



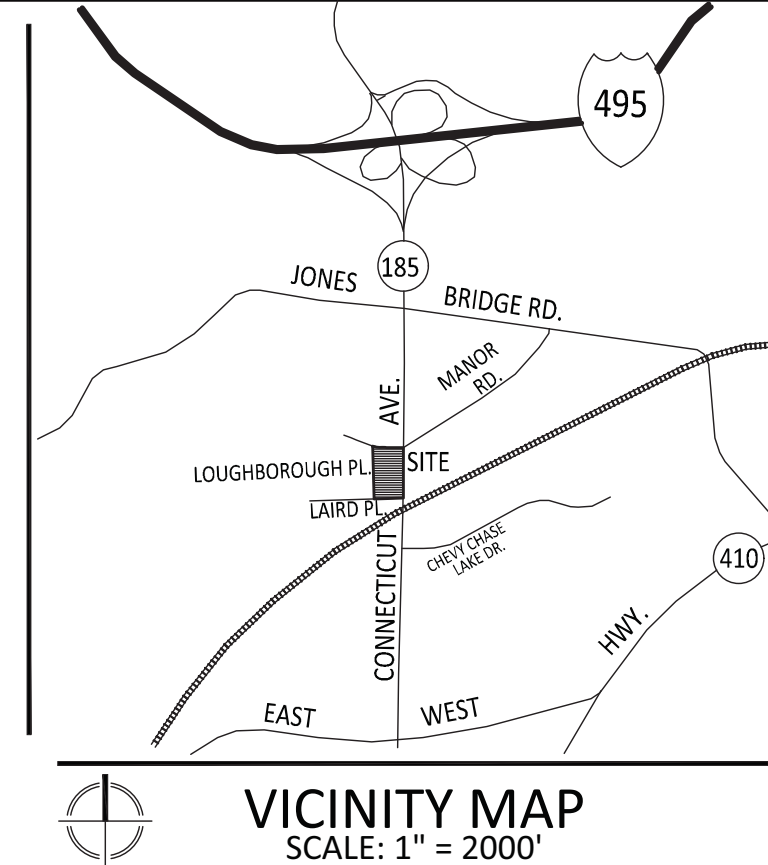
Department of Permitting Services
Fire Department Access and Water Supply Comments

DATE: 06-Nov-23
TO: Nancy Thompson - nthompson@vika.com
VIKA, Inc
FROM: Marie LaBaw
RE: Chevy Chase Lake Block A
120230110

PLAN APPROVED

1. Review based only upon information contained on the plan submitted **03-Nov-23**. Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

E-FILE STAMP



VKA
 VIKI MARYLAND, LLC
 20251 Century Blvd., Suite 400
 Germantown, MD 20874
 301.916.4100 | vika.com
 Our Site Set on the Future.

APPLICANT/JOINT OWNER:
BOZZUTO DEVELOPMENT CO.
 6406 IVY LANE
 GREENBELT, MD 20770
 CONTACT: JUSTIN KENNEL
 Justin.Kennel@bozzuto.com

JOINT OWNER:
THE CHEVY CHASE LAND CO.
 8401 CONNECTICUT AVENUE
 PENTHOUSE SUITE
 CHEVY CHASE, MD 20815
 301.654.2650
 CONTACT: MITI FIGUEREDO

