

LEGEND

	PROP. BRICK SIDEWALK
	PROP. CONCRETE SIDEWALK
	AT-GRADE PLANTER
	PROP. BRICK DRIVEWAY
	LIMITS OF DISTURBANCE
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	ZONING LINE

DEVELOPMENT SEQUENCE:

DEVELOPMENT IS PLANNED TO TAKE PLACE IN A SINGLE PHASE, WHICH WILL INCLUDE PROPOSED BUILDING AND STREETScape IMPROVEMENTS.

SIGNAGE AND PAVEMENT MARKING NOTE:

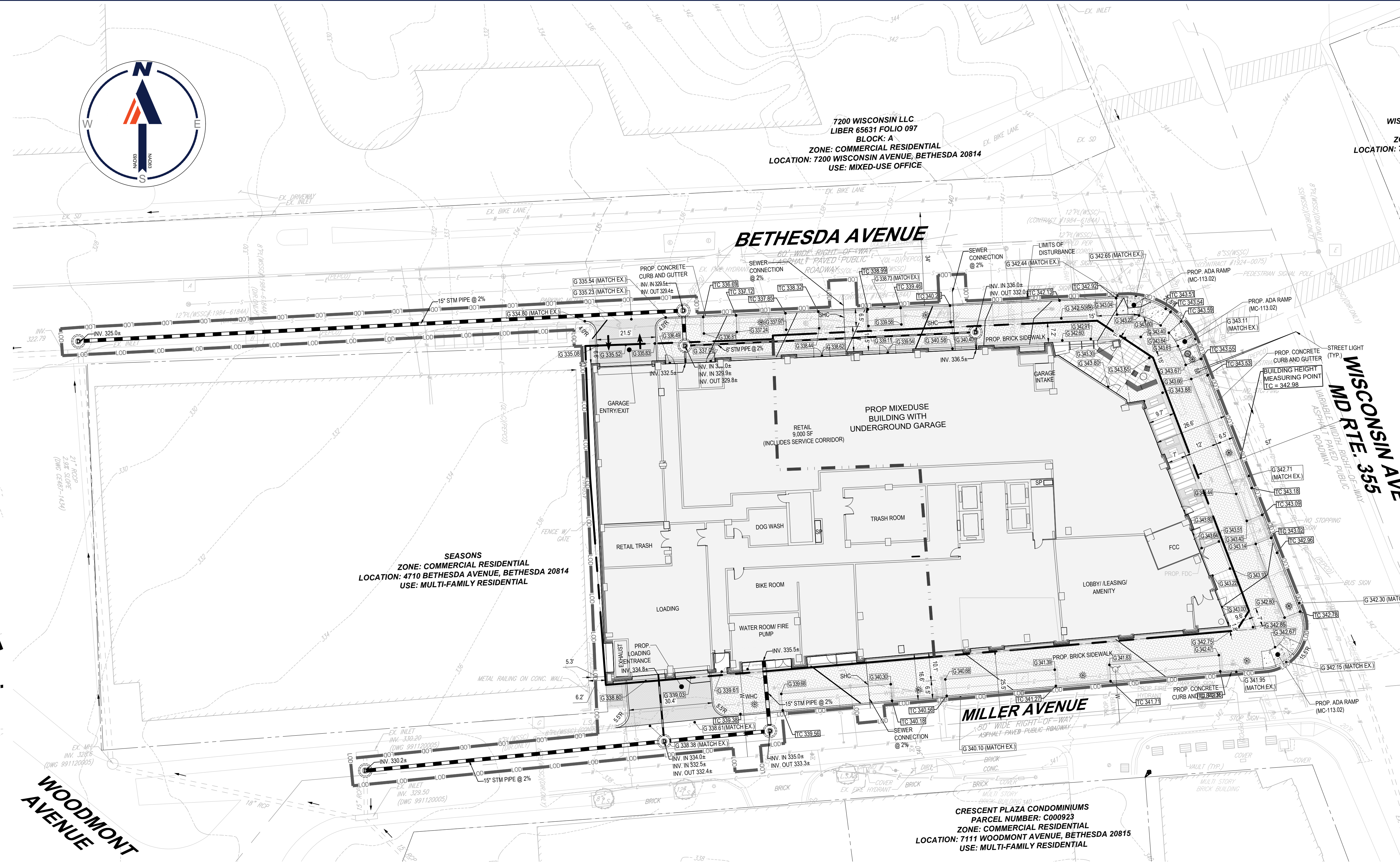
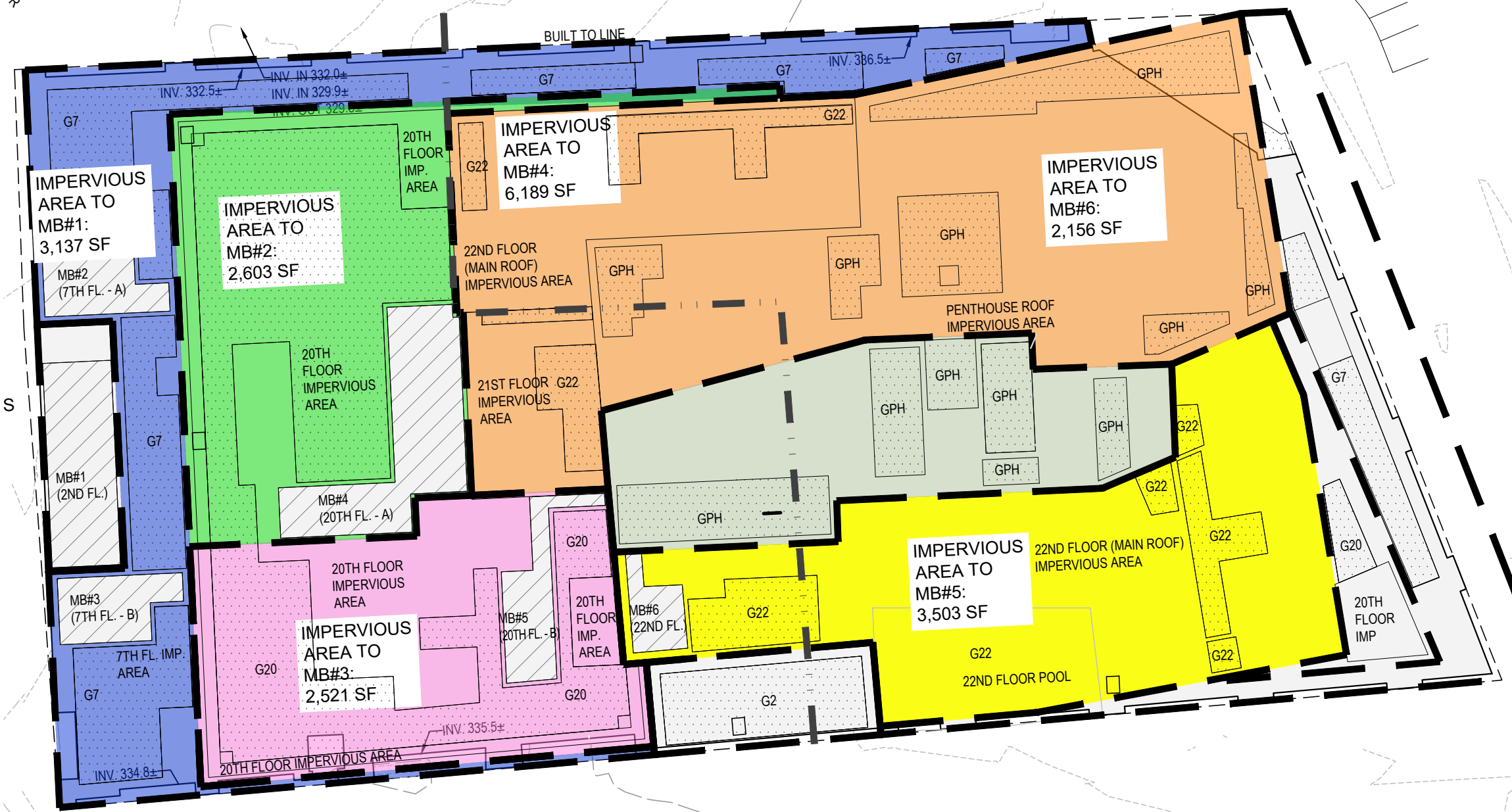
SIGNAGE AND PAVEMENT MARKINGS ARE SHOWN FOR REFERENCE ONLY AND WILL BE FINALIZED AT ROW PERMIT UNDER SIGNAGE AND PAVEMENT MARKING PLAN.

UTILITY NOTE:

UNDERGROUNDING OF UTILITY POLES AND REMOVAL OF OVERHEAD WIRES TO BE COMPLETED BY THE APPLICANT.



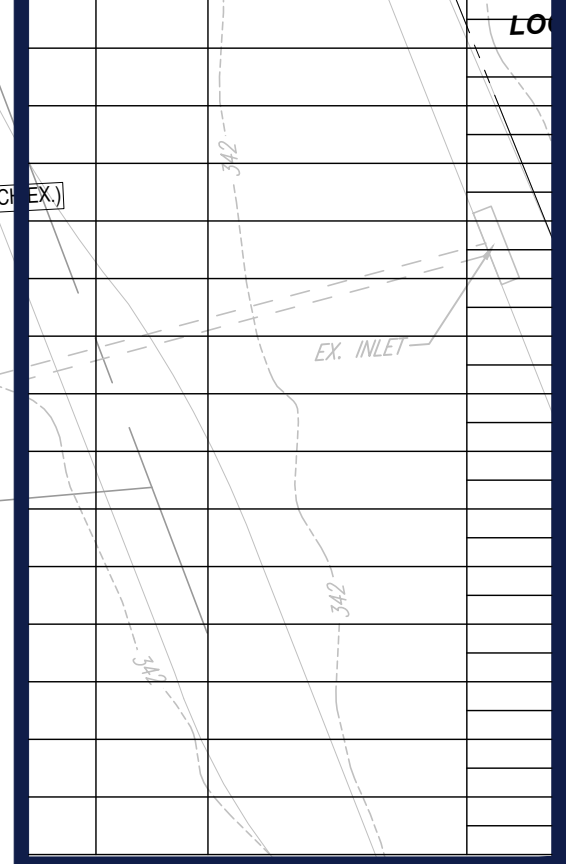
ROOFTOP ESD EXHIBIT



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REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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 Know what's below.
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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT OR FOR RELIANCE THEREON BY OTHER PARTIES.

PROJECT NO.: MD202164
 DRAWN BY: LJC/EH
 CHECKED BY: AWM/BNR
 DATE: 9/30/2023
 CAD I.D.: PREL.M.0

PRELIMINARY PLAN #120230020

FOR
WISCONSIN AVE. PROPERTIES, LLC.

LOCATION OF SITE
 7126 WISCONSIN AVENUE
 BETHESDA, MARYLAND 20814
 MONTGOMERY COUNTY
 WSSO GRID: 200N/04
 TAX MAP HP32, GRID 00, PARCEL 00

BOHLER
 901 DULANEY VALLEY ROAD, SUITE 801
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B.R. ROWE
 PROFESSIONAL ENGINEER
 MONTGOMERY COUNTY, MARYLAND
 LICENSE NO. 4098, EXPIRES ON DATE 12/31/2023

SHEET TITLE:
PRELIMINARY PLAN

SHEET NUMBER:
C-04

APPLICANT: **WISCONSIN AVE PROPERTIES LLC**
 12435 PARK POTOMAC AVENUE, SUITE 200
 POTOMAC, MD 20854
 PHONE: 240-499-9826
 CONTACT: JOSH ETTER

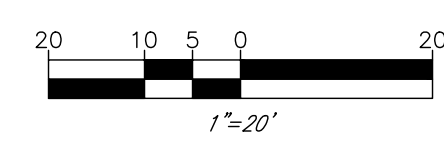
ORG. DATE: 10/14/2022

Use Category	Permitted/Required Per Zoning Ordinance	Required for Sketch / Preliminary / Site Plan			Provided Spaces
		Proposed Site	Min (# Spaces)	Max (# Spaces)	
Residential	1 Space (Min or Max / Studio DU)	MPDU: 50 Units	MPDU: 25 Spaces	MPDU: 25 Spaces	Prop. Parking Garage: 261
	1 Space (Min) or 1.25 Space (Max) / 1 BR DU	1 BR: 115 Units	1 BR: 58 Spaces	1 BR: 144 Spaces	
	1 Space (Min) or 1.5 Space (Max) / 2 BR DU	2 BR: 120 Units	2 BR: 90 Spaces	2 BR: 180 Spaces	
	1 Space (Min) or 2.0 Space (Max) / 3 BR DU	3 BR: 45 Units	3 BR: 34 Spaces	3 BR: 90 Spaces	
	MPDU Adjustment Factor = 0.50 (Section 6.2.3.1.2.b.)				
Vehicle Parking	Unbundled Space Reduction 1 BR DU / 0.50 2 BR DU / 0.75 3 BR DU / 0.75 (Section 6.2.3.1.5)				
	Total Parking		207 Spaces	439 Spaces	261 Spaces ¹
	a. ADA Parking	261 Total Spaces = 7 ADA (of Which 1 Van Accessible)	5 Spaces	--	5 Spaces
	b. ADA Van Accessible Parking	1 Space / 4 ADA Spaces	--	1 Space	2 Spaces
	c. Motorcycle	Minimum: 2% of Total Spaces: 6 Spaces	--	--	6 Spaces
Bicycle Parking	d. Electric Vehicles	Minimum: 2% of Total Spaces: 6 Spaces	--	--	6 Spaces
	e. Compact Spaces	Maximum: 20% of Total Spaces: 53 Spaces	--	--	53 Spaces
Loading Spaces	Minimum: 0.50 Spaces / DU, 95% Long Term Maximum: 100 Spaces per Building	330 Units	100 Spaces (95 Long Term, 5 Short Term)	106 Spaces (95 Long Term, 11 Short Term)	
	1 Space for 50 DU's and Above 1 Space up to 25,000 SF of GFA	330 Units 9,000 SF	2 Spaces	2 Spaces	2 Spaces

TABLE NOTES:
¹ TOTAL PROPOSED VEHICULAR PARKING SPACES (261 SPACES) CALCULATED USING 189 STANDARD SPACES, 7 ADA SPACES (2 OF WHICH ARE VAN ACCESSIBLE), 6 MOTORCYCLE SPACES, 6 ELECTRIC SPACES, AND 53 COMPACT SPACES.

	PROJECT DATA TABLE			
	ZONE CR-3.0, C-3.0, R-2.75, H-225 (7126 AND 7140 WISCONSIN AVENUE); CR-3.0, C-3.0, R-2.75, H-200 (4708 BETHESDA AVENUE AND 4705 MILLER AVENUE)	ORDINANCE OPTIONAL METHOD SECTION 59.4.5.4	PROPOSED BY SKETCH PLAN 32019003A	PROPOSED FOR THIS PRELIMINARY PLAN
Subject Property				
TRACT AREA	-	45,945 SF / 1.05 AC.	45,945 SF / 1.05 AC.	
PRIOR DEDICATIONS	-	17,470 SF / 0.401 AC.	17,470 SF / 0.401 AC.	
PROPOSED DEDICATIONS	-	2,241 SF / 0.051 AC.	2,241 SF / 0.051 AC.	
LOT AREA	-	26,234 SF / 0.602 AC.	26,234 SF / 0.602 AC.	
MAPPED DENSITY (SECTION 59.4.5.4)				
Residential (GFA/FAR)	126,348 SF (2.75)	Up to 406,845 / 8.8 ¹	Up to 406,845 / 8.8 ¹	
Commercial (GFA/FAR)	137,835 SF (3.0)	At Least 11,487 / 0.3 ²	At Least 11,487 / 0.3 ²	
Subject Property Mapped Density (GFA/FAR)	137,835 SF (3.0)	137,835 SF / 3.0 ²	137,835 SF / 3.0 ²	
Total GFA/FAR	-	Total Not To Exceed 418,332 SF / 9.1³	Total Not To Exceed 418,332 SF / 9.1³	
BETHESDA OVERLAY ZONE (BOZ) DENSITY	-	DENSITY TO BE PURCHASED FROM BOZ = 280,497 SF (418,332 SF BUILDING GFA LESS ALLOWABLE ON SITE GFA OF 137,835 SF)	DENSITY TO BE PURCHASED FROM BOZ = 280,497 SF (418,332 SF BUILDING GFA LESS ALLOWABLE ON SITE GFA OF 137,835 SF)	
MINIMUM SETBACKS (FT) (SECTION 59.4.5.4)	PERMITTED/REQUIRED	PROPOSED BY SKETCH PLAN 32019003A	PROPOSED FOR THIS PRELIMINARY PLAN	
Bethesda Avenue	0'	6'	6'	
Wisconsin Avenue	0'	8'	8'	
Miller Avenue	0'	0'	0'	
BUILDING HEIGHT (SECTION 59.4.5.4)	PERMITTED/REQUIRED	PROPOSED BY SKETCH PLAN 32019003A	PROPOSED FOR THIS PRELIMINARY PLAN	
Maximum ¹	225 FEET	225 FEET ¹	225 FEET ¹	
OPEN SPACE (SECTION 59.6.3.6)	PERMITTED/REQUIRED	PROPOSED BY SKETCH PLAN 32019003A	PROPOSED FOR THIS PRELIMINARY PLAN	
Public Open Space (Min.)	10% of Lot Area (2,623 SF)	11.7% (3,069 SF)	11.7% (3,069 SF)	
GREEN COVER	PERMITTED/REQUIRED	PROPOSED BY SKETCH PLAN 32019003A	PROPOSED FOR THIS PRELIMINARY PLAN	
Green Cover (Min.)	35% of Site Area (9,236 SF)	35% of Site Area (9,236 SF)	35% of Site Area (9,236 SF)	
RESIDENTIAL UNIT SUMMARY		PROPOSED BY SKETCH PLAN 32019003A	PROPOSED FOR THIS PRELIMINARY PLAN	
Standard Units (%)	280	280	280	
MPDUs (15% Based on Total Units Proposed)	50	50	50	
Total Units	330	330	330	

NOTES:
¹ MAXIMUM BUILDING HEIGHT ON THE 4708 BETHESDA AVENUE AND 4705 MILLER AVENUE PORTION IS 200 FEET
² Park Impact Payment (PIP) Calculation: (Total Project Density - Mapped Density) = BOZ Density - MPDU(SF) = SF Subject to PIP Payment x \$11.41
 (418,332 SF - 137,835 SF) = 280,497 SF BOZ Density - 45,000 MPDU(SF) = 235,497 SF x \$11.41 = \$2,687,020.77
³ The Preliminary Plan is limited to a maximum of 418,332 SF of total development on the Subject Property, including up to 406,845 SF of Commercial Uses for 330 Multi-Family dwelling Units (of which up to 130 may be short term rental units), with at least a total of 11,487 SF of Commercial Uses that may include a combination of ground floor retail uses and live/work units. The Commercial Use space can be changed to other Commercial Uses if there is no adverse impact on the Site Plan and APF findings, and it is approved by M-NCPPC Staff.



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