MR2024006 – ROCKVILLE RNG INJECTION FACILITY



Description

Proposal to construct a temporary gas unloading station at the existing Rockville system located at 7301 Westmore Road, Rockville, MD



Montgomeryplanning.org MR2024006 Rockville RNG Injection Facility

Planning Staff



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Patrick Butler, Chief, Patrick.Butler@montgomeryplanning.org

LOCATION

7301 Westmore Road, Rockville, MD 20850

MASTER PLAN

2004 Upper Rock Creek Master Plan

PROPERTY SIZE

1.22 Acres (of 126.63 Acres of total property)

APPLICATION

Mandatory Referral

ACCEPTANCE DATE

December 6, 2023

REVIEW BASIS

Md. Land Use Article, Section 20-301, et seq.

🖹 Summary:

- Staff recommends Approval and transmittal of comments to Washington Gas.
- The proposed facility is temporary and will be in use for one year while pipeline is constructed.
- The Planning Board review of a Mandatory Referral is advisory.

SECTION 1 - RECOMMENDATIONS

Staff recommends Approval of the Mandatory Referral and the transmittal of the following comments to Washington Gas:

- 1. Except for emergencies related to the delivery of gas, trucks should not operate to and from the Property between nighttime hours of 9pm and 7am.
- 2. Minimize light pollution outside the station limits by positioning towers in strategic locations to limit light throw towards Westmore Road and focusing on high traffic areas within the station.

SECTION 2 - INTRODUCTION

Review Process

This proposal for the construction of a new RNG injection facility requires the Mandatory Referral review process under the Montgomery County Planning Department's Uniform Standards for Mandatory Referral Review. State law requires all federal, state, and local governments and public utilities to submit proposed projects for a Mandatory Referral review and approval by the Commission. The law requires the Planning Board to review and approve the proposed location, character, grade and extent of any road, park, public way or ground, public (including federal) building or structure, or public utility (whether publicly or privately owned) prior to the project being located, constructed or authorized.

SECTION 3 – PROJECT DESCRIPTION

Background

Washington Gas owns and operates a 120+ acre gas operations facility at 7301 Westmore Road, Rockville, MD. On this property, Washington Gas plans to build a Temporary Injection Facility ("TIF"), which is the subject of this Mandatory Referral.

Surrounding Neighborhood

The property is located between MD-355 and East Gude Drive, and confronts and abuts the City of Rockville properties to the west and south and Montgomery County to the north and east. The

immediately adjacent properties are zone IM and IH and are industrial/commercial in nature. The closest Residential neighborhood is Lincoln Park which is about 1,00 feet south of the proposed facility.



Figure 1: Vicinity and Zoning

Site Description

The property is located at 7301 Westmore Rd, Rockville MD, Tax Account number 00055883 on Tax Map/Grid GS341/GR343, Zoned IM-2.5 H-50, containing 126.63 AC ("Property"). The Property is currently developed and operated as a gas storage facility operated by Washington Gas. The proposed project will occur on approximately 1.21 acres of the overall Property located immediately adjacent to Westmore Road west of the existing site improvements.



Figure 2: Aerial View of Property

Project Description

Washington Gas plans to build a temporary Renewable Natural Gas (RNG) Injection Facility, which is the subject of this Mandatory Referral. The RNG facility will be in use for approximately 10-12 months. This facility will be the end point of a "virtual" pipeline. Commercial trucks will receive the renewable natural gas from a landfill in Prince William County, VA, transport it to the temporary RNG injection site at 7301 Westmore Road, and inject the renewable natural gas into the existing underground storage tanks already located on the Washington Gas gate station and storage site. Given the nature of the operations at the source point (landfill), the virtual pipeline must remain in continuous operation (24 hours a day, 7 days a week) until a permanent pipeline is built connecting the landfill to the WG system. Therefore, this RNG Injection Facility will receive a commercial truck approximately every 2-4 hours in a 24-hr period (with a maximum of 12 trucks within a 24-hr period). Once the RNG injection facility is online, the landfill will run 24 hours to refine the raw methane into pipeline quality renewable natural gas source. The refinement of the raw methane gas also assists with lowering greenhouse gas emissions at the source. There is no storage available at the source; therefore, without the ability to continuously fill trucks and transport the RNG to Rockville where storage exists, the landfill would be forced to burn it off (into the atmosphere) at the existing flare. Therefore, trucking operations are unable to regularly pause for any given amount of time without wasting energy on the refinement process and wasting the generated resource.

Lastly, upon permanent pipeline completion, the temporary RNG Injection Facility will be decommissioned and restored to its original site conditions as lawn and the virtual pipeline will cease operation.

Improvements on the Property are minimal and will include two construction entrances on Westmore Road, a gravel pad, natural gas utility equipment, small communications shed (SCADA Building) and three generators.



Figure 3: Proposed Site Improvements

SECTION 4 - MANDATORY REFERRAL ANALYSIS

Mandatory Referral review is guided by the Montgomery Planning Mandatory Referral Review Uniform Standards (December 2022), and the authority granted through the Maryland Land Use Article, Section 20-301, et.seq. As set forth in Sections 20-301 and -302, the Montgomery County Planning Board has jurisdiction over mandatory referral projects presented by Montgomery County government and Montgomery County Board of Education/Montgomery County Public Schools, for (i) acquiring or selling land; (ii) locating, constructing or authorizing a road, park, public way or ground, public building or structure, or public utility; or (iii) changing the use of or widening, narrowing, extending, relocating, vacating or abandoning any of the previously mentioned facilities. The Planning Board must review such projects and transmit comments on the proposed location, character, grade and extent of the activity.

As described in the Uniform Standards, the Planning Board considers all relevant land use and planning aspects of the proposal including, but not limited to, the following:

 whether the proposal is consistent with the County's General Plan, functional plans such as the master plan of highways, environmental guidelines, the approved and adopted area master plan or sector plan, and other public plans, guidance documents, or programs for the area;

The site is in the 2004 *Upper Rock Creek Master Plan* ("Plan") area. There are no site-specific recommendations for the property.

The overall goals of the Plan are to protect environmental resources, maintain stream quality, and preserve residential character. The plan also embraces the Maryland Economic Growth, Resource Protection and Planning Act of 1992, which established statewide planning objectives that would be implemented through local master plans. The proposed project directly aligns with the planning objective of conservation of resources, through the initiative of redistribution of renewable gas, which will be delivered and stored at the existing utility facility. Furthermore, sensitive areas are protected, as the proposed work does not impact any existing forests, wetlands, or streams.