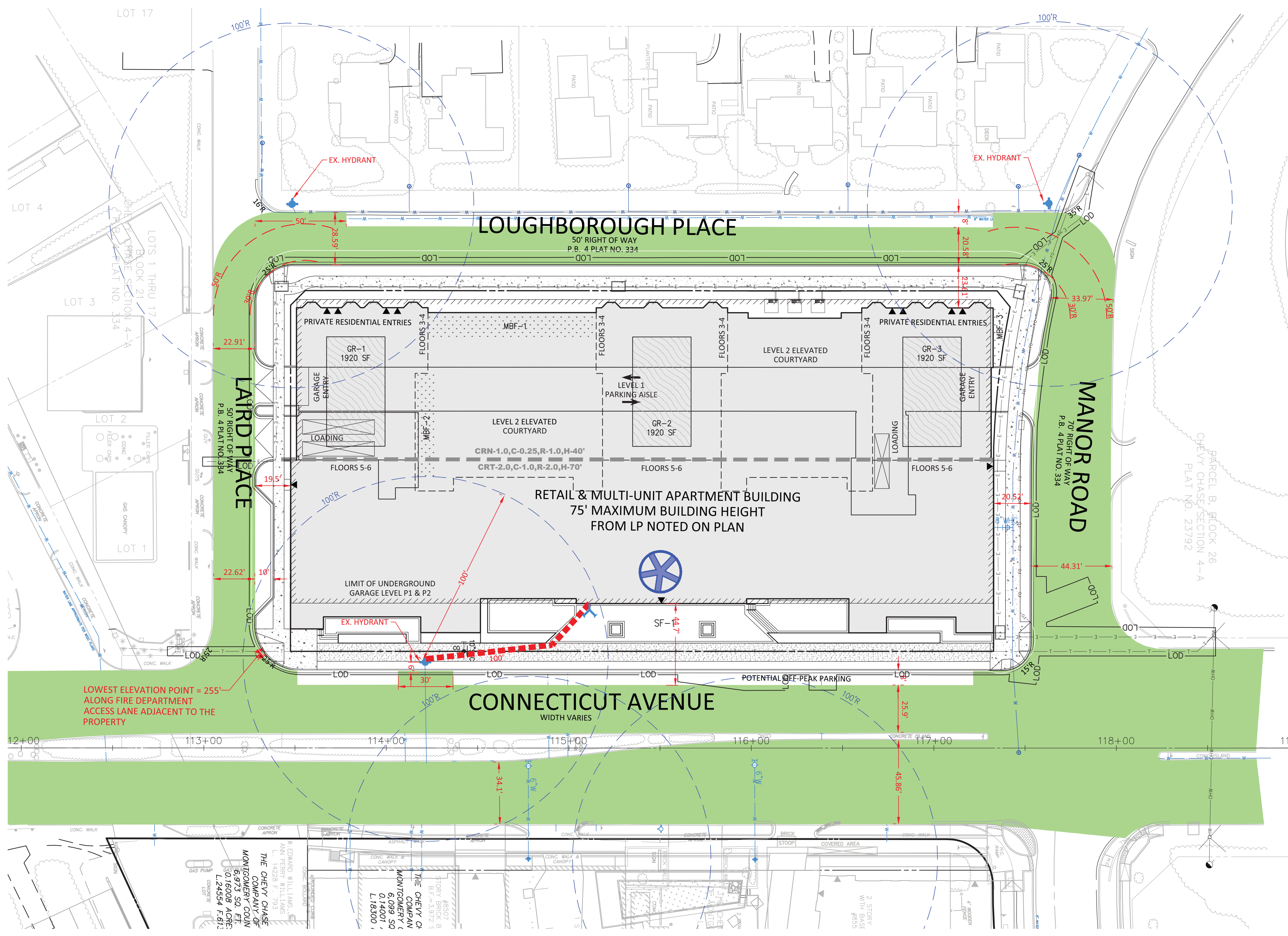
ATTORNEY:
LERCH, EARLY & BREWER
 7600 WISCONSIN AVENUE
 SUITE 700
 BETHESDA, MD 20814
 301.986.1300
 CONTACT: STEVE ROBINS
 sarobins@lercheearly.com

PLANNER, CIVIL ENGINEER:
VKA MARYLAND, LLC
 20251 CENTURY BOULEVARD
 SUITE 400
 GERMAN TOWN, MD, 20874
 301.916.4100
 CONTACTS: JOSH SLOAN / DON NELSON
 sloan@vika.com / nelson@vika.com

DESIGN ARCHITECTS:
DAVID M. SCHWARZ ARCHITECTS, INC.
 3701 L STREET, NW
 SUITE 400
 WASHINGTON, DC 20036
 202.862.0777
 CONTACT: STEVE KNIGHT
 steve.knight@dmass.com

LANDSCAPE ARCHITECT:
MARTHAN RYKIEL
 800 WYMAN PARK DRIVE
 SUITE 100
 BALTIMORE, MD 21211
 410.500.1626
 CONTACT: PENG GU
 pgu@mharthanykiel.com

TRAFFIC ENGINEER:
WELLS & ASSOCIATES
 1420 SPRING VALLEY ROAD
 #510
 TYSONS, VA 22102
 703.917.6620
 CONTACT: NANCY RANDALL



