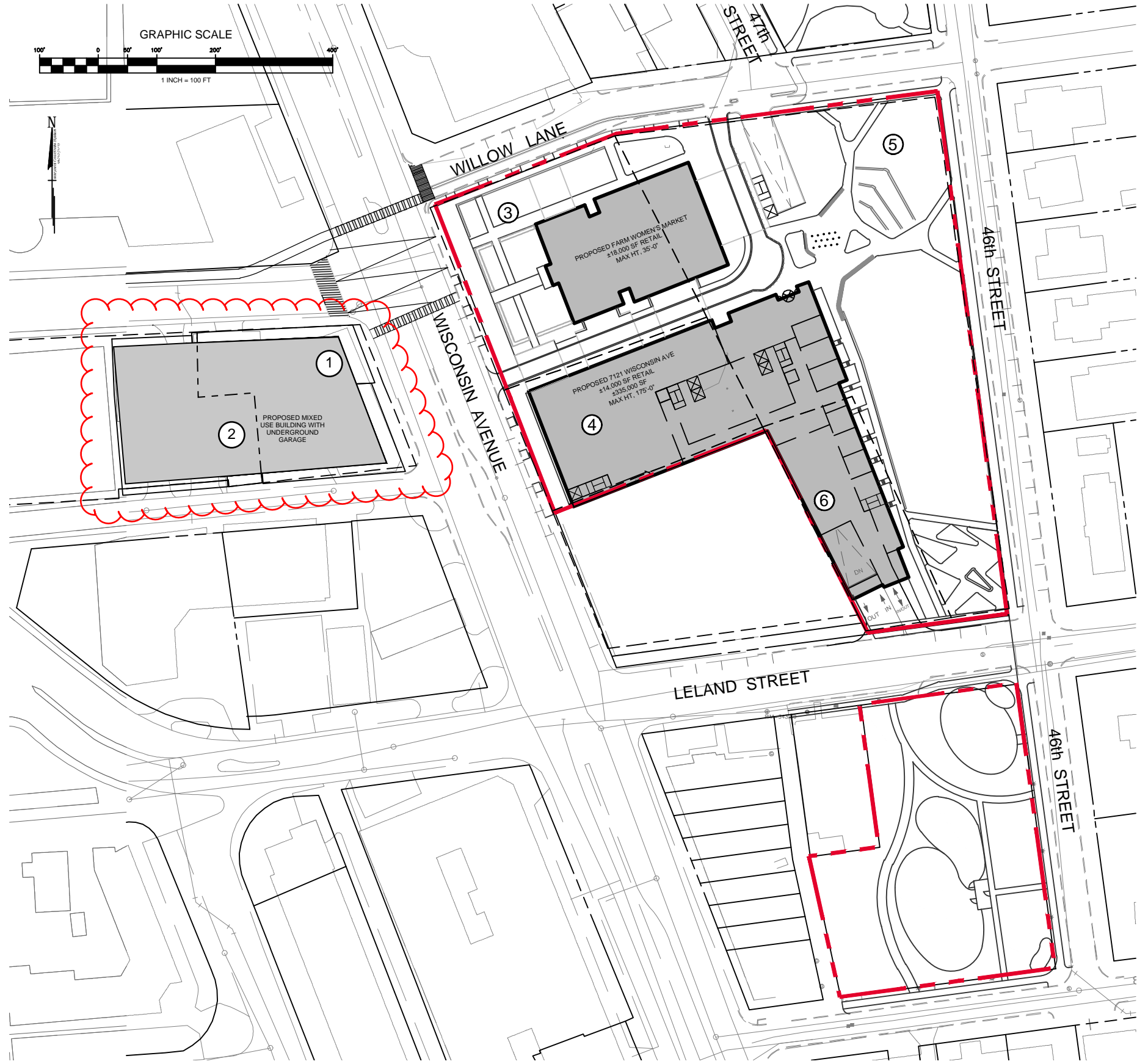


SKETCH PLAN - Option A - East Side



LEGEND

- PROPERTY BOUNDARY
- PROPOSED BUILDING
- PROPOSED PAVEMENT EDGE
- PROPOSED RETAINING WALL
- ZONING DELINEATION
- REVISIONS PROPOSED UNDER 32019003A

NOTES:

1. All Sketch Plan Drawings and Exhibits are conceptual and only represent the proposed development in an illustrative interpretation.
2. The final phasing, building dimensions, height, density and development standards shall be determined at Site Plan approval.
3. The final building uses and programming shall be determined at Site Plan application.
4. The maximum density and heights for the property pursuant to the Bethesda Overlay Plan, CR and CRT Zones.