More specifically, the Plan talks about the industrial areas near the Gude Drive/Southlawn Lane area in the City of Rockville and that it had prompted annexation requests from owners of property zoned for heavy industry, who wanted to take advantage of the city's Service Industrial Zone, which allowed a wider array of light industrial and service uses than the County's heavy industrial I-2 Zone (now IM Zone). These requests raised concerns about the impact of reductions in the overall inventory of heavy industrial land on the County's ability to provide these important but sometimes unattractive land uses.

Some portions of the Gude Drive/Southlawn Lane area are generally light industrial in character, even though parts of the area are classified in the IM Zone. Other areas in the IM Zone retain a heavy industrial character. The majority of land zoned for heavy industry in the County is devoted to mineral extraction or utility operations that are unlikely to change over time, leaving the Gude/Southlawn area as the only place in the County with zoning, ownership, and use patterns suitable for a variety of heavy industrial activities.

The proposed use will not change the zoning of the property and will maintain the existing industrial character of the neighborhood.

2. whether the proposal is consistent with the intent and the requirements of the zone in which it is located;

The Property is zoned Medium Industrial (IM) and is home to the existing Washington Gas facility. This addition of a temporary injection facility is is permitted in the zone and is compatible with both the existing use on the property and the underlying IM zone.

3. whether the nature of the proposed site and development, including its size, shape, scale, height, arrangement, design of structure, massing, setback(s), site layout, and location(s) of parking is compatible with the surrounding neighborhood and properties;

The actual onsite improvements are minimal consisting of two construction entrances on Westmore Road, a gravel pad, natural gas utility equipment, small communications shed (SCADA Building) and three generators. No impact is expected from the physical improvements.

However, Staff requested the applicant provide a landscape and lighting plan for the project which included landscaping at the two access points to soften the edge along the public roadway. The applicant has provided this with this Application.

Additionally, Staff looked at noise, generators, and lighting for compatibility:

Noise

Washington Gas will comply with Montgomery County's Noise ordinance for the duration of the project.

Generators

Generators will power the Temporary Renewable Gas Injection Facility. The generators will be in use continuously (24/7) throughout the operation running noise at the generator will be 74 dBa. The noise level at the nearest receiving area/adjacent property is less than 62 dBA which complies with Sec. 31B-5 (a) of the Montgomery County Noise Ordinance which states that the maximum allowable noise level for receiving noise areas (non-residential) in the daytime is 67 dBA and 62 dBA at night.

Lighting

The proposed facility, once constructed and in operation, will have five (5) light towers to illuminate the parking area and equipment on site. Lighting will be designed to provide ample

light to safely operate the large truck and natural gas equipment. The lighting design will also consider excess light pollution outside the station limits by positioning towers in strategic locations to limit light throw towards Westmore Road and focusing on high traffic areas within the station.

4. whether the locations of buildings and structures, the open spaces, the landscaping, recreation facilities, and the pedestrian and vehicular circulation systems are adequate, safe, and efficient;

The entrance of the proposed facility is on Westmore Road, which is not a thru street and dead ends before reaching the major road, Hungerford Drive, to the west. The proposed use of the facility will not increase traffic on the lightly used road, which is mainly occupied by industrial, warehouse units on the south side of the road. The entire north side of the road is occupied by the Washington Gas property.

The truck route has been selected so as to limit truck movements through the Rockville core by using a northern approach utilizing highways and major collectors rather than local roads to the extent possible.

A continuous flagging operation will occur at the Dover Road/Horners Lane intersection to facilitate safe movement of trucks and local traffic at this intersection.

The site design has two access points one for entering trucks and one for exiting trucks. This design allows for the truck to pull onto the Property unload and exit the property in a safe adequate and efficient matter.

5. whether the proposal has an approved NRI/FSD and a preliminary SWM concept plan, and meets the requirements of the Forest Conservation Law (Chapter 22A of the County Code). Forest Conservation Plan, if applicable, must be approved by the Planning Board, either before or at the time of the Board's mandatory referral review and action on the project. Unlike the mandatory referral review by the Board, the conditions of the Forest Conservation Plan are binding on all county projects and require a Resolution of Approval.

The Application is subject to Chapter 22A and has been granted a Forest Conservation Exemption number 42024038E which was approved on September 5, 2023. The exemption was granted under Section 22A-5(t)(1) for modifications to an existing non-residential developed property. The activity does not result in forest loss. No streams, stream buffer or environmental buffers will be impacted. The activity does not require approval of a preliminary plan, administrative subdivision plan, conditional use or special exception. The modification does not increase the developed area by more than 50% and does not propose any residential uses.

The project was granted a wavier from the Stormwater Management requirements by MCDPS on October 16, 2023. The project was required to get an engineered sediment control plan. The sediment control plan was approved by MCDPS on January 9, 2024.

6. whether a Preliminary or a Final Water Quality Plan has been reviewed by the Planning Board if the project is located in a Special Protection Area. In addition, for a Water Quality Plan for a project on public property, the Board must determine if the plan meets the standards of Article V. WATER QUALITY REVIEW IN SPECIAL PROTECTION AREAS, of the County Code (pursuant to Section 19-65(d)(4));

This Property is not in a Special Protection Area

7. whether or not the site would be needed for park use if the proposal is for disposition of a surplus school.

This Property is not a surplus school site

8. whether alternatives or mitigation measures have been considered for the project if the proposal is inconsistent with the General Plan or other plans and policies for the area, or has discernible negative impacts on the surrounding properties or neighborhood, the transportation network, the environment, historic resources (including burial sites) or other resources.

The project is not inconsistent with the General Plan or other plans and policies for the area, or has discernible negative impacts on the surrounding properties or neighborhood, the transportation network, the environment, historic resources (including burial sites) or other resources.

Two possible impacts would be from the access route on Horners Lane and light pollution.

The truck route was specifically planned to minimize impacts on the surrounding community. In the local area of the Property, the trucks will primarily travel through the industrial district along Gude Drive and Dover Road. At the flagger-controlled intersection of Dover Road and Horners Lane, the trucks and associated flagger lighting are in the vicinity of the cemetery, not in proximity to any residential homes. There is only an approximate 620-foot stretch of roadway along N. Horners Lane that runs behind residential homes – refer to Truck Route Exhibit. These residential homes are set back approximately 48'+/- from the curb line at the closest point, while most are 100' or more away from the travel lane and largely buffered from the street by mature trees and open space. Notably, given the alignment of the roadway and the existing landscaping, the trucks will not be oriented directly towards any residence; thus, there are no anticipated adverse lighting impacts on the nearby residential homes. Trucks will be driving at low speeds in normal traffic operations; no backup alarms should be needed. When considering this in combination with the infrequency of the trips, adverse noise impacts will be limited on the surrounding community to those that are standard to any larger trucks entering/exiting the industrial area where the temporary injection Facility ("TIF") is located. And, as noted in Washington Gas's narrative, the proposed TIF and associated Virtual Pipeline are only temporary in nature. The TIF is anticipated to operate only through the end of 2024.