LEGEND

- MAIN ENTRANCE
- WATER LINE AND FITTING
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- BUILDING ENTRY
- FIRE ACCESS PATH
- LOWEST POINT OF FD VEHICULAR ACCESS
- FIRE ACCESS FOOT PATH

NOTES:
 - FIRE COMMAND CENTER IS NOT REQUIRED
 - FIRE LANE ORDER TO BE PROVIDED AT SITE PLAN

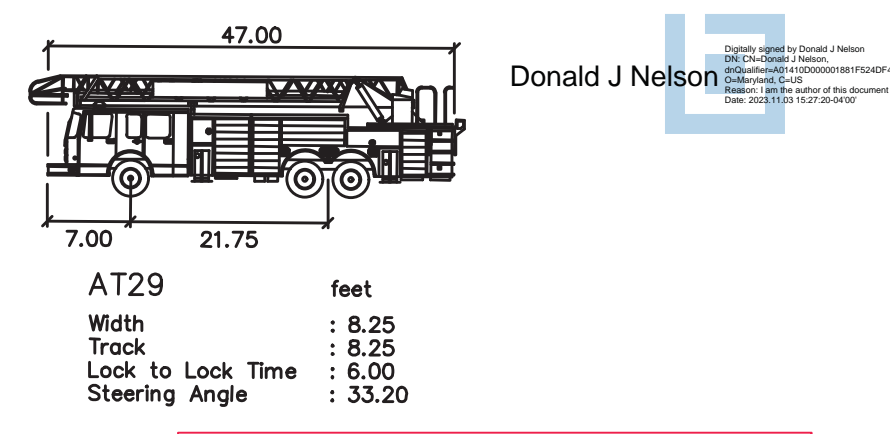
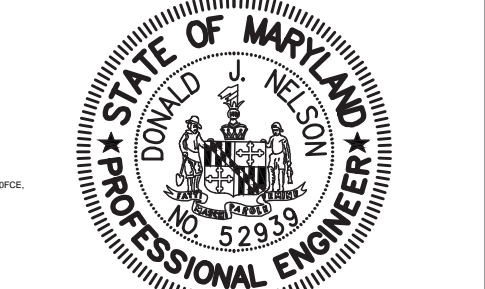
REVISIONS	DATE

CHEVY CHASE LAKE
 BLOCK A

7TH ELECTION DISTRICT
 CHEVY CHASE,
 MARYLAND
 WSSC GRID: 210NW04
 TAX MAP: HN43

FIRE ACCESS PLAN

120230110



FIRE CODE ENFORCEMENT
 Fire Department Access Review
 Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation.
 BY: *SAC* PM: 43 DATE: 11/6/2023

*FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NUMBER IS 52339. EXPIRATION DATE: 12/31/2026

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKI MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, FOR ANY PURPOSE, IN ANY MANNER, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKI MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

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DRAWN BY: _____
 DESIGNED BY: _____
 DATE ISSUED: _____

VKA PROJECT: **VM1071AD**
 DRAWING NO.: **1 OF 1**

SHEET NO.:



OFFICE OF THE COUNTY EXECUTIVE

Marc Elrich
County Executive

Christopher R. Conklin
Director

November 14, 2023

Mr. Tsaiquan Gatling, Planner III
DownCounty Planning Division
The Maryland-National Capital
Park & Planning Commission
2425 Reedie Dr
Wheaton, MD 20902

REVISED

RE: Preliminary Plan No. 120230110
Chevy Chase Lake Block A
Preliminary Plan Letter

Dear Mr. Gatling:

This letter replaces MCDOT's Preliminary Plan letter dated October 26, 2023.

We have completed our review of the preliminary plan uploaded to eplans on October 11, 2023. A previous version of the plans was reviewed by the Development Review Committee at its August 29, 2023, meeting. We recommend approval of the plans subject to the following comments:

Significant Preliminary Plan Review Comments

1. Applicant's Request: The Applicant is requesting to install curb extensions for a "lay-by" along Laird Place between Connecticut Avenue and the two loading bays. The Applicant explains this lay-by is essential to serve the need for short-term deliveries and pick-up/drops offs, without impacting through traffic on the surrounding streets. In addition, this lay-by is also critical to support the ground floor retailers and ensure their long-term success, by facilitating customer pick-up and carry-out. The lay-by has been designed to prioritize pedestrian safety through the creation of an uninterrupted pedestrian sidewalk along the street frontage. Lastly, the design of the lay-by ensures that there is adequate soil volume to support street trees along the Laird frontage, potentially with amended soil panels under some paving.

MCDOT Response: As per the April 2011 "Memorandum of Understanding - Implementation of the April 2010 Report of the Conflict Resolution Workgroup on ways to Improve the Development Approval Process in Montgomery County, Maryland", it is to be noted that MCDOT is designated as the lead agency responsible for roadway cross sections and on-street parking.

MCDOT staff has reviewed the applicant's proposal and is concerned about potential traffic disruptions caused by vehicles stopping along Connecticut Avenue, given that the main entrance is located along it. The other building entrances do not provide direct access to the lobby. However, if constructing a lay-by along Connecticut Avenue is not feasible, then we recommend the applicant work with DPS and MCDOT at the time of site plan submission for the details to establish a "no parking" zone on Laird Place. As the applicant has proposed the "loading zone", it does not provide for a buffer between the edge of the parking and the sidewalk. This raises pedestrian safety concerns, as doors can open onto the sidewalk, and block it.

In addition, we recommend a drop off and/or short-term parking to be located within garage access on the ground floor of the parking garage. The applicant has explained that the garage accesses on Manor Road and Laird Street connect to each other and have parking spaces on the ground floor.

At the time of site plan, the applicant shall continue to work out the details of the "no parking" zone with DPS and MCDOT staff.

2. Garage loading at Laird Place:
 - a. The certified preliminary plan shall show the removal of the proposed mountable truck apron corner left of the proposed loading and truncation of the garage entrances.
 - b. Final details of the mountable truck apron refugee island to be finalized at the permit stage by DPS and MCDOT.
 - c. MCDOT may restrict loading movements to right-out only for both loading spaces at the time of the right-of-way permit. Final details to be determined by DPS at the permit stage.
3. At the intersections of Connecticut Avenue with Laird and Manor Road, SHA has the authority to require truncation. This area is often for sight distance, utility poles, traffic signal poles and related equipment as well as a safe place for pedestrians and bicyclists to wait to cross a roadway. The applicant is not showing any area for the items listed above to be placed in the right-of-way. We recommend MDOT SHA review truncation of the property lines of the building along Connecticut Avenue (MD 185).
4. The truncation proposed at the intersections of Manor Road/Loughborough Place and Laird Place/Loughborough Place is acceptable to MCDOT.
5. The Applicant shall be responsible to install a bus shelter along Connecticut Avenue (MD 185), about 60-foot from the intersection with Manor Road. At or before the MDOT SHA permit stage, the final location of the bus shelter and improvement details shall be coordinated with Mr. Wayne Miller of our Division of Transit Services. Mr. Miller may be contacted at 240 777-5836 or at Wayne.Miller2@montgomerycountymd.gov.

6. The Applicant shall coordinate with James Carlson at james.carlson@montgomerycountymd.gov or 240-777-8382 to implement the following recommendations for Transportation Demand Management (TDM) elements on the Subject Property.

Under Chapter 42A-23 of the Montgomery Code, the project is required to submit a Level 3 Project-Based TDM Results Plan. The project meets the location (Red Subdivision Staging Policy Area and the Chevy Chase Lake Master Plan Area) and size threshold requirement (more than 40,000 gsf) for this plan level.

A Project-based TDM Results Plan requires a commitment by the owner or Applicant to achieve a base NADMS that is 5% higher than the District's goal as well as related commuting goals at that project. The Plan must be submitted and approved by MCDOT prior to issuance of any building permit from DPS.

Level 3 Project-Based TDM Results Plans require the following:

- a. Appoint a Transportation Coordinator.
- b. Notify the Department of the Coordinator's contact information within 30 days of receipt of final use and occupancy (U&O) certificate.
- c. Provide space in the project for the promotion of TDM.
- d. Display TDM-relation information in highly visible location(s);
- e. Identify specific TDM actions to be implemented to achieve 5% above the Chevy Chase Lake Master Plan Area commuter goals – i.e.: NADMS of 41% for employees and 54% for residents.
- f. Applicant and/or Substitution of Strategies: If strategies initially selected by the owner or Applicant do not result in the project achieving goals by 6 years after final occupancy, revisions to the plan or strategies initially selected may be required.
- g. Additional Funding: Commit funding if the project does not achieve the goal within 6 years of final occupancy. Provide higher additional funding if the project has not achieved the goal within 8 years of final occupancy.
- h. Conduct independent monitoring to determine if the project is meeting its goals until the project's goals are achieved.

Standard Preliminary Plan Comments

7. All Planning Board Opinions relating to this plan or any subsequent revision, project plans or site plans should be submitted to the Department of Permitting Services (DPS) in the package for record plats, storm drain, grading or paving plans, or application for access permit. Include this letter and all other correspondence from this department.
8. Connecticut Avenue (MD 185) is maintained by Maryland State Highway Administration (MDOT SHA); therefore, MCDOT does not have any jurisdiction other than the maintenance and operation of traffic signal and shared use path on state-maintained roadways. Per Montgomery County Code Chapter 50 Section 4.2, MCDOT shall provide recommendations about the subject property for the attention of the concerned agencies.

- i. Connecticut Avenue (MD 185) is classified as a Town Center Boulevard (M-7) with 6 divided lanes. Per the Master Plan of Highways and Transitways the minimum right-of-way (ROW) is 120-feet. Plat #334 shows that the current ROW is 100-feet. Based on this plat, we recommend the Applicant dedicate the additional distance to achieve 53-feet from center line.
- j. The Applicant shall be responsible to construct a 10-foot wide shared use path with a minimum 5-foot pedestrian buffer along their street frontage. We recommend these items be constructed within the ROW or an easement for maintenance.

We defer to MDOT SHA for all access and improvements to Connecticut Avenue (MD 185) with the exception of traffic signals, the shared use path and bus stop improvements.

9. Manor Road is classified as a Neighborhood Street with a minimum 60-foot right-of-way (ROW) per Montgomery County Code 49-32.c. Plat #334 shows that the current ROW is 70-feet. No further dedication is necessary.

- a. The certified preliminary plan shall reflect the following proposed frontage improvements from the face of curb to the edge of property line:
 - 6-foot street buffer
 - 8-foot sidewalk
 - 2-foot maintenance buffer

10. Laird Place is classified as a Neighborhood Street with a minimum 60-foot right-of-way (ROW) per Montgomery County Code 49-32.c. Plat #334 shows that the current ROW is 50-feet. Based on this plat, that the Applicant should dedicate an additional 5 feet .

- b. The certified preliminary plan shall reflect the following proposed frontage improvements from face of the curb to the edge of property line:
 - 10-foot street buffer
 - 6-foot sidewalk
 - 3.5-foot maintenance buffer

11. Loughborough Place is classified as a Neighborhood Street with a minimum 60-foot right-of-way (ROW) per Montgomery County Code 49-32.c. Plat #334 shows that the current ROW is 50-feet. Based on this plat, the Applicant should dedicate an additional 5 feet .

- a. The certified preliminary plan shall reflect the following proposed frontage improvements from the face of curb to the edge of property line:
 - 6-foot minimum street buffer
 - 6-foot sidewalk
 - 2-foot maintenance buffer

12. Sight Distance:

- a. Manor Road: A copy of the accepted Sight Distances Evaluation certification form is enclosed for your information and reference. The Applicant is responsible to ensure sight distance during tree planting.
- b. Laird Place: The sight distance does not meet the required minimum 200-feet. Prior to DPS approval of the record plat, the applicant will need to submit an updated Sight Distances

Evaluation certification form, for proposed driveway(s), which indicates clear sight distance of at least 200 feet and show the maximum possible sight distance towards Connecticut Avenue (MD 185).

- c. Connecticut Avenue (MD 185): We defer to MDOT SHA for the sight distance evaluation for all proposed intersection(s) and access point(s) along Connecticut Avenue (MD 185).
 - d. The Applicant is responsible to ensure sight distance should be clear of any existing or proposed obstructions within the line of sight (tree trimming and/or removal, relocation of existing utility pole, removal of street parking etc.) to achieve a minimum sight distance in each direction.
13. **Storm Drain Study:**
- a. The spread computations for a County maintained inlet located on Manor Road were reviewed and is acceptable to MCDOT. No improvements are needed.
 - b. We defer to MDOT SHA for runoff from the site draining to an existing downstream storm drain system maintained by MDOT SHA.
14. Design all vehicular access points and alleys to be at-grade with sidewalk, dropping down to street level between the sidewalk and roadway.
15. Prior to certified preliminary plan the stormwater management in the right-of-way must be approved by DPS.
16. Forest Conservation Easements are NOT ALLOWED to overlap any easement.
17. Upgrade pedestrian facilities at intersections along the site frontage and at adjacent intersections to comply with current ADA standards.
18. Ensure curve radii of 15-foot, or as small as practicable to accommodate target design vehicles without intrusion into bicycle or pedestrian travel ways.
19. Stop sign locations, crosswalks and markings will be reviewed and completed during the signing and marking stage.
20. Relocation of utilities along existing roads to accommodate the required roadway improvements shall be the responsibility of the Applicant.
21. No steps, stoops, balconies or retaining walls for the development are allowed in county right-of-way. No door swings into county ROW.
22. Trees in the County rights of way – spacing and species to be in accordance with the applicable MCDOT standards. Tree planning within the public right of way must be coordinated with DPS Right-of-Way Plan Review Section.
23. If the proposed development will alter any existing streetlights, replacement of signing, and/or pavement markings, please contact Mr. Dan Sanayi of our Traffic Engineering Design and Operations Section at (240) 777-2190 for proper executing procedures. All costs associated with such relocations shall be the responsibility of the Applicant.
24. Erosion and sediment control measures as required by Section 50-35(j) and on-site stormwater management where applicable shall be provided by the Developer (at no cost to the County) at such locations deemed necessary by MCDPS and will comply with their specifications. Erosion and sediment control measures are to be built prior to construction of streets, houses and/or site

grading and are to remain in operation (including maintenance) as long as deemed necessary by MCDPS.

25. Enclosed storm drainage and/or engineered channel (in accordance with the MCDOT Storm Drain Design Criteria) within the County ROW and all drainage easements.
26. Permit and bond will be required as a prerequisite to MCDPS approval of the record plat. The permit will include, but not necessarily be limited to, the following improvements:
 - a. Curbs and gutters, lawn panel, sidewalk, handicap ramps, storm drainage and appurtenances, and street trees along Manor Road, Laird Place and Loughborough Place.
 - b. Permanent monuments and property line markers, as required by Section 50-4.3(G) of the Subdivision Regulations.
 - c. Developer shall ensure final and proper completion and installation of all utility lines underground, for all new road construction.
 - d. Developer shall provide streetlights in accordance with the specifications, requirements, and standards prescribed by the MCDOT Division of Traffic Engineering and Operations.

Thank you for the opportunity to review this preliminary plan. If you have any questions or comments regarding this letter, please contact me for this project at brenda.pardo@montgomerycountymd.gov or at (240) 777-7170.

Sincerely,

Brenda M. Pardo

Brenda M. Pardo, Engineer III
Development Review Team
Office to Transportation Policy

[SharePoint\teams\DOT\Director's Office\Development Review\Brenda\Preliminary Plan\PP120230110 Chevy Chase Lake Block A\120230110-Chevy Chase Lake Block A-DOT Preliminary Plan Letter-Rev1_11.14.23](#)

Attachments: Approved Sight Distance Study

cc: Correspondence folder FY 2024

cc-e: Don Nelson VIKA
Mark Terry MCDOT DTEO
Atiq Panjshiri MCDPS RWPR
Sam Farhadi MCDPS RWPR
Rebecca Torma MCDOT OTP



MONTGOMERY COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
 DEPARTMENT OF PERMITTING SERVICES

SIGHT DISTANCE EVALUATION

Facility/Subdivision Name: Chevy Chase Lake Block A

Plan Number: 120230110

Street Name: Manor Road

Master Plan Road Classification: Secondary

Posted Speed Limit: 25 mph

Street/Driveway #1 (Driveway 1)

Street/Driveway #2 (Loughborough Place)

Sight Distance (feet)	OK?
Right <u>200</u>	<input checked="" type="checkbox"/>
Left <u>200</u>	<input checked="" type="checkbox"/>

Sight Distance (feet)	OK?
Right <u>200</u>	<input checked="" type="checkbox"/>
Left <u>200</u>	<input checked="" type="checkbox"/>

Comments: _____

Comments: _____

GUIDELINES

Classification or Posted Speed (use higher value)	Required Sight Distance in Each Direction*
Tertiary - 25 mph	150'
Secondary - 30	200'
Business - 30	200'
Primary - 35	250'
Arterial - 40	325'
(45)	400'
Major - 50	475'
(55)	550'

*Source: AASHTO

Sight distance is measured from an eye height of 3.5' at a point on the centerline of the driveway (or side street) 6' back from the face of curb or edge of traveled way of the intersecting roadway where a point 2.75' above the road surface is visible. (See attached drawing)

ENGINEER/ SURVEYOR CERTIFICATE

I hereby certify that this information is accurate and was collected in accordance with these guidelines.

[Signature] Date 9/11/23

52939

PLS/P.E. MD Reg. No.



Montgomery County Review:

Approved

Disapproved:

By: Brenda M. Pardo

Date: 10/26/23

November 16, 2023

Tsaiquan Gatling
Planner III
Montgomery County Planning Department
2425 Reedie Drive, Wheaton, MD 20902

Dear Mr. Gatling:

Thank you for the opportunity to review the Preliminary Plan Applications (No. **120230110**) for the **Chevy Chase Lake Block A development (SHA Tracking No. 23APMO018XX)**. The State Highway Administration (SHA) has reviewed the plans and we are pleased to respond.

Based on preliminary review, SHA finds the Stopping and Intersection Sight Distances acceptable, and has no objection to the reduced 8ft right of way truncations at the intersections of Connecticut Ave (MD 185) with Laird Place and Manor Road.

A Permit will be required for any improvements in the State's right of way. SHA recommends approval of the above referenced Application and reserves the right to provide additional comments as needed during the Access Permit review process.

If you have any questions or require additional information, please contact Mr. Kwesi Woodroffe at 301-513-7347, by using our toll free number (in Maryland only) at 1-800-749-0737 (x7347), or via email at kwoodroffe@mdot.maryland.gov.

Sincerely,



for Derek Gunn, P.E.
District Engineer, District 3, MDOT SHA

DG/kw

cc: Ms. Stephanie Dickel, Montgomery County Planning Department
Ms. Katherine Mencarini, Montgomery County Planning Department
Mr. Donald Nelson, VIKA
Mr. Joshua Sloan, VIKA



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

November 22, 2023

Mr. Don Nelson
VIKA
20251 Century Blvd, Suite 400
Germantown, Maryland 20874

Re: **COMBINED STORMWATER MANAGEMENT
CONCEPT/SITE DEVELOPMENT
STORMWATER MANAGEMENT PLAN** for
Chevy Chase Lake Block A
Preliminary Plan #: 120230110
SM File #: 289573
Tract Size/Zone: 80,404 SF/1,85 acres
Total Concept Area: 98,183 SF/2.25 acres
Lots/Block: Lots 1 – 12, Block 22
Parcel(s): N/A
Watershed: Lower Rock Creek/ Use Class 1
Redevelopment: YES

Dear Mr. Nelson:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above-mentioned site is **acceptable**. The plan proposes to meet required stormwater management goals via the use of Micro-Bioretenion planter boxes, and Green Roof. A structural facility (Stormfilter or DPS approved equivalent) is proposed for volume not able to be treated in ESD measures. In addition, since full stormwater management treatment could not be provided due to site constraints, a partial Stormwater Management waiver is requested for the remainder of the required treatment volume. A partial waiver of Stormwater Management requirements is hereby granted.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
2. An engineered sediment control plan must be submitted for this project.
3. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.
4. The underground facility is required to comply with Water Resources Technical Policy No.4 regarding access requirements.
5. Profiles and cross-sections drawn to scale will be required for each Micro-Bioretenion planter box at the final design stage.



2425 Reedie Drive, 7th Floor, Wheaton, Maryland 20902 | 240-777-0311
www.montgomerycountymd.gov/permittingservices

Mr. Don Nelson
11/22/2023
Page 2 of 2

6. The drainage areas represented on the concept must be honored at time of detailed plan review and no splitting of roof leaders to multiple Micro-Bioretention planter boxes will be acceptable.
7. Access to all Micro-Bioretention Planter Boxes on structure and all Green Roofs must be from a common area or community space.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 **is required.**

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Alex Weintraub at 240-777-6356; alexander.weintraub@montgomerycountymd.gov.

Sincerely,



Mark Etheridge, Manager
Water Resources Section
Division of Land Development Services

Cc: Neil Braunstein
SM File # 289573

ESD: Required/Provided 14602 CF / 6161 CF
PE: Target/Achieved: 2.15"/.91"
STRUCTURAL: 5100 CF
WAIVED: 3341 CF