SKETCH PLAN ELEMENTS:

1. The proposed development is limited to a combined 275,368 gross square feet of commercial and residential development including associated amenities.

Data Table - Option A - East Side			
ZONES: CR-3.0, CRT-0.5			
Project Property Area	Square Feet	Acres	
Gross Tract Area	243,494	5.59	
Previous Dedication			
Total Net Area of Sketch Plan	179,727	4.13	
Gross Tract Area By Zone			
③ CR-3.0	C-3.0, R-2.75, H-35	46,832	1.08
④ CR-3.0	C-3.0, R-2.75, H-175	27,506	0.63
⑤ CRT-0.5	C-0.25, R-0.5, H-70	155,734	3.58
⑥ CR-3.0	C-2.0, R-2.75, H-90	13,422	0.31
TOTAL	243,494	5.59	
Density Total			
	Permitted (SF)	Proposed (SF)	
Non-Residential	27,805	27,805	
Residential	335,000	335,000	
Other	n/a	n/a	
Total Density Not to Exceed	362,805		
Height by Zone			
	Permitted (ft)	Proposed (ft)	
③ CR-3.0	35	35	
④ CR-3.0	175	175	
⑤ CRT-0.5	70	70	
⑥ CR-3.0	90	90	
Public Open Space & Common Open Space			
	Required (SF)	Proposed (SF)	
10%	17,973	11%	19,928
Parking Spaces			
	Min	Max	
Non-Residential	TBD AT SITE PLAN	TBD AT SITE PLAN	
Residential	TBD AT SITE PLAN	TBD AT SITE PLAN	
Total	TBD AT SITE PLAN		

*Excludes 4,195 SF from Historic Farm Women's Market Building

Data Table - Overall Option A			
ZONES: CR-3.0, CRT-0.5			
Project Property Area	Square Feet	Acres	
Gross Tract Area	289,439	6.64	
Previous Dedication			
Total Net Area of Sketch Plan	206,115	4.73	
Gross Tract Area By Zone			
1) CR-3.0	C-3.0, R-2.75, H-225	29,414	0.68
2) CR-3.0	C-3.0, R-2.75, H-200	16,531	0.38
3) CR-3.0	C-3.0, R-2.75, H-35	46,832	1.08
4) CR-3.0	C-3.0, R-2.75, H-175	27,506	0.63
5) CRT-0.5	C-0.25, R-0.5, H-70	155,734	3.58
6) CR-3.0	C-2.0, R-2.75, H-90	13,422	0.31
TOTAL	289,439	6.64	
Density Total			
	Permitted (SF)	Proposed (SF)	
Non-Residential		36,805	
Residential		736,688	
Other		n/a	
Total Density Not to Exceed		773,493	
Height by Zone			
	Permitted (ft)	Proposed (ft)	
1) CR-3.0	225	225	
2) CR-3.0	200	200	
3) CR-3.0	35	35	
4) CR-3.0	175	175	
5) CRT-0.5	70	70	
6) CR-3.0	90	90	
Public Open Space & Common Open Space			
	Required	Proposed	
10%	20,612 SF	10.9%	22,386 SF
Parking Spaces			
	Minimum	Maximum	
Non-Residential	TBD AT SITE PLAN	TBD AT SITE PLAN	
Residential	TBD AT SITE PLAN	TBD AT SITE PLAN	
Total	TBD AT SITE PLAN		

*Excludes 4,195 SF from Historic Farm Women's Market Building

PUBLIC BENEFIT POINTS - EAST SIDE - OPTION A

ZONES: CR-3.0, CRT-0.5

PUBLIC BENEFIT	SUB-CATEGORY	POINTS POSSIBLE	POINTS PROPOSED
4.7.3.A - Major Public Facilities	Major Public Facilities - FWM Site	70	70
	Major Public Facilities - Civic Green (Option A - East Side)**	40	40
4.7.3.C - Connectivity and Mobility	Through-Block Connections	30	15
	Trip Mitigation	20	10
	Public Parking	25	10
	VWay Finding	10	10
4.7.3.E Quality Building and Site Design	Exceptional Design	30	10
	Historic Resource Protection	20	20
	Public Open Space	30	14
	Public Art	20	7.5
4.7.3.F. Protection and Enhancement of the Natural Environment	Structured Parking	20	20
	Building Lot Termination (BLT)	30	4.4
	Energy Conservation and Generation	25	15
	Vegetated Area	15	5
4.7.3.G. Building Reuse	Vegetated Roof	20	20
	Retained Buildings	100	2.3
Total Points			273.2

** (40) Total points in CRT Zone for proposed Civic Green