Lighting should be positioned internal to the site and to minimize impact to neighboring properties.

With the temporary nature of the project, long-term issues are not anticipated.

TRANSPORTATION VEHICULAR ACCESS

Vehicular access to the Site is derived from Westmore Road, which is classified as an Industrial Street in the 2021 *Complete Streets Design Guide.* The closest major streets to the Subject Property are Hungerford Drive/Frederick Road ("MD 355") to the west and East Gude Drive to the east. Westmore Road is divided from Hungerford Drive/Frederick Road by a combination of Amtrak, CSX Transportation, and WMATA heavy rail lines. Westmore Road's terminus directly abuts the railroad tracks. East Gude Drive is the only major street that provides almost direct access to the facility. Further access to the Subject Property is provided via Westmore Avenue/Horners Lane and Dover Road, the latter of which is directly connected to East Gude Drive. East Gude Drive is almost one full mile from the Subject Property; the site has no frontage on East Gude Drive. Westmore Avenue, Horners Lane, and Dover Road are all categorized as Industrial Streets in the *Complete Streets Design Guide.*

LOCAL AREA TRANSPORTATION REVIEW

Both sides of Westmore Road, the Property frontage and primary entrance point, contains miscellaneous industrial and warehousing uses. A maximum number of twelve trucks delivering compressed natural gas are projected to enter the facility every 2-4 hours over a 24-hour time frame.

The Property is located in the Derwood Policy Area, which is categorized as an Orange Policy Area under the 2020 – 2025 *Growth and Infrastructure Policy* (the "GIP"). As demonstrated via the Applicant's Traffic Exemption Statement ("TES") dated April 12th, 2023, The facility will generate a maximum of 6 net-new person trips during the AM peak-hour period and an additional 6 during the PM peak-hour period. As this is below the 50-person threshold to trigger a full-scale transportation study, the Application is not subject to additional Local Area Transportation Review ("LATR") and is exempt from completing further transportation adequacy analysis.

		Trip Gen	eration			
		AM Peak Houi	ſ		PM Peak Houi	~
	In	Out	Total	In	Out	Total
*Based on maximum anticipated truck delivery intervals	3	3	6	3	3	6
		Total Trips	12			

PEDESTRIAN AND BICYCLE FACILITIES

There are no existing pedestrian or bicycle facilities within the vicinity of the Subject Property. The closest pedestrian facilities exist on Horners Lane, which straddles the border between Derwood and the City of Rockville. Master-planned bikeways exist on East Gude Drive, but otherwise have no significant impact on the proposed use of the Subject Property.

PUBLIC TRANSIT SERVICE

No public transportation routes serve the facility directly. The nearest bus stop serves Ride On Route 59, which provides service to Rockville Metrorail Station and Montgomery Village. The bus stop, located on Moore Drive and Frederick Avenue in the City of Rockville, is approximately a quarter mile from the entrance to the Site.

PARKING

The facility contains an internal parking lot with a total of 26 spaces. As part of this Application, the Applicant is not proposing additional parking spaces to serve the Site.

Environment

ENVIRONMENTAL GUIDELINES

A Forest Conservation Exemption Request #42024038E was approved by Staff on September 5, 2023. There are no streams, floodplains, wetlands, or environmental buffers affected by the Project.

FOREST CONSERVATION

The Application is subject to Chapter 22A and has been granted a Forest Conservation Exemption number 42024038E which was approved on September 5, 2023. The exemption was granted under Section 22A-5(t)(1) for modifications to an existing non-residential developed property. The activity does not result in forest loss. No streams, stream buffer or environmental buffers will be impacted.

The activity does not require approval of a preliminary plan, administrative subdivision plan, conditional use or special exception. The modification does not increase the developed area by more than 50% and does not propose any residential uses.

STORMWATER MANAGEMENT

The project was granted a waiver from the Stormwater Management requirements by MCDPS on October 16, 2023.

SECTION 5 - COMMUNITY OUTREACH

After staff accepted the Mandatory Referral for review, Montgomery Planning notified local civic and homeowners' associations and other interested parties of this proposal. As of the date of this report, no correspondence has been received in regard to this application.

SECTION 6 - CONCLUSION

Staff recommends Approval and the transmittal of comments to Washington Gas.

Attachments: Attachment A: Mandatory Referral Plans Attachment B: Applicant's Supplemental Letter Attachment C: Sediment Control Plan Attachment D: MCDPS Stormwater Management Waiver Letter

Attacment A:

Dewberry

RNG INJECTION FACILITY ROCKVILLE, MD MANDATORY REFERRAL NARRATIVE

APPLICANT:

Washington Gas 6801 Industrial Road Springfield, VA 22151 Contact: Morgan Smith; mrsmith@washgas.com

Site Information

Address: 7301 Westmore Road, Rockville, MD 20850 LOD: 53,183 SF/ 1.22 AC Total Property Area: ±5,516,003 SF / 126.63 AC Tax Account: 00055883 Tax Map/Grid: GS341/GR343 WSSC Grid: 220NW07/219NW07 Election District: 4 Zoning: IM-2.5 H-50 Legal Description: VALENTINES GAR ENL E TC MDE 12-Digit Watershed: Middle Rock Creek (021402060837) Water Use Designation: IV

Project Background & Scope

Washington Gas owns and operates a 120+ acre underground natural gas storage facility in Rockville, MD located at 7301 Westmore Road. On this property, Washington Gas plans to build a Temporary Renewable Natural Gas (RNG) Injection Facility, which is the subject of this Mandatory Referral. The RNG facility will be in use for approximately 10-12 months. The RNG facility will consist of two construction entrances on Westmore Road, a gravel pad, natural gas utility equipment, small communications shed (SCADA Building) and three generators. This facility will be the end point of a "virtual" pipeline. Commercial trucks will receive the renewable natural gas from a landfill in Prince William County, VA, transport it to the temporary RNG injection site at 7301 Westmore Road, and inject the renewable natural gas into the existing underground storage tanks already located on the Washington Gas gate station and storage site.



Figure 1. Preliminary Virtual Pipeline Route

Given the nature of the operations at the source point (landfill), the virtual pipeline must remain in continuous operation (24 hours a day, 7 days a week) until a permanent pipeline is built connecting the landfill to the WG system. Therefore, this RNG Injection Facility will receive a commercial truck every 2-4 hours in a 24-hr period (with a maximum of 12 trucks within a 24-hr period). Once the RNG injection facility is online, the landfill will run 24 hours in order to refine the raw methane into pipeline quality renewable natural gas source. The refinement of the raw methane gas also assists with lowering greenhouse gas emissions at the source. There is no storage available at the source; therefore, without the ability to continuously fill trucks and transport the RNG to Rockville where storage exists, the landfill would be forced to burn it off (into the atmosphere) at the existing flare. Therefore, trucking operations is unable to regularly pause for any given amount of time without wasting energy on the refinement process and wasting the generated resource.

Lastly, upon permanent pipeline completion, the temporary RNG Injection Facility will be decommissioned and restored to its original site conditions as lawn and the virtual pipeline will cease operation.

Other Approvals City of Rockville

Washington Gas has coordinated with the City of Rockville on the virtual pipeline route and has received approval for the commercial trucks to pass through the City limits with flagger assistance at Dover Rd and Horners Ln. They have received a Right of Way permit to establish a long-term, continuous flagging operation for the duration of the project.

Montgomery County DPS

Washington Gas has submitted a Sediment and Erosion Control Plan to the Montgomery County Department of Permitting Services. They have also submitted a Right of Way permit application for the two construction entrances on Westmore Road and will submit a building permit application for the SCADA Building.

Montgomery County General Plan Compliance

The site is subject to the Upper Rock Creek Master Plan (2004). The primary goals of the Plan are to protect environmental resources, maintain stream quality, and preserve residential character. The plan also embraces the Maryland Economic Growth, Resource Protection and Planning Act of 1992, which established statewide planning objectives that would be implemented through local master plans. The proposed project directly aligns with the planning objective of conservation of resources, through the initiative of redistribution of renewable gas, which will be delivered and stored at the existing utility facility. Furthermore, sensitive areas are protected, as the proposed work does not impact any existing forests, wetlands, or streams.

Pedestrian and Bicycle Impact Statement

There are no existing or proposed pedestrian or bicycle facilities in the proximity of the project site and therefore no pedestrian or bicycle improvements are proposed or required.

Cultural/Historic Resources

This property is not designated as historic nor does it impact, abut, or otherwise present a proximity impact to a historic resource.

Parkland Impacts

There are no parkland impacts as a result of this project.

Environmental Resources

While there are environmental resources on the 100+ acre property, there are none within or in the immediate vicinity of the project site. The project site is not within or in the vicinity of the 100-yr floodplain, wetlands, streams, or associated buffers. The project does involve the addition of impervious surfaces; however, no trees or forests will be cut down or impacted in any way due to the construction. Due to the existing conditions of this project a Storm Water Management Exemption has been requested.

Other Local Area Impacts Noise

Washington Gas will comply with Montgomery County's Noise ordinance for the duration of the project.

Generators

The proposed facility will use 3-30 kilowatt NG Generators to power the Temporary Renewable Gas Injection Facility. The generators will be in use continuously (24/7) throughout the operation. The noise level at the nearest receiving area/adjacent property is less than 62 dBA which complies with Sec. 31B-5 (a) of the Montgomery County Noise Ordinance which states that the maximum allowable noise level for receiving noise areas (nonresidential) in the daytime is 67 dBA and 62 dBA at night.

Traffic

The proposed facility, once constructed and in operation, will see, on average, 1 truck access the site every 2-4 hours (with a maximum of 12 trucks in a single 24-hour period). This will be a 24-hour, continuous operation with no limitations on nighttime services due to the nature of the source (landfill) emitting RNG continuously throughout the 24-hour period. The entrance of the proposed facility is on Westmore Road, which is not a thru street and dead ends before reaching the major road, Hungerford Drive, to the west. The proposed use of the facility will not increase traffic on the lightly used road, which is mainly occupied by industrial, warehouse units on the south side of the road. The entire north side of the road is occupied by the Washington Gas property.

The truck route has been selected so as to limit truck movements through the Rockville core- see Figure 1 which shows a northern approach utilizing highways and major collectors rather than local roads to the extent possible.

Refer to Other Approvals- City of Rockville section above; a continuous flagging operation has been permitted at the Dover Road/Horners Lane intersection to facilitate safe movement of trucks and local traffic at this intersection.

Lighting

The proposed facility, once constructed and in operation, will have five (5) light towers to illuminate the parking area and equipment on site. Lighting will be designed to provide ample light to safely operator the large truck and natural gas equipment. The lighting design will also consider excess light pollution outside the station limits by positioning towers in strategic locations to limit light throw towards Westmore Road and focusing on high traffic areas of the station.

Architecture and Green Building Components

The SCADA building, which acts as a small communications equipment shed, is 8'x8' and is approximately 10' tall.

Schedule and Funding

This project is privately funded by the utility and their virtual pipeline partner, OPAL.

Washington Gas desires the project to be online and the virtual pipeline operation active by the end of Q1 2024. The temporary operation will likely run through the end of 2024 in order for the pipeline to be built/available and the temporary facility removed and restored in kind.





LEGEND:

212
210
- 0 0 0
OHE

EXISTING PROPERTY LINE EXISTING ADJACENT PROPERTY LINE EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING TREE LINE EXISTING TREE LINE EXISTING FENCE EXISTING STREAM EXISTING ROAD EXISTING BUILDING EXISTING SIDEWALK/CONCRETE EXISTING OVERHEAD ELECTRIC LIMITS OF DISTURBANCE (LOD)

GENERAL NOTES:

 LIMITS OF DISTURBANCE: 53,183 SF (1.22 AC) IMPERVIOUS EXISTING: 1,895 SF (0.05 AC) IMPERVIOUS TEMPORARY: 33,897 SF (0.79 AC) IMPERVIOUS PROPOSED: 2380 SF (0.05 AC) TOTAL PROPERTY AREA: 5,516,003 SF (126.63 AC)

- 2. LOCATION: ON WESTMORE ROAD, APPROX. 1,600 FT SOUTHEAST OF E. GUDE DRIVE AND HUNGERFORD DRIVE INTERSECTION
- 3. PROPERTY OWNER: WASHINGTON GAS LIGHT CO.
- 4. APPLICANT: WASHINGTON GAS 6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151
- 5. ZONING: IM-2.5 H-50
- 6. USE EXISTING/PROPOSED: UTILITY WASHINGTON GAS LIGHT -OPERATING PROPERTY
- 7. WSSC GRID: 220NW07/219NW07
- 8. TAX ID: 00055883
- 9. ELECTION DISTRICT: 4
- 10. MAP: GS341/ GR343
- 11. COORDINATES AND BEARINGS SHOWN HEREON ARE DERIVED FROM THE MARYLAND STATE PLANE COORDINATES NAD83 (2011 ADJUSTMENT) DERIVED FROM NGS NSRS USING THE REAL TIME NETWORK "KEYNETGPS" OPERATED BY TRIMBLE VRS NETWORK.

GPS RECEIVER TECHNICAL DATA: TRIMBLE R8 ROVER GEODETIC GNSS RECEIVER (GPS L1/L2/L2C, GLONASS FREQUENCIES) SEE SURVEY CONTROL TABLE. THIS SHEET

- 12. THERE ARE NO KNOWN NATURAL RESOURCES ON THIS SITE. THEREFORE NO PROPOSED CLEARING OF ANY FOREST.
- 13. THIS SITE DOES NOT LIE WITHIN A 100-YR FLOODPLAIN.
- 14. THIS SITE DOES NOT LIE WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- 15. THIS PROPERTY IS SUBJECT TO THE UPPER ROCK CREEK AREA MASTER PLAN, ADOPTED 2004
- 16. THERE ARE NO HISTORIC RESOURCES OR CEMETERIES WITHIN THIS SITE.

POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	521771.74	1268976.25	452.41	TRV/1
2	521852.62	1269612.77	454.14	TRV/2RC
3	522024.08	1270465.23	433.10	TRV/3RC
4	521113.41	1270425.88	439.77	TRV
33	522023.95	1270465.22	433.07	TRV

Dewberry[®]

Dewberry Engineers Inc.

10461 MILL RUN CIRCLE SUITE 300 OWINGS MILLS, MARYLAND 21117 PHONE: 410.265.9500 FAX: 410.265.8875

OWNER/APPLICANT WASHINGTON GAS A WGL COMPANY

6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151 ATTN: MORGAN SMITH

MRSMITH@WASHGAS.COM PHONE: 703.750.4205



SEAL



Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: January 14, 2023.

SCALE





MANDATORY REFERRAL

SITE PLAN





	LIMITS OF DISTURB
	PROPOSED GRAVE
	PROPOSED FENCE
	PROPOSED GAS EC
2	PROPOSED MINOR
0	PROPOSED MAJOR
<u>₩</u>	PROPOSED TEMPO



PROPOSED

CHAPTER 59 MONTGOMERY COUNTY ZONING ORDINANCE, TABLE 4.8.3A

IL AND IM ZONES, STANDARD METHOD DEVELOPMENT STANDARDS

REQUIRED

E, TRACT ≤ 10,000 SF	5%	N/A
E, TRACT > 10,000 SF	10%	N/A
R OPEN SPACE		

2.5 <0.0001

A. ANY AREA USED EXCLUSIVELY FOR MECHANICAL EQUIPMENT IS EXCLUDED FROM THE MAXIMUM DENSITY CALCULATION, AND ANY AREA EXCLUDED FROM THIS CALCULATION THAT EXCEEDS THE FAR OF THE ZONE MUST BE USED ONLY FOR THIS PURPOSE. THE TOTAL AREA OF ANY PARTIAL FLOORS OR STORIES EXCLUDED FROM THE MAXIMUM

	10'-0"	128'-0"
К	10'-0"	956'
TING AGRICULTURAL, RESIDENTIAL DETACHED, NHOUSE ZONES	SEE SECTION 4.1.8.A	N/A
ING INDUSTRIAL ZONES	0'-0"	1,620'
ING ALL OTHER ZONES	10'-0"	N/A
TING AGRICULTURAL, RESIDENTIAL DETACHED, NHOUSE ZONES	SEE SECTION 4.1.8.A	N/A
TING INDUSTRIAL ZONES	0'-0"	1,026'
TING ALL OTHER ZONES	10'-0"	N/A
Y	0'-0"	N/A
FOR SURFACE PARKING LOT	ΓS (MIN)	
	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
<	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
,	MUST ACCOMMODATE LANDSCAPING REQUIRED	N/A

5	50'	N/A
TURE	50'	10'-0"
ELEMENTS		
	YES	NO
	YES	NO
	YES	NO

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PROJECT NO.

SHEET NO.

50147954

2 OF 2

MR2024006





LEGEND:

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- EXISTING POWER POLE
- LIMITS OF DISTURBANCE (LOD)
- PROPOSED LIGHT
- PROPOSED GRAVEL PAD
- PROPOSED FENCE
- FOOTCANDLE
- PROPOSED SHRUB



Dewberry Engineers Inc.

10461 MILL RUN CIRCLE SUITE 300 OWINGS MILLS, MARYLAND 21117 PHONE: 410.265.9500 FAX: 410.265.8875

OWNER/APPLICANT WASHINGTON GAS A WGL COMPANY

6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151 ATTN: MORGAN SMITH

MRSMITH@WASHGAS.COM PHONE: 703.750.4205



SEAL

SCALE







PROJECT NO.

SHEET NO.

50147954

1 OF 2

MR2024006



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THE LANDSCAPE CONTRACTOR SHALL, AT LEAST TEN (10) DAYS BEFORE BEGINNING PLANTING OPERATIONS, SUBMIT A LIST OF PLANTING MATERIAL SOURCES GIVING THE NURSERY NAME, ADDRESS AND PHONE NUMBER FOR EACH PLANT MATERIAL REQUIRED ON THE JOB. THE TOTAL NUMBER OF PLANTS ARE SHOWN ON THE LANDSCAPE PLAN. IF THIS TOTAL DIFFERS

TIME OF PLANTING: Ε.

NOT TO SCALE

F. MULCH:

OTHER THAN WITHIN THE SWM FACILITIES, MULCH SHALL BE UTILIZED IN MULCH BEDS AN SHALL BE SHREDDED HARDWOOD. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE (1) POUND SAMPLE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO ANY INSTALLATION. MULCH SHALL BE APPLIED TO A DEPTH OF TWO (2) INCHES WITHIN 24 HOURS OF INSTALLATION OF PLANT MATERIALS.

G. TREE WRAP

H. PRUNING

I. TOPSOIL

SPREAD TOPSOIL 4" MINIMUM DEPTH OVER ALL LANDSCAPE AND SEEDING AREAS. TOPSOIL SHALL BE USED FOR BACKFILL OF ALL PLANTING HOLES.

J. CLEAN-UP AND RESTORATION:

1. DURING THE COURSE OF PLANTING, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED, LAWN AREAS KEPT CLEAR, AND ALL REASONABLE PRECAUTIONS TAKEN TO AVOID DAMAGE OF EXISTING LAWNS, PAVING, ETC.

K. WATER:

WATER FOR PLANTING AND MAINTENANCE PURPOSES WILL BE SUPPLIED BY THE LANDSCAPE CONTRACTOR TO THE REQUIRED LOCATIONS. THE LANDSCAPE CONTRACTOR SHALL WATER ALL PLANTS WITHIN 24 HOURS OF ARRIVAL ON THE PROJECT SITE. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO TRANSPORT THE WATER FROM THE SOURCE ADEQUATELY AND AS OFTEN AS NECESSARY TO ENSURE PROPER PLANT GROWTH AND TO KEEP THE SOIL MOIST AND IN A CONDITION SATISFACTORY TO THE OWNER'S REPRESENTATIVE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANTS AND SEEDING FROM THE TIME OF PLANTING UNTIL THE FINAL INSPECTION.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GUARANTEE OF ALL PLANTING AND SEEDING FOR ONE (1) YEAR AFTER INITIAL ACCEPTANCE. UPON WRITTEN REQUEST BY THE LANDSCAPE CONTRACTOR THE OWNER'S REPRESENTATIVE SHALL REVIEW THE PLANTING AND SEEDING FOR CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. REVIEW FOR INITIAL ACCEPTANCE OF SEEDING SHALL ONLY OCCUR AFTER 85% OF THE SEED HAS GERMINATED AND PROVIDES A VISIBLE COVER. REVIEW OF THE PLANTING SHALL OCCUR ONLY WHEN ALL OF THE PLANTING IN A PROJECT SECTION IS COMPLETE. PLANTING AND SEEDING WHICH DIE OR ARE IN POOR CONDITION AFTER INITIAL ACCEPTANCE SHALL BE REPLACED ONCE BY THE LANDSCAPE CONTRACTOR AS PART OF THEIR ONE (1) YEAR GUARANTEE AND PRIOR TO FINAL ACCEPTANCE.

PLANT SPECIFICATIONS

FRACTOR SHALL FURNISH AND INSTALL ALL PLANT MATERIALS, LABOR AND OTHER MATERIALS RY TO COMPLETE THE WORK AS SHOWN ON THE PLANS AND DETAILS.

LS AND METHODS

MATERIALS AND METHODS SHALL COMPLY WITH ALL REQUIREMENTS OF THE CURRENT EDITION HE "AMERICAN STANDARD FOR NURSERY STOCK" AS PREPARED BY THE AMERICAN CIATION OF NURSERYMEN, AND AS MODIFIED HEREIN.

JTIONS

LANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL FY THE OWNER'S REPRESENTATIVE BEFORE BIDDING, ALONG WITH A RECOMMENDED STITUTION, AND A LIST OF EACH NURSERY THAT WAS CONTACTED TO PROCURE THE ORIGINAL T TYPE. THE LIST SHALL INCLUDE THE NURSERY NAME, ADDRESS, PHONE NUMBER AND FAX.

OWNER OR OWNER'S REPRESENTATIVE MAY SELECT A REASONABLE ALTERNATIVE.

ANDSCAPE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ANY EXISTING RGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANT INSTALLATION. THE LANDSCAPE FRACTOR SHALL CALL "MISS UTILITY" (1-800-257-7777) A MINIMUM OF 48 HOURS PRIOR TO STRUCTION.

D. PLANT MATERIAL SOURCES AND QUANTITY

FROM THE PLANTING SCHEDULE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE BEFORE BIDDING.

PLANTING SEASON SCHEDULE SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" AS PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT PINES AND OAKS DURING SPRING PLANTING SEASON ONLY.

PER DETAILS THIS SHEET. IF TREE TAPE IS USED, THEN SUBMIT SPECIFICATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE APPLICATION; INCLUDE MATERIALS AND METHODS, INCLUDING REMOVAL SCHEDULE.

THE LANDSCAPE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

TOPSOIL SHALL HAVE A PH RANGE 5.5 TO 7.4, 1.5 PERCENT ORGANIC MATERIAL MINIMUM, AND BE FREE OF STONES 1 INCH (25MM) OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

TOPSOIL SOURCE: REUSE TOPSOIL STOCKPILED ON THE SITE. VERIFY SUITABILITY OF TOPSOIL TO MEET REQUIREMENTS AND AMEND WHEN NECESSARY. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

2. THE LANDSCAPE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL PAVEMENTS, SODDED AND PLANTED AREAS, STRUCTURES AND SUBSTRUCTURES, NOT SPECIFICALLY PROVIDED FOR IN THE CONTRACT, WHICH ARE DISTURBED BY THE LANDSCAPE CONTRACTOR DURING PLANTING OPERATIONS. SUCH RESTORATION SHALL BE IN A MANNER SATISFACTORY TO THE OWNER'S REPRESENTATIVE AND AT NO ADDITIONAL COST TO THE OWNER.

L. GUARANTEE / CONTRACTOR MAINTENANCE PERIOD

M. FINAL ACCEPTANCE / INSPECTION:

THE OWNER'S REPRESENTATIVE SHALL MAKE A FINAL ACCEPTANCE INSPECTION UPON WRITTEN REQUEST BY THE LANDSCAPE CONTRACTOR, AND SHALL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, WHEN ALL WORK IS SATISFACTORILY COMPLETED. IF THE WORK IS NOT SATISFACTORILY COMPLETED, THE OWNER'S REPRESENTATIVE WILL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, AS TO THE DEFICIENCIES IN THE WORK AND THE NECESSARY CORRECTIVE MEASURES. A REASONABLE AMOUNT OF TIME WILL BE GIVEN FOR LANDSCAPE CONTRACTOR TO ADDRESS DEFICIENCIES DEFINED BY OWNER'S REPRESENTATIVE. AND ANOTHER FINAL ACCEPTANCE INSPECTION WILL BE SCHEDULED BY THE OWNER'S REPRESENTATIVE UPON WRITTEN REQUEST BY THE LANDSCAPE CONTRACTOR. UPON FINAL ACCEPTANCE, THE LANDSCAPING AND SEEDING SHALL BE THE RESPONSIBILITY OF THE OWNER.



Dewberry Engineers Inc.

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OWNER/APPLICANT WASHINGTON GAS A WGL COMPANY

6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151 ATTN: MORGAN SMITH MRSMITH@WASHGAS.COM PHONE: 703.750.4205

WASHINGTON GAS RNG INJECTION FACILITY	WSSC: 220NW07, 219NW07	TAX MAP: GS341, GR343	GAS STORAGE FACILITY	7301 WESTMORE ROAD	ROCKVILLE, MD 20850
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SEAL

SCALE

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MR2024006

SHEET NO.

Attachment B:

Supplemental Statement Washington Gas Mandatory Referral No. MR2024006

The proposed Temporary Injection Facility ("TIF") for renewable natural gas deliveries on the existing Washington Gas property located at 7301 Westmore Road, Rockville, MD ("Property") and the associated Virtual Pipeline (renewable natural gas transportation via truck) operation will have only *de minimus* impacts on the surrounding community. There will be a maximum of 12 trucks accessing the Property in any given 24-hour period. Of those, it is estimated that 5 trucks will come to the Property during noise restricted hours of 9 pm to 7 am. As discussed herein, those after-hours truck deliveries are essential, as the renewable natural gas will otherwise be burned and released to the atmosphere during the evening hours if not captured and injected.

The truck route was specifically planned to minimize impacts on the surrounding community. In the local area of the Property, the trucks will primarily travel through the industrial district along Gude Drive and Dover Road. At the flagger-controlled intersection of Dover Road and Horners Lane, the trucks and associated flagger lighting are in the vicinity of the cemetery, not in proximity to any residential homes. There is only an approximate 620-foot stretch of roadway along N. Horners Lane that runs behind residential homes – refer to Truck Route Exhibit. These residential homes are set back approximately 48'+/- from the curb line at the closest point, while most are 100' or more away from the travel lane and largely buffered from the street by mature trees and open space. Notably, given the alignment of the roadway and the existing landscaping, the trucks will not be oriented directly towards any residence; thus, there are no anticipated adverse lighting impacts on the nearby residential homes. Trucks will be driving at low speeds in normal traffic operations; no backup alarms should be needed. When considering this in combination with the infrequency of the trips, adverse noise impacts will be limited on the surrounding community to those that are standard to any larger trucks entering/exiting the industrial area where the TIF is located. And, as noted in Washington Gas's narrative, the proposed TIF and associated Virtual Pipeline are only temporary in nature. The TIF is anticipated to operate only through the end of 2024.



400'

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OWNER/APPLICANT WASHINGTON GAS A WGL COMPANY

6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151 ATTN: MORGAN SMITH

ATTN: MORGAN SMITH MRSMITH@WASHGAS.COM PHONE: 703.750.4205

SCALE 0' 50' 100' **1"=50'**

TRUCK ROUTE EXHIBIT

PROJECT NO.

50147954

Attacment C:

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	CERTIFICATION OF T	HE QUANTITIES	
	I HEREBY CERTIFY THAT THE ESTIMA ON THESE PLANS HAS BEEN COMPUT <u>176.05 CUBIC YARDS</u> OF FILL AND THE PLANS HAS BEEN DETERMINED TO BE Digitally S	TED TOTAL AMOUNT OF EXCA TED TO <u>65.03 CUBIC YARDS</u> OF TOTAL AREA TO BE DISTURE 6 <u>3,853 SQUARE FEET</u> . signed by Lisa	VATION AND FILL AS SHOWN EXCAVATION, BED AS SHOWN ON THESE
	D Date: 202 可 型形的9:39	<u>4.01.02</u> 05'00'	DATE
	LISA R. BETZ		33959
	I/WE HEREBY CERTIFY THAT ALL CLEADEVELOPMENT WILL BE DONE PURSUPERSONNEL INVOLVED IN THE CONST ATTENDANCE AT A DEPARTMENT OF IFOR THE CONTROL OF SEDIMENT AND	ARING, GRADING, CONSTRUCT ANT TO THIS PLAN AND THAT RUCTION PROJECT WILL HAV NATURAL RESOURCES APPRO D EROSION BEFORE BEGINNIN	TION, AND OR ANY RESPONSIBLE E A CERTIFICATE OF OVED TRAINING PROGRAM IG THE PROJECT.
	Mz- LH SIGNATURE		03-Jan-2024
	Morgan Smith	Process Enginee	r
	PRINTED NAME AND TITLE		
	I HEREBY CERTIFY THAT THIS PLAN H MARYLAND STANDARDS AND SPECIF MONTGOMERY COUNTY DEPARTMEN 5-90, 7-02AM AND 36-90, AND MONTGO TRANSPORTATION "STORM DRAIN DE Digitally signe	ON AS BEEN PREPARED IN ACCO CATION FOR SOIL EROSION A T OF PERMITTING SERVICES E OMERY COUNTY DEPARTMENT SIGN CRITERIA" DATED AUGU ed by Lisa R.	RDANCE WITH THE "2011 ND SEDIMENT CONTROL," EXECUTIVE REGULATIONS OF PUBLIC WORKS AND ST 1988.
	DI ASUK. (Set Betz DI Address 2024.01 A-0500	.02 17:09:13	DATE
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	CURRENT MARYLAND LAW AND HAVE ADJACENT PROPERTY OWNERS, IT H HAVE BEEN MADE AVAILABLE TO DPS Digitally signe Date: 2024.01. ENG CISA R. BETZ PRINTED NAME TREE CANOPY REC To be completed by the consultant and placed on the firs plan set for plan set for Exempt: Yes IX No If exempt under applicable exemption category below. Total Property Area <u>5,516,003</u> square feet Shade Trees Required <u>C</u> <u>Fee in Lieu</u> (Trees Required – Trees Planted) x \$250 <u>Required Number</u> Area (sq. ft.) of the Limits of Disturbance <u>FROM</u> <u>TO</u> 1 6,000 6,001 8,000 8,001 12,000 12,001 14,000 14,001 40,000 If the square footage of the limits of d number of shade trees required must be c (Number of Square Feet in Limits <u>EXEMPTIO</u> X 55-5(a) any activity that is subject to Article II of Chapter 22A; S5-5(b) any commercial logging or timber harvesting operation with an approved exemption from Article II of Chapter 22A; S5-5(f) any activity conducted by the County Parks Department; NOTE FOR LOCATION OF UTILITIES CALL 8-1-1 OR 1-800-257-7777 OR LOG ON TO www.call811 com	DETERMINED THAT IF PERMIS AS BEEN OBTAINED AND COP d by Lisa R. Betz 02 17:08:38 DETERMENTS TABLE t sheet of the Sediment Control / Stormwater Ma all projects. Section 55-5 of the Code, please c Total Disturbed Area 	PONSIBILITIES UNDER SSION IS REQUIRED FROM IES OF THOSE PERMISSIONS DATE anagement heck the hanted tamed hanted
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	CURRENT MARYLAND LAW AND HAVE ADJACENT PROPERTY OWNERS, IT H HAVE BEEN MADE AVAILABLE TO DPS 	DETERMINED THAT IF PERMIS AS BEEN OBTAINED AND COP d by Lisa R. Betz 02 17:08:38 CUIREMENTS TABLE t sheet of the Sediment Control / Stormwater Mail all projects. Section 55-5 of the Code, please c Total Disturbed Area 	PONSIBILITIES UNDER SSION IS REQUIRED FROM IES OF THOSE PERMISSIONS DATE anagement heck the tenneted tenneted hits; then the nula: hits; the l mply with or local law a Code. A record set of approved plans must include the n stormwater practices of st Drawing Certification, a f If this project is subject to Records at: Liber

SHEET INDEX

OVER SHEET **ROSION & SEDIMENT CONTROL PLAN** STING DRAINAGE AREA ROPOSED DRAINAGE AREA TAIL SHEET TAIL SHEET TAIL SHEET

NTGOMERY STANDARD COUNTY **OSION & SEDIMENT CONTROL NOTES:**

- HE PERMITTEE SHALL NOTIFY THE DEPARTMENT OF PERMITTING SERVICES (DPS) ORTY-EIGHT (48) HOURS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND, NLESS WAIVED BY THE DEPARTMENT, SHALL BE REQUIRED TO HOLD A RE-CONSTRUCTION MEETING BETWEEN THEM OR THEIR REPRESENTATIVE, THEIR NGINEER AND AN AUTHORIZED REPRESENTATIVE OF THE DEPARTMENT.
- HE PERMITTEE MUST OBTAIN INSPECTION AND APPROVAL BY DPS AT THE FOLLOWING OINTS:
- AT THE REQUIRED PRE-CONSTRUCTION MEETING. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES AND PRIOR TO ANY HER LAND DISTURBING ACTIVITY.
- DURING THE INSTALLATION OF A SEDIMENT BASIN OR STORMWATER MANAGEMENT RUCTURE AT THE REQUIRED INSPECTION POINTS (SEE INSPECTION CHECKLIST ON AN). NOTIFICATION PRIOR TO COMMENCING CONSTRUCTION IS MANDATORY. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE(S).
- PRIOR TO FINAL ACCEPTANCE. 17. ALL INLETS IN NON-SUMP AREAS SHALL HAVE ASPHALT BERMS INSTALLED AT THE TIME OF HE PERMITTEE SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES BASE PAVING ESTABLISHMENT. ER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE, SHALL HAVE THEM ISPECTED AND APPROVED BY THE DEPARTMENT PRIOR TO BEGINNING ANY OTHER LAND 18. The sediment control inspector has the option of requiring additional sediment control measures, as ISTURBANCES, SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED deemed necessary
- O THE SEDIMENT CONTROL DEVICES, AND SHALL NOT REMOVE ANY EROSION OR ALL TRAP ELEVATIONS ARE RELATIVE TO THE OUTLET ELEVATION, WHICH MUST BE ON EDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM THE DEPARTMENT 19. EXISTING UNDISTURBED GROUND.
- HE PERMITTEE SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS O PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVERSED PUBLIC HOROUGHFARE(S). ALL MATERIALS DEPOSITED ONTO PUBLIC THOROUGHFARE(S) SHALL E REMOVED IMMEDIATELY.
- HE PERMITTEE SHALL INSPECT PERIODICALLY AND MAINTAIN CONTINUOUSLY IN FFECTIVE OPERATING CONDITION, ALL EROSION AND SEDIMENT CONTROL MEASURES NTIL SUCH TIME AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM THE EPARTMENT. THE PERMITTEE IS RESPONSIBLE FOR IMMEDIATELY REPAIRING OR EPLACING ANY SEDIMENT CONTROL MEASURES WHICH HAVE BEEN DAMAGED OR EMOVED BY THE PERMITTEE OR ANY OTHER PERSON.
- OLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR EMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, CHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1
- RTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE OJECT SITE NOT UNDER ACTIVE GRADING.
- LL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST OFF-SITE SPOIL OR BORROW AREAS MUST HAVE PRIOR APPROVAL BY DPS 25. MINIMIZED AND STABILIZED IMMEDIATELY. MAINTENANCE MUST BE PERFORMED AS ECESSARY TO ENSURE CONTINUED STABILIZATION.
- 26. SEDIMENT TRAP/BASIN DEWATERING FOR CLEANOUT OR REPAIR MAY ONLY BE DONE HE PERMITTEE SHALL APPLY SOD, SEED, AND ANCHORED STRAW MULCH, OR OTHER WITH THE DPS INSPECTOR'S PERMISSION. THE INSPECTOR MUST APPROVE THE PPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS WITHIN SEVEN (7) DEWATERING METHOD FOR EACH APPLICATION. THE FOLLOWING METHODS MAY BE ALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED ON THAT CONSIDERED: REA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED TABILIZATION. ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, OADWAY IMPROVEMENTS. AND AREAS WITHIN FIFTY (50) FEET OF A BUILDING UNDER AGITATION OR SUCTION OF DEPOSITED SEDIMENTS; OR ONSTRUCTION MAY BE EXEMPT FROM THIS REQUIREMENT, PROVIDED THAT EROSION ND SEDIMENT CONTROL MEASURES ARE INSTALLED AND MAINTAINED TO PROTECT B. THE PUMP INTAKE MAY UTILIZE A REMOVABLE PUMPING STATION AND MUST HOSE AREAS.
- RIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES, THE PERMITTEE SHALL TABILIZE ALL CONTRIBUTORY DISTURBED AREAS WITH REQUIRED SOIL AMENDMENTS ND TOPSOIL, USING SOD OR AN APPROVED PERMANENT SEED MIXTURE AND AN PPROVED ANCHORED MULCH. WOOD FIBER MULCH MAY ONLY BE USED IN SEEDING EASON WHEN THE SLOPE DOES NOT EXCEED 10% AND GRADING HAS BEEN DONE TO ROMOTE SHEET FLOW DRAINAGE. AREAS BROUGHT TO FINISHED GRADE DURING THE EEDING SEASON SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN (7) CALENDAR AYS OF ESTABLISHMENT. WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING HE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS OUND TO BE IMPRACTICAL, AN APPROVED TEMPORARY SEED AND STRAW ANCHORED ULCH SHALL BE APPLIED TO DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION F SUCH PROPERTY SHALL BE COMPLETED PRIOR TO THE FOLLOWING APRIL 15.
- HE SITE PERMIT, WORK, MATERIALS, APPROVED SC/SM PLANS, AND TEST REPORTS HALL BE AVAILABLE AT THE SITE FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF ONTGOMERY COUNTY.
- URFACE DRAINAGE FLOWS OVER UNSTABILIZED CUT AND FILL SLOPES SHALL BE ONTROLLED BY EITHER PREVENTING DRAINAGE FLOWS FROM TRAVERSING THE SLOPES R BY INSTALLING MECHANICAL DEVICES TO LOWER THE WATER DOWN SLOPE WITHOUT AUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF CUT OR ILL SLOPES UNTIL THE SLOPE AND DRAINAGE AREA TO IT ARE FULLY STABILIZED, AT /HICH TIME THEY MUST BE REMOVED AND FINAL GRADING DONE TO PROMOTE SHEET LOW DRAINAGE. MECHANICAL DEVICES MUST BE PROVIDED AT POINTS OF ONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
- ERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE TABILIZED WITHIN 3 CALENDAR DAYS OF ESTABLISHMENT WITH SOD OR SEED WITH AN PPROVED EROSION CONTROL MATTING OR BY OTHER APPROVED STABILIZATION EASURES.
- EDIMENT CONTROL DEVICES SHALL BE REMOVED, WITH PERMