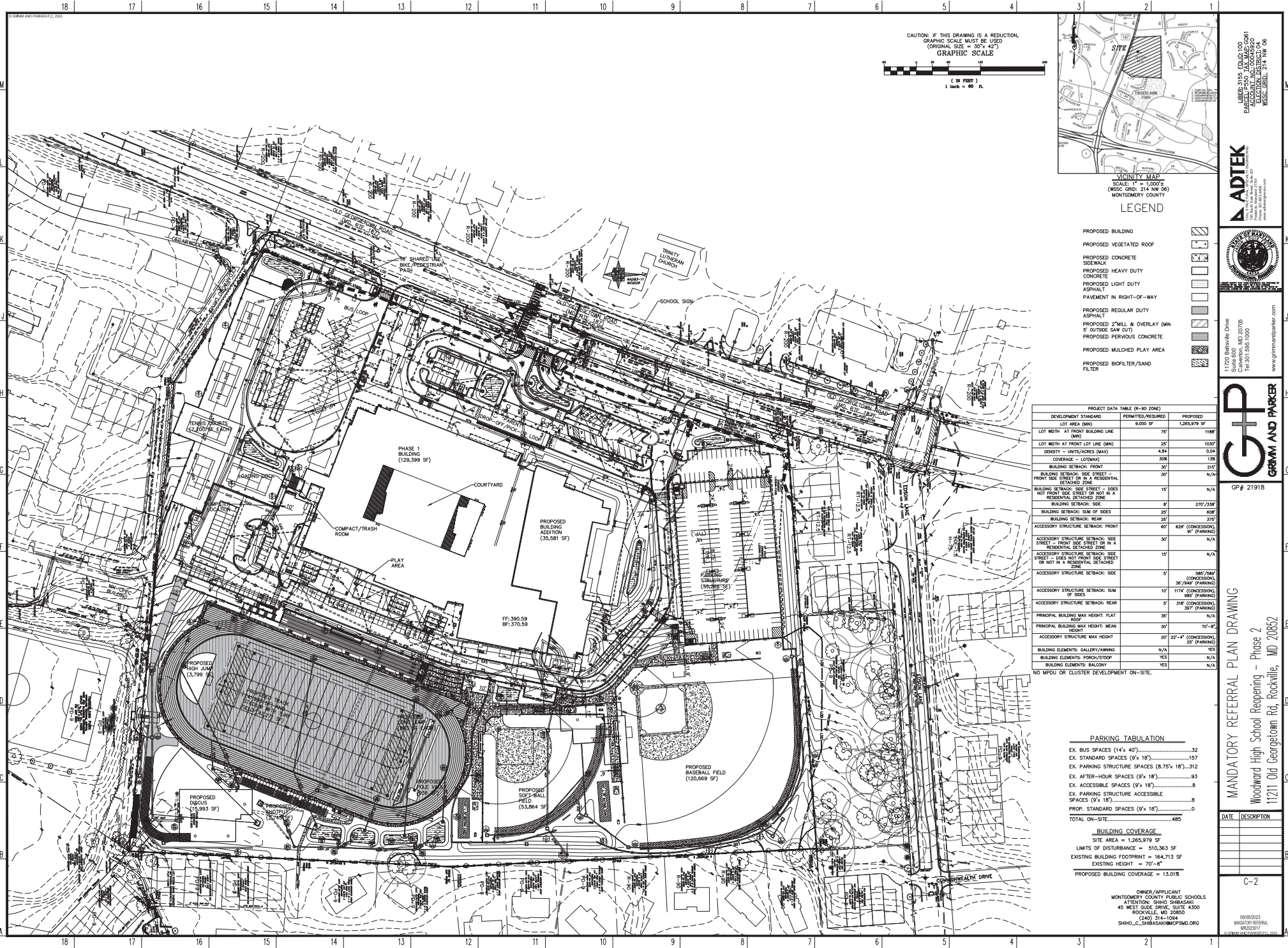
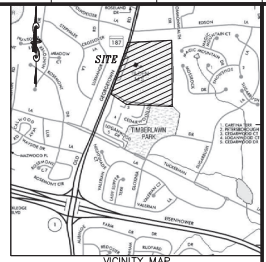


ATTACHMENT C



CAUTION: IF THIS DRAWING IS A REDUCTION,
GRAPHIC SCALE MUST BE USED
(ORIGINAL SIZE = 30" X 42")
GRAPHIC SCALE
(IN FEET)
1 Inch = 60 Ft.



VICINITY MAP
SCALE: 1" = 1,000'
(WEST GRID: 214 NW 94)
MONTGOMERY COUNTY

- LEGEND**
- PROPOSED BUILDING
 - PROPOSED VEGETATED ROOF
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED HEAVY DUTY CONCRETE
 - PROPOSED LIGHT DUTY ASPHALT
 - PAVEMENT IN RIGHT-OF-WAY
 - PROPOSED REGULAR DUTY ASPHALT
 - PROPOSED 2" MILL & OVERLAY (MIN 2" OUTSIDE SAW CUT)
 - PROPOSED PERVIOUS CONCRETE
 - PROPOSED MULCHED PLAY AREA
 - PROPOSED BIOFILTER/SAND FILTER

PROJECT DATA TABLE (R-90 ZONE)

DEVELOPMENT STANDARD	PERMITTED/REQUIRED	PROPOSED
LOT WIDTH - AT FRONT BUILDING LINE (MIN)	9,000 SF	1,265,979 SF
LOT WIDTH AT FRONT LOT LINE (MIN)	70'	1084'
DENSITY - UNITS/ACRES (MAX)	4.84	0.04
COVERAGE - LOT(MAX)	30%	13%
BUILDING SETBACK: FRONT	30'	215'
BUILDING SETBACK: SIDE STREET - FRONT SIDE STREET OR IN A RESIDENTIAL DETACHED ZONE	30'	N/A
BUILDING SETBACK: SIDE STREET - DOES NOT FRONT SIDE STREET OR IN A RESIDENTIAL DETACHED ZONE	15'	N/A
BUILDING SETBACK: SIDE	5'	270'/230'
BUILDING SETBACK: SUM OF SIDES	25'	600'
BUILDING SETBACK: REAR	25'	370'
ACCESSORY STRUCTURE SETBACK: FRONT	40'	620' (CONGRESSIONAL) 30' (PARKING)
ACCESSORY STRUCTURE SETBACK: SIDE STREET - FRONT SIDE STREET OR IN A RESIDENTIAL DETACHED ZONE	30'	N/A
ACCESSORY STRUCTURE SETBACK: SIDE STREET - DOES NOT FRONT SIDE STREET OR IN A RESIDENTIAL DETACHED ZONE	15'	N/A
ACCESSORY STRUCTURE SETBACK: SIDE	5'	582'/584' (CONGRESSIONAL) 30' (PARKING)
ACCESSORY STRUCTURE SETBACK: SUM OF SIDES	10'	1174' (CONGRESSIONAL) 30' (PARKING)
ACCESSORY STRUCTURE SETBACK: REAR	5'	316' (CONGRESSIONAL) 30' (PARKING)
PRINCIPAL BUILDING MAX HEIGHT: FLAT ROOF	30'	30'
PRINCIPAL BUILDING MAX HEIGHT: MEAN HEIGHT	30'	30'-4"
ACCESSORY STRUCTURE MAX HEIGHT	20'	12'-4" (CONGRESSIONAL) 20' (PARKING)
BUILDING ELEMENTS: GALLERY/WINNING	N/A	YES
BUILDING ELEMENTS: PORCH/STYLO	YES	N/A
BUILDING ELEMENTS: BALCONY	YES	N/A

NO MPDU OR CLUSTER DEVELOPMENT ON-SITE.

PARKING TABULATION

EX. BUS SPACES (14' x 40')	32
EX. STANDARD SPACES (9' x 18')	157
EX. PARKING STRUCTURE SPACES (8.75' x 18')	312
EX. AFTER-HOUR SPACES (9' x 18')	93
EX. ACCESSIBLE SPACES (9' x 18')	8
EX. PARKING STRUCTURE ACCESSIBLE SPACES (9' x 18')	8
PROP. STANDARD SPACES (9' x 18')	0
TOTAL ON-SITE	485

BUILDING COVERAGE
 SITE AREA = 1,265,979 SF
 LIMITS OF DISTURBANCE = 510,363 SF
 EXISTING BUILDING FOOTPRINT = 164,713 SF
 EXISTING HEIGHT = 70'-8"
 PROPOSED BUILDING COVERAGE = 13.01%

MANDATORY REFERRAL PLAN DRAWING
 Woodward High School Reopening - Phase 2
 11211 Old Georgetown Rd, Rockville, MD 20852

DATE	DESCRIPTION

C-2
 OWNER/APPLICANT
 MONTGOMERY COUNTY PUBLIC SCHOOLS
 ATTENTION: SHAO SHIBASAKI
 45 WEST GUDE DRIVE, SUITE 4300
 ROCKVILLE, MD 20850
 (240) 314-1094
 SHAO_C.SHIBASAKI@MCPSPS.DG

LEES-3156 GOLD-100
 EAGLE-3157 ZONING-COM1
 ELECTION DISTRICT 04
 MISC. DATE: 214 NW 06

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 11720 Beltsville Drive
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GPF
 GRAM AND PARKER

GP# 21918

06/18/2023
 MONTGOMERY COUNTY
 MISC. DATE: 214 NW 06