points prior to proceeding with construction. The permittee is required to give the MCDPS Inspector twenty-four (24) hours notice (DPS telephone 240-777-0311). The DPS inspector may waive an inspection, and allow the owner/developer to make the required inspection per a prior scheduled arrangement which has been confirmed with the DPS inspector in writing. Work completed without MCDPS approval may result in the permittee having to remove and reconstruct the unapproved work. Upon completion of the project, a formal Stormwater Management As-Built must be submitted to MCDPS unless a Record Drawing Certification has been allowed instead. Each of the steps listed below must be verified by either the MCDPS Inspector OR the Owner/Developer. Excavation for Micro Bioretention facility conforms to approved Placement of stone backfill and underdrain system conforms to approved plans Placement of filter media conforms to approved plans Connecting pipes and/or grading conveyance to the facility Final grading and permanent stabilization conforms to approved

TOTAL NUMBER OF MICRO BIORETENTION FACILITIES INSTALLED PER THIS PERMIT

APPROVED 2 CONSTRUCTED

### SAND SPECIFICATIONS:

WASHED ASTM C33 FINE AGGREGATE CONCRETE SAND IS UTILIZED FOR STORMWATER MANAGEMENT APPLICATIONS IN MONTGOMERY COUNTY. IN ADDITION TO THE ASTM C33 SPECIFICATION, SAND MUST MEET ALL OF THE FOLLOWING CONDITIONS:

- 1. SAND MUST MEET GRADATION REQUIREMENTS FOR ASTM C-33 FINE AGGREGATE
- CONCRETE SAND. AASHTO M-6 GRADATION IS ALSO ACCEPTABLE. 2. SAND MUST BE SILICA BASED. NO LIMESTONE BASED PRODUCTS MAY BE USED. I
- THE MATERIAL IS WHITE OR GRAY IN COLOR, IT IS PROBABLY NOT ACCEPTABLE. 3. SAND MUST BE CLEAN. NATURAL, UNWASHED SAND DEPOSITS MAY NOT BE USED. LIKEWISE. SAND THAT HAS BECOME CONTAMINATED BY IMPROPER STORAGE OR
- INSTALLATION PRACTICES WILL BE REJECTED. 4. MANUFACTURED SAND OR STONE DUST IS NOT ACCEPTABLE UNDER ANY CIRCUMSTANCE

## MICRO-BIORETENTION MULCH, PLANTING MEDIA, SAND, GRAVEL, AND FILTER FABRIC MATERIAL SPECIFICATIONS

THE SURFACE MULCH LAYER WILL CONSIST OF STANDARD FINE SHREDDED AGED HARDWOOD MULCH. THE MULCH SHOULD BE APPLIED UNIFORMLY TO A DEPTH OF 3 INCHES. YEARLY REPLENISHING MAY BE NECESSARY. PINE BARK IS NOT ACCEPTABLE.

THE PLANTING MEDIUM SHALL BE 24"-48" THICK AND SHALL CONSIST OF 1/3 PERLITE OR SOLITE, 1/3 COMPOST AND 1/3 TOPSOIL. THE PERLITE SHALL BE COARSE GRADE HORTICULTURAL PERLITE. THE COMPOST SHALL BE HIGH GRADE COMPOST FREE OF STONES AND PARTIALLY COMPOSTED WOODY MATERIAL. THE TOPSOIL COMPONENT SHALL MEET THE FOLLOWING CRITERIA: CONTAIN NO MORE THAN 10% CLAY, 10—25% SILT AND 60—75% SAND AND BE FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN 2 INCHES. THE FIRST LAYER OF THE PLANTING MEDIUM SHALL BE LIGHTLY TILLED TO MIX IT INTO THE 6-INCH SAND LAYER, SO AS NOT TO CREATE A DEFINITIVE BOUNDARY. THE SHALL BE FILLED BACK TO THE DESIGN ELEVATION.

### SAND BED

A MINIMUM 6-INCH FINE AGGREGATE SAND LAYER SHALL BE PROVIDED BELOW THE PLANTING MEDIUM. ASTM C33 OR AASHTO M6 FINE AGGREGATE CONCRETE SAND IS REQUIRED PER MONTGOMERY COUNTY SAND SPECIFICATIONS.

### GRAVEL BED

THE GRAVEL LAYER SURROUNDING THE UNDERDRAIN PIPE(S) MUST MEET MSHA SIZE #7 (TABLE 901A), AND MUST PROVIDE A MINIMUM OF 6 INCHES COVER OVER THE PIPE(S), AND MINIMUM 3 INCHES UNDER THE PIPE. NO GEOTEXTILE OR FILTER FABRIC IS ALLOWED TO BE PLACED HORIZONTALLY ANYWHERE WITHIN THE FILTER MEDIA. THE GRAVEL MUST BE CLEAN AND MUST BE STORED AND INSTALLED IN SUCH A MANNER THAT IT DOES NOT BECOME CONTAMINATED WITH SEDIMENT BEFORE OR AFTER INSTALLATION.

PROVIDE APPROVED FILTER CLOTH (MIRAFI 140N OR APPROVED EQUIVALENT) ON THE SIDES OF THE TRENCH ONLY. DO NOT PLACE ANY GEOTEXTILE OR FILTER FABRIC ON THE BOTTOM OF THE TRENCH, OR HORIZONTALLY ANYWHERE WITHIN THE FACILITY.

### **Montgomery County Stormwater Management Facility Guidelines**

In order to function properly, all stormwater management facilities require maintenance. Maintenance requirements and frequencies may vary from site to site and between types of facilities. The following information is designed to provide general information about facility types and maintenance requirements. For specific guidance on tormwater management facility maintenance, contact:

The Montgomery County Department of Environmental Protection (MCDEP) at 240-777-7770. Note: Special equipment may be required for any person entering an enclosed space. Contact MCDEP for guidance

### Facilities applicable to this As-Built Record Drawing are marked with an "X" below

prior to attempting to enter into any enclosed space.

### Dry Detention Pond

A dry detention pond serves to protect downstream properties and receiving streams from excessive erosion and flooding. It does this by temporarily storing water during a large storm event, and releasing it at a controlled rate through a low flow orifice. Routine maintenance for dry ponds includes regular mowing of the pond and embankment, and checking to ensure that the low flow orifice and trash grate does not become clogged with debris. This pond is not designed to hold a permanent pool of water. Standing water may indicate that the low flow orifice has become clogged and is in need of maintenance.

A wet retention pond serves to protect downstream properties and receiving streams from excessive erosion and flooding. It does this by temporarily storing water during a large storm event, and releasing it at a controlled rate through a low flow orifice. In addition, the pond provides a measure of water quality by retaining a permanent pool of water. Routine maintenance for these ponds includes regular mowing of the pond slopes and embankment, and checking to ensure that the low flow orifice does not become clogged with debris. A metal hood or elbow that extends below the permanent water surface elevation typically protects the low flow orifice on these ponds. If this hood or elbow is completely submerged below the surface of the pond, the orifice is likely clogged and in need of

### \_ Underground Storage

This structure consists of underground storage pipes designed to temporarily detain stormwater runoff and release it at a controlled rate through a low flow orifice. Routine maintenance consists of inspecting the orifice to ensure that it does not become clogged with debris. Note: Special equipment may be required for any person entering an enclosed space. Contact MCDEP for guidance prior to attempting to enter into any enclosed space

### Montgomery County Sand Filter

The purpose of the sand filter is to intercept and treat stormwater runoff to improve the quality of water leaving the development. Water flows onto the filter and slowly seeps through it, where it is collected by an underdrain pipe and directed to an outfall. This movement of the water through the sand media filters out many of the pollutants. The sand filter should usually dry up within 48 hours. If water stands on the filter for longer periods of time,

Because the sand acts as a filter, it will eventually clog. Clogging generally effects the topmost portion of the sand, leaving underlying sand unclogged. To increase the life of the filter, the top layer should be raked on a regular basis in order to break up any surface clogging that may occur. Eventually the top 3" - 4" of sand will likely require removal and replacement with new, clean material. If the sand filter is provided with a gravel top layer, routine raking will not be possible.

### Infiltration Trench

An infiltration trench is an underground stone reservoir which collects storm runoff and allows it to slowly seep back into the ground. On top of the trench is a layer of gravel, under which is a layer of filter fabric. The infiltration rench should appear dry within 12-24 hours after a storm event. If standing water is observed on the facility, it may indicate that the filter fabric is in need of removal and replacement. The purpose of the filter fabric is to trap small particles that might otherwise enter the facility and cause the bottom of the trench to fail.

The purpose of Bio Filtration is to intercept and treat stormwater to improve water leaving the development. Water flows into the facility and slowly seeps through it, where it is collected by an underdrain pipe and directed to an outfall. This movement of the water through the media filters out many of the pollutants. The Bio Filtration area should usually dry up within 48 hours. If water stands on the filter for longer periods of time, maintenance is

Maintenance of this type of facility generally includes replacement of dead or diseased plant material and replenishment of the mulch layer as required. In addition, it may be necessary to rake the surface of the sand window" to encourage proper drainage. The Bio Filter is intended to be an actively maintained landscape area.

Many of the stormwater management facilities in Montgomery County receive drainage via a device which is designed to divert only the first and dirtiest flush of stormwater runoff to the water quality treatment facility. This ncreases the efficiency of pollutant removal. Larger flows are diverted around the facility to preserve efficiency. Flow splitter pipes and trash grates should be checked periodically to ensure that they are not clogged with debris. Note: Special equipment may be required for any person entering an enclosed space. Contact MCDEP for guidance prior to attempting to enter into any enclosed space.

The Stormfilter is a proprietary device in which water flows through a filter media to remove pollutants. The filter replacement, the structure should be checked periodically to ensure that it is not clogged with debris.

### Stormceptor, Bay Saver, Vortechnics, or other Hydrodynamic Structure

These proprietary structures are essentially manholes that serve to separate sediments from floatable pollutants, such as oil. The oils and sediments are trapped within the facility. These structures should be inspected periodically to ensure that the pipes are not clogged by debris. In addition, the pollutant build-up within the facility must be monitored regularly and the trapped materials removed once the storage capacity of the device has been reached. A licensed contractor must remove the materials from the facility.

facilitynotes.doc 09/24/03

Other Facility - Described below:

ALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



ON MALLORY 23.07.13 DAVID MITCHE Landscape Designer Checked By: Architect Date Checked By License No. 31168 JASON AZAR, P.E. 23.07.20 | DANA CLAR Date Checked By Expiration Date 01/12/2025 MATT EDELMAN, E.I.T. 23.07.20 JASON AZAF Date Checked By

DESIGN

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Marvland.





The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks 2425 Reedie Drive, 11<sup>th</sup> Floor Wheaton, Maryland 20902 (301) 495-2595

REVIEW AND APPROVAL			ISSUED FOR PROCUREMENT ON			
		REVISIONS				
		Rev. No.	Date	Description		
Project Manager	Date	1	23.08.18	35% Construction Documents		
Construction Manager	Date					
Park Manager	Date					

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## ESC/SWM SHEET X OF X

Lyttonsville Area Future Neighborhood Park 2205 Kansas Avenue, Silver Spring, Maryland 20910

### STORMWATER MANAGEMENT DETAILS

SCALE: AS SHOWN

C-310 **SHT.#** \_\_ of .

DWG.#

SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD LIBER/FOLIO: TBD

<u>LIMITS OF DISTURBANCE</u>: TOTAL AREA = 30,898 SF PERVIOUS AREA = 22,045 SF IMPERVIOUS AREA = 8,853 SF PERCENT IMPERVIOUS = 28.7%

DRAINAGE AREA 1 (TO MBR-1): TOTAL AREA = 19,447 SF PERVIOUS AREA = 12,071 SF IMPERVIOUS AREA = 7,376 SF PERCENT IMPERVIOUS = 37.9%

DRAINAGE AREA 1 (TO MBR-2): TOTAL AREA = 8,161 SF PERVIOUS AREA = 6,347 SF IMPERVIOUS AREA = 1,814 SF PERCENT IMPERVIOUS = 22.2%

	<u>LEGEND</u>
	POST-DEVELOPMENT SWM DRAINAGE AREA
	PRE-DEVELOPMENT DRAINAGE DIVIDE
	POST-DEVELOPMENT DRAINAGE DIVIDE
LOD	PROPOSED LIMITS OF DISTURBANCE

DOWNSTREAM PIPE ID	STRUCTURE	PRE-DEVELOPMENT 10-YR FLOW (CFS)	POST-DEVELOPMENT 10-YR FLOW (CFS)	PIPE SIZE	PIPE CAPACITY (CFS)	EXCESS PIPE CAPACITY (CFS)
P-I-28-14	I-28-14	1.07	2.23	18"	7.43	5.20
P-T-28-01	T-28-01	6.87	8.03	18"	10.25	2.22
P-I-28-16	I-28-16	7.66	8.82	24"	16.33	7.51
	1 20 17		_			_

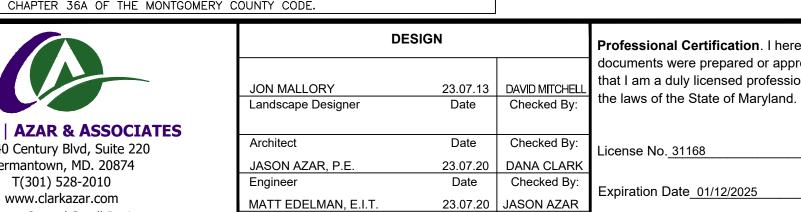
#2200 MICHIGAN AV. SILVER SPRING, MD 2C GALEAS MIRVA LOT P25, BLOCK 3

TAX ACCOUNT: 01409.

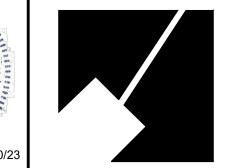
#2202 MICHIGAN AVE SILVER SPRING, MD 20: BONILLA REINA LOT 24, BLOCK 3 TAX ACCOUNT: 01409C

- DOWNSTREAM ANALYSIS TO OFFSITE PRIVATE STORMDRAIN SYSTEM PERFORMED TO (3) STRUCTURES DOWNSTREAM OF
- ON-SITE CONNECTION. OFFSITE PRIVATE STORMDRAIN SYSTEM TO BE CONSTRUCTED BY THE PURPLE LINE.
- DOWNSTREAM PIPE FLOW INFORMATION PROVIDED BY THE PURPLE LINE FOR ANALYSIS OF ADEQUATE CAPACITY IN SYSTEM FOR POST-DEVELOPMENT FLOWS FROM PROPOSED PARK SITE DEVELOPMENT. PROPOSED DOWNSTREAM STORMDRAIN SYSTEM HAS ADEQUATE EXCESS CAPACITY TO ACCOMMODATE FUTURE PARK SITE DEVELOPMENT FLOWS.

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



**Professional Certification**. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.



The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks 2425 Reedie Drive, 11<sup>th</sup> Floor Wheaton, Maryland 20902 (301) 495-2595

REVIEW AND APPROVAL			D FOR PR	OCUREWENT ON	Lyttonsville Ai
				REVISIONS	2205 Kansas Avenu
		Rev. No.	Date	Description	
Project Manager	Date	1	23.08.18	35% Construction Documents	DRAINAGE ARI
Construction Manager	Date	-			
Park Manager	Date				SCALE: AS SHOWN

	E	ES	C/SWM SHEE	T X OF X  (IN FEET ) 1 INCH - 20 FT.
	ISSUE	D FOR P	ROCUREMENT ON	Lyttonsville Area Future Neighborhood Park
			REVISIONS	2205 Kansas Avenue, Silver Spring, Maryland 20910
	Rev. No.	Date	Description	
е	1	23.08.18	35% Construction Documents	DRAINAGE AREA MAP

DWG.# C-311

SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD

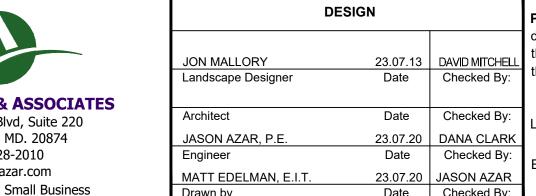
LIBER/FOLIO: TBD

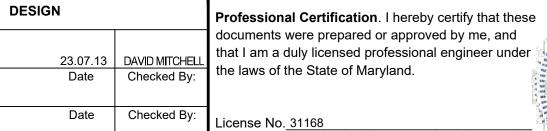
CLARK | AZAR & ASSOCIATES 20440 Century Blvd, Suite 220 Germantown, MD. 20874 T(301) 528-2010

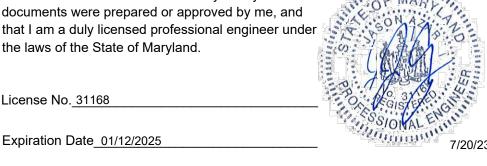
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CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE





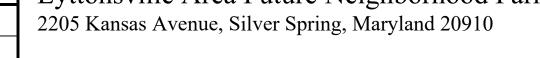




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		Rev. No.	Date	Description	
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Construction Manager	Date				_
Park Manager	Date	_			SCALE: AS SHOWN

REVIEW AND APPROVAL	ISSUE	D FOR P	ROCUREMENT ON	Lyttonsville Area Future		
			REVISIONS	2205 Kansas Avenue, Silver Spring		
	Rev. No.	Date	Description	•		
pr Date	1	23.08.18	35% Construction Documents	EROSION AND SEDIMENT		
anager Date						

E	ESC/SWM SHEET	X OF X	( IN FEET ) 1 INCH = 20 FT.	
	ISSUED FOR PROCUREMENT ON	Lyttonsville Area l	Future Neighborhood Park	
	REVISIONS		lver Spring, Maryland 20910	DWG. #



T CONTROL PLAN

C-400 **SHT.#** \_\_ of \_\_ SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD

LIBER/FOLIO: TBD

	PURPLE LINE CORRIDOR		
PROP. LIMITS OF DISTURBANCE, TYP.	PROP. PLANTER BOX MICRO-BIORETENTION FACILITY (MBR-1)  CAPITAL CRESCENT TRAIL (BY OTHERS)	TAGIP 328 328	1000
	UGE TALBOT AVENUE BRIDGE TALBOT AVENUE BRIDGE OHE 322	CWS CWS	
SIP OHE ZHO OHE	#2205 KANSAS AVE SILVER SPRING, MD 20010 CSX TRANSPORTATION INC LOT P1, BLOCK TAX ACCOUNT: 01409086	AGIP SS	
TISIP TO THE TIME		NATURAL SERVICE SERVIC	
SASAN EX. OFFSITE TREE TO BE REMOVED  PROP. MICRO-BIORETENTION FACILITY (MBR-2)	EROSION AND SEDIMENT CONTROL PLAN	TALBOT A  TALBOTA  TA	
	SCALE: 1" = 20'		

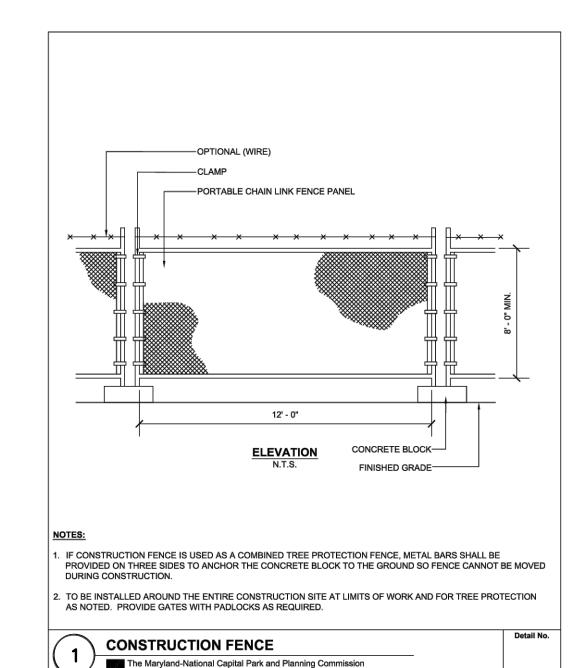
SCALE: 1'' = 20'

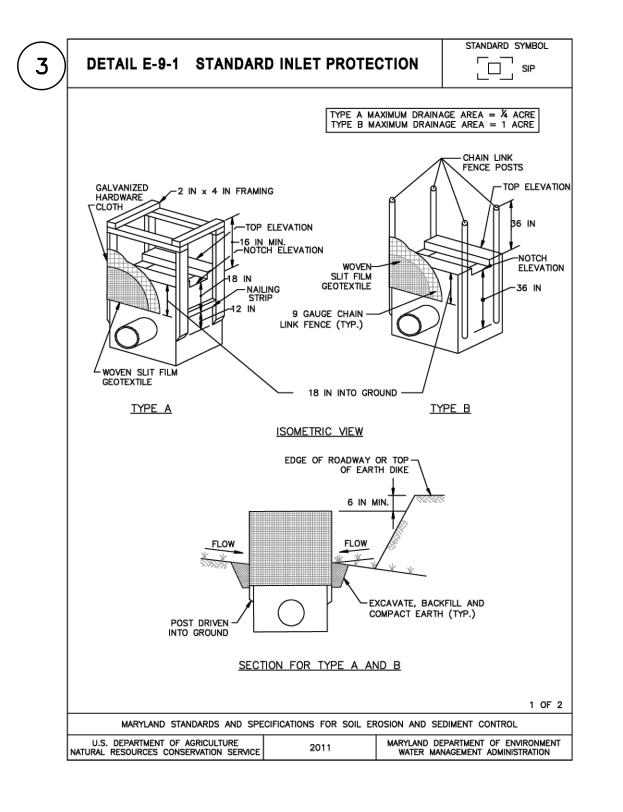
EROSION AND SEDIMENT CONTROL LEGEND PROPOSED STANDARD INLET PROTECTION PROPOSED AT-GRADE INLET PROTECTION PROPOSED STABILIZED CONSTRUCTION ENTRANCE PROPOSED CONCRETE WASHOUT STATION PROPOSED MATERIAL STOCKPILE AREA EXISTING TREE TO BE REMOVED ----- LOD ------- PROPOSED LIMITS OF DISTURBANCE PROPOSED CONSTRUCTION FENCE SOIL CLASSIFICATION BOUNDARY

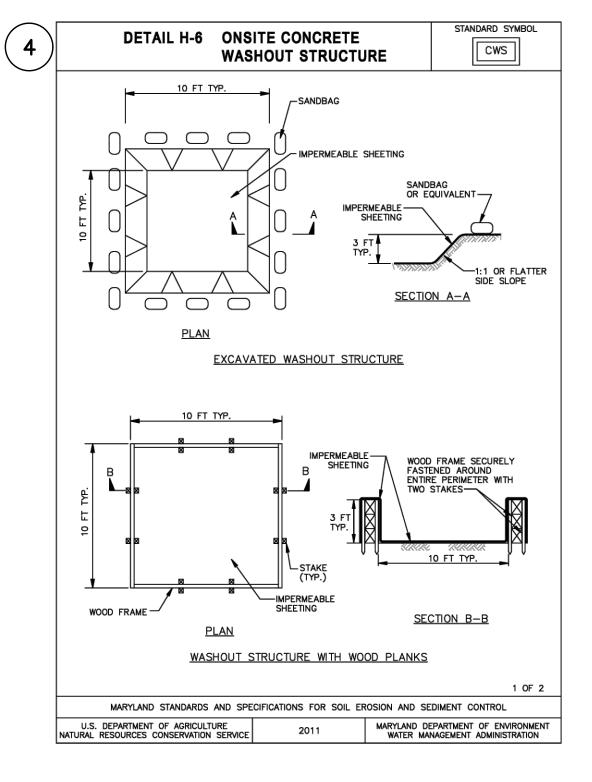
NOT FOR CONSTRUCTION

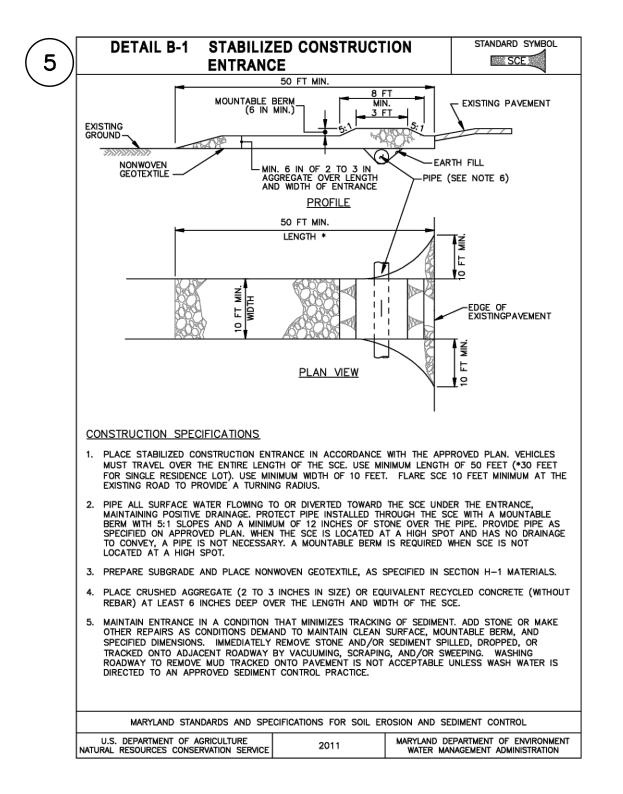
GENERAL NOTES:

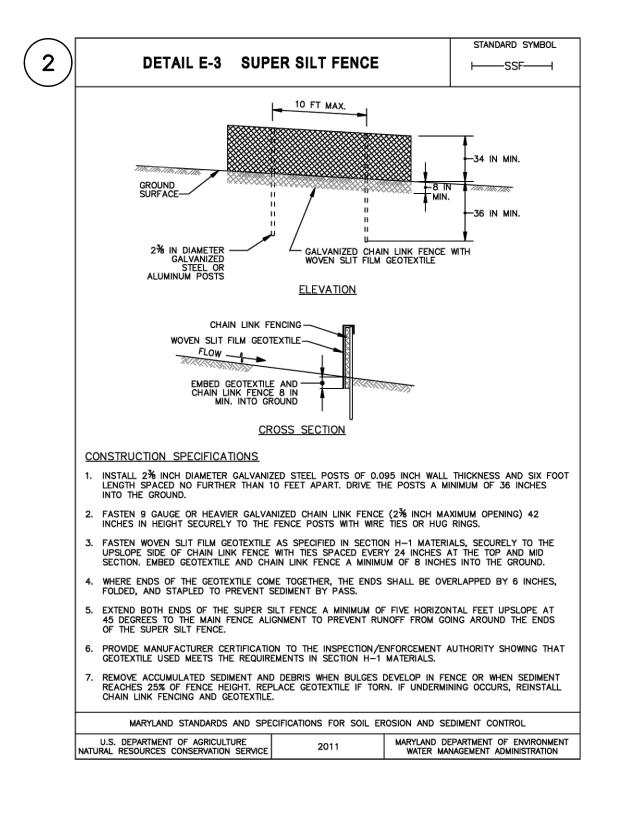
ALL EROSION CONTROL MEASURES ARE SHOWN OFFSET FOR GRAPHICAL PURPOSES ONLY. THESE MEASURES SHOULD BE PLACED ALONG LOD. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION FENCING ALONG THE ENTIRE LIMITS OF DISTURBANCE OR CURRENT ACTIVE CONSTRUCTION WORK AREA THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL COORDINATE WITH PARKS TO DETERMINE EXACT LIMITS IN FIELD.

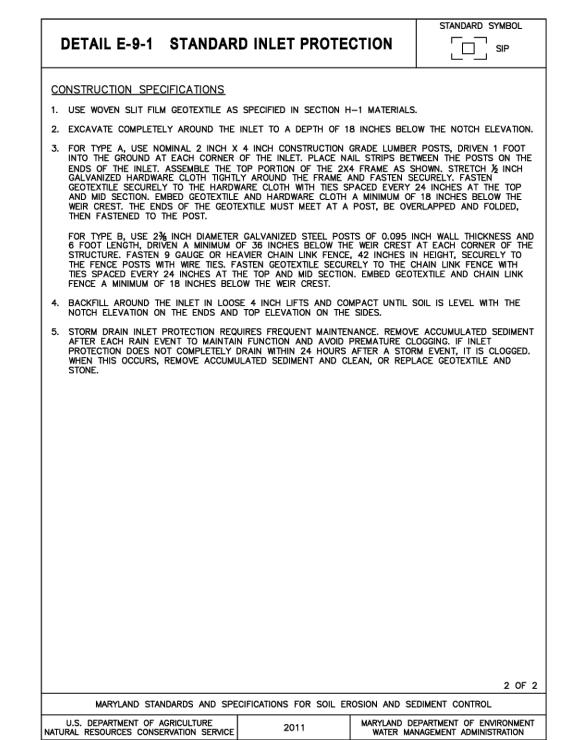


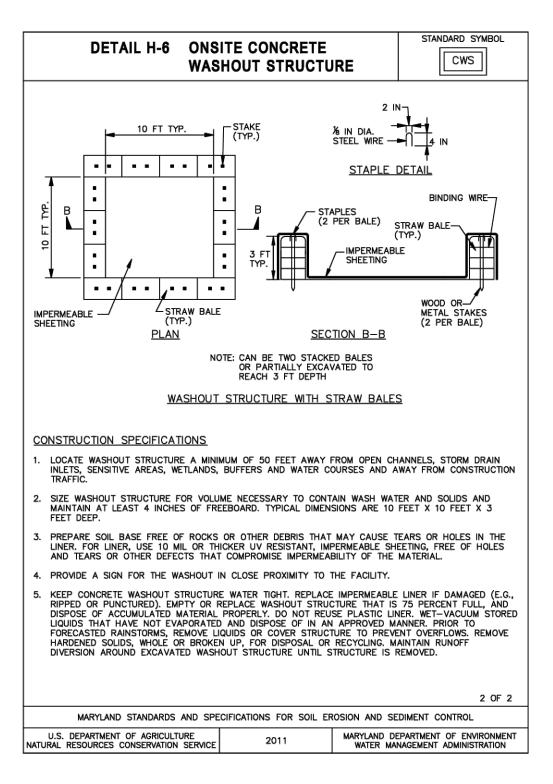


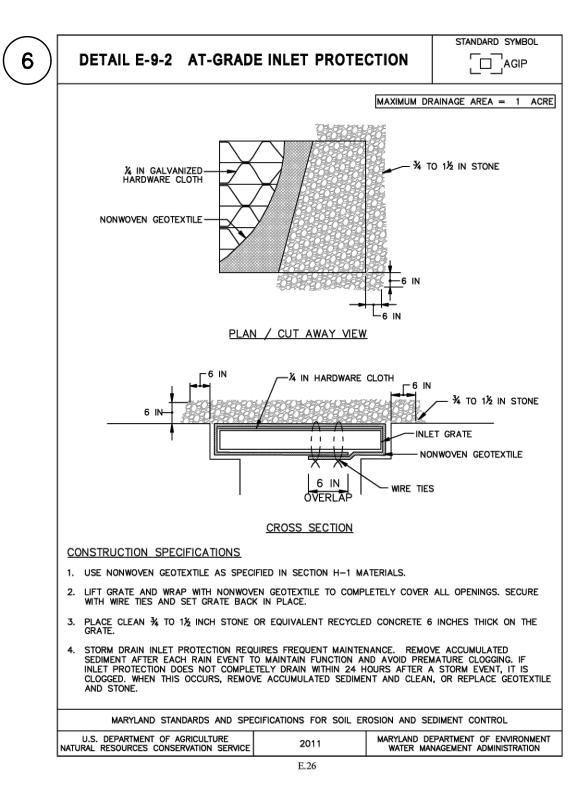












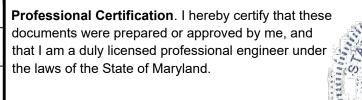
CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH

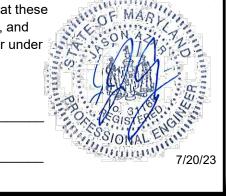
## REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE. **CLARK | AZAR & ASSOCIATES** 20440 Century Blvd, Suite 220 Germantown, MD. 20874 T(301) 528-2010

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-National Capital			REVISIONS			
ning Commission			Rev. No.	Date	Description	
y Department of Parks	Project Manager	Date	1	23.08.18	35% Construction Documents	
Orive, 11 <sup>th</sup> Floor aryland 20902	Construction Manager	Date				
195-2595	Park Manager	Date				

 Lyttonsville Area Future Neighborhood Park 2205 Kansas Avenue, Silver Spring, Maryland 20910
EROSION AND SEDIMENT CONTROL DETAILS

SCALE: AS SHOWN

DWG.# **SHT.#** \_\_ of \_\_

ESC/SWM SHEET X OF X

SUBDIVISION: TBD

PARCEL: TBD; LOT/BLOCK: TBD

PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE(S). PRIOR TO FINAL ACCEPTANCE.

THE PERMITTEE SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE, SHALL HAVE THEM INSPECTED AND APPROVED BY THE DEPARTMENT PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES, SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES, AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURE WITHOUT

THE PERMITTEE SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVERSED PUBLIC THOROUGHFARE(S). ALL MATERIALS DEPOSITED ONTO PUBLIC

THE PERMITTEE SHALL INSPECT PERIODICALLY AND MAINTAIN CONTINUOUSLY IN EFFECTIVE OPERATING CONDITION, ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIME AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM THE DEPARTMENT. THE PERMITTEE IS RESPONSIBLE FOR IMMEDIATELY REPAIRING OR REPLACING ANY SEDIMENT CONTROL MEASURES WHICH HAVE BEEN DAMAGED OR REMOVED BY THE PERMITTEE OR ANY OTHER PERSON.

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND

B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT UNDER ACTIVE GRADING. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE MINIMIZED AND STABILIZED IMMEDIATELY. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE

THE PERMITTEE SHALL APPLY SOD, SEED, AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS WITHIN SEVEN (7) CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED ON THAT AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS, AND AREAS WITHIN FIFTY (50) FEET OF A BUILDING UNDER CONSTRUCTION MAY BE EXEMPT FROM THIS REQUIREMENT, PROVIDED THAT ÉROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED AND MAINTAINED TO PROTECT THOSE AREAS.

PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES, THE PERMITTEE SHALL STABILIZE ALL CONTRIBUTORY DISTURBED AREAS WITH REQUIRED SOIL AMENDMENTS AND TOPSOIL, USING SOD OR AN APPROVED PERMANENT SEED MIXTURE AND AN APPROVED ANCHORED MULCH. WOOD FIBER MULCH MAY ONLY BE USED IN SEEDING SEASON WHEN THE SLOPE DOES NOT EXCEED 10% AND GRADING HAS BEEN DONE TO PROMOTE SHEET FLOW DRAINAGE. AREAS BROUGHT TO FINISHED GRADE DURING THE SEEDING SEASON SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN (7) CALENDAR DAYS OF ESTABLISHMENT. WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, AN APPROVED TEMPORARY SEED AND STRAW ANCHORED MULCH SHALL BE APPLIED TO DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE COMPLETED PRIOR TO THE FOLLOWING APRIL 15.

SITE PERMIT, WORK, MATERIALS, APPROVED SC/SM PLANS, AND TEST REPORTS SHALL BE AVAILABLE AT THE

SURFACE DRAINAGE FLOWS OVER UNSTABILIZED CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER PREVENTING DRAINAGE FLOWS FROM TRAVERSING THE SLOPES OR BY INSTALLING MECHANICAL DEVICES TO LOWER THE WATER DOWN SLOPE WITHOUT CAUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF CUT OR FILL SLOPES UNTIL THE SLOPE AND DRAINAGE AREA TO IT ARE FULLY STABILIZED, AT WHICH TIME THEY MUST BE REMOVED AND FINAL GRADING DONE TO PROMOTE SHEET FLOW DRAINAGE. MECHANICAL DEVICES MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.

PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITHIN 3 CALENDAR DAYS OF ESTABLISHMENT WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING OR BY OTHER

SEDIMENT CONTROL DEVICES SHALL BE REMOVED, WITH PERMISSION OF THE DEPARTMENT, WITHIN THIRTY (30 CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS. STORMWATER MANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.

NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS OR ON RESIDENTIAL LOTS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NONMAINTENANCE AREAS PROVIDED THAT THOSE AREAS ARE INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN WITH A LOW-MAINTENANCE GROUND COVER SPECIFIED FOR PERMANENT STABILIZATION. SLOPE GRADIENT STEEPER THAN 2:1 WILL NOT BE PERMITTED WITH VEGETATIVE STABILIZATION

THE PERMITTEE SHALL INSTALL A SPLASHBLOCK AT THE BOTTOM OF EACH DOWNSPOUT UNLESS THE DOWNSPOUT IS

5. FOR FINISHED GRADING, THE PERMITTEE SHALL PROVIDE ADEQUATE GRADIENTS SO AS TO PREVENT WATER FROM STANDING ON THE SURFACE OF LAWNS MORE THAN TWENTY-FOUR (24) HOURS AFTER THE END OF A RAINFALL, EXCEPT IN DESIGNATED DRAINAGE COURSES AND SWALE FLOW AREAS, WHICH MAY DRAIN AS LONG AS FORTY-EIGHT (48) HOURS AFTER THE END OF A RAINFALL.

16. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN 20 FEET OF A BUILDING WHICH IS EXISTING OR UNDER CONSTRUCTION. NO BUILDING MAY BE CONSTRUCTED WITHIN 20 FEET OF A SEDIMENT TRAP OR BASIN. 7. ALL INLETS IN NON-SUMP AREAS SHALL HAVE ASPHALT BERMS INSTALLED AT THE TIME OF BASE PAVING

8. THE SEDIMENT CONTROL INSPECTOR HAS THE OPTION OF REQUIRING ADDITIONAL SEDIMENT CONTROL MEASURES, AS DEEMED NECESSARY.

9. ALL TRAP ELEVATIONS ARE RELATIVE TO THE OUTLET ELEVATION, WHICH MUST BE ON EXISTING UNDISTURBED

20. VEGETATIVE STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

21. SEDIMENT TRAP(S)/BASIN(S) SHALL BE CLEANED OUT AND RESTORED TO THE ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO THE POINT OF ONE-HALF (1/2) THE WET STORAGE DEPTH OF THE TRAP/BASIN (1/4 THE WET STORAGE DEPTH FOR ST-III) OR WHEN REQUIRED BY THE SEDIMENT CONTROL INSPECTOR.

22. SEDIMENT REMOVED FROM TRAPS/BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN.

23. ALL SEDIMENT BASINS AND TRAPS MUST BE SURROUNDED WITH A WELDED WIRE SAFETY FENCE. THE FENCE MUST BE AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THE TWO INCHES IN WIDTH AND FOUR INCHES IN HEIGHT, WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.

. NO EXCAVATION IN THE AREAS OF EXISTING UTILITIES IS PERMITTED UNLESS THEIR LOCATION HAS BEEN DETERMINED. CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. 25. OFF-SITE SPOIL OR BORROW AREAS MUST HAVE PRIOR APPROVAL BY DPS.

26. SEDIMENT TRAP/BASIN DEWATERING FOR CLEANOUT OR REPAIR MAY ONLY BE DONE WITH THE DPS INSPECTOR'S PERMISSION. THE INSPECTOR MUST APPROVE THE DEWATERING METHOD FOR EACH APPLICATION. THE FOLLOWING

A. PUMP DISCHARGE MAY BE DIRECTED TO ANOTHER ON-SITE SEDIMENT TRAP OR BASIN. PROVIDED IT IS OF SUFFICIENT VOLUME AND THE PUMP INTAKE IS FLOATED TO PREVENT AGITATION OR SUCTION OF DEPOSITED THE PUMP INTAKE MAY UTILIZE A REMOVABLE PUMPING STATION AND MUST DISCHARGE INTO AN UNDISTURBED

AREA THROUGH A NON-EROSIVE OUTLET; OR C. THE PUMP INTAKE MAY BE FLOATED AND DISCHARGE INTO A DIRT BAG (12 OZ. NON-WOVEN FABRIC), OR

APPROVED EQUIVALENT, LOCATED IN AN UNDISTURBED BUFFER AREA. REMEMBER: DEWATERING OPERATION AND METHOD MUST HAVE PRIOR APPROVAL BY THE DPS INSPECTOR.

27. THE PERMITTEE MUST NOTIFY THE DEPARTMENT OF ALL UTILITY CONSTRUCTION ACTIVITIES WITHIN THE PERMITTED

LIMITS OF DISTURBANCE PRIOR TO THE COMMENCEMENT OF THOSE ACTIVITIES. TOPSOIL MUST BE APPLIED TO ALL PERMOUS AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDE 'STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING,

<u>M-NCPPC SPECIFICATIONS SECTION 705 — SEEDING AND SODDING FOR TURF AREAS</u> 705.01 DESCRIPTION

SEEDING: THIS WORK SHALL CONSIST OF SOIL PREPARATION, SEEDING, MULCHING, OVER SEEDING, AND MOWING ALL AREAS DESIGNATED FOR TURF ESTABLISHMENT AS SPECIFIED IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE

SODDING: THIS WORK SHALL CONSIST OF SOIL PREPARATION, WATERING AND PLACING GRASS SOD ON PREPARED AREAS, AS SPECIFIED IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE M-NCPPC CM. 705.02 REFERENCE STANDARDS

LANDSCAPE SPECIFICATION GUIDELINES, LATEST EDITION, LANDSCAPE CONTRACTORS ASSOCIATION (LCA) OF MARYLAND, VIRGINIA AND THE DISTRICT OF COLUMBIA. RECOMMENDED TURFGRASS CULTIVARS FOR CERTIFIED SOD PRODUCTION AND SEED MIXTURES IN MARYLAND," UNIVERSITY OF MARYLAND TURFGRASS TECHNICAL UPDATE TT-77, MOST RECENT EDITION

(FORMERLY AGRONOMY MIMEO 77 OR AM-77). SECTION 200 - EXCAVATION, FILLING, AND GRADING M-NCPP( SECTION 723 - LANDSCAPE SOIL
SECTION 728 - ATHLETIC FIELD CONSTRUCTION

### M-NCPPC SPECIFICATIONS SECTION 705 SEEDING AND SODDING FOR TURF AREAS - CONTINUED

SPRIGGING IS THE PROCESS OF REMOVING STEMS (STOLONS OR RHIZOMES) FROM MATURE BERMUDAGRASS STANDS AND

REPLANTING THE VEGETATIVE CUTTINGS IN A DIFFERENT LOCATION. COOL SEASON GRASSES FOR M-NCPPC INCLUDE FESCUES (TALL, CREEPING, AND RED) AND BLUEGRASS.

WARM SEASON GRASS FOR M-NCPPC IS BERMUDA GRASS.

A. SOIL: SEE SECTION 723 LANDSCAPE SOIL.

NO PLASTIC NETTING SHALL BE USED ON M-NCPPC PROJECTS. ALSO, ONLY BIODEGRADABLE STAKES AND STAPLES

GRASS SEED: FRESH, CLEAN, NEW CROP SEED, CERTIFIED BY THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION.

SEED MIXTURE:			
TYPE	% BY WEIGHT	% PURITY	% GERMINATION
KENTUCKY BLUEGRASS	10%	98%	85%
TURF-TYPE TALL FESCUE*	90%	98%	90%
PERENNIAL RYE GRASS**	0%	98%	85%
*USE A BLEND OF AT LEAST	THREE (3) CULTIVARS. E	EACH CULTIVAR SHALL	MAKE UP A MINIMUM OF 10

TOTAL AMOUNT OF TURF-TYPE TALL FESCUE IN THE SEED MIXTURE. \*\*UP TO 5% PERENNIAL RYE GRASS MAY BE SUBSTITUTED FOR 5% TURF TYPE TALL FESCUE AND USED WITH M-NCPPC CM'S APPROVAL WHEN FAST ESTABLISHMENT OF A STAND IS DEEMED NECESSARY.

APPROVED VARIETIES: SELECT APPROVED VARIETIES FROM "RECOMMENDED TURFGRASS CULTIVARS FOR CERTIFIED SOD PRODUCTION AND SEED MIXTURES IN MARYLAND," UNIVERSITY OF MARYLAND TURFGRASS TECHNICAL UPDATE IT-77. MOST RECENT EDITION. AVAILABLE FROM M-NCPPC CM, MARYLAND TURFGRASS COUNCIL HTTP://WWW.MDTURFCOUNCIL.ORG/MARYLAND-RESOURCES-AND-TECHNICAL-BULLETINS.

4. ALL SEED AND LABELING MUST FULLY COMPLY WITH THE MARYLAND SEED LAW AND THESE SPECIFICATIONS. 5. ALL SEED MUST BE STATE CERTIFIED AND BLENDED UNDER THE SUPERVISION OF THE MARYLAND DEPARTMENT OF AGRICULTURE. TURF AND SEED SECTION. 6. EACH BAG OF SEED SHALL CONTAIN PROPER LABEL AND CERTIFICATION TAG.

. WEED SEED: MAXIMUM 0.02% AS TESTED BY SEED SUPPLIER.

### D. MULCHING AND STABILIZING MATERIALS:

STRAW: BRIGHT, SMALL GRAIN TYPE STRAW. SHALL BE FREE OF MILDEW, ROT AND NOXIOUS WEED SEEDS. APPLY 1/2 INCH TO 3/4 INCH THICK LAYER OR 60 TO 80 BALES PER ACRE. ALL STRAW MULCH SHALL BE BOUND WITH A SUITABLE BINDER OR STRAW SHALL BE ROLLED THOROUGHLY WITH A CRIMPING ROLLER IN SEVERAL DIRECTIONS TO PREVENT EROSION OF THE SOIL AND/OR MULCH. SEE LCA, LANDSCAPE SPECIFICATION GUIDELINES, SEED AND SOD SPECIFICATIONS

HYDRO MULCH: BIODEGRADABLE CELLULOSE—FIBER MULCH, NONTOXIC, FREE OF PLANT—GROWTH OR GERMINATION INHIBITORS WITH A MAXIMUM CONTENT OF 15% AND PH RANGE OF 4.5 TO 6.5, APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. SEE LCA, LANDSCAPE SPECIFICATION GUIDELINES, SEED AND SOD SPECIFICATIONS. EROSION CONTROL BLANKETS: ACCEPTABLE AS DETERMINED BY M-NCPPC CM.

4. THE M-NCPPC CM MAY DETERMINE BASED ON SITE CONDITIONS THAT MULCH MAY NOT BE REQUIRED.

MARYLAND CERTIFIED (LABELED), INSPECTED AND APPROVED BY THE MARYLAND DEPARTMENT OF AGRICULTURE. 2. M-NCPPC RESERVES THE RIGHT TO INSPECT THE SOD AT ITS ORIGIN. THE CONTRACTOR MUST PROVIDE THE SOD FARM LOCATION SO THAT THE M-NCPPC CM CAN INSPECT AND APPROVE THE SOD BEFORE HARVESTING. THIS INFORMATION MUST BE PROVIDED 30 DAYS BEFORE HARVEST.

TYPE	% BY WEIGHT	% PURITY	% GERMINATION	
KENTUCKY BLUEGRASS	10%	98%	85%	
TURF-TYPE TALL FESCUE*	90%	98%	90%	
*USE A BLEND OF AT LEAST	THREE (3) CULTIVARS, I	EACH CULTIVAR SHALL	MAKE UP A MINIMUM OF 10	1%

TOTAL AMOUNT OF TURF-TYPE TALL FESCUE IN THE SEED MIXTURE.

APPROVED VARIETIES: SELECT APPROVED VARIETIES FROM <u>RECOMMENDED TURFGRASS CULTIVARS FOR CERTIFIED SOD PRODUCTION AND SEED MIXTURES IN MARYLAND</u>," UNIVERSITY OF MARYLAND TURFGRASS TECHNICAL UPDATE TT-77, MOST RECENT EDITION. AVAILABLE FROM M-NCPPC CM, MARYLAND TURFGRASS COUNCIL THICKNESS OF CUT: THE THICKNESS OF THE ROOTS AND SOIL SHALL BE 1/2 INCH TO 1/4 INCH.

. PAD SIZE: LARGE ROLL SOD SHOULD BE USED WHERE PRACTICAL. IF NOT PRACTICAL, INDIVIDUAL PIECES OF SOD MAY BE USED. INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5%. BROKEN PADS AND STRENGTH OF SOD SECTIONS: UNDER IDEAL CONDITIONS, STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY

8. SOD VIABILITY: SOD SHALL NOT BE HARVESTED OR TRANSPLANTED UNDER DROUGHT CONDITIONS 9. TIME LIMITATIONS: UNDER OPTIMAL CONDITIONS, SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. DURING PERIODS OF UNSEASONABLY HIGH TEMPERATURE AND/OR LOW RELATIVE HUMIDITY, INSTALLATION SHALL OCCUR WITHIN 24 HOURS FROM HARVEST. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED OR REJECTED BY THE M-NCPPC CM PRIOR TO INSTALLATION.

FROM A FIRM GRASP ON THE UPPER 10% OF THE SECTION WITHOUT THE USE OF NETTING

10. SOD STAPLES: BIODEGRADABLE SOD STAPLES SHALL BE USED ON SLOPES GREATER THAN 3:1. SOD SHALL BE STAPLED AT A MINIMUM OF FOUR (4) STAPLES PER SQUARE YARD OF SOD. METAL STAPLES ARE PROHIBITEI 11. THE SOD SOIL MUST MATCH THE SOIL TYPE OF FINISHED SOIL PREPARED AREAS.

SPRIGGING BERMUDA GRASS: SPRIGGING IS THE PREFERRED METHOD OF BERMUDA GRASS ESTABLISHMENT. AT THE DISCRETION OF THE M-NCPPC CM, OTHER METHODS MAY BE APPROVED.

### G. PESTICIDE AND FERTILIZER USES:

PESTICIDES USE: ALL PESTICIDES SHALL BE PRE-APPROVED BY THE M-NCPPC CONSTRUCTION MANAGER BUSINESS DAYS PRIOR TO APPLICATION FOR THE INTENDED USES AND APPLICATION RATES, APPROVED PESTICIDE APPLICATIONS SHALL BE PERFORMED BY AN APPLICATOR CERTIFIED BY THE STATE OF MARYLAND. ANY HERRICIDE, INSECTICIDE OR FUNCICIDE MUST BE REGISTERED AND APPROVED BY FPA AND RECOMMENDED BY MANUFACTURER FOR EACH SPECIFIC PROBLEM AND AS REQUIRED FOR PROJECT CONDITIONS AND APPLICATION, IF PESTICIDE USE IS APPROVED THEN STATE, LOCAL AND M-NCPPC REQUIREMENTS FOR NOTIFICATION AND SIGNAGE SHALL BE FOLLOWED. MONTGOMERY COUNTY REQUIRES PRENOTIFICATION OF PESTICIDE USE; THIS INCLUDES SPECIAL SIGNS AND WEB NOTIFICATION WHICH WILL BE HANDLED BY A DESIGNATED M-NCPPC STAFF PERSON IN COORDINATION WITH THE GENERAL CONTRACTOR OR COMPANY PERFORMING THE WORK. TWO TYPES OF SIGNS ARE REQUIRED: WHITE PRENOTIFICATION SIGN (PROVIDED BY CM) WHICH SHALL BE IN PLACE 48 HOURS PRIOR TO APPLICATION AND YELLOW PESTICIDE APPLICATION SIGNS WHICH SHALL REMAIN IN PLACE FOR 48 HOURS FOLLOWING THE PESTICIDE APPLICATION. SEE APPENDIX GUIDE FOR CONTRACTOR PESTICIDE APPLICATIONS IN MONTGOMERY PARKS FOR ADDITIONAL INFORMATION.

FERTILIZER USE: ALL FERTILIZATION MUST COMPLY WITH MARYLAND'S LAWN FERTILIZER LAW — MDA.MARYLAND.GOV/PAGES/FERTILIZER.ASPX A SINGLE FERTILIZER APPLICATION MAY NOT EXCEED 0.7 POUNDS OF SOLUBLE NITROGEN PER 1,000 SQUARE FEET, AND MAY NOT EXCEED 0.9 POUND OF TOTAL NITROGEN PER 1,000 SQUARE FEET EXCEPT WHEN USING ENHANCED EFFICIENCY FERTILIZER.

### 705.05 SUBMITTALS

 SUBMIT PROPOSED SEED MIXTURE TO THE M-NCPPC CM. 2. SUBMIT MANUFACTURER'S CERTIFICATES OF PURITY AND GUARANTEES OF GERMINATION IN ACCORDANCE WITH MARYLAND SEED LAW TO THE M-NCPPC CM.

B. SOD: SUBMIT MARYLAND DEPARTMENT OF AGRICULTURE INSPECTION, APPROVAL AND CERTIFICATION LABEL TO THE M-NCPPC CM AT THE TIME OF SOD DELIVERY AND PRIOR TO INSTALLATION. PROVIDE LOCATION OF SOD FARM FOR APPROVAL. SUBMIT CERTIFICATIONS OF THE SOD THAT WILL BE USED AS A SOURCE MATERIAL.

SPRIGGING: SUBMIT EQUIPMENT THAT WILL BE USED FOR THE ON-SITE SPRIGGING OPERATION. SUBMIT CERTIFICATIONS OF THE SOD THAT WILL BE USED AS SOURCE MATERIAL.

IF PESTICIDE APPLICATION IS APPROVED FOR USE BY THE M-NCPPC CM, CONTRACTOR SHALL SUBMIT CURRENT MARYLAND DEPARTMENT OF AGRICULTURE CERTIFIED PESTICIDE APPLICATOR LICENSE. SUBMIT COPIES OF ALL PESTICIDE APPLICATION RECORDS TO THE M-NCPPC CM.

E. WATER DELIVERY SYSTEM: FOR GRASS AREAS THAT DO NOT HAVE PERMANENT IRRIGATION SYSTEMS, SUBMIT COPIES OF PLANNED WATER DELIVERY SYSTEM (E.G. TRUCK MOUNTED TANKS, TEMPORARY HYDRANT CONNECTIONS, WATER WHEEL, ETC.), INCLUDING EQUIPMENT SIZES AND TYPES AND DESIGN TO DEMONSTRATE THAT REQUIRED WATER QUANTITIES CAN BE DELIVERED WITHIN APPROPRIATE TIME FRAME. PROVIDE HYDRANT PRESSURE, PIPE SIZING, FLOW RATES, GALLONS PER MINUTE DELIVERY (FOR WATER WHEEL OR OTHER TEMPORARY IRRIGATION METHODS) AND OTHER RELEVANT INFORMATION. ALL INFORMATION MUST BE APPROVED BY THE M-NCPPC CM BEFORE ANY SEEDING

EQUIPMENT: SUBMIT A LIST OF ALL EQUIPMENT USED FOR SEEDING, WATERING AND SEED BED PREPARATION TO THE

G. FERTILIZER USE: CONTRACTOR WILL SUBMIT COPIES OF MARYLAND DEPARTMENT OF AGRICULTURE PROFESSIONAL FERTILIZER APPLICATOR AND BUSINESS LICENSES

## 705.07 CONSTRUCTION

A. PROJECT CONDITIONS

### M-NCPPC SPECIFICATIONS SECTION 705 SEEDING AND SODDING FOR TURF AREAS - CONTINUED

REGULAR SEEDING SEASON (COOL SEASON):

a. SPRING: MARCH 1 THROUGH MAY 15 b. FALL: SEPTEMBER 1 THROUGH OCTOBER 30

c. OPTIMAL SEEDING TIME IS SEPTEMBER 15 THROUGH OCTOBER 15

2. REGULAR SODDING SEASON (COOL SEASON)

b. FALL: OCTOBER 1 THROUGH NOVEMBER 15

a. SPRING: MARCH 1 THROUGH MAY 1

3. REGULAR SPRIGGING SEASON (WARM SEASON): a. SUMMER: MAY 1 TO JULY 15

4. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. NO BROADCAST SEEDING SHALL TAKE PLACE WHEN WND SPEEDS EXCEED 5 MILES PER HOUR.

TO BEGIN SEED, SOD, AND SPRIG INSTALLATION, OBTAIN APPROVAL FROM THE M-NCPPC CM. TO SEED OR SOD AT TIMES OTHER THAN THOSE LISTED ABOVE, OBTAIN APPROVAL FROM THE M-NCPPC CM. 6. NOTIFICATION: FOLLOW REQUIRED POSTING REGULATIONS, THE M-NCPPC CM SHALL BE GIVEN 48 HOURS' NOTICE BEFORE ANY PESTICIDE APPLICATIONS ARE MADE.

FINAL SOIL GRADING AND PREPARATION SHALL BE INSPECTED BY THE M-NCPPC CM BEFORE SEEDING AND SODDING COMMENCES. SEED, SOD AND SOIL AMENDMENTS RATES AND SPECIFICATIONS SHALL ADHERE TO SECTION 723 LANDSCAPE SOIL AND TO THE LCA LANDSCAPE SPECIFICATION GUIDELINES, SEED AND SOD SEE SECTION 200 EXCAVATION, FILLING, AND GRADING FOR TOLERANCE FOR SUBSOIL AND FINAL LEVEL

3. FOR ATHLETIC FIELD CONSTRUCTION, SEE ADDITIONAL REQUIREMENTS IN SECTION 728 ATHLETIC FIELD 4. WEEDS AND UNDESIRABLE GRASSES GROWING ON EXISTING GRADE THAT IS TO BE SEEDED AND/OR SODDED MUST BE REMOVED, INCLUDING THEIR ROOTS, BEFORE SOIL PREPARATION BEGINS.

BEFORE SEEDING OR SODDING, ALL SOILS SHALL BE LOOSENED BY MEANS OF TILLING AND/OR DISKING; THEN FURTHER PREPARED BY YORK RAKE (OR OTHER APPROVED EQUIPMENT) TO A MINIMUM DEPTH OF SIX (6) INCHES. ALL STONES OVER 3/4 INCHES IN ANY DIMENSION SHALL BE REMOVED FROM THE TOP SIX (6) INCHES OF SOIL BY USE OF SCREENING ROCK HOUND (COMMON AREAS ONLY). IN ADDITION PREPARATION SHALL INCLUDE REMOVAL OF ALL TRASH, DEBRIS, ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH SEEDING AND/OR SODDING OPERATIONS. AS MEASURED BY PENETROMETER BY THE M-NCPPC INSPECTOR, THE SOILS MUST BE NON-COMPACTED BEFORE THE PLACEMENT OF SEED OR SOD. TI PENETROMETER SHOULD EASILY MOVE THROUGH THE SOIL IN THE GREEN ZONE AND NOT EXCEED 300PSI. MEASURED BY OTHER METHODS WOULD EQUATE TO 85% COMPACTION.

6. FINAL GRADE OF SEEDBED MUST BE APPROVED BY M-NCPPC CM BEFORE SEEDING OR SODDING BEGINS AND UPON COMPLETION OF THE SEEDBED. FAILURE TO OBTAIN APPROVAL OF THE SEEDBED MAY RESULT IN REPEATING SEEDBED PREPARATION.

TURF FOR ATHLETIC FIELDS: FOR ATHLETIC FIELDS, 100 % OF THE SEED MUST BE APPLIED BY SLIT SEEDER a. SLIT SEEDER: APPLY SEED WITHIN TOP 1/4 INCH OF SOIL IN TWO DIRECTIONS AT A RATE OF FIVE (5) POUNDS PER 1,000 FT<sup>2</sup> IN EACH DIRECTION.

2. NON-ATHLETIC FIELD TURF: 50% OF THE SEED SHALL BE APPLIED BY SLIT SEEDER AND 50% SHALL BE BROADCAST UNLESS OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS, OR APPROVED BY THE M-NCPPC CM.

1.000 FT<sup>2</sup> IN EACH DIRECTION. b. MECHANICAL BROADCAST SEEDING: APPLY 50% OF THE SEED VIA MECHANICAL BROADCAST SEEDING IN TWO DIRECTIONS AT 2.5 POUNDS PER 1,000 FT<sup>2</sup>.

HAND/MECHANICAL BROADCAST SEEDING (NON-ATHLETIC FIELDS): WITH PERMISSION OF M-NCPPC CM, SEED MAY BE BROADCAST ON AREAS LESS THAN 10,000 FT2 OR ON SLOPES THAT PROHIBIT THE USE OF A SLIT SEEDER. a. THE SEEDBED MUST BE TILLED OR HARROWED PRIOR TO SEEDING. b. AFTER BROADCASTING THE SEED, THE SEEDBED MUST BE LIGHTLY HARROWED OR 1/4 INCH OF TOPSOIL MUST BE BROADCAST ON TOP OF THE SEED TO ENSURE OPTIMAL SOIL CONTACT.

4. DO NOT SEED AGAINST NEWLY PLANTED TREES. LIMIT EXTENT OF SEED TO OUTSIDE EDGE OF PLANTING SAUCER 5. MULCHING: APPLY MULCHING MATERIAL TO RETAIN MOISTURE AND MINIMIZE EROSION. 6. STABILIZING MATERIALS: STABILIZE THE MULCH BY MULCH ANCHORING TOOL, CELLULOSE FIBER, LIQUID MULCH

WATER, SEED AND FERTILIZER METHOD: THE MIXTURE SHALL BE SPRAYED ON THE PREVIOUSLY PREPARED SEEDBED IN THE FORM OF AN AQUEOUS MIXTURE. ALL MIXTURES SHALL BE CONSTANTLY AGITATED FROM THE TIME THEY ARE MIXED UNTIL THEY ARE FINALLY APPLIED TO THE SEEDBED. IF FERTILIZER IS MIXED INTO THE SLURRY, NO MORE THAN 30 MINUTES SHALL LAPSE BEFORE IT IS APPLIED

RETAIN MOISTURE AND MINIMIZE EROSION. . SEED, FERTILIZER, WATER AND CELLULOSE FIBER METHOD: THE MIXTURE SHALL BE SPRAYED ON THE PREVIOUSLY

PREPARED SEEDBED IN THE FORM OF AN AQUEOUS MIXTURE. ALL MIXTURES SHALL BE CONSTANTLY AGITATED FROM THE TIME THEY ARE MIXED UNTIL THEY ARE FINALLY APPLIED TO THE SEEDBED. a. APPLY CELLULOSE FIBER AT A RATE OF 50 POUNDS PER 100 GALLONS OF WATER. b. IF FERTILIZER IS MIXED INTO THE SLURRY, NO MORE THAN 30 MINUTES SHALL LAPSE BEFORE IT IS APPLIED

TO PREVENT THE FERTILIZER FROM BURNING THE SEED. THE CONTRACTOR SHALL ENSURE UNIFORM

STRAW SHALL BE APPLIED BY HAND OR WITH A BLOWER AND STABILIZED. APPLY MULCHING MATERIAL TO RETAIN MOISTURE AND MINIMIZE EROSION.

1. NO SOD SHALL BE APPLIED TO FROZEN GROUND AND/OR FROZEN SOD IS NOT TO BE LAID. DO NOT LAY

2. MOISTENING SOIL: DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO 3. STARTER STRIP: THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY AGAINST ONE ANOTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. CONTRACTOR SHALL ENSURE THAT THE SOD IS NOT STRETCHED OF OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS.

WATERING AND ROLLING: THE CONTRACTOR SHALL LIGHTLY WATER SOD DURING INSTALLATION TO PREVENT EXCESSIVE DRYING. AS SODDING IS COMPLETED IN ANY ONE SECTION, AN ENTIRE AREA SHALL BE LIGHTLY ROLLED TO ENSURE CONTACT WITH SUBGRADE, ELIMINATE AIR POCKETS AND FORM A SMOOTH SURFACE. THOROUGHLY IRRIGATE SOD WITHIN TWO (2) HOURS OF PLANTING SO THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ADEQUATE WATER AVAILABLE AT THE SITE PRIOR TO AND DURING INSTALLATION OF SOD, UNLESS

STAPLES PER SQUARE YARD OF SOD. ON SLEDDING HILLS, 18" X 1" X 1" GRADE STAKES WILL BE USED WITH

SPRIGGING OF BERMUDAGRASS: FOLLOW SODDING REQUIREMENTS (NO STAPLES REQUIRED). SPRIGGING SHOULD OCCUR AT THE SITE AND THE SPRIGS SHALL BE PLANTED IMMEDIATELY. THE RATE OF APPLICATION IS 800 BUSHELS

MAINTENANCE: MAINTENANCE OF GRASS AREAS SHALL CONSIST OF WATERING, MOWING, WEEDING, RE-SEEDING AND/OR RE-SODDING AS NECESSARY TO OBTAIN AN APPROVED STAND OF GRASS. MAINTENANCE SHALL CONTINUE UNTIL M-NCPPC CM ACCEPTS THE PROJECT.

MINUTES OF PLANTING. AFTER GERMINATION, WATER SHALL BE APPLIED AT A RATE EQUIVALENT TO ONE (1 INCH OF RAINFALL PER WEEK AND TO MAINTAIN MOIST SOIL TO A DEPTH OF FOUR (4) INCHES. RAINFALL SHALL BE SUPPLEMENTED WITH MANUAL WATERING TO REACH ABOVE MOISTURE LEVELS. WATERING SHALL CONTINUE UNTIL THE STAND OF TURF IS ACCEPTED BY THE M-NCPPC CM. 2. MOWING: ALL MOWING SHALL BE THE CONTRACTOR'S RESPONSIBILITY UNTIL FINAL ACCEPTANCE OF

a. COOL SEASON: HEIGHT OF THE GRASS SHALL BE MAINTAINED BETWEEN 2 1/2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. NO INDIVIDUAL MOWING SHALL REMOVE MORE THAN 1/3 OF THE GRASS BLADE LENGTH. HEAVY MOWING RESULTING IN GRASS PILES SHALL BE DOUBLE-MOWED OR THE CONTRACTOR SHALL REMOVE THE PILES.

b. WARM SEASON: HEIGHT OF THE GRASS WILL BE MAINTAINED AT 1". THIS MAY REQUIRE MOWING 3-4 TIMES

RE-CULTIVATED, RE-SEEDED, RAKED AND ROLLED. RE-SEEDING OF BARE SPOTS SHALL BE DONE AS MANY TIMES AS NECESSARY UNTIL AN ACCEPTABLE STAND OF TURF IS ESTABLISHED. b. IF ENTIRE STAND PROVIDES BETWEEN 50% AND 90% GROUND COVERAGE, OVERSEED AND FERTILIZE USING HALF THE RATES ORIGINALLY APPLIED.

c. IF THE STAND PROVIDES LESS THAN 50% COVERAGE, REESTABLISH THE STAND FOLLOWING ORIGINAL RATES AND PROCEDURES. 4. RE-SODDING: BARE SPOTS SHALL BE RE-SODDED UNTIL DEEMED ACCEPTABLE BY THE M-NCPPC CM. IF

TURF STAND IS NOT ACCEPTED BY THE FOLLOWING SEEDING AND SOD SEASON, THE CONTRACTOR SHALL SOD

RE-SPRINGING: BARE SPOTS SHALL BE RE-SPRIGGED BY HAND UNTIL DEEMED ACCEPTABLE BY THE M-NCPPC IF THE TURF STAND IS NOT ACCEPTED BY THE FOLLOWING SPRIGGING SEASON, THE CONTRACTOR SHALL RE-SPRIG AND FERTILIZE, AS NECESSARY, THE UNACCEPTED AREAS AT NO ADDITIONAL CHARGE THE M-NCPPC. FLOODED, WASHED-OUT, RILLED OR OTHERWISE DAMAGED OR DEFECTIVE AREAS OF SEEDING, SOD, MULCH

AND FERTILIZE, AS NECESSARY, THE UNACCEPTED AREAS AT NO ADDITIONAL CHARGE THE M-NCPPC.

### M-NCPPC SPECIFICATIONS SECTION 705 SEEDING AND SODDING FOR TURF AREAS - CONTINUED

7. BERMUDA GRASS GROWTH COVERS: GROWTH COVERS TO BE PROVIDED AND INSTALLED AFTER DORMANCY AN NO TEMPERATURES OVER 70 DEGREES ARE FORECASTED FOR THE REST OF THE FALL/WINTER SEASON AND BEFORE SOIL FREEZES. COVERS WILL REMAIN THE PROPERTY OF M-NCPPC AT THE CONCLUSION OF THE

1. TURF INSTALLATIONS SHALL MEET THE FOLLOWING CRITERIA AS DETERMINED BY THE M-NCPPC PROJECT

a. SATISFACTORY SEEDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING

90% OVER ANY 10 SQUARE FOOT AND BARE SPOTS NOT EXCEEDING THREE (3) INCHES BY THREE (3)

SATISFACTORY SODDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED MABLE TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE

2. FOLLOWING ARE EXAMPLES OF DELAYS IN FINAL ACCEPTANCE OF A PROJECT: a. IMPROPER GRADES:

 LOW OR HIGH SPOTS ON FLAT OR FAIRLY LEVEL AREAS. IMPROPER DRAINAGE SUCH AS SWALES, LOW AREAS, RIP-RAPPED OUTLETS OR PAVED AREAS. WASHED OUT OR RILLED AREAS.

EXPOSED DEBRIS.

 POOR OR THIN STAND: IMPROPER APPLICATION OF SOD, DEAD GRASS OR SOD, USE OF SEED MIXTURES OR SOD OTHER THAN APPROVED IN SPECIFICATIONS. IMPROPER FERTILIZER APPLICATION: UNEVEN SPREADING, INSUFFICIENT AMOUNTS, FAILURE TO

RE-FERTILIZE DURING EXTENDED ACCEPTANCE. PERSISTENT WEEDS ESTABLISHED IN TURF AREAS.

PAYMENT WILL BE FULL COMPENSATION FOR ALL MATERIAL, LABOR, EQUIPMENT, TOOLS AND INCIDENTAL ITEMS NECESSARY TO COMPLETE THE WORK. PAYMENT SHALL BE MADE ON A UNIT RATE OR LUMP SUM BASIS AS SHOWN IN

### M-NCPPC SPECIFICATIONS SECTION 723 - LANDSCAPE SOIL (TOPSOIL)

ANDSCAPE SOIL SHALL BE USED FOR SOIL PREPARATION AND AMENDING EXISTING SOIL FOR LANDSCAPE AREAS, EROSION CONTROL AREAS, AND LAWN AREAS. THE TERMS LANDSCAPE SOIL AND TOPSOIL CAN BE USED INTERCHANGEABLY FOR THIS SPECIFICATION.

LANDSCAPE SPECIFICATION GUIDELINES, LANDSCAPE CONTRACTORS ASSOCIATION, MD, DC, AND VA (LATEST VERSION)

MARYLAND'S LAWN FERTILIZER LAW - MDA.MARYLAND.GOV/PAGES/FERTILIZER.ASPX 503 STANDARD D5268-19

SECTION 705 - SEEDING AND SODDING FOR TURF AREAS

SECTION 200 - EXCAVATION, FILLING AND GRADING

F-1632 F-2396-1 COMAR 26.04.06 SECTION 728 - ATHLETIC FIELD CONSTRUCTION

### TOP SOIL SPECIFICATION

LAWN AREAS ARE DEFINED AS ANY AREA THAT WILL SUPPORT GRASS EITHER PLANTED AS SEED OR SOD INCLUDING

LANDSCAPE AREAS ARE DEFINED AS ANY AREA THAT WILL SUPPORT PERENNIALS, ANNUALS, BULBS, SHRUBS, AND TREES.

C. BLENDING IS THE PROCESS OF MIXING SOIL COMPONENTS TO A UNIFORM MIXTURE. LANDSCAPE SOILS ARE AMENDED EXISTING STOCKPILED TOPSOIL, AMENDED EXISTING IN-PLACE SOIL, OR AMENDED SOIL FROM AN OFF-SITE SOURCE THAT HAS BEEN SPREAD TO FINISH GRADE, WILL SUPPORT PLANT GROWTH, AND MEETS THE FOLLOWING REQUIREMENTS.

SOIL AMENDMENTS MAY BE USED TO AMEND THE SOIL TO MEET SPECIFIED REQUIREMENTS. SOIL AMENDMENTS AND RATES OF APPLICATION ARE TO BE DETERMINED BASED ON SOIL TEST RESULTS. SPECIFIC RECOMMENDATIONS FOR THE TYPE OF AMENDMENTS CAN BE FOUND IN THE LANDSCAPE SPECIFICATION GUIDELINES BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MD, DC, AND VA (MOST RECENT ADDITION).

. SULFUR: SULFUR FOR ADJUSTMENT OF SOIL PH SHALL BE AN UNADULTERATED FLOWER OF SULFUR. 2. LIME: GROUND OR PULVERIZED LIMESTONE, WHICH CONTAINS A MAXIMUM OF 50 PERCENT TOTAL OXIDES. IN ADDITION, SOLU-CAL CAN ALSO BE USED TO CORRECT PH.

3. ORGANIC MATTER: TO INCREASE ORGANIC MATTER BASED ON SOIL TEST RESULTS, THE FOLLOWING MATERIALS a. COMPOST SHALL BE MADE FROM YARD TRIMMINGS, SUCH AS LEAVES, GRASS CLIPPINGS AND PRUNING THAT HAVE BEEN PROPERLY COMPOSTED, ARE MATURE AND HAVE BEEN SIEVED THROUGH A 1/4 INCH SCREEN.

COMPOST SHALL BE FREE OF TRASH AND CONTAIN NO TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH. C. COMPOST TESTING SHALL INCLUDE A SOLVITA COMPOST MATURITY TEST ON A FRESH COMPOST SAMPLES PER TESTING INSTRUCTIONS AND HAVE AN CMI >6.0. THE SOLUBLE SALT CONTENTS SHALL BE BETWEEN 1-4

ORGANIC CARBON ABOVE 20%, CARBON TO NITROGEN RATIO BETWEEN 12:1 AND 20:1 AND HEAVY METALS FERTILIZER: FERTILIZER ANALYSIS AND RATE OF APPLICATION SHALL BE DETERMINED BASED ON SOIL TEST RESULTS. FERTILIZER SHALL BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT. THE FERTILIZER REQUIREMENTS SHALL BE REVIEWED BY A CERTIFIED MARYLAND

FERTILIZER APPLICATOR. ALL FERTILIZATION SHALL MEET THE MARYLAND'S LAWN FERTILIZER LAW. SAND: THE SAND SHALL MEET THE SPECIFICATION PER ASTM F-2396-11 FOR SAND TYPE, PARTICLE SIZE DISTRIBUTION AND SHAPE. THE CONTRACTOR SHALL SUPPLY INDEPENDENT TESTING TO VERIFY COMPLIANCE WITH

d. COMPOST SHOULD HAVE BETWEEN 35% AND 50% ORGANIC MATTER, PH BETWEEN 6.2 AND 7.2, TOTAL

### DELIVERY, STORAGE, AND HANDLING

. PACKAGE MATERIALS WILL BE DELIVERED IN MANUFACTURER'S UNOPENED CONTAINER OR BUNDLES; THEY WILL BE IDENTIFIED WITH NAME, BRAND, TYPE, WEIGHT, AND ANALYSIS. PACKAGED MATERIALS WILL BE STORED IN A MANNER THAT WILL PREVENT DAMAGE OR INTRUSION OF FOREIGN MATTER. ANY MATERIAL THAT BECOMES CONTAMINATED WILL BE REMOVED FROM THE JOB SITE.

. DELIVERY LOCATION, STOCKPILE LOCATIONS AND SCHEDULE WILL BE COORDINATED WITH THE M-NCPPC CONSTRUCTION MANAGER PRIOR TO DELIVERY. SOILS WILL BE PROTECTED FROM ERODING WHILE STOCKPILED ON 4. BULK MATERIALS WILL BE STABILIZED AFTER DELIVERY ACCORDING TO THE SEDIMENT CONTROL PLAN.

ORGANIC AMENDMENTS WILL NOT BE DELIVERED OR INSTALLED EXCESSIVELY WET OR FROZEN.

### 723.05 SUBMITTALS

A. MANUFACTURER'S AND/OR SOURCE DATA FOR ALL MATERIALS INCLUDING SOILS.

B. CERTIFIED CHEMICAL AND MECHANICAL ANALYSIS OF SAMPLES OF TOPSOIL, EXISTING SOIL, SOIL MIXES, SOIL AMENDMENTS AND ORGANIC COMPOST MATERIALS USED IN MAKING OF SOIL MIXES. C. SUBMIT A LIST OF EQUIPMENT ANTICIPATED FOR EACH TYPE OF SOIL WORK: DECOMPACTION, BLENDING, UNLOADING

MATERIALS, HANDLING AND INSTALLATION. SAMPLES PROVIDED BY THE CONTRACTOR SHALL BE TYPICAL OF MATERIAL TO BE DELIVERED TO THE SITE AND SHALL PROVIDE AN ACCURATE INDICATION OF COLOR, TEXTURE, AND THE ORGANIC MAKE-UP OF THE MATERIAL. SUBMIT THREE (3) POUND SAMPLES OF THE FOLLOWING:

1. ORGANIC MATTER: ONE (1) SAMPLE OF EACH TYPE OF ORGANIC MATTER TO BE USED. 2. IMPORTED OFF-SITE SOIL PRIOR TO AMENDMENT: ONE (1) SAMPLE 3. AMENDED OFF-SITE SOIL: ONE (1) SAMPLE

SUBMIT FOR APPROVAL THE NAME OF THE COMPANY THAT WILL BE TESTING THE SOIL FOR APPROVAL BY THE M-NCPPC CONSTRUCTION MANAGER. SUBMIT ALL SOIL TESTS TO THE M-NCPPC CONSTRUCTION MANAGER FOR ALL SOIL TO BE OBTAINED FROM BOTH

ON-SITE, OFF-SITE, AND PREPARED SOIL. G. SUBMIT FERTILIZER AND SOIL AMENDMENT PLAN TO M-NCPPC CONSTRUCTION MANAGER FOR APPROVAL. THIS PLAN SHALL BE BASED ON THE RESULTS OF THE SOIL TESTING AND MEETING THE REQUIRED SOIL PARAMETERS.

ALL WORK SHALL MEET MINIMUM REQUIREMENTS OF MCDPS TOPSOIL SPECIFICATION AS WELL AS WHAT IS CONTAINED

SOIL TESTS SHALL BE PERFORMED AT EACH STAGE AND APPROVED BY THE M-NCPPC CONSTRUCTION MANAGER BEFORE THE NEXT STEP IN THE PROCESS.

**ISSUED FOR PROCUREMENT ON** 

Rev. No. Date

## OTHERWISE AERATION WILL BE REQUIRED UNTIL THE SOIL MEASURES LESS THAN 300 PSI. IF THE CONTRACTOR

DISAGREES WITH THE PENETROMETER TEST, THE CONTRACTOR AT THEIR COST CAN USE A PROCTOR EXAM TO SHOW HE SOIL HAS EQUAL OR LESS THAN 85% COMPACTION.

D. ALL FINISHED SOILS MUST BE EVENLY MIXED WITHOUT THE PRESENCE OF "POCKETS" OF ANY MATERIAL INCLUDING BUT NOT LIMITED TO COMPOST, SAND, OR UNMIXED SOIL WITHIN THE TOP SIX (6") FOR GRASS OR TWELVE (12") FOR

EXAMINATION AND VERIFICATION OF CONDITIONS

THE CONTRACTOR SHALL NOTIFY THE M-NCPPC CONSTRUCTION MANAGER AT LEAST TEN (10) CALENDAR DA PRIOR TO THE START OF LANDSCAPE SOIL INSTALLATION. THE AREAS AND CONDITIONS WHERE PLANTING AMENDMENTS ARE TO BE INSTALLED WILL BE EXAMINED, AND THE CONTRACTOR WILL NOTIFY THE M-NCPPC CONSTRUCTION MANAGER OF CONDITIONS DETRIMENTAL TO PROPER AND TIMELY COMPLETION OF WORK. WORK

3. DETERMINE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO SOIL WORK. EXISTING UTILITIES, PAVING VEGETATION, AND OTHER FACILITIES WILL BE PROTECTED FROM DAMAGE CAUSED BY SOIL INSTALLATION

I. COMMENCEMENT OF WORK WILL NOT BEGIN UNTIL ALL SUBMITTALS HAVE BEEN APPROVED BY THE M-NCPP CONSTRUCTION MANAGER. THIS INCLUDES BUT NOT LIMITED TO SOIL TESTING RESULTS AND RECOMMENDATIONS. 5. SUB-SOIL SHALL BE PREPARED TO MEET ALL REQUIREMENTS OF SECTION 200 - EXCAVATION, FILLING AND

### B. SOIL TESTING

ALL SOIL TESTING SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. EACH SAMPLE SHALL BE EXTRACTED FROM A SIX-INCH (6) DEEP CORE AND PREPARED IN ACCORDANCE WITH RECOMMENDATIONS OF THE SOIL-TESTING

LOCATIONS OF ALL SOIL TESTS. INCOMPLETE TEST RESULTS AND PLANS WILL BE REJECTED BY M-NCPPC

3. SOILS PROVIDED FROM OFF-SITE SOURCES: OBTAIN ONE SOIL TEST FOR EACH SOIL SOURCE PER 500 CUBIC YARDS OF SOIL AND SUBMIT SOIL TEST RESULTS AND SOIL AMENDMENT RECOMMENDATIONS TO M-NCPPC

CONSTRUCTION MANAGER FOR REVIEW AND ACCEPTANCE PRIOR TO DISTRIBUTING AND AMENDING SOIL. 4. EXISTING STOCKPILED TOPSOIL TO BE REDISTRIBUTED ON SITE: OBTAIN ONE SOIL TEST PER 500 CUBIC YARDS O SOIL PRIOR TO APPLICATION. SUBMIT SOIL TEST RESULTS AND SOIL AMENDMENT RECOMMENDATIONS TO M-NCPPC

SUBSOIL MATERIAL, OR AT LEAST ONE COMPOSITE TEST FOR EACH SEPARATE EXCAVATED AREA. 6. LANDSCAPE AREA WHERE EXISTING SOIL TO REMAIN IN PLACE: OBTAIN ONE COMPOSITE SOIL TEST FOR EACH ISOLATED BED AREA. SUBMIT ONE COMPOSITE SOIL TEST PER 20,000 SQUARE FEET. 7. AFTER FINAL SOIL PREPARATION: OBTAIN TEN (10) ADDITIONAL SOIL SAMPLES SHALL BE TAKEN AT RANDON

FROM PLANTING AND LAWN AREAS THROUGHOUT THE SITE. THE M-NCPPC CONSTRUCTION MANAGER SHALL DETERMINE LOCATIONS OF TESTS. THESE SAMPLES SHALL NOT BE COMPOSITE SAMPLES OF DIFFERENT AREAS AND ARE TO ASSURE THAT SOILS HAVE BEEN AMENDED PROPERLY PRIOR TO PLANTING OR INSTALLATION O LAWN. SUBMIT SOIL TEST RESULTS TO M-NCPPC FOR REVIEW. IF IT IS APPARENT THAT SOILS HAVE NOT BEEN AMENDED AS SPECIFIED OR PROTECTED FROM CONTAMINATION, AREAS NOT IN COMPLIANCE WITH SPECIFIED REQUIREMENTS SHALL BE REWORKED AND RETESTED AS REQUIRED UNTIL SOILS MEET SPECIFIED REQUIREMENTS ALL REWORK AND RETESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.

SOIL SHALL BE FREE OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, TRASH, ROOTS, AND OTHER DEBRIS OVER 3/4". SOIL WILL BE TO A DEPTH OF 12" FOR LANDSCAPE AREAS, 6" FOR LAWN AREAS AND 18" FOR INDIVIDUAL TREES AND SHRUBS. IT MUST ALSO BE FREE OF PLANTS OR PLANT PARTS OF BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUTSEDGE, POISON IVY, PHRAGMITES, CANADA THISTLE, OF ANY NOXIOUS WEEDS. THE SOIL SHALL CONTAIN NO SUBSTANCES HARMFUL TO PLANT GROWTH. IF THE EXISTING NATIVE SUBSOIL IS BANK RUN GRAVEL. THE TOPSOIL OR LANDSCAPE BEDDING SOIL SHALL BE A SANDY LOAM.

a. THE PH SHALL BE BETWEEN 6.0-7.0. b. THE MINIMUM ACCEPTABLE AMOUNT OF MAGNESIUM SHALL BE 35 POUNDS PER ACRE; PHOSPHORUS SHALL

2. SOIL FOR LANDSCAPING AREAS a. THE PH SHALL BE BASED ON THE SPECIFIC PLANT REQUIREMENTS BUT WILL BE WITHIN THE RANGE OF

b. THE MINIMUM ACCEPTABLE AMOUNT OF MAGNESIUM SHALL BE 71-124 POUNDS PER ACRE; PHOSPHORUS SHALL BE 62-102 POUNDS PER ACRE; AND POTASSIUM SHALL BE 85-160 POUNDS PER ACRE.

### d. ORGANIC MATTER SHALL BE GREATER THAN FIVE (5.0) PERCENT AND LESS THAN TEN (10.0) PERCENT. e. SAND CONTENT SHALL BE BETWEEN 20-60% AS DETERMINED BY SOIL TEST.

FINAL SOIL PREPARATION

ALL AREAS TO RECEIVE LANDSCAPE SOIL SHALL BE FREE OF CONSTRUCTION DEBRIS, REFUSE, COMPRESSIBLE O DECAYABLE MATERIALS. STONES GREATER THAN TWO INCHES AND STANDING WATER TO A DEPTH OF 12" FOR

DO NOT PLACE FILL WHEN FILL MATERIALS ARE WET, FROZEN OR NOT AT THE OPTIMUM MOISTURE CONTENT FOR PROPER COMPACTION. ADJUST SUB GRADE LEVELS AS REQUIRED TO ENSURE THAT PLANTING AND LAWN AREAS HAVE ADEQUATE DRAINAGE. INSTALLATION OF ALL UTILITIES AND IRRIGATION MAINLINES SHALL BE COMPLETED

SOIL TESTS AS SPECIFIED AND SUBMIT TEST RESULTS AND SOIL AMENDMENT RECOMMENDATIONS TO THE M-NCPPC CONSTRUCTION MANAGER. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS OVER THE EXISTING SOIL AS APPROVED BY M-NCPPC CONSTRUCTION MANAGER. SOIL AMENDMENTS SHALL BE TILLED INTO THE SOIL TO LOOSEN EXISTING SOIL TO

DEPTH OF 12" FOR LANDSCAPE AREAS, AND 6" FOR LAWN AREAS. EXCAVATION IS NOT REQUIRED. RAKE THE AREA SMOOTH AND COMPACT THE SUBSOIL NOT TO EXCEED 85 PERCENT COMPACTION. LEVEL AND REGRADE PLANTING BED PRIOR TO INSTALLATION OF LANDSCAPE SOIL. 5. LANDSCAPE SOIL SHALL BE AMENDED TO MEET THE CRITERIA OF THIS SECTION. SOIL MAY BE BLENDED ON OF

7. FILL EXCAVATED AREAS WITH LANDSCAPE SOIL AMENDED TO MEET THE CRITERIA OF THIS SECTION, SOIL SHAL PLACED IN SUCCESSIVE LIFTS NO THICKER THAN SIX INCHES AND COMPACTED WITH HAND-OPERATED

DETRIMENTAL TO PLANTING OBJECTIVES SHALL BE CORRECTED BY LOOSENING FILLS THROUGH TILLING OR OTHER MEANS AND RECOMPACTING TO SPECIFIED LIMITS AT NO ADDITIONAL COST TO M-NCPPC. 8. THE SOIL SHALL NOT BE TILLED OR AMENDED WHEN THE SOIL'S MOISTURE LEVEL IS ABOVE FIELD CAPACITY OF WHEN SOIL IS FROZEN.

9. IF AT ANY STAGE THE SOIL IS LEFT EXPOSED TO WEATHER CONDITIONS, M-NCPPC MAY REQUIRE DECOMPACTION

## 723.08 MEASUREMENT AND PAYMENT

PAYMENT WILL BE FULL COMPENSATION FOR ALL MATERIAL, LABOR, EQUIPMENT, TOOLS, AND INCIDENTAL ITEMS NECESSARY TO COMPLETE THE WORK. PAYMENT SHALL BE MADE ON A UNIT RATE OR LUMP SUM BASIS AS SHOWN IN

AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

**SHT. #** \_\_ of

C-415

**CLARK | AZAR & ASSOCIATES** 20440 Century Blvd, Suite 220 Germantown, MD. 20874 T(301) 528-2010 www.clarkazar.com

Architect Date Checked By: JASON AZAR, P.E DANA CLAR Engineer Date | Checked By MATT EDELMAN, E.I.T. 23.07.20 | JASON AZAR Date | Checked By

DESIGN

23.07.13 DAVID MITCHEI

Checked By

documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

Professional Certification. I hereby certify that these

Expiration Date 01/12/2025

7/20/23

Park and Planning Commission

The Maryland-National Capital

2425 Reedie Drive, 11<sup>th</sup> Floor Wheaton, Maryland 20902 (301) 495-2595

Project Manager Date 1 23.08.18 35% Construction Documents Construction Manager Date Park Manager Date

SCALE: AS SHOWN

a. SLIT SEEDER: APPLY SEED WITHIN TOP 1/4 INCH OF SOIL IN TWO DIRECTIONS AT A RATE OF 2.5 POUNDS PER

c. APPLY SEED AT TWELVE (12) POUNDS PER 1,000 FT<sup>2</sup>.

TO PREVENT THE FERTILIZER FROM BURNING THE SEED. CARE SHALL BE EXERCISED TO ENSURE UNIFORM b. STRAW SHALL BE APPLIED BY HAND OR WITH A BLOWER AND STABILIZED. APPLY MULCHING MATERIAL TO

ON SLOPES OF 3:1 OR STEEPER, BIODEGRADABLE STAKES OR STABILIZATION UNIT AT A MINIMUM OF FOUR (4)

WATERING: WATER EVERY DAY FOR THE FIRST 10 DAYS AFTER INSTALLATION. SOIL MUST REMAIN MOIST AT AL TIMES WITHOUT HAVING WATER POOLING ON THE GRASS AREA. BERMUDA GRASS SHALL BE WATERED WITHIN 3

3. RE-SEEDING a. BARE SPOTS THAT PERSIST AFTER THREE (3) WEEKS OF FAVORABLE GROWING WEATHER SHALL BE

GRADE, SWALES OR BERMS SHALL BE RECONSTRUCTED AND ALL GRADES RE-ESTABLISHED IN ACCORDANCE WITH THE GRADING PLANS OR OTHER SPECIFICATIONS OR WHEN, IN THE JUDGEMENT OF THE M-NCPPC CM, SUCH DEFECTS OR DAMAGES ARE THE RESULT OF POOR WORKMANSHIP, OR FAILURE TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.

Montgomery County Department of Parks

**REVIEW AND APPROVAL** 

REVISIONS

Description

WILL NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED TO PERMIT PROPER INSTALLATION O

COOPERATION WILL BE UNDERTAKEN WITH OTHER TRADES WORKING IN AND ADJACENT TO WORK AREAS.
DRAWINGS THAT SHOW THE DEVELOPMENT OF THE ENTIRE PROJECT WILL BE EXAMINED TO GAIN FAMILIARITY WITH
THE SCOPE OF OTHER REQUIRED WORK.

OPERATIONS. ALL DAMAGED AREAS; FACILITIES AND MATERIALS SHALL BE RESTORED, REPAIRED OR REPLACED AS DIRECTED BY M-NCPPC AT THE CONTRACTOR'S EXPENSE.

POTASSIUM, SOLUBLE SALTS, TOTAL CALCIUM, NITROGEN, AND PERCENT ORGANIC MATTER. IF THE SOIL IS SANDY IT SHALL ALSO BE TESTED FOR BORON. SOIL TEST RESULTS SHALL INCLUDE LABORATORY RECOMMENDATIONS FOR SOIL AMENDMENTS TO CORRECT DEFICIENCIES AND ACCOMPLISH PLANTING OBJECTIVES. FOLLOW RECOMMENDATION OF ASTM D5268-19, LANDSCAPE SPECIFICATION GUIDELINES, LATEST EDITION, LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, VIRGINIA, AND THE DISTRICT OF COLUMBIA, SECTION, 705 - SEEDING AND SODDING SECTION FOR OPTIMUM PLANT GROWTH AND PROVIDE COURSE OF ACTION BASED ON THEIR RECOMMENDATION. THE CONTRACTOR SHALL SUBMIT PLANS WITH THE SOIL TEST RESULTS SHOWING TH

2. ALL FERTILIZATION MUST MEET MARYLAND'S LAWN FERTILIZER LAW-MDA.MARYLAND.GOV/PAGES/FERTILIZER.ASPX. A SINGLE FERTILIZER APPLICATION MAY NOT EXCEED 0.9-POUND TOTAL NITROGEN PER 1,000 SQUARE FEET AND 0.7 POUND OF SOLUBLE NITROGEN PER 1,000 SQUARE FEET EXCEPT WHEN USING ENHANCED EFFICIENCY FERTILIZER. FERTILIZATION IS PROHIBITED BETWEEN NOVEMBER 15 AND MARCH 1 OR WHEN THE GROUND I

d. ORGANIC MATTER SHALL BE GREATER THAN THREE (3.0) AND LESS THAN TEN (10.0) PERCENT. e. SAND CONTENT SHALL BE BETWEEN 20-60% AS DETERMINED BY SOIL TEST.

c. SOLUBLE SALTS SHALL NOT EXCEED FOUR (4) MMHOS/CM, CALCIUM LEVELS SHALL NOT EXCEED 2,000

LANDSCAPE AREAS AND 6" FOR LAWN AREAS, REFER TO REMOVALS WORK FOR DEPTH OF EXCAVATION O SPECIFIC AREAS.

6. BLENDING SHOULD BE PERFORMED USING A COMMERCIAL SOIL BLENDING EQUIPMENT DESIGNED FOR THE EQUIPMENT TO A MAXIMUM DRY DENSITY OF 85 PERCENT. OVER COMPACTION OF FILLS, WHICH WOULD BE

ESC/SWM SHEET X OF X

Lyttonsville Area Future Neighborhood Park DWG.# 2205 Kansas Avenue, Silver Spring, Maryland 20910

> SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD

CONSTRUCTION MANAGER, AND SHALL BE REDONE AT THE CONTRACTOR'S EXPENSE

CONSTRUCTION MANAGER FOR REVIEW AND ACCEPTANCE PRIOR TO REDISTRIBUTING AND AMENDING SOIL. . PAVEMENT OR STONE REMOVAL AREAS: OBTAIN ONE COMPOSITE SOIL TEST PER 10,000 SQUARE FEET C

## SOIL PARAMETERS. CONTRACTOR'S AMENDMENT PLAN SHALL INSURE THAT THE FOLLOWING PARAMETERS ARE

c. SOLUBLE SALTS SHALL NOT EXCEED 3 MMHOS/CM. CALCIUM LEVELS SHALL NOT EXCEED 2000 PARTS PER

ATHLETIC FIELDS: FOR SOIL PREPARATION, REFER TO SECTION 728 - ATHLETIC FIELD CONSTRUCTION.

OFF SITE. SOIL TO BE BLENDED ON SITE, THE AMENDMENTS SHALL BE BLENDED INTO SOIL BY LAYERING THE SOIL AND SOIL AMENDMENTS IN ALTERNATING THIN LAYERS (NOT TO EXCEED SIX INCHES) AND MIXING THEM UNIFORMLY AS EACH LAYER IS ADDED. THE BLENDED SOIL MUST MEET ASTM F2396-11.

### SO TO MEET THE REQUIREMENTS OF THIS SPECIFICATION AT NO EXPENSE TO M-NCPPC.

A Woman Owned Small Business

JON MALLORY

Landscape Designer

icense No. 31168

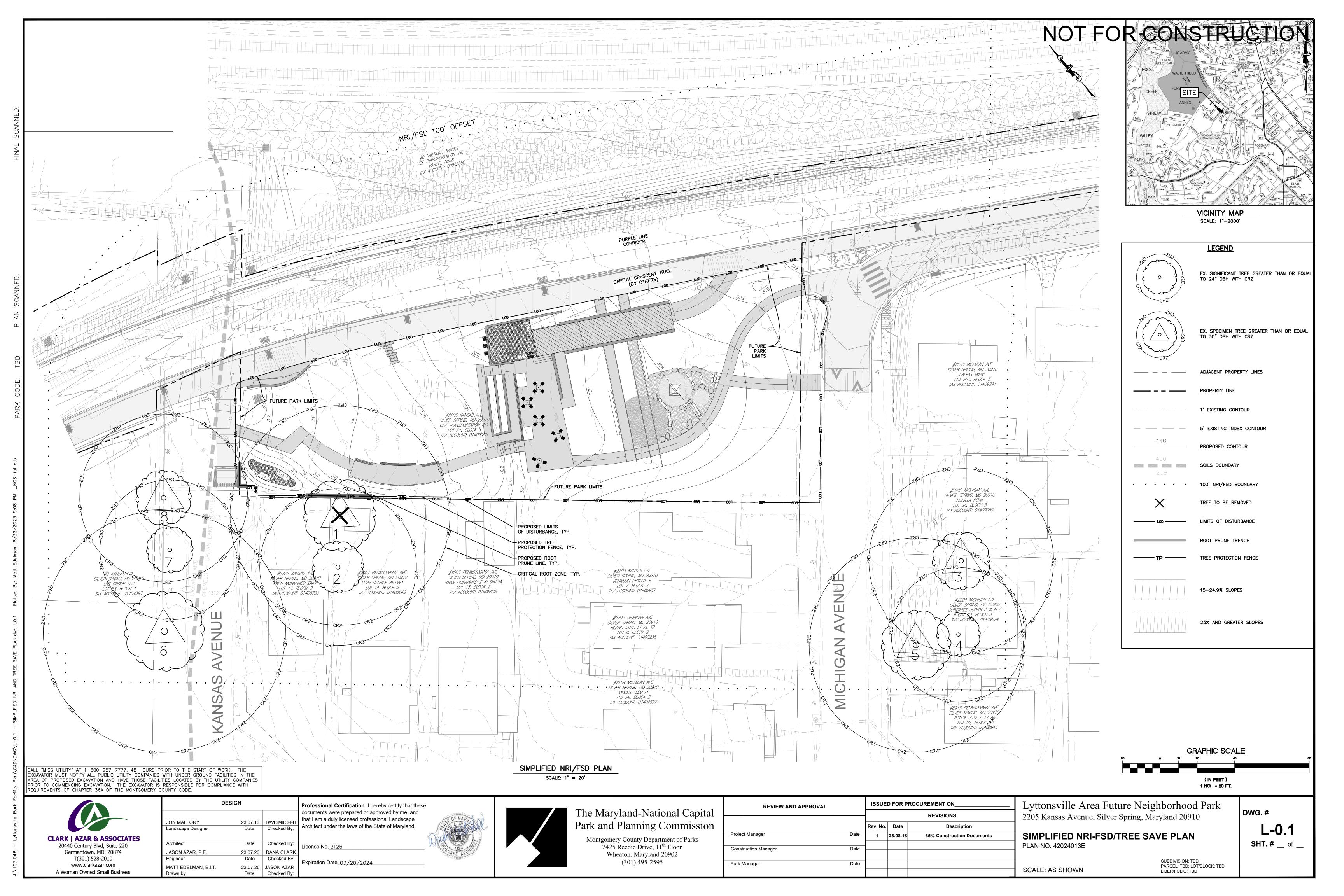
BE 100 POUNDS PER ACRE; AND POTASSIUM SHALL BE 85 POUNDS PER ACRE.

PRIOR TO BEGINNING LANDSCAPE SOIL WORK. AFTER THE ROUGH GRADE OF THE EXISTING SOIL IS ACCEPTED BY M-NCPPC. THE CONTRACTOR SHALL PERFORM

### 10. FOR SOIL PREPARATION IN CRITICAL ROOT ZONE AREAS OF EXISTING TREES, ALL WORK MUST BE DONE BY HAND WITH SHOVELS AND RAKES, UNLESS OTHERWISE APPROVED IN WRITING BY THE M-NCPPC CONSTRUCTION

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE

**EROSION AND SEDIMENT CONTROL NOTES** 



GENERAL NRI/FSD NOTES

CONSERVATION MANUAL.

INTRODUCTION

GENERAL INFORMATION

ENVIRONMENTAL FEATURES

100 YEAR FLOODPLAIN

NONTIDAL WETLANDS

CRITICAL HABITATS

CULTURAL FEATURES

FOREST STAND INFORMATION

CURRENT STATE CHAMPION TREES.

SITE NARRATIVE AND FOREST SUMMARY

CLARK AZAR & ASSOCIATES PERFORMED A SIMPLIFIED NATURAL

THIS PROPERTY IS CURRENTLY UNZONED.
THE TOTAL TRACT AREA IS 0.68 ACRES, SITE FIELDWORK WAS PERFORMED

ON MAY 23, 2023, BY JONATHAN MALLORY, CLARK AZAR & ASSOCIATES.

THE PROPERTY TAX ACCOUNT NUMBER ASSOCIATED WITH THE PLAN IS

NON-RESIDENTIAL PROPERTY EXEMPTION FROM FOREST CONSERVATION

1' TOPOGRAPHY & FUTURE PARK LIMITS PROVIDED BY THE PURPLE LINE. THERE ARE NO PRIME AGRICULTURAL SOILS ON THE PROPERTY (SEE SOIL

THIS PROPERTY IS NOT WITHIN AN SPA OR PMA.
THIS PROPERTY QUALIFIES FOR A MODIFICATION TO EXISTING

UNDER THE PROVISION OF SECTION 22A-5(1) OF THE FOREST

9. THERE ARE NO ERODIBLE SOIL ON THE PROPERTY (SEE SOIL TABLE).

LOCATED AND MEASURED WITH A FORESTERS DIAMETER BREAST TAPE MEASURE UNLESS OTHERWISE NOTED (SEE SIGNIFICANT TREE TABLE).

11. NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON OR OFFSITE AT THE TIME OF THE FIELD INVESTIGATION.

12. NO TREES OCCUR WITHIN THE STUDY AREA WHICH ARE RECOGNIZED AS

RESOURCE INVENTORY FOR THE PROJECT KNOWN AS LYTTONSVILLE LOCAL PARK

THE GUIDELINES SET FORTH IN THE MDNR STATE FOREST CONSERVATION

THIS IS A PROPOSED 0.68 ACRE SITE TO BE CONVEYED TO MONTGOMERY COUNTY, MD, THE SITE IS CURRENTLY UNDER CONSTRUCTION FOR THE PURPLE

CURRENTLY, THERE IS NO VEHICULAR ACCESS EXCEPT FOR CONSTRUCTION

THE FEMA FLOOD MAP COMMUNITY-PANEL # 24031C0370D INDICATES THERE IS

NO FLOODPLAIN ON THE PROPERTY AND IS ZONE X, AREA OF MINIMAL FLOOD

ACCORDING TO THE USDA NRCS WEBSOIL SURVEY FOR MONTGOMERY COUNTY,

MOST OF THE PROPERTY IS COMPOSED OF 2UB-GLENELG-URBAN LAND

THERE WERE NO WETLANDS OBSERVED WITHIN 100' OF THE PROPOSED

THERE WERE NO STREAMS OBSERVED ON OR OFFSITE DURING THE FIELD

THE SITE SLOPES DOWN TOWARDS THE NORTHWEST. THE MAJORITY OF STEEP

THE MDNR HAS BEEN NOTIFIED OF THE PROJECT AREA AND DESCRIPTION. THERE

THE SITE DOES NOT APPEAR IN CLOSE PROXIMITY TO INDIVIDUAL HISTORIC SITES

FOUND IN MNCPPC HISTORIC PROPERTIES INTERACTIVE MAP. IT APPEARS THE

DEVELOPMENT OF THE SUBJECT SITE WILL NOT IMPACT ANY HISTORIC SITES.

ALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE

EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE

AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

APPEAR TO BE NO CRITICAL WILDLIFE HABITATS FROM THE FIELD INSPECTION.

400-URBAN LAND (HYDROLOGICAL CLASS D) SOIL.

PROPERTY LINE DURING THE FIELD INVESTIGATION.

SLOPES EXIST TO THE NORTH BY THE EXISTING RAILROAD.

COPIES OF CORRESPONDENCE WILL BE PROVIDED.

THERE ARE NO FORESTS ON THE PROPOSED PROPERTY.

STREAMS AND DRAINAGEWAYS

TOPOGRAPHY AND STEEP SLOPES

TECHNICAL MANUAL AND MNCPPC TREE, APPROVED TECHNICAL MANUAL.

LINE WITH RESIDENTIAL PROPERTIES TO THE SOUTH, EAST, AND WEST.

VEHICLES. THE SITE LIES WITHIN ROCK CREEK WATERSHED, USE I.

DURING MAY 2023. THE NATURAL RESOURCE INVENTORY WAS CONDUCTED USING

10. ALL TREES EQUAL TO AND GREATER THAN 24" ARE APPROXIMATELY

**Sequence of Events for Properties Required to Comply With** Forest Conservation Plans, Exemptions from Submitting Forest Conservation Plans, and Tree Save Plans

The property owner is responsible for ensuring all tree protection measures are performed in accordance with the approved final forest conservation plan or tree save plan, and as modified in the field by a Planning Department Forest Conservation Inspector. The measures must meet or exceed the most recent standards published by the American National Standards Institute (ANSI A300).

### **Pre-Construction**

- 1. An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged and before any land disturbance.
- 2. The property owner must arrange for the meeting and following people should must participate at the pre-construction meeting: the property owner or their representative, construction superintendent, International Society of Arboriculture (ISA) certified arborist/Maryland Licensed Tree Expert (representing owner) that will implement the tree protection measures, The Planning Department Forest Conservation Inspector, and Montgomery County Department of Permitting Services (DPS) Sediment Control Inspector. The purpose of this meeting is verify the limits of disturbance and discuss specific tree protection and tree care measures shown on the approved plan. No land disturbance shall begin before tree protection and stress-reduction measures have been implemented and approved by the Planning Department's Forest Conservation Inspector.
  - a. Typical tree protection devices include: . Chain link fence (four feet high)
    - ii. Super silt fence with wire strung between the support poles (minimum 4 feet high) with high visibility flagging.
    - iii. 14 gauge, 2 inch x 4 inch welded wire fencing supported by steel T-bar posts (minimum 4 feet high) with high visibility flagging.
  - b. Typical stress reduction measures may include, but are not limited to: i. Root pruning with a root cutter or vibratory plow designed for that purpose. Trenchers are not allowed, unless approved by the Forest Conservation Inspector
    - ii. Crown Reduction or pruning
    - iii. Watering
    - iv. Fertilizing
    - v. Vertical mulching
  - vi. Root aeration systems

Measures not specified on the Forest Conservation Plan may be required as determined by the Forest Conservation Inspector in coordination with the property owner's arborist.

- 3. A Maryland Licensed Tree expert must perform, or directly supervise, the implementation of all stress reduction measures. Documentation of the process (including photographs) may be required by the Forest Conservation Inspector, and will be determined at the pre-construction meeting.
- 4. Temporary tree protection devices must be installed per the approved Forest Conservation Plan, Exemption Plan, or Tree Save Plan and prior to any land disturbance. The Forest Conservation Inspector, in coordination with the DPS Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the approved plan.
- 5. Tree protection fencing must be installed and maintained by the property owner for the duration of construction project and must not be altered without prior approval from the Forest Conservation Inspector. All construction activity within protected tree and forest areas is prohibited. This includes the following activities:
  - a. Parking or driving of equipment, machinery or vehicles of any type.
  - b. Storage of any construction materials, equipment, stockpiling, fill, debris, etc. c. Dumping of any chemicals (i.e., paint thinner), mortar or concrete remainder,
  - trash, garbage, or debris of any kind.
  - d. Felling of trees into a protected area.
  - e. Trenching or grading for utilities, irrigation, drainage, etc.
- 6. Forest and tree protection signs must be installed as required by the Forest Conservation Inspector. The signs must be waterproof and wording provided in both English and Spanish.

### **During Construction**

- 7. Periodic inspections will be made by the Forest Conservation Inspector. Corrections and repairs to tree protection devices must be completed within the timeframe given by the Inspector.
- 8. The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understory, ground cover, and any other undisturbed areas shown on the approved plan. Remedial actions, and the relative timeframes to restore these areas, will be determined by the Forest Conservation Inspector.

### Post-Construction

- 9. After construction is completed, but before tree protection devices have been removed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective measures, which may include:
  - a. Removal, and possible replacement, of dead, dying, or hazardous trees b. Pruning of dead or declining limbs
  - c. Soil aeration
  - d. Fertilization
  - e. Watering
  - f. Wound repair

  - g. Clean up of retention areas, including trash removal
- 10. After the final inspection and completion of all corrective measures the Forest Conservation Inspector will request all temporary tree and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both DPS and the Forest Conservation Inspector and cannot be removed without permission of the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed.
- 11. Long-term protection measures, including permanent signage, must be installed per the approved plan. Installation will occur at the appropriate time during the construction project. Refer to the approved plan drawing for the long-term protection measures to be installed.

### NATURAL RESOURCE DATA TABLE

Гotal Area (acres)	0.68
Total Forest (acres)	0
Total Wetland (acres)	0
Total Forest in Wetlands (acres)	0
Total floodplain (acres)	0
Total Forest in Floodplains (acres)	0
Total Stream Buffers (acres)	0
Total Forest in Stream Buffers (acres)	0

### **SOILS TABLE**

MAP UNIT	MAP UNIT NAME	HIGHLY ERODIBLE (Y/N)	HYDRIC (Y/N)	PRIME AGRICULTURAL LAND (Y/N)
400	Urban land	N	Z	N
2UB	Glenelg-Urban land complex, 0 to 8 percent slopes	N	N	N

### SIGNIFICANT TREE IDENTIFICATION:

Point#:	Total DBH: (inches)	Common Name	Scientific Name:	General Condition:	Condition Notes:	Save or Remove
1	39.25	Silver maple	A cer saccharinum	Fair	Canopy small for tree size. Epicormic	Remove
2	28	Eastern cottonwood	Populus deltoides	Fair	70 degree lean.	Save
3	31	Burford holly	Ilex cornuta 'Burfordii'	Good	Triple.	Save
4	24	Burford holly	llex comuta 'Burfordii'	Good	Twin.	Save
5	38.75	Cherry species	Prunus species	Poor	moderate branch dieback.	Save
6	40.25	Callery pear	Pyrus calleryana	Fair	Small canopy due to pruning. Multistem.	Save
7	25	Callery pear	Pyrus calleryana	Fair	Small canopy due to pruning. Twin.	Save
8*	30	Black locust	Robinia pseudoacacia	Poor	Severe canopy dieback. DBH by ocular estimate.	Save

- 1. BOLD TYPE DENOTES SPECIMEN TREE
- 2. "\*" DENOTES DBH MEASURED BY OCULAR ESTIMATE

Condtion Scoring System				
Excellent				
Good				
Fair				
Poor				

## STANDARD TREE SAVE NOTES: TO BE REQUESTED BY 1/E A FESSIVE. LELD, USPECTIONS NOS BE REQUESTED BY 1/E A FESSIVE. LELD, USPECTIONS NOS BE REQUESTED BY 1/E A FESSIVE. LELD, USPECTIONS NOS BETTEN TO BE RECOVERY.

- (1) after the limits of disturbance have been staked and flagged, but before any clearing or grading begins (the purpose of the meeting should be to field verify the limits of clearing specified on the approved plan, authorize necessary adjustments, and to authorize necessary stress reduction measures and installation of protection devices);
- (2) after necessary stress reduction measures have been completed and the protection measures have been installed, but before any clearing or grading begins (the purpose of the meeting should be to field verify that both measures have been done correctly and to authorize clearing and grading);
- (3) after completion of all construction activities to determine the level of compliance with the approved plan;
- (4) before the start of any required reforestation planting (the purpose of the meeting should be to determine whether necessary pre-planting measures have been completed and
- authorize any necessary adjustments to the planting specification); (5) after required reforestation and afforestation planting has been completed to verify that the planting is acceptable and to begin the required maintenance and management period;
- (6) Two years after reforestation and afforestation have been completed, to determine survival and assess necessary maintenance activities for the remaining duration of the maintenance and management period; and
- (7) At the end of the maintenance and management period to determine the level of compliance with provisions of the planting plan and, if appropriate, authorize release of any financial security.

Tree Protection Fence Detail Not to scale

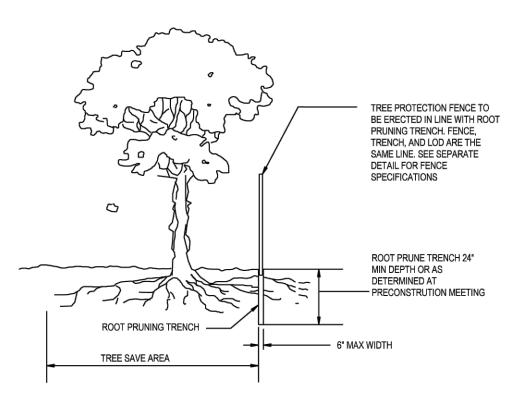
SECURE FENCING TO METAL POSTS

STANDARD SYMBOL

### NOTES

- Practice may be combined with sediment control
- 2. Location and limits of fencing should be
- coordinated in field with arborist. Boundaries of protection area should be staked
- prior to installing protective device. Root damage should be avoided.
- Protection signage is required.
- Fencing shall be maintained throughout

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NOTES:

1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRECONSTRUCTION

2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRECONSTRUCTION MEETING AND FLAGGED PRIOR TO TRENCHING. 3. EXACT LOCATION OF TRENCH SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH

THE FOREST CONSERVATION (FC) INPECTOR 4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FC INSPECTOR.

5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

6. ALL PRUNING MUST BE EXECUTED WITH LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FC INSPECTOR.

ROOT PRUNING DETAIL

CLARK | AZAR & ASSOCIATES 20440 Century Blvd, Suite 220 Germantown, MD. 20874 T(301) 528-2010 www.clarkazar.com A Woman Owned Small Business

ON MALLORY 23.07.13 DAVID MITCHE Landscape Designer Checked By: Architect Date Checked By JASON AZAR, P.E. 23.07.20 DANA CLAR Date Checked By MATT EDELMAN, E.I.T. 23.07.20 JASON AZAF Date | Checked By

DESIGN

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Landscape Architect under the laws of the State of Maryland.

icense No. 3126 Expiration Date <u>03/20/2024</u>





The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks 2425 Reedie Drive, 11<sup>th</sup> Floor Wheaton, Maryland 20902 (301) 495-2595

REVIEW AND APPROVAL		ISSUEI	D FOR PI	ROCUREMENT ON
				REVISIONS
		Rev. No.	Date	Description
Project Manager	Date	1	23.08.18	35% Construction Documents
Construction Manager	Date			
Park Manager	Date			

Lyttonsville Area Future Neighborhood Park 2205 Kansas Avenue, Silver Spring, Maryland 20910

SIMPLIFIED NRI-FSD/TREE SAVE PLAN

NOTES AND DETAILS PLAN NO. 42024013E

SUBDIVISION: TBD PARCEL: TBD; LOT/BLOCK: TBD SCALE: AS SHOWN LIBER/FOLIO: TBD

DWG.#

L-0.2 **SHT.#** \_\_ of