

MONTGOMERY VILLAGE MARKETPLACE

Attachment A

"THE LEARNING EXPERIENCE"

PRELIMINARY PLAN AMENDMENT No. 12009009A

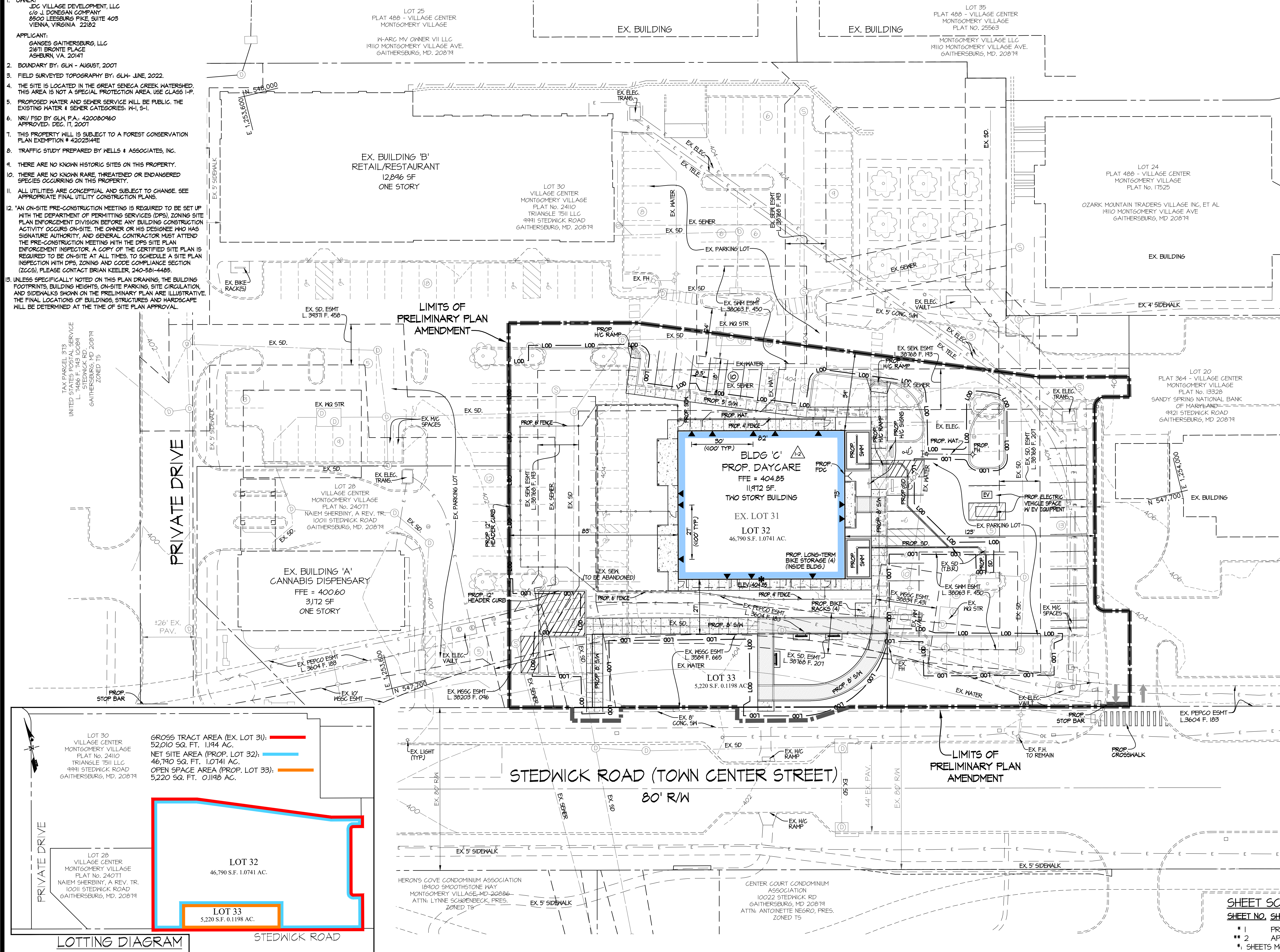
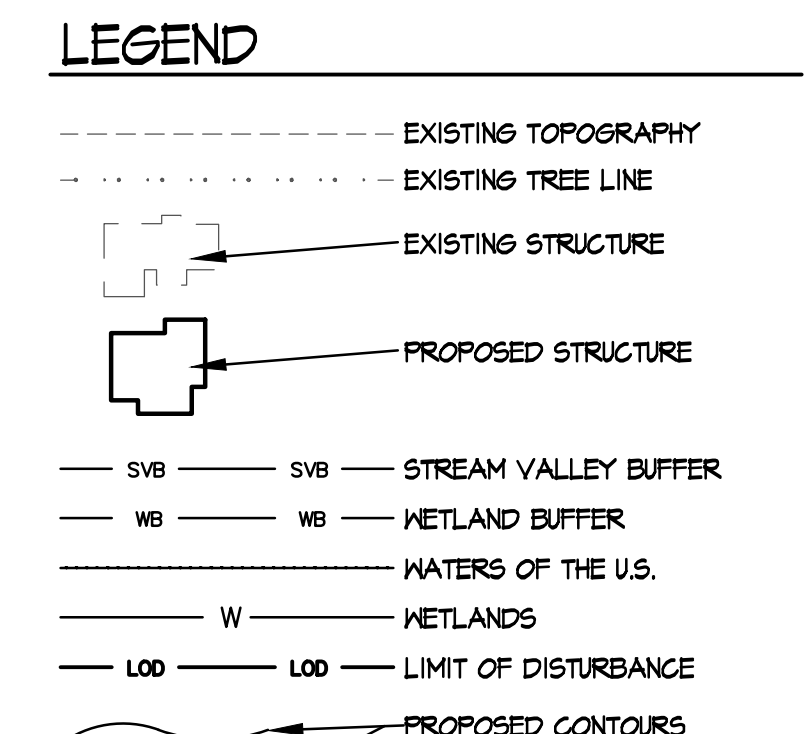
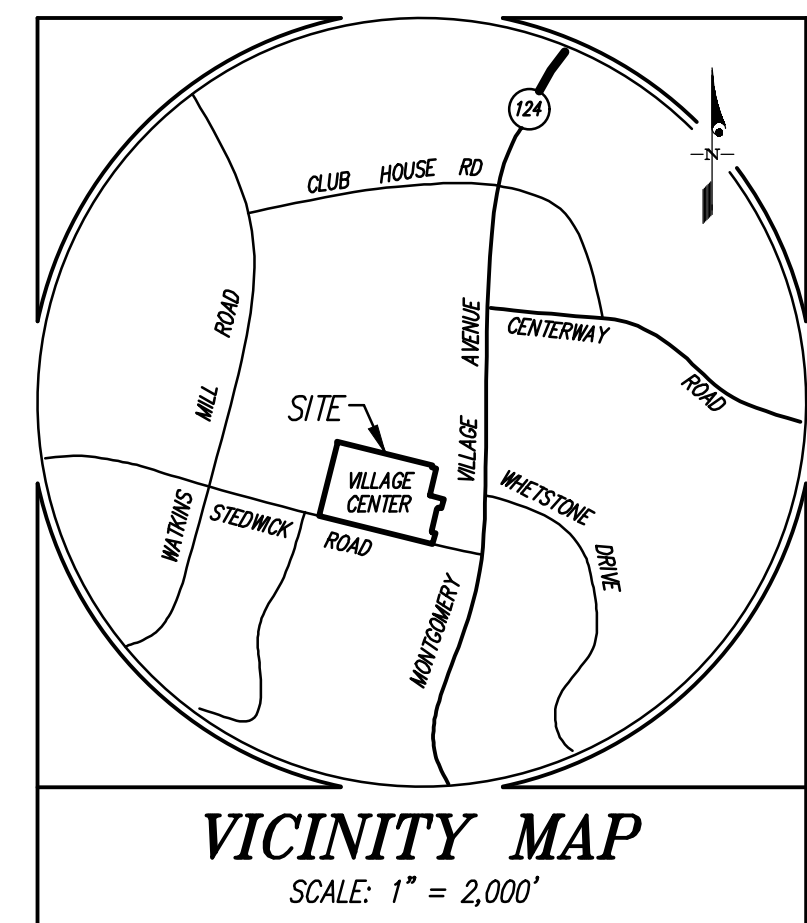
GENERAL NOTES

- OWNER: JDC VILLAGE DEVELOPMENT, LLC
610 J. DOREGAN COMPANY
8500 LEBERSING PIKE, SUITE 403
VIENNA, VIRGINIA 22182
- APPLICANT: GANGES GAITHERSBURG, LLC
21811 BRONITE PLACE
ASHBURN, VA 20147
- BOUNDARY BY: GLM - AUGUST, 2007
- FIELD SURVEYED TOPOGRAPHY BY: GLM - JUNE, 2022
- THE SITE IS LOCATED IN THE GREAT SENECA CREEK WATERSHED. THIS AREA IS NOT A SPECIAL PROTECTION AREA USE CLASS I-P.
- PROPOSED WATER AND SEWER SERVICE WILL BE PUBLIC. THE EXISTING WATER & SEWER CATEGORIES: M-1, S-1.
- NR/PSD BY GLM, P.A. 420080960 APPROVED: DEC. 11, 2007
- THIS PROPERTY WILL BE SUBJECT TO A FOREST CONSERVATION PLAN EXEMPTION # 42022544E
- TRAFFIC STUDY PREPARED BY WELLS & ASSOCIATES, INC.
- THERE ARE NO KNOWN HISTORIC SITES ON THIS PROPERTY.
- THERE ARE NO KNOWN RARE, THREATENED OR ENDANGERED SPECIES OCCURRING ON THIS PROPERTY.
- ALL UTILITIES ARE CONCEPTUAL AND SUBJECT TO CHANGE. SEE APPROPRIATE FINAL UTILITY CONSTRUCTION PLANS.
- AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED TO BE SET UP WITH THE DEPARTMENT OF PERMITTING SERVICES (DPS) ZONING SITE PLAN ENFORCEMENT DIVISION BEFORE ANY BUILDING CONSTRUCTION ACTIVITY OCCURS ON-SITE. THE OWNER OR HIS DESIGNEE WHO HAS SIGNATURE AUTHORITY, AND GENERAL CONTRACTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING WITH THE DPS SITE PLAN ENFORCEMENT INSPECTOR. A COPY OF THE CERTIFIED SITE PLAN IS REQUIRED TO BE ON-SITE AT ALL TIMES. TO SCHEDULE A SITE PLAN INSPECTION WITH DPS, ZONING AND CODE COMPLIANCE SECTION (2205), PLEASE CONTACT BRIAN KEELER, 240-581-4488.
- UNLESS SPECIFICALLY NOTED ON THIS PLAN DRAWING, THE BUILDING FOOTPRINTS, BUILDING HEIGHTS, ON-SITE PARKING, SITE CIRCULATION, AND SIDEWALKS SHOWN ON THE PRELIMINARY PLAN ARE ILLUSTRATIVE. THE FINAL LOCATIONS OF BUILDINGS, STRUCTURES AND HARDSCAPE WILL BE DETERMINED AT THE TIME OF SITE PLAN APPROVAL.

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center

MEMBER
OR CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777



CIVIC/INSTITUTIONAL - DAY CARE FACILITY (30+ PERSONS) DEVELOPMENT STANDARDS - CRT ZONE (Commercial Residential Town) - MV OVERLAY

Development Standards	Allowed/Required	Proposed	
FAR (Floor Area Ratio)	0.15 FAR (100,552 SF)	0.14 FAR (20,040 SF)	16,068 SF
Non-residential		Ex. Non-residential	11,912 SF
		Non-residential - Proposed	20,040 SF
		Total	20,040 SF
TOTAL FAR:	0.15 FAR (100,552 SF)	0.14 FAR (20,040 SF)	
Building Height:	75' max.	31.5'	
Open Space:			
1) Overall:	10% min.	10% min. - 0.33 Ac. (CRT Zone)	
2) Ex. Lot 31:	10% min. (5,201 S.F.)	10% min. - 5,220 S.F. (Prop. Lot 33)	
Lot Coverage:	N/A	N/A	
Minimum Lot Area:	Commercial: N/A	Commercial: N/A	
Principal Building Setbacks (min.):			
Front:	0' min.	0'	
Side (all other):	0' min.	0'	
Rear (all other):	0' min.	0'	
Parking Setbacks for Surface Parking Lots:			
Front:	Behind Front Building Line of Building within the Build to Area (BTA)	N/A - Existing	
Building Orientation:			
Entrance Facing Street or Open Space:	Required	Provided - As Shown	Per Section 54.45.3.C.5
Build-to Area: (Max. setback 4 min. % of building facade. Not required if building faces open space)			
Front:	56.5' max.	N/A - Buildings do not front on street	
Transparency:			
For Wall Facing a Street or Open Space:			
Ground Story:			
East Elevation:	25% min.	23.1% min. (PB Modification Per Section 54.45.3.C.5)	
West Elevation:	25% min.	23.1% min. (PB Modification Per Section 54.45.3.C.5)	
North Elevation:	25% min.	23.0% min. (PB Modification Per Section 54.45.3.C.5)	
South Elevation (Front):	40% min.	26.0% min. (PB Modification Per Section 54.45.3.C.5)	
Upper Story:			
East Elevation:	20% min.	20.8% min.	
West Elevation:	20% min.	24.6% min.	
North Elevation:	20% min.	21.5% min.	
South Elevation (Front):	20% min.	35.8% min.	
Blank Wall - Front (max.):	35' max.	35' max.	
Blank Wall - Side/rear (max.):	35' max.	35' max.	

SITE DATA

Overall Site Area:	3.32 Ac.
Prelim Plan Area:	3.32 Ac.
Non-residential (CRT):	3.32 Ac.
Existing Zoning:	CRT-15, C-0.15, R-1.0, H-75
Existing Use:	Shopping Center - Non-residential
Proposed Use:	Day Care Facility - Civic/Institutional use
Proposed Development Type:	standard Method
Existing Lot 31:	52,010 S.F. 1.194 AC.
Proposed Lot 32:	46,790 S.F. 1.074 AC.
Proposed Lot 33:	5,220 S.F. 0.1198 AC.

PRELIMINARY PLAN AMENDMENT 12009009A SUMMARY:

Amendment for a proposed 2-story 11,912 sq. ft. building in place of a previously approved 1-story 8,800 sq. ft. building.

Change of use from commercial to civic/institutional to permit a day care facility.

PROFESSIONAL/ENGINEER'S CERTIFICATION

THE UNDERSIGNED LICENSED PROFESSIONAL ENGINEER CERTIFIES THAT THE SITE PLANS HEREIN CONFORM TO THE STANDARDS OF THE ZONE AND THE PLANNING BOARD SITE PLAN OPINION. IN ADDITION THE SITE PLANS ARE CONSISTENT WITH THE DATA TABLE PROVIDED ON THE COVER SHEET. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 24914 EXPIRATION DATE: JANUARY 20, 2024.

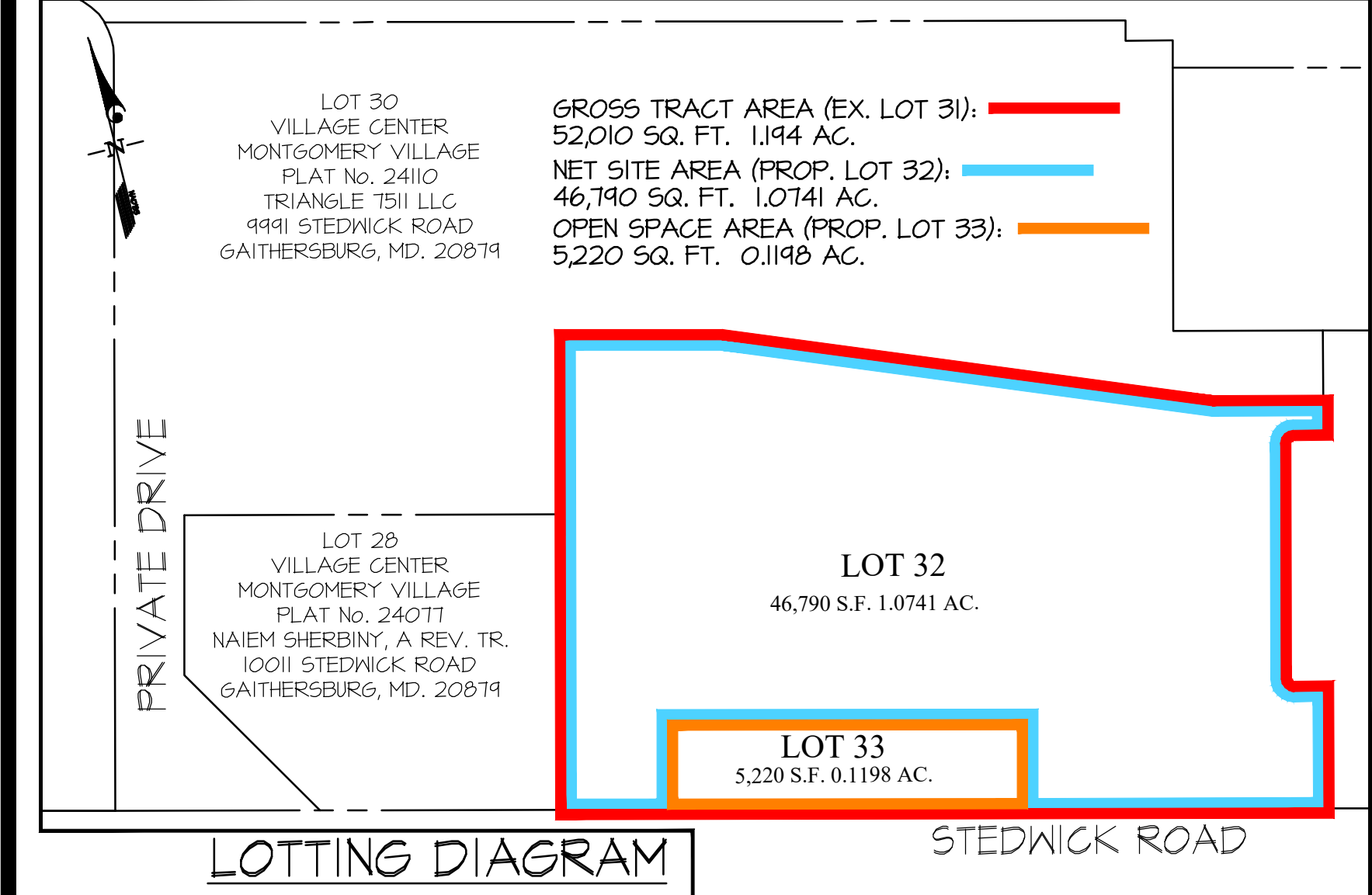
7/5/2023
Date

Tim M. Longfellow
Professional Engineer
Gutschick, Little & Weber, P.A.

PRELIMINARY PLAN No. 12009009A

SHEET SCHEDULE

SHEET NO.	SHEET TITLE
** 1	PRELIMINARY PLAN
** 2	APPROVAL SHEET
**	SHEETS MODIFIED PER 12009009A
**	SHEETS ADDED PER 12009009A

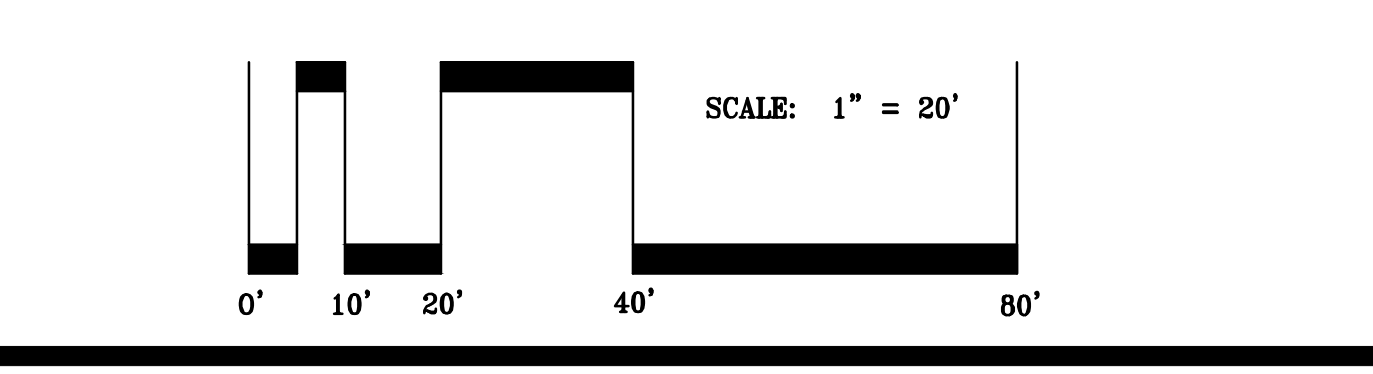


GLW PLANNING|ENGINEERING|SURVEYING

3809 NATIONAL DRIVE | SUITE 200 | BURTONSBURG, MD 20886 | GLW.PA.COM
PHONE: 301-451-4024 | FAX: 410-860-1000 | DCRVA: 301-989-2524 | FAX: 301-451-4198

DESIGNED BY	DATE	BY	APPR.
WDN			
DRAWN BY			
WDN			
CHECKED BY			
TML			

PRELIMINARY PLAN 12009009A RESOLUTION ADOPTED
PRELIMINARY PLAN 120090090 RESOLUTION ADOPTED OCT 14, 2009



PREPARED FOR:
GANGES GAITHERSBURG LLC
21811 BRONITE PLACE
ASHBURN, VA 20147
ATTN: MANOJ GANDHI
TEL: (703) 856-5240
EMAIL: GANDHIMN@YAHOO.COM

SCALE: 1" = 20'

DATE: JULY, 2023

ZONING: CRT-0.75
C-0.5, R-0.25, H-75

TAX MAP - GRID: FU-341

PRELIMINARY PLAN
THE LEARNING EXPERIENCE
MONTGOMERY VILLAGE MARKETPLACE
EXISTING LOT 31, PROPOSED LOTS 32 & 33
PLAT No. 24110

G. L. W. FILE No. 22053

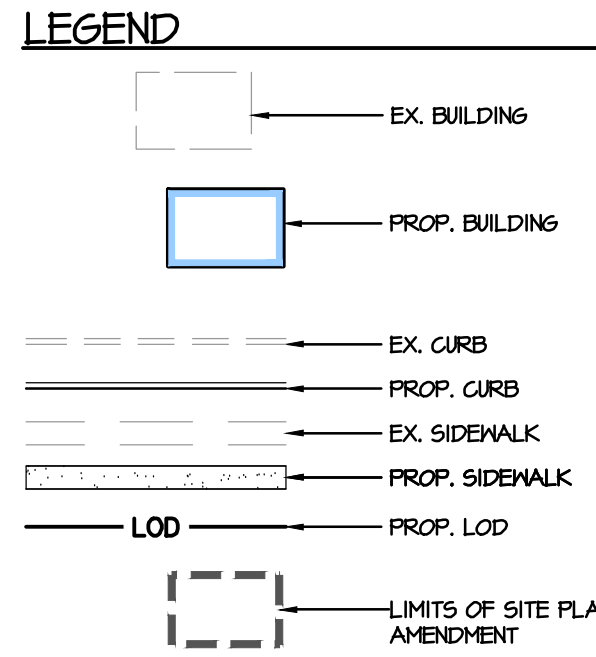
SHEET 1 OF 2

GAITHERSBURG ELECTION DISTRICT No. 09 MONTGOMERY COUNTY, MARYLAND

MONTGOMERY VILLAGE MARKETPLACE

"THE LEARNING EXPERIENCE"

SITE PLAN AMENDMENT No. 82009006A



GENERAL NOTES

- OWNER: JGC VILLAGE DEVELOPMENT, LLC
c/o J. DONEGAN COMPANY
8500 LEESBURG PIKE, SUITE 405
VIENNA, VIRGINIA 22182
- APPLICANT: GANGES GAITHERSBURG, LLC
2671 BRONTE PLACE
ASHBURN, VA 20147
- BOUNDARY BY: 6/14 - AUGUST, 2007
- FIELD SURVEYED TOPOGRAPHY BY: 6/14 - JUNE, 2022.
- THE SITE IS LOCATED IN THE GREAT SENECA CREEK WATERSHED. THIS AREA IS NOT A SPECIAL PROTECTION AREA. USE CLASS I-P.
- PROPOSED WATER AND SEWER SERVICE WILL BE PUBLIC. THE EXISTING WATER & SEWER CATEGORIES: W-1, S-1.
- NRJ FSD BY GLW P.A., 420080460 APPROVED: DEC. 11, 2007
- THIS PROPERTY WILL BE SUBJECT TO A FOREST CONSERVATION PLAN EXEMPTION # 42025144E
- TRAFFIC STUDY PREPARED BY KELLS & ASSOCIATES, INC.
- THERE ARE NO KNOWN HISTORIC SITES ON THIS PROPERTY.
- THERE ARE NO KNOWN RARE, THREATENED OR ENDANGERED SPECIES OCCURRING ON THIS PROPERTY.
- ALL UTILITIES ARE CONFIDENTIAL AND SUBJECT TO CHANGE. SEE APPROPRIATE FINAL UTILITY CONSTRUCTION PLANS.
- PRELIMINARY PLAN AMENDMENT 120090004A BEING SUBMITTED CONCURRENTLY BY GLW.
- INCPFC STAFF MUST INSPECT ALL TREE SAVE AREAS AND PROTECTION DEVICES PRIOR TO CLEARING AND GRADING.
- An on-site pre-construction meeting is required to be set up with the Department of Permitting Services (DPS), Zoning Site Plan Enforcement Division before any building construction activity occurs on-site. The owner or his designee who has signature authority, and general contractor must attend the pre-construction meeting with the DPS Site Plan Enforcement Inspector. A copy of the Certified Site Plan is required to be on-site at all times. To schedule a Site Plan inspection with DPS Zoning and Code Compliance Section (ZCCS), please contact Brian Koehler, 240-581-4485.

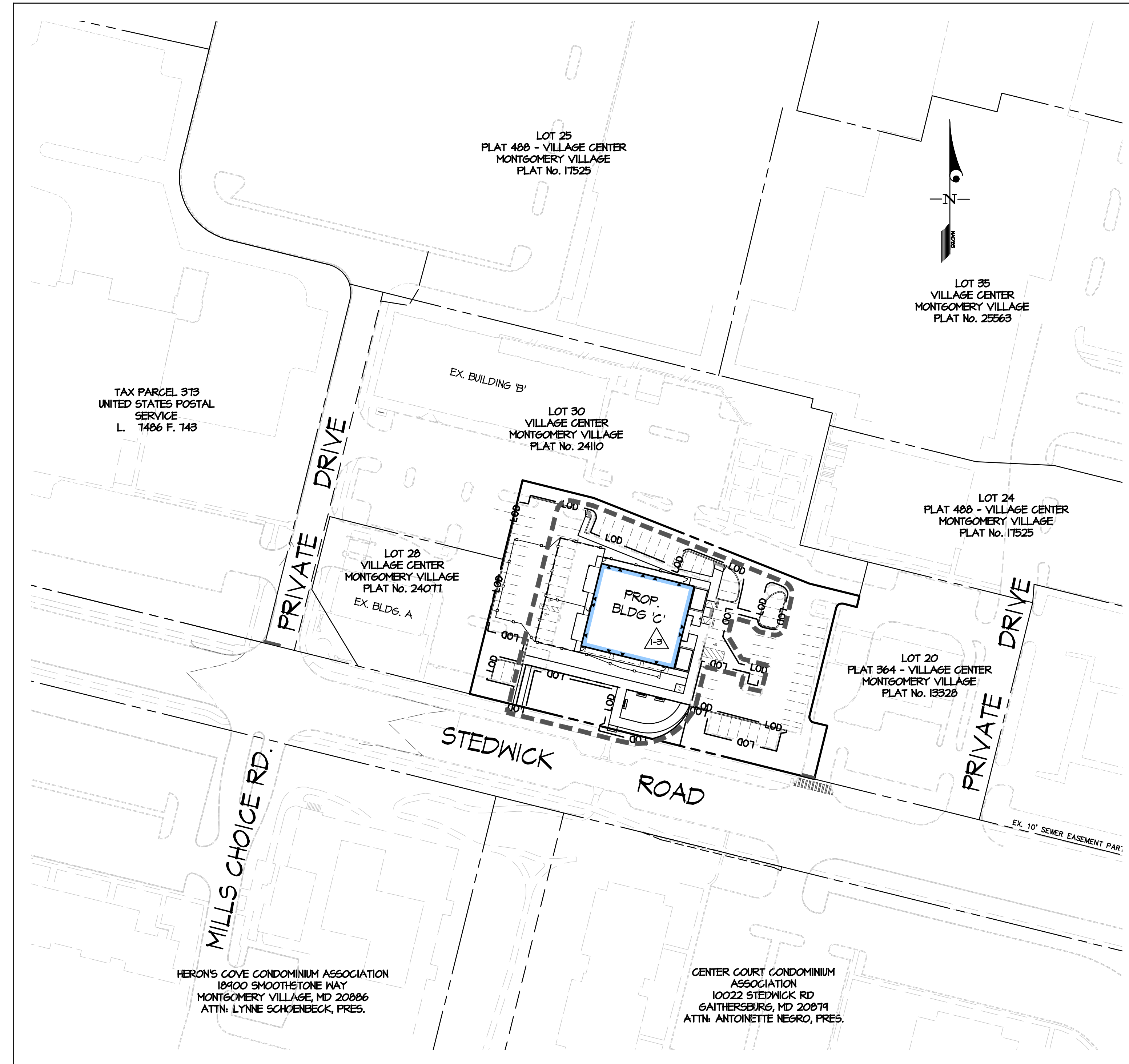
△ SITE DATA

Overall Site Area:	3.52 Ac.
Site Plan Area:	0.55 Ac.
Non-residential (CRT)	3.52 Ac.
Existing Zoning:	CRT-1.5, C-0.75, R-1.0, H-15
CRT	3.52 Ac.
Existing Use:	Shopping Center - Non-residential
Proposed Use:	Day Care Facility
Proposed Development Type:	Standard Method
Existing Lot 31:	52,010 SF, 1.194 AC.
Proposed Lot 32:	46,740 SF, 1.074 AC.
Proposed Lot 33:	5,220 SF, 0.119 AC.

SHEET SCHEDULE

SHEET No.	TITLE
* 1	COVER SHEET
2	APPROVAL SHEET
** 2A	APPROVAL SHEET
* 3	LOCAL AREA MAP
4	EXISTING CONDITIONS PLAN
* 5	SITE PLAN
* 6	LANDSCAPE PLAN
* 7	LANDSCAPE DETAILS
**7A	LANDSCAPE PLAN-BUILDING C
8	LIGHTING PLAN
**8A	LIGHTING PLAN-BUILDING C
9	LIGHTING PLAN DETAILS
* 10	OVERALL HARDSCAPE PLAN
11	BUILDING B HARDSCAPE PLAN
* 12	BUILDING C HARDSCAPE PLAN
13	CORNER PLAZA AND WALL DETAILS
14	HARDSCAPE DETAILS
* 15	SITE FURNISHINGS
A 1.5	DUMPSTER PLAN AND ELEVATIONS
A 2.1	BUILDING B ELEVATIONS
* A 2.2	BUILDING C ELEVATIONS
**A 2.3	BUILDING C PLAYGROUND EQUIPMENT DETAILS
--	ARCHITECTURAL RENDERING
A201	BANK EXTERIOR ELEVATIONS

*: SHEETS REVISED PER AMENDMENT No. 82009009A
**: SHEETS ADDED PER AMENDMENT No. 82009009A



KEY MAP

SCALE: 1" = 60'

(PREVIOUSLY APPROVED DEVELOPMENT STANDARDS)

Development standard - T5 Zone (Town Sector)	Development standards Approved by the Board and Binding on the Applicant
Gross Tract area	144,736 SF / 3.32 acres
- Total tract area (acres)	2,434.8
- Max. commercial area (acres)	3.8% (92.8 acres)
- Max. commercial area (acres)	0%
- min. open space (acres)	28.7% (696.8 acres)
Total Building Area (square feet)	24,868
- Building A (office/bank)	3,172
- Building B (retail/restaurant)	12,846
- Building C (retail/restaurant)	8,850
Max. Building Coverage	11.2%
Min. Green Area (% of lot)	53.7% (49,124 SF / 1.12 acres)
Parking Facility Internal Landscaping (%) (Section 54-E-2.13)	8.5% (5,345 SF)
Max. Building Height (feet) (Section 54-c-1.26)	40
- Building A (office/bank)	40
- Building B (retail/restaurant)	40
- Building C (retail/restaurant)	40
Min. Building Setbacks from Building Envelope (feet)	5
- Side/ Rear	
Min. Building Setbacks (feet)	10
Total Parking Spaces	175 (c)
- Office/ Bank (5,112 SF)	
- Retail (10,848 SF)	
- Restaurant (10,848 SF)	
Handicap Spaces	6
Bicycle Spaces (54-E-2.3 (a))	10
(6) bike space/ 20 vehicle spaces	
Motorcycle spaces (54-E-2.3 (d))	4
(6) 2x total vehicle spaces	

△ PARKING - CIVIC/INSTITUTIONAL - DAY CARE FACILITY

Proposed Development	Required by Zoning Ordinance	Proposed
Proposed Development Day Care Facility (11,972 SF)	(Min.-Max.) 36-48 Sp.	
Total Commercial Parking Provided:		38 Sp.
Total Parking (Proposed)	36-48 Sp.	38 Sp.
Handicap Parking: (2% of total parking provided)	2 Sp.	2 Sp.
Van Accessible Handicap Parking: (1 Sp./ 6 HC Sp.)	1 Sp.	2 Sp.
Motorcycle Parking: (2% of total, up to max of 10 Sp.) (6) x 0.02 = 1.22 therefore 2 Sp. are required	2 Sp.	2 Sp.
Car Share Spaces: (1 Sp./ 50-144 Sp. + 1 Sp. per 100 Sp. above 144 Sp. with a max. of 5 Sp.)	0 Sp.	0 Sp.
Electric Vehicle Parking: (to be available for conversion) (1 Sp./100) (38 Sp./100 = 1 Sp.)	1 Sp.	1 Sp.
Bicycle Parking: Short Term Long Term	3 Sp. 3 Sp.	4 Sp. 4 Sp.
Bicycle Parking Breakdown:		
Area:	Requirements:	Req. Minimum/ (Maximum):
Day Care Facility: 11,972 SF (1 Sp. per 5,000 SF GFA)		3 (3 max.)
Total:		3 Sp. 4 Sp. 3 Sp. 4 Sp.

△ PARKING - OVERALL TABULATION

Proposed Development	Required by Zoning Ordinance	Proposed
Proposed Development Day Care Facility (11,972 SF), Retail: (8,414 SF) Restaurant: (5,784 SF-Patron Area)	(Min.-Max.) 36-48 Sp., 31-52 Sp., 16-46 Sp.	
Total Commercial Parking Provided:		152 Sp.
Total Parking (Proposed)	83-146 Sp.	152 Sp.
Handicap Parking: (2% of total parking provided)	4 Sp.	7 Sp.
Van Accessible Handicap Parking: (1 Sp./ 6 HC Sp.)	2 Sp.	6 Sp.
Motorcycle Parking: (2% of total, up to max of 10 Sp.) (152 x 0.02 = 3.04 therefore 4 Sp. are required)	4 Sp.	4 Sp.
Car Share Spaces: (1 Sp./ 50-144 Sp. + 1 Sp. per 100 Sp. above 144 Sp. with a max. of 5 Sp.) (152-144 = 8 x 1 Sp./100 = 0.08 = 1 Sp.)	2 Sp.	0 Sp.*
Electric Vehicle Parking: (to be available for conversion) (1 Sp./100) (152 Sp./100 = 1.52 Sp.)	2 Sp.	1 Sp.**
Bicycle Parking: Short Term	3 Sp.	8 Sp.

*Car share spaces not required from Proposed Day Care Facility and were not previously required for the Marketplace Development.
**One EV space (available for conversion) provided for the Proposed Day Care Facility. No spaces were required for the Marketplace Development.

PROFESSIONAL ENGINEER'S CERTIFICATION

THE UNDERSIGNED LICENSED PROFESSIONAL ENGINEER CERTIFIES THAT THE SITE PLANS HEREIN CONFORM TO THE STANDARDS OF THE ZONE, AND THE PLANNING BOARD'S SITE PLAN OPINION. IN ADDITION, THE SITE PLANS ARE CONSISTENT WITH THE DATA TABLE PROVIDED ON THE COVER SHEET. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 24914 EXPIRATION DATE: January 20, 2024.

1/5/2023
Date



Tim M. Loughlin
Professional Engineer
Gutschick, Little & Weber, P.A.

DEVELOPER'S CERTIFICATE

The Undersigned agrees to execute all the features of the Site Plan Approval No. 82009006A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: GANGES GAITHERSBURG, LLC
Company: MANOJ GANDHI
Address: 2671 BRONTE PLACE
ASHBURN, VA 20147
Phone: (703) 856-5240
Signature: MANOJ GANDHI

SITE PLAN AMENDMENT 82009009A SUMMARY:

- Amendment for a proposed 2-Story 11,972 sq. ft. building in place of a Previously Approved unuilt 1-Story 8,800 sq. ft. building.
- Change of use from commercial to civic/institutional to permit a day care facility.
- Additional Parking and Landscape modifications.

DESIGNED BY	DRRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
WDN	WDN	TML				

PREPARED FOR:
GANGES GAITHERSBURG, LLC
21871 BRONTE PLACE
ASHBURN, VA 20147
ATTN: MANOJ GANDHI
TEL: (703) 856-5240
EMAIL: GANDHIMN@AHO.COM

SCALE
1" = 100'
DATE
JULY, 2023

ZONING
CRT-0.75
C-0.5, R-0.25,
H-75
TAX MAP - GRID
FU-341

GAITHERSBURG ELECTION DISTRICT No. 09

SITE PLAN COVER SHEET
THE LEARNING EXPERIENCE
MONTGOMERY VILLAGE MARKETPLACE
EXISTING LOT 31, PROPOSED LOTS 32 & 33
PLAT No. 24110
G. L. W. FILE No.
22053
SHEET
1 OF 15

EXISTING UTILITY NOTES

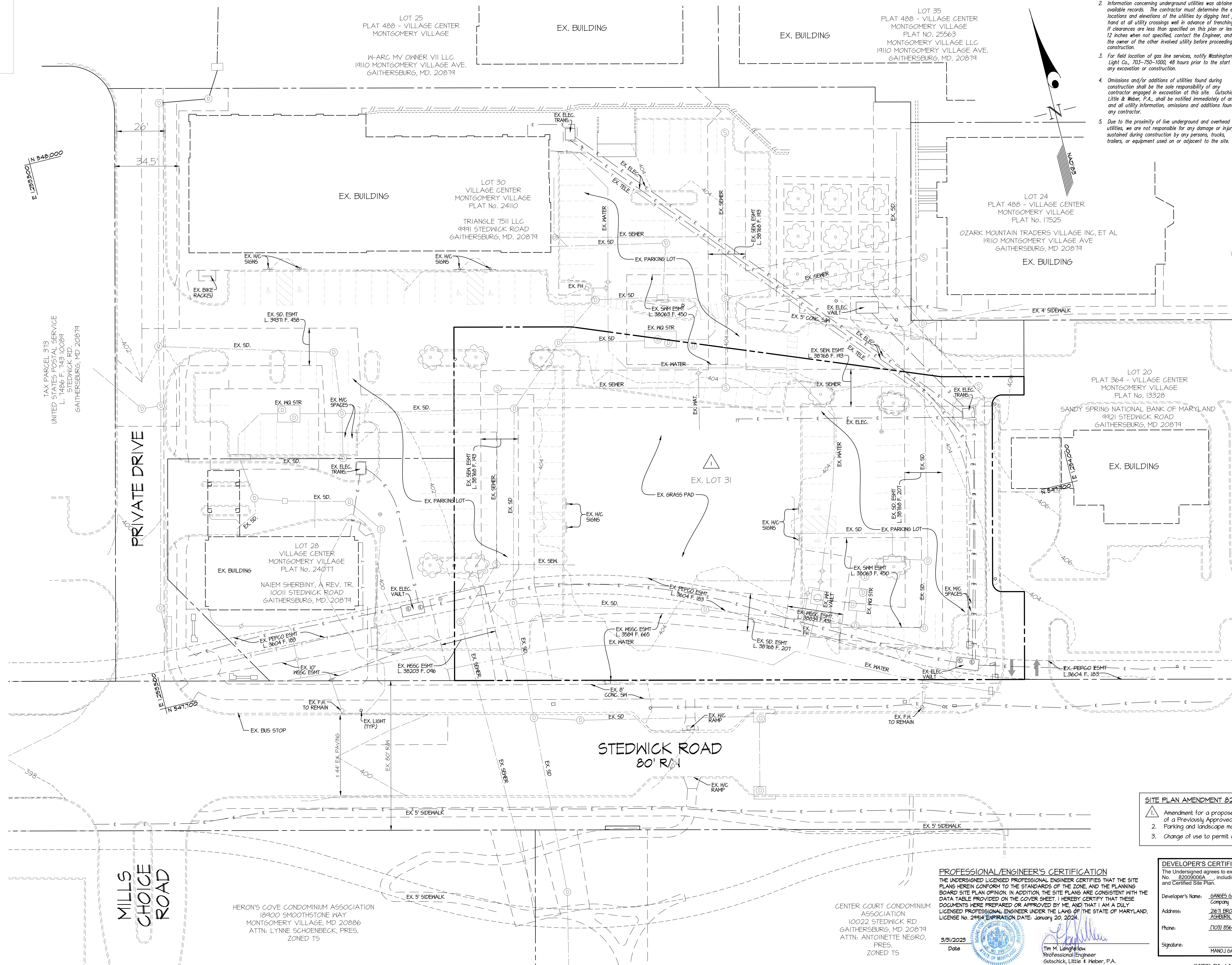
1. For marking locations of existing utilities, notify "MISS UTILITY" at 1-800-257-7777, 48 hours prior to any excavation or construction.
2. Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the utilities by digging test pits by hand at all utility crossings well in advance of trenching. If clearances are less than specified on this plan or less than 12 inches when not specified, contact the Engineer, and the owner of the other involved utility before proceeding with construction.
3. For field location of gas line services, notify Washington Gas Light Co., 703-750-1000, 48 hours prior to the start of any excavation or construction.
4. Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Gutschick, Little & Heber, P.A. shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
5. Due to the proximity of live underground and overhead utilities, we are not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.

48 Hours
Before You Dig
Call

"MISS UTILITY"
Service Protection Center

MEMBER
G.L. CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777



SITE PLAN AMENDMENT 82009009A SUMMARY:

1. Amendment for a proposed 2-story 11,912 sq. ft. building in place of a previously approved unbuilt 1-story 8,800 sq. ft. building.
2. Parking and landscape modifications.
3. Change of use to permit a day care facility.

PROFESSIONAL ENGINEER'S CERTIFICATION
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3/31/2023 Date
Tim M. Langshaw
Professional Engineer
Gutschick, Little & Heber, P.A.

DEVELOPER'S CERTIFICATE
The Undersigned agrees to execute all the features of the Site Plan Approval No. 82009006A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: GANGES GAITHERSBURG LLC
Company: MANOJ GANDHI
Address: 21871 BRONITE PLACE, ASHBURN, VA 20147
Phone: (703) 856-5240
Signature: MANOJ GANDHI

CENTER COURT CONDOMINIUM ASSOCIATION
10022 STEDWICK RD
GAITHERSBURG, MD 20874
ATTN: ANTOINETTE NEGRO, PRES.
ZONED T5

SITE PLAN AMENDMENT No. 82009006A

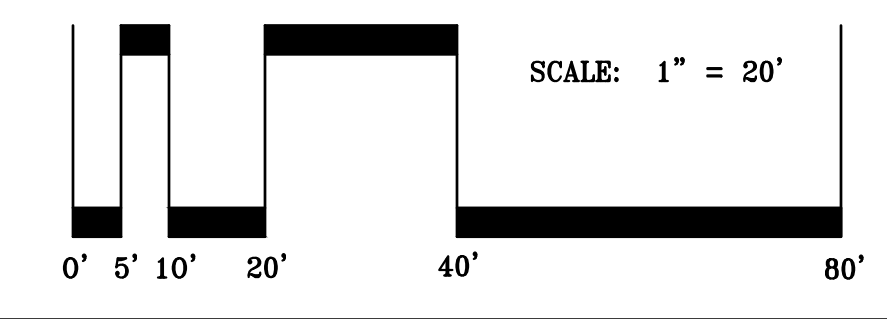
EXISTING CONDITIONS PLAN
THE LEARNING EXPERIENCE
MONTGOMERY VILLAGE MARKETPLACE
EXISTING LOT 31, PROPOSED LOTS 32 & 33
PLAT No. 24110

G. L. W. FILE No. 22053
SHEET 4 OF 15

GAITHERSBURG ELECTION DISTRICT No. 09 MONTGOMERY COUNTY, MARYLAND

PREPARED FOR:
GANGES GAITHERSBURG LLC
21871 BRONITE PLACE
ASHBURN, VA 20147
ATTN: MANOJ GANDHI
TEL: (703) 856-5240
EMAIL: GANDHIMN@YAHOO.COM

SCALE: 1" = 20'
DATE: MAR, 2023
ZONING: CRT-0.75
C-0.5, R-0.25, H-75
TAX MAP - GRID: FU-341



DESIGNED BY	DATE	REVISION	BY	APPR.
WDN				
DRAWN BY				
WDN				
CHECKED BY				
TML				

GLW
PLANNING | ENGINEERING | SURVEYING

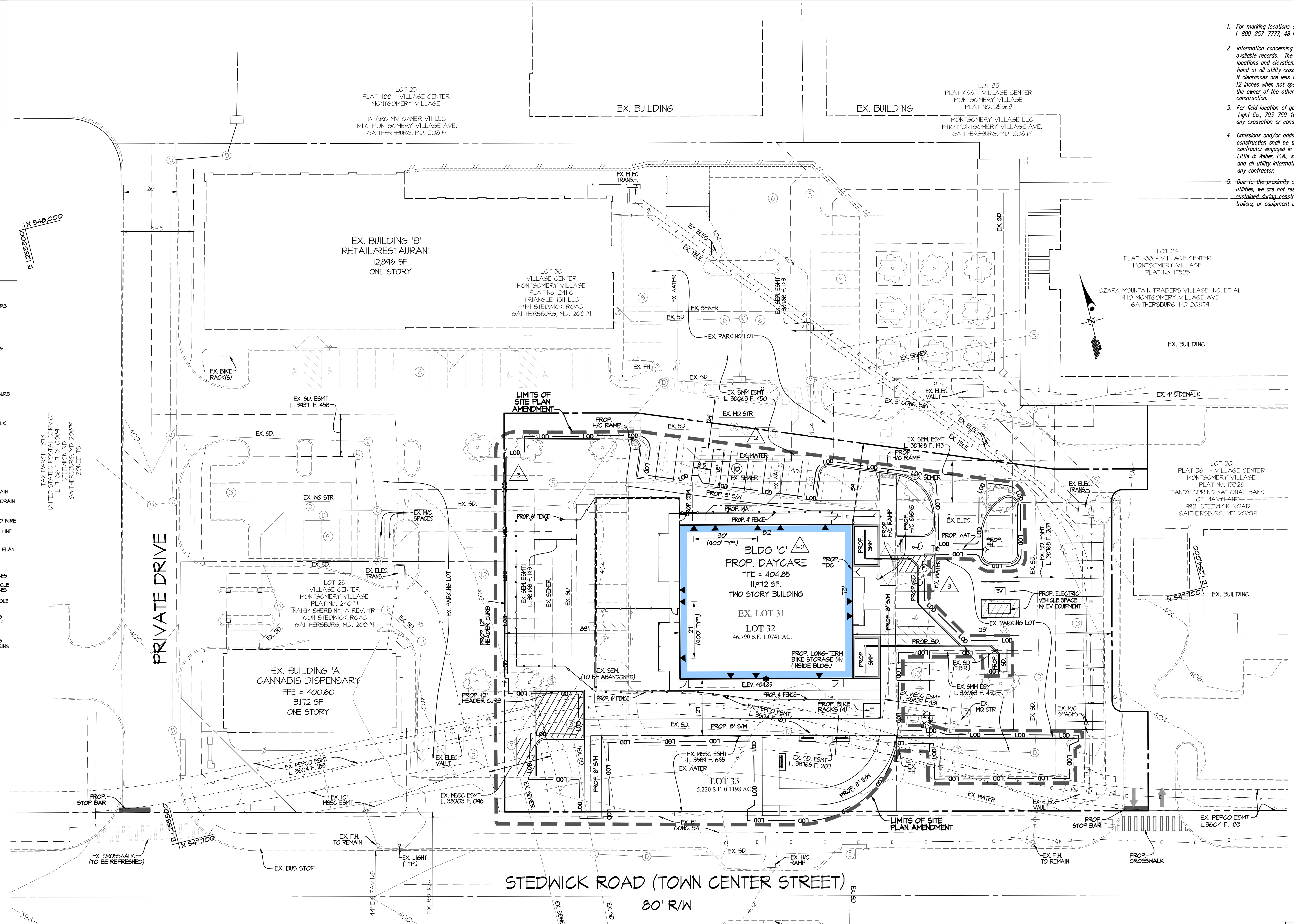
3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | (301) 421-4254
PHONE: 301-421-4254 | BALT: 410-860-1820 | DCVA: 301-988-2294 | FAX: 301-421-4188

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center
MEMBER
CALL TOLL FREE
1-800-257-7777

- EXISTING UTILITY NOTES
- For marking locations of existing utilities, notify "MISS UTILITY" at 1-800-257-7777, 48 hours prior to any excavation or construction.
 - Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the utilities by digging test pits by hand at all utility crossings well in advance of trenching. If clearances are less than specified on this plan or less than 12 inches when not specified, contact the Engineer, and the owner of the other involved utility before proceeding with construction.
 - For field location of gas line services, notify Washington Gas Light Co., 703-750-1000, 48 hours prior to the start of any excavation or construction.
 - Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Gutschick, Little & Weber, P.A., shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
 - Due to the proximity of live underground and overhead utilities, we are not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.

LEGEND

- EX. CONTOURS
- PROP. CONTOURS
- EX. BUILDING
- PROP. BUILDING
- EX. CURB
- PROP. CURB
- EX. SIDEWALK
- PROP. SIDEWALK
- EX. ELECTRIC
- EX. GAS
- EX. SEWER
- PROP. SEWER
- EX. WATER
- PROP. WATER
- EX. STORM DRAIN
- PROP. STORM DRAIN
- EX. OVER HEAD WIRE
- EXISTING TREE LINE
- LIMITS OF SITE PLAN
- CAR SHARE PARKING SPACES
- ELECTRIC VEHICLE PARKING SPACES
- PROP. LIGHT POLE
- PROP. PARKING LOT LIGHT POLE
- PROP. BUILDING HEIGHT MEASURING POINT



SITE PLAN AMENDMENT 82009006A SUMMARY:

- Amendment for a proposed 2-story 11,912 sq. ft. building in place of a Previously Approved univille 1-story 9,800 sq. ft. building.
- Change of use from commercial to civic/institutional to permit a day care facility.
- Additional Parking and Landscape modifications.

DEVELOPER'S CERTIFICATE
The Undersigned agrees to execute all the features of the Site Plan Approval No. 82009006A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: GANGES GAITHERSBURG LLC
Address: 21871 BRONITE PLACE ASHBURN, VA 20147
Phone: (703) 856-5240
Signature: MANOJ GANDHI

THE UNDERSIGNED LICENSED PROFESSIONAL ENGINEER CERTIFIES THAT THE SITE PLANS HEREIN CONFORM TO THE STANDARDS OF THE ZONE, AND THE PLANNING BOARD'S SITE PLAN OPINION. IN ADDITION, THE SITE PLANS ARE CONSISTENT WITH THE DATA TABLE PROVIDED ON THE COVER SHEET. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 24914 EXPIRATION DATE: January 20, 2024.

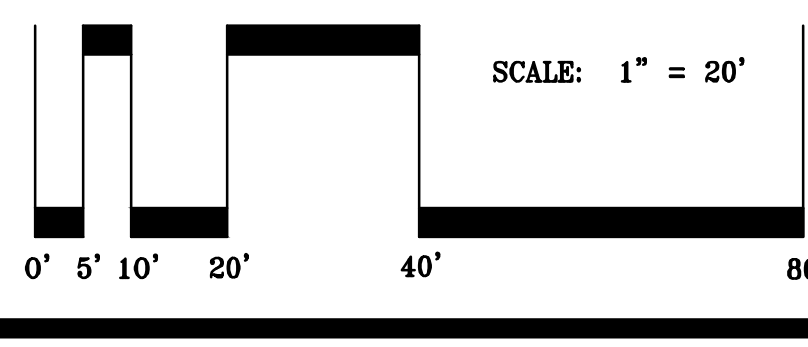
7/5/2023
Date

Tim M. Langhellow
Professional Engineer
Gutschick, Little & Weber, P.A.

SITE PLAN AMENDMENT No. 82009006A

GLW
PLANNING | ENGINEERING | SURVEYING
3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | FAX: 301-421-1881

DESIGNED BY	DATE	REVISION	BY	APPR.
WDN				
DRAWN BY				
WDN				
CHECKED BY				
TML				



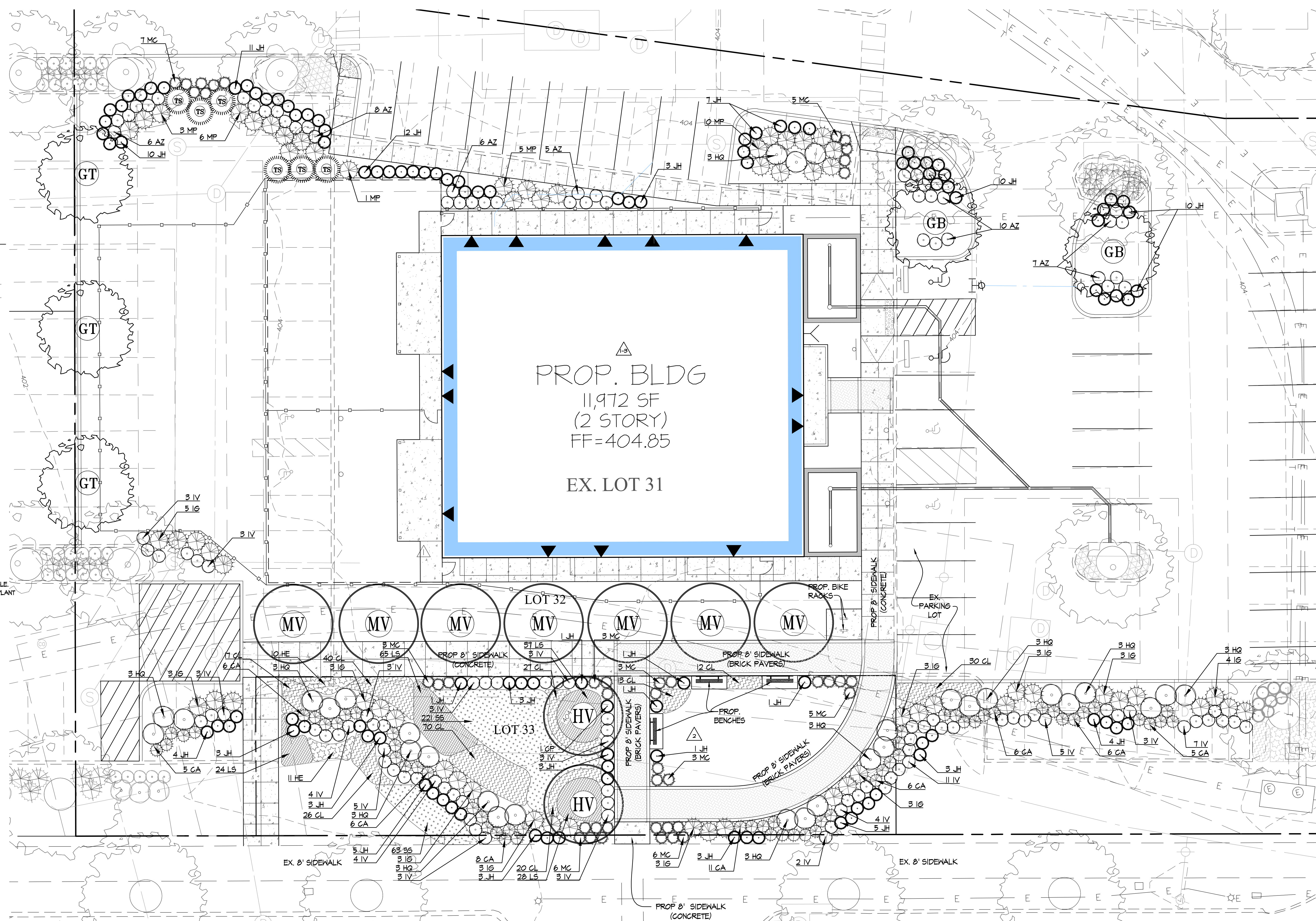
PREPARED FOR:
GANGES GAITHERSBURG LLC
21871 BRONITE PLACE
ASHBURN, VA 20147
ATTN: MANOJ GANDHI
TEL: (703) 856-5240
EMAIL: GANDHIMN@YAHOO.COM

SCALE: 1"=20'
DATE: JULY, 2023
ZONING: CRT-0.75
C-0.5, R-0.25, H-75
TAX MAP - GRID: FU-341

SITE PLAN
THE LEARNING EXPERIENCE
MONTGOMERY VILLAGE MARKETPLACE
EXISTING LOT 31, PROPOSED LOTS 32 & 33
PLAT No. 24110

G. L. W. FILE No. 22053
SHEET 5 OF 15

GAITHERSBURG ELECTION DISTRICT No. 09
MONTGOMERY COUNTY, MARYLAND



PLANT LIST (SITE PLAN AMENDMENT 82009006A)

QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES					
2	GB	Ginkgo biloba	Ginkgo	2'-1/2" - 3" cal. 12' - 14' ht.	B4B, 6' min. branch ht.
3	GT	Gleditsia triacanthos var. inermis	Thornless Honeylocust	2'-1/2" - 3" cal. 12' - 14' ht.	B4B, 6' min. branch ht.
ORNAMENTALS / EVERGREENS					
2	HV	Hamelis virginiana	Kitchozal	4' - 5' ht.	#7 cont./B4B
1	MV	Magnolia virginiana	Sweetbay Magnolia	7' - 8' ht.	B4B, multi-stemmed
6	TS	Thuja occidentalis 'Smaragd (Emerald)	Smaragd American Arborvitae	7' - 8' ht.	B4B
SHRUBS					
42	AZ	Azalea species	Native Azalea	18" - 24" ht.	container
57	CA	Clethra alnifolia	Summersweet	18" - 24" ht.	container
30	HO	Hydrangea quercifolia	Oakleaf Hydrangea	30" - 36" ht.	container
36	IG	Ilex glabra	Inkberry	24" - 36" ht.	container
12	IV	Ilex verticillata	Winterberry Holly	24" - 36" ht.	container
105	JH	Juniperus horizontalis	Dwarf Juniper	18" - 24" ht.	container
25	MP	Myrica pennsylvanica	Bayberry	18" - 24" ht.	container
PERENNIALS, GROUNDCOVER, VINES AND ORNAMENTAL GRASSES					
230	CL	Chelone lyonii	Pink Turtlehead	1 gal.	container, 18" o.c.
284	SS	Schizanthus scarparium	Little Bluestem	1 gal.	container, 18" o.c.
21	HE**	Hemerocallis x 'Pandaora's Box'	Daylily	1 gal.	container, 2' o.c.
154	LS	Liatris spicata	Liatris	1 gal.	container, 18" o.c.
56	MC	Muhlenbergia capillaris	Pink Muhly Grass	3 gal.	container

**NOTE: ANY REPEAT BLOOMING CULTIVAR SUBSTITUTION IS ACCEPTABLE. THE INVASIVE SPECIES HEMEROCALLIS FULVO IS NOT ACCEPTABLE. IN THE EVENT THAT ANY OF THE SPECIES LISTED IN THE PLANT SCHEDULE ARE NOT AVAILABLE, SELECT SPECIES FROM THE ALTERNATIVE PLANT LIST. CONTRACTOR TO ENSURE THAT THE REPLACEMENTS ARE OF EQUIVALENT SIZE.

PROP. BLDG
11,972 SF
(2 STORY)
FF=404.85
EX. LOT 31

SITE PLAN AMENDMENT 82009009A SUMMARY:

- Amendment for a proposed 2-story 11,972 sq. ft. building in place of a previously approved unbuilt 1-story 8,800 sq. ft. building.
- Change of use from commercial to civic/institutional to permit a day care facility.
- Additional Parking and Landscape modifications.

DEVELOPER'S CERTIFICATE
The Undersigned agrees to execute all the features of the Site Plan Approval No. 82009006A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: **GANGES GAITHERSBURG LLC** **MANOJ GANDHI**
Company Contact Person
Address: **21871 BRONTE PLACE**
ASHBURN, VA 20147
Phone: **(703) 856-5240**
Signature: **MANOJ GANDHI**



NOTE: TREES AND SHRUBS SHOWN BUT NOT IDENTIFIED IN THE PLAZA LANDSCAPE VIEW ARE INSTALLED UNDER THE LANDSCAPE PLAN (SHEET 6). REFER TO THE LANDSCAPE PLAN FOR MORE INFO.

PREPARED FOR:
GANGES GAITHERSBURG LLC
21871 BRONTE PLACE
ASHBURN, VA 20147
ATTN: MANOJ GANDHI
TEL: (703) 856-5240
EMAIL: GANDHIMN@YAHOO.COM

SCALE
1" = 10'
DATE
JULY, 2023

ZONING
CRT-0.75
C-0.5, R-0.25,
H-75
TAX MAP - GRID
FU-341

SITE PLAN AMENDMENT LANDSCAPE PLAN
THE LEARNING EXPERIENCE
MONTGOMERY VILLAGE MARKETPLACE
EXISTING LOT 31, PROPOSED LOTS 32 & 33
PLAT No. 24110
GAITHERSBURG ELECTION DISTRICT No. 09
MONTGOMERY COUNTY, MARYLAND

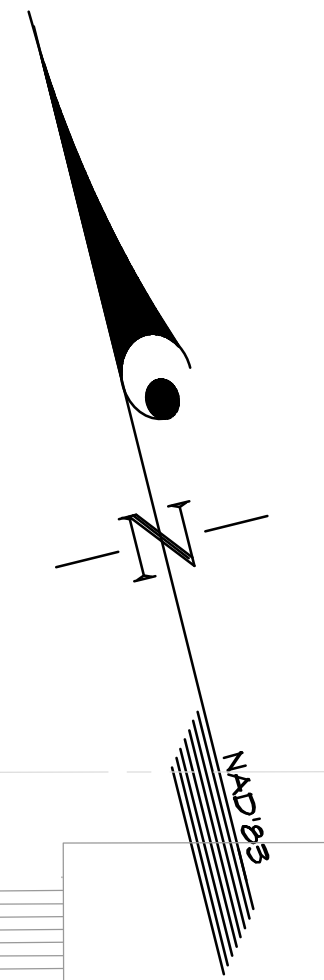
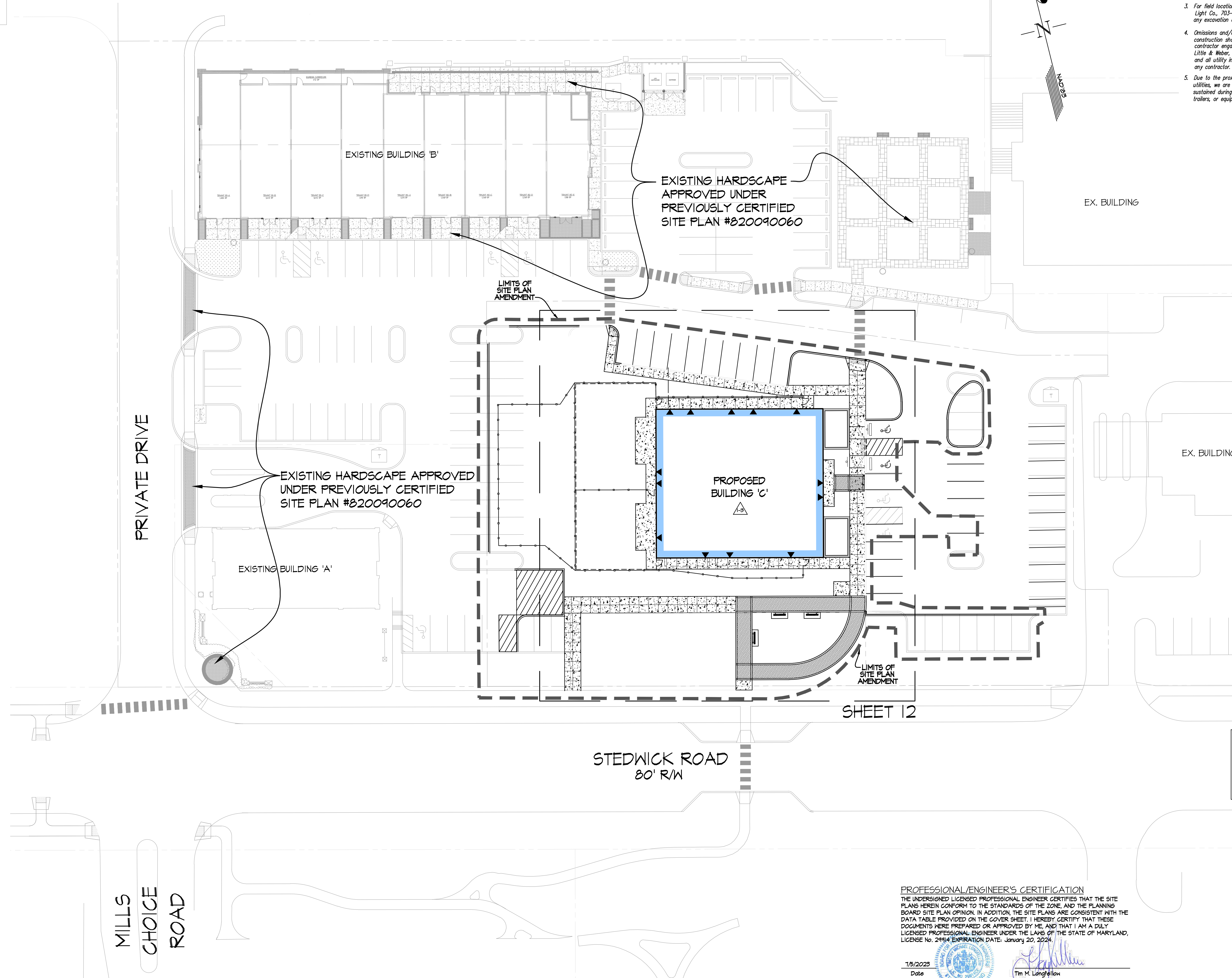
G. L. W. FILE NO.
22053
SHEET
7A OF 15

DESIGNED BY WDN	DATE	REVISION	BY	APPR.
DRAWN BY WDN				
CHECKED BY TML				

EXISTING UTILITY NOTES

1. For marking locations of existing utilities, notify "MISS UTILITY" at 1-800-257-7777, 48 hours prior to any excavation or construction.
2. Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the utilities by digging test pits by hand at all utility crossings well in advance of trenching. If clearances are less than specified on this plan or less than 12 inches when not specified, contact the Engineer, and the owner of the other involved utility before proceeding with construction.
3. For field location of gas line services, notify Washington Gas Light Co., 703-750-1000, 48 hours prior to the start of any excavation or construction.
4. Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Gutschick, Little & Weber, P.A., shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
5. Due to the proximity of live underground and overhead utilities, we are not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center
MEMBER
ONE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE
1-800-257-7777



SITE PLAN AMENDMENT 82009006A SUMMARY:

1. Amendment for a proposed 2-story 11,912 sq. ft. building in place of a Previously Approved unbuild 1-story 8,800 sq. ft. building.
2. Change of use from commercial to civic/institutional to permit a day care facility.
3. Additional Parking and Landscape modifications.

PROFESSIONAL ENGINEER'S CERTIFICATION
 THE UNDERSIGNED LICENSED PROFESSIONAL ENGINEER CERTIFIES THAT THE SITE PLANS HEREIN CONFORM TO THE STANDARDS OF THE ZONE, AND THE PLANNING BOARD SITE PLAN OPINION IN ADDITION, THE SITE PLANS ARE CONSISTENT WITH THE DATA TABLE PROVIDED ON THE COVER SHEET. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 29194 EXPIRATION DATE: January 20, 2024.

7/5/2023
Date

Tim M. Longfellow
Professional Engineer
Gutschick, Little & Weber, P.A.

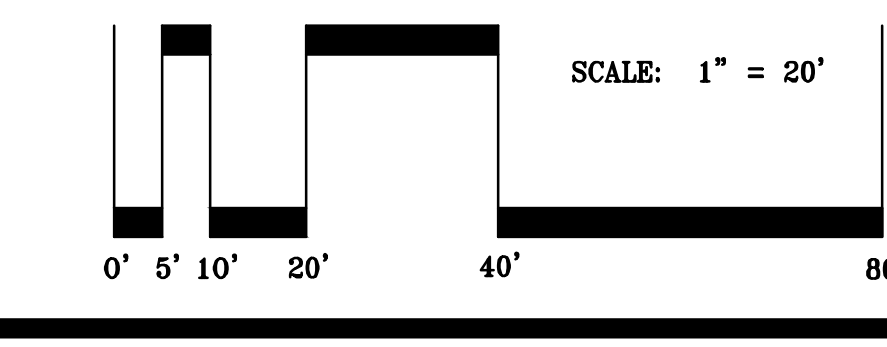
DEVELOPER'S CERTIFICATE
 The Undersigned agrees to execute all the features of the Site Plan Approval No. 82009006A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: GANGES GAITHERSBURG LLC
 Company
 Address: 2671 BRONTE PLACE
 ASHBURN, VA 22041
 Phone: (703) 856-5240
 Signature: MANOJ GANDHI

SITE PLAN AMENDMENT No. 82009006A

GLW
 PLANNING | ENGINEERING | SURVEYING
 8109 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1830 | DC/VA: 301-689-2624 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
WDN	WDN	TML				



PREPARED FOR:
 GANGES GAITHERSBURG LLC
 21871 BRONTE PLACE
 ASHBURN, VA 20147
 ATTN: MANOJ GANDHI
 TEL: (703) 856-5240
 EMAIL: GANDHIMN@YAHOO.COM

SCALE	ZONING
1"=20'	C-0.5, R-0.25, H-75
DATE	TAX MAP - GRID
JULY, 2023	FU-341

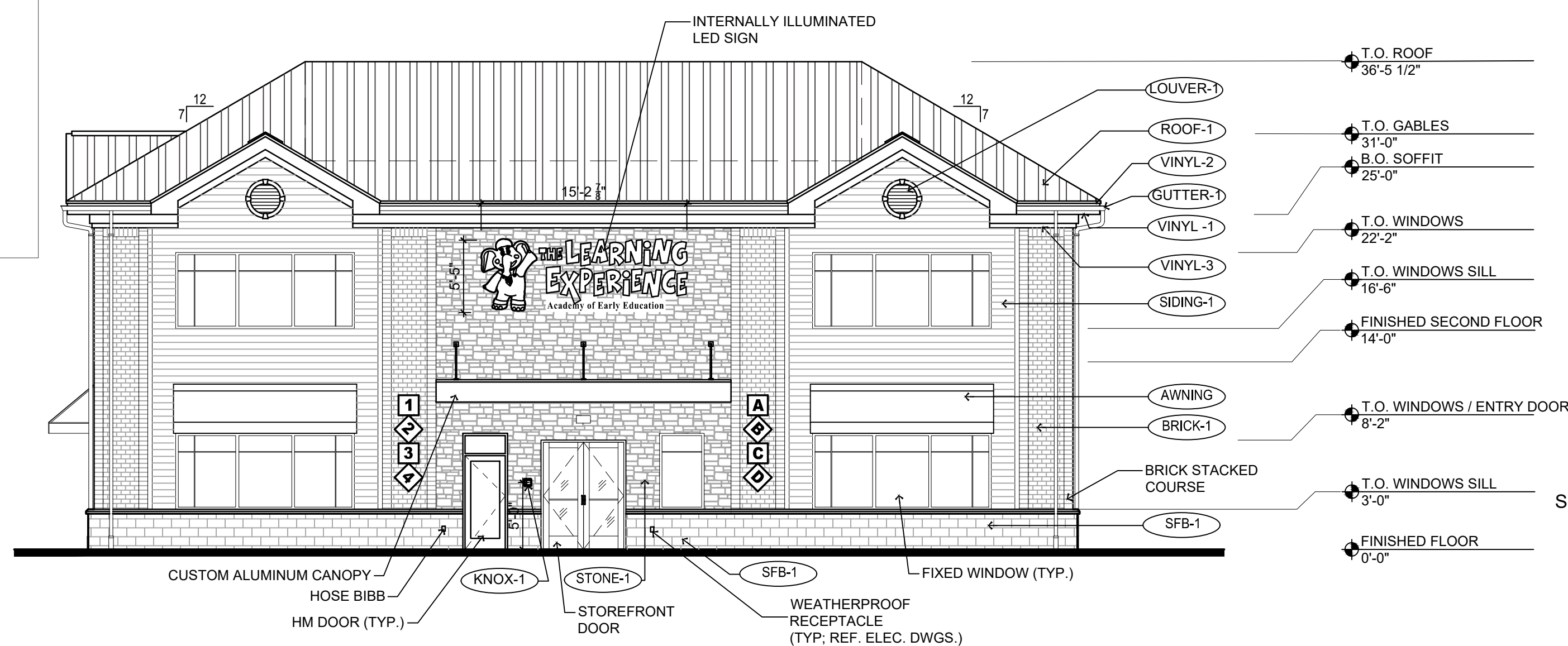
OVERALL HARDSCAPE PLAN
 THE LEARNING EXPERIENCE
 MONTGOMERY VILLAGE MARKETPLACE
 EXISTING LOT 31, PROPOSED LOTS 32 & 33
 PLAT No. 24110

GAITHERSBURG ELECTION DISTRICT No. 09
 MONTGOMERY COUNTY, MARYLAND

G. L. W. FILE No.
 22053
 SHEET
 10 OF 15

L:\CAD\DWG\2023\22053.DWG SITE PLAN 22053.SP 10-05-23

4" x 3" AREA
RESERVED
FOR MNCPPC
CERTIFICATION



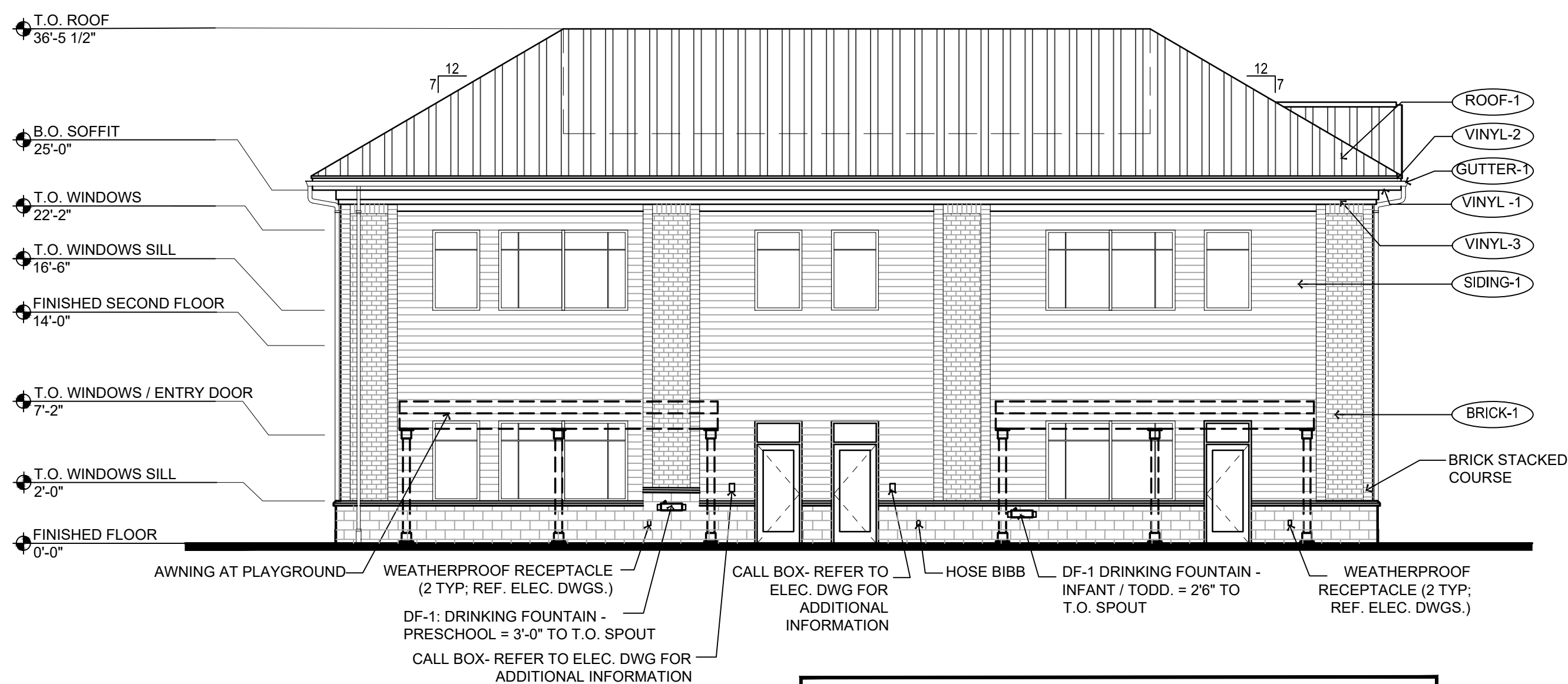
1 EAST ELEVATION
SCALE: 1/8"=1'-0"

TRANSPARENCY CALCULATION - EAST ELEVATION				
	WALL	TRANSPARENCY	REQUIRED	PROVIDED
GROUND	1,052 SQ. FT.	247 SQ. FT.	25.0%	23.1%
UPPER	730 SQ. FT.	152 SQ. FT.	20.0%	20.8%



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

TRANSPARENCY CALCULATION - SOUTH ELEVATION - FRONT				
	WALL	TRANSPARENCY	REQUIRED	PROVIDED
GROUND	1,188 SQ. FT.	310 SQ. FT.	40.0%	26.0%
UPPER	820 SQ. FT.	294 SQ. FT.	20.0%	35.8%



3 WEST ELEVATION
SCALE: 1/8"=1'-0"

TRANSPARENCY CALCULATION - WEST ELEVATION				
	WALL	TRANSPARENCY	REQUIRED	PROVIDED
GROUND	1,043.5 SQ. FT.	209.5 SQ. FT.	25.0%	20%
UPPER	730 SQ. FT.	180 SQ. FT.	20.0%	24.6%



4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

TRANSPARENCY CALCULATION - NORTH ELEVATION				
	WALL	TRANSPARENCY	REQUIRED	PROVIDED
GROUND	1,167.4 SQ. FT.	268.6 SQ. FT.	25.0%	23.0%
UPPER	820 SQ. FT.	175 SQ. FT.	20.0%	21.3%

M-ROCK
WOODLAND FIELD STONE

SMOOTH FACE CENTER SCORE CMU
COLOR: BUFF

JAMES HARDIE
FIBER CEMENT SIDING
STATEMENT COLLECTION: IT'S ABOUT THYME

LAWRENCEVILLE BRICK
MODULAR
COLOR: RED WIRECUT

YORK BUILDING PRODUCTS
SPLIT FACE CMU
COLOR: BUFF
MORTAR COLOR: LIGHT BUFF

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE / TYPE	FINISH / COLOR
STOREFRONT	KAWNEER	TRIFAB 451T / 350 PER DOOR SCHEDULE	BONE WHITE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	PLYGEM	SILVER LINE V1 SERIES PER WINDOW SCHEDULE	WHITE
SIDING-1	JAMES HARDIE SIDING	FIBER CEMENT SIDING	STATEMENT COLLECTION: IT'S ABOUT THYME
BRICK-1	LAWRENCEVILLE BRICK	MODULAR	RED WIRECUT
VINYL-1	ROYAL BUILDING PRODUCTS	COLORSCAPES TRIPLE 4 PERFORATED SOFFIT NOM. THICKNESS 0.042"	WHITE (REF. NOTE 2 BELOW)
VINYL-2	PLASTICLAD	VINYL FRIEZE BOARD 5/4x10" (1"x9 1/4" NET)	WHITE (REF. NOTE 2 BELOW)
VINYL-3	AZEK	VINYL TRIM BOARD (8/4 x 12)	WHITE (REF. NOTE 2 BELOW)
STONE-1	M-ROCK	WOODLAND FIELD STONE	WOODLAND FIELD STONE
SFB-1	YORK BUILDING PRODUCTS	SPLIT FACE CMU	COLOR: BUFF MORTAR COLOR: LIGHT BUFF
GUTTER-1	-	6" ALUMINUM TYPE 'K' W/ LEAF SCREEN AND 6" LEADERS	MATCH FRIEZE BOARD
LOUVER-1	FYPON	FRV30MTK 30" DIAMETER	WHITE (REF. NOTE 2 BELOW)
ROOF-1	PAC-CLAD	SNAP CLAD STANDING SEAM W/ PENCIL RIBS	CHARCOAL
RIDGE FLASHING	FABRAL (OR EQUAL)	BREAK METAL	MATCH ROOFING
AWNING	-	CUSTOM ALUMINUM	-
KNOX-1	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)

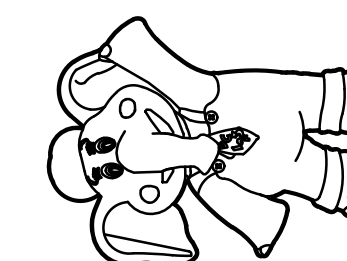
FINISH SCHEDULE NOTES:
1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION.
2. G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS' WARRANTY REQUIREMENTS.

1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY.
2. G.C. MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE G.C.
3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & TLE FOR APPROVAL.

Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

THE LEARNING
EXPERIENCE
ACADEMY OF
EARLY EDUCATION
10001 STEDWICK ROAD
GAITHERSBURG, MARYLAND



ISSUE

NO.	DATE	DESCRIPTION	INT.
1	7/5/23	COUNTY SUBMISSION	MBJ

REVISION

NO.	DATE	DESCRIPTION	INT.

PROFESSIONAL CERTIFICATION

NAME OF LICENSEE:
MATTHEW B. JARMEL
LICENSE NUMBER: 12662

Project Number: TLEMD22-198 Scale: 1/8"=1'-0"

Drawn By: CS Approved By: MBJ

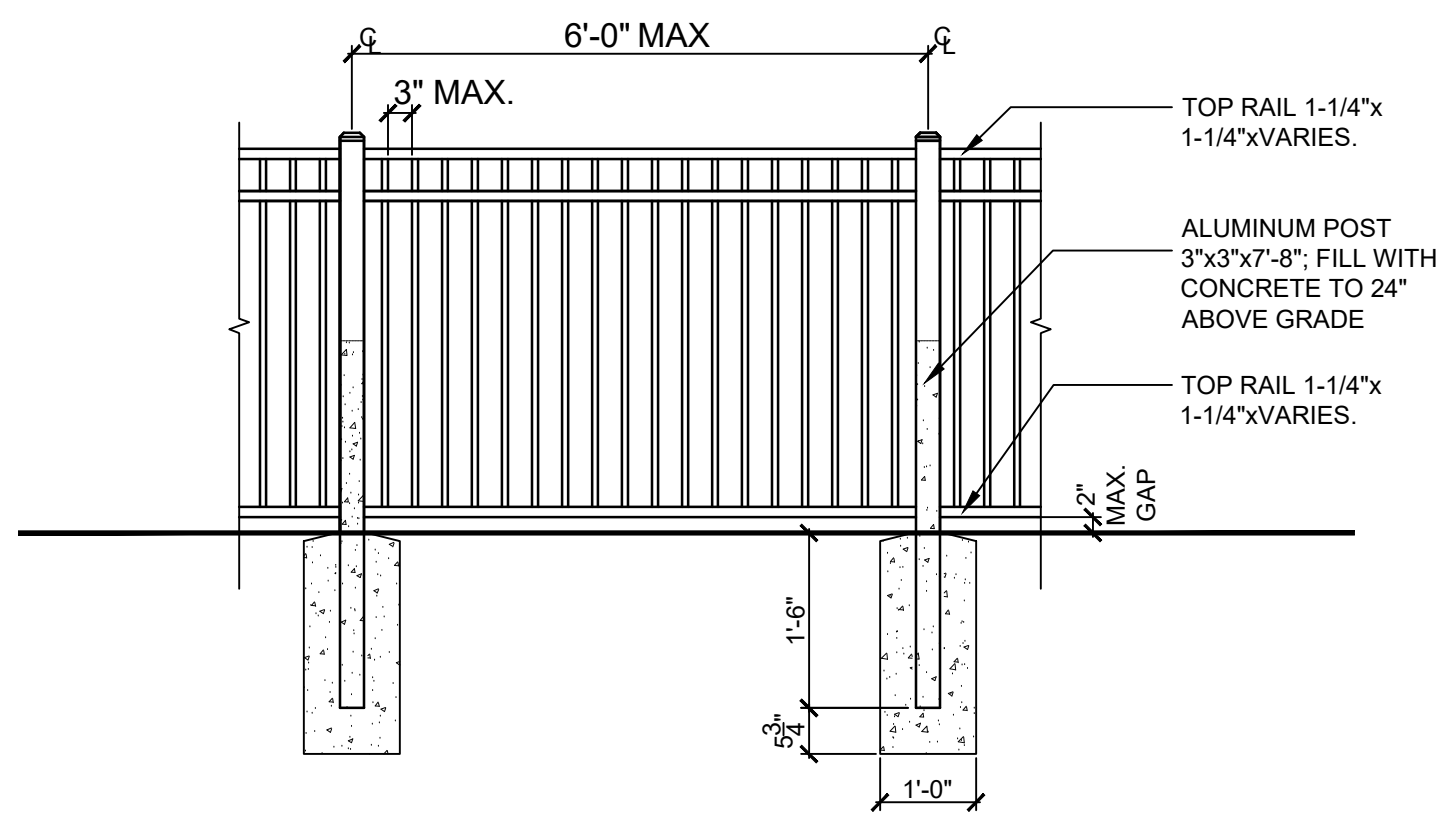
Drawing Name: PROPOSED ELEVATIONS

Drawing Number: SA-1.2

DEVELOPER'S CERTIFICATE

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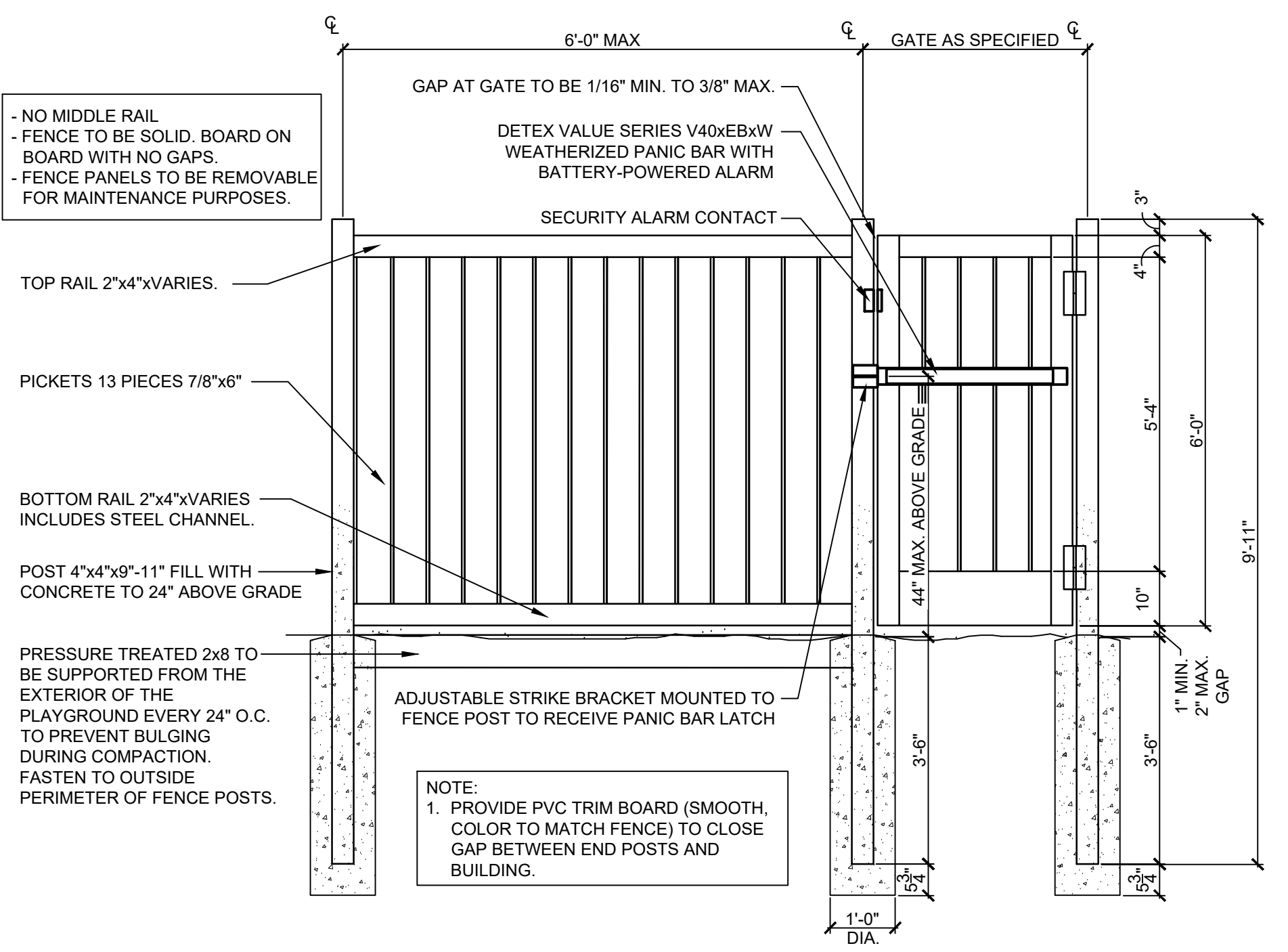
Developer's Name: GANGES GAITHERSBURG LLC Company
Address: 21671 BRONTE PLACE ASHBURN, VA. 20147
Phone: (703) 856-5240
Signature: MANOJ GANDHI Contact Person



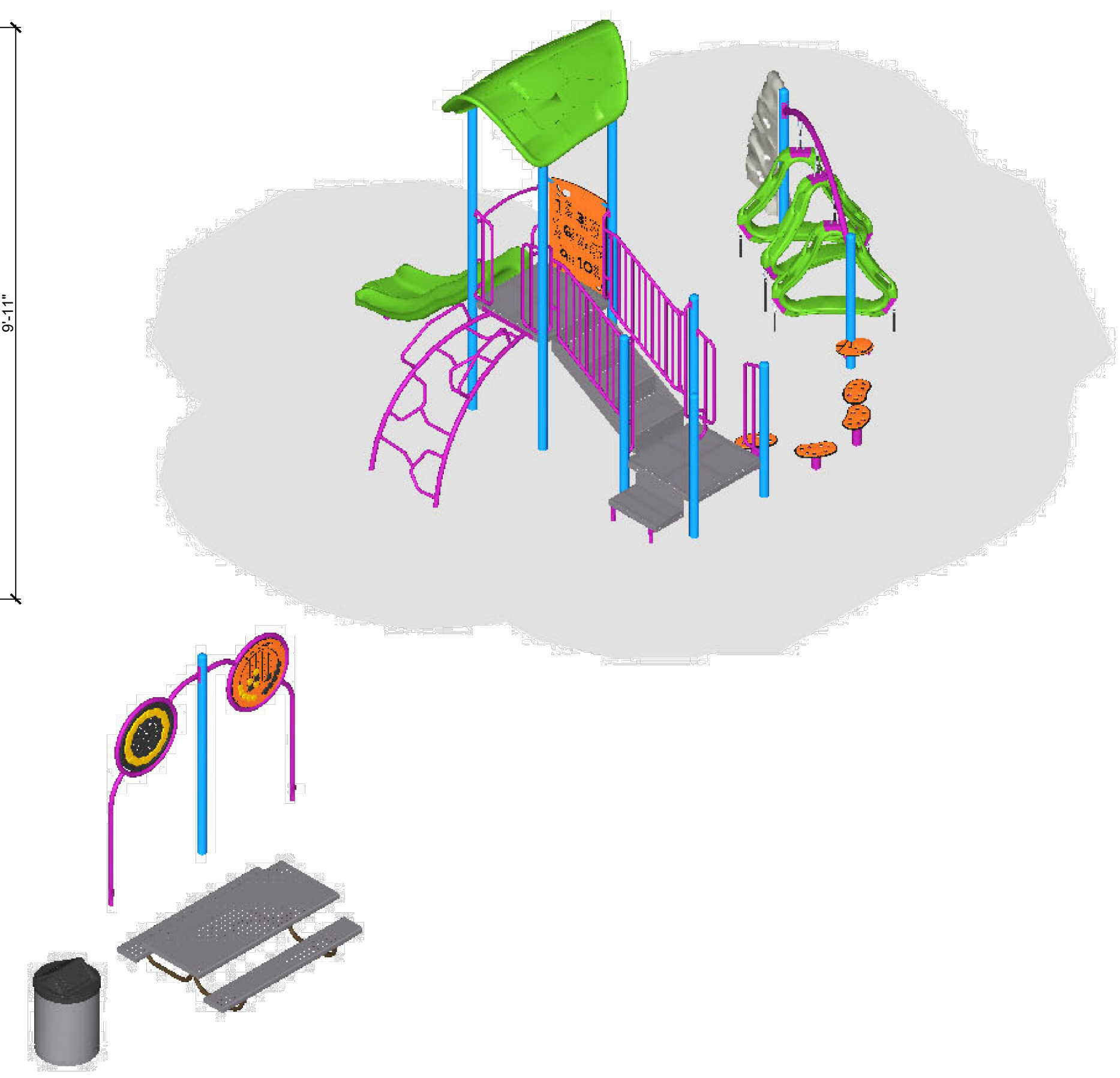
6 4' HIGH ALUMINUM FENCE
SCALE: 1/2"=1'-0"



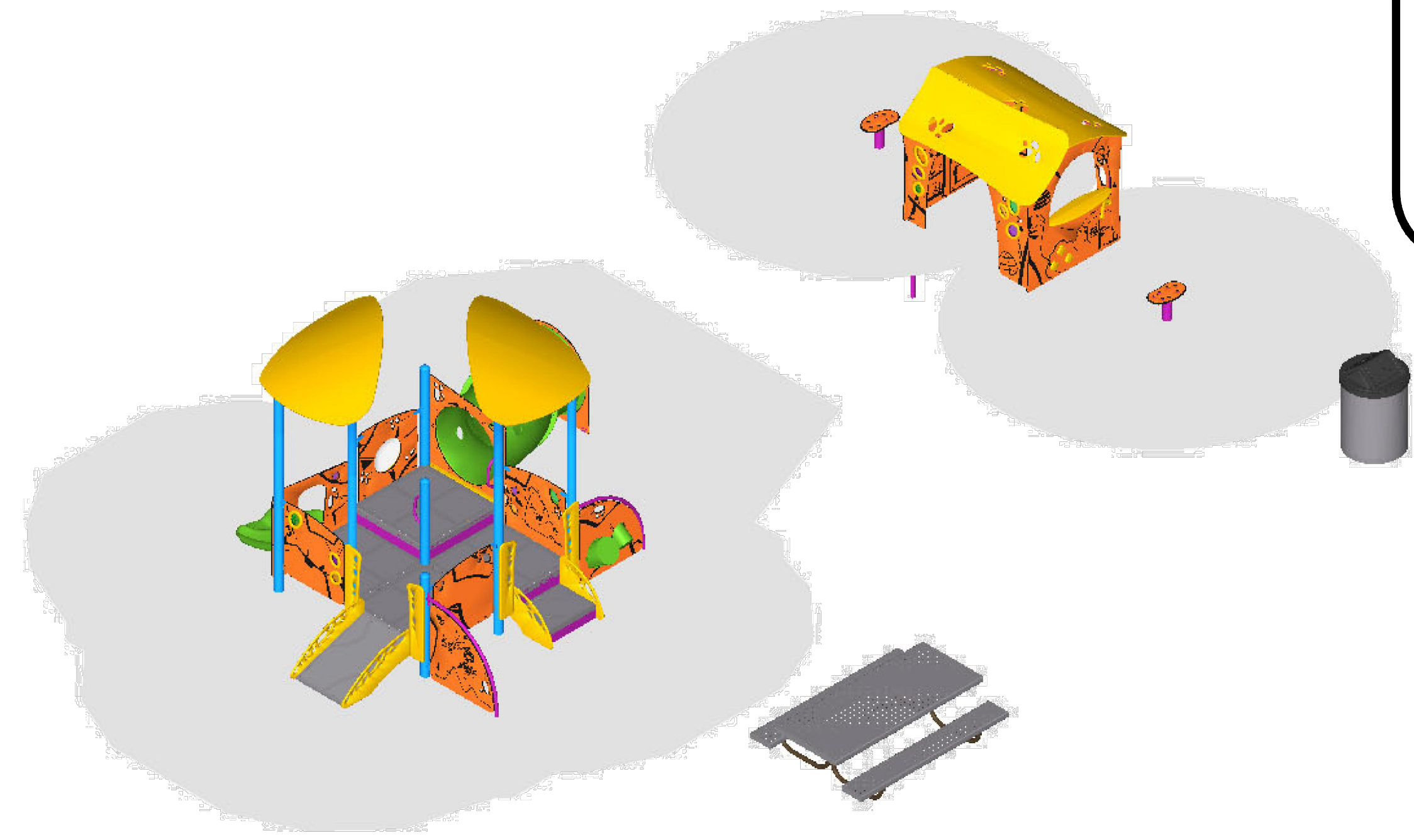
4 TYPICAL AWNING
SCALE: NTS



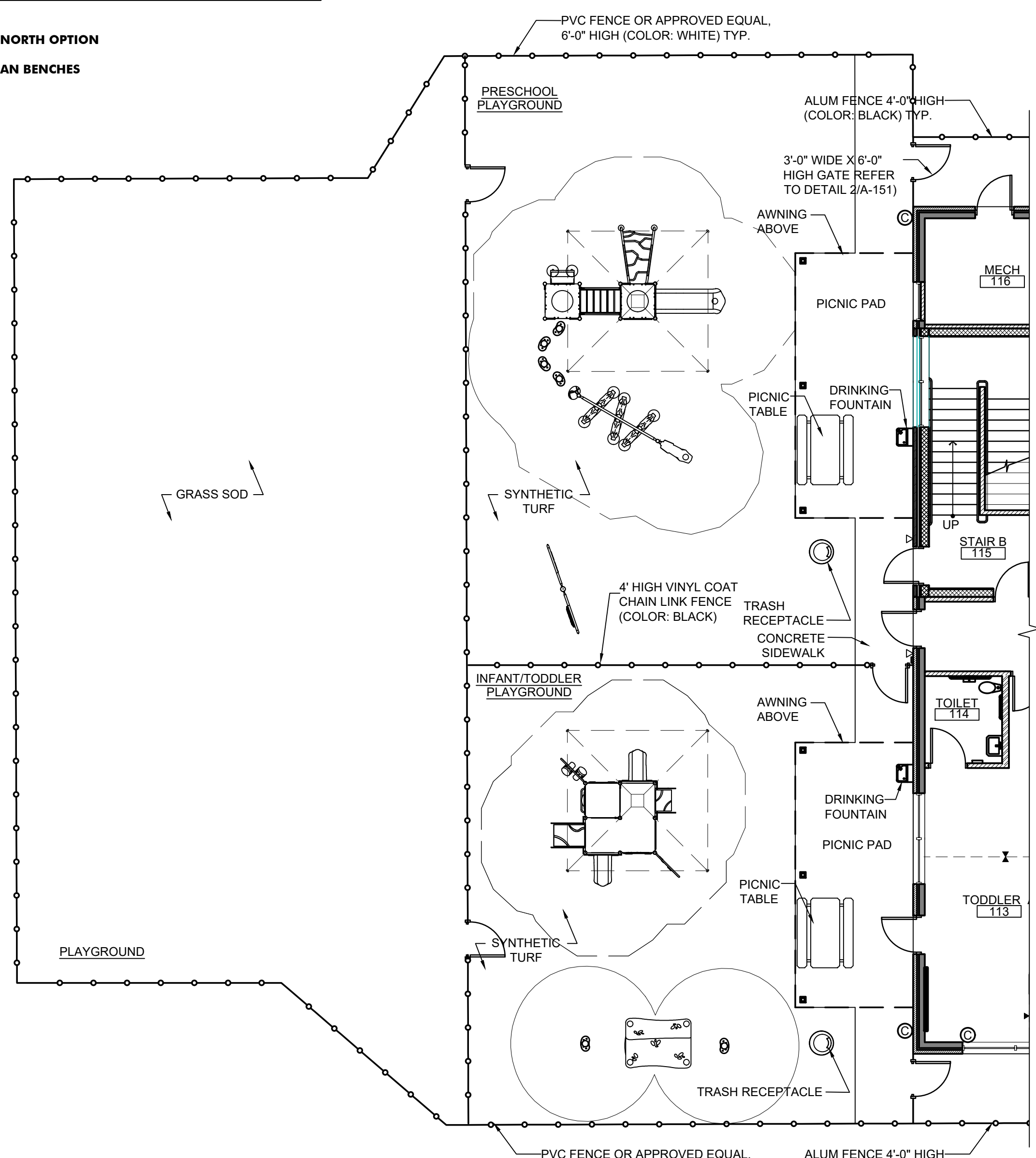
5 6' HIGH PVC PLAYGROUND FENCE
SCALE: 1/2"=1'-0"



3 PRESCHOOL PLAYGROUND EQUIPMENT
SCALE: NTS
BURKE PRESCHOOL PLAY UNIT - NORTH
OPTION 143-150193-2
BURKE PRESCHOOL ACTIVITY PANEL
BURKE PICNIC TABLE
BURKE TRASH RECEPTACLE



2 INFANT PLAYGROUND EQUIPMENT
SCALE: NTS
BURKE INFANT PLAY UNIT - NORTH OPTION
143-150193-2
BURKE PLAYHOUSE WITH BEAN BENCHES
BURKE PICNIC TABLE
BURKE TRASH RECEPTACLE



1 PROPOSED PLAYGROUND PLAN
SCALE: 1/8"=1'-0"

1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY.
2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE GC.
3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & T/E FOR APPROVAL.

Jarmel Kizel
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PROFESSIONAL CERTIFICATION
NAME OF LICENSEE:
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LICENSE NUMBER: 12662

Project Number: TLEMD22-198
Scale: 1/8"=1'-0"
Drawn By: CS
Approved By: MBJ

Drawing Name: PROPOSED PLAY AREA
Drawing Number: SA-1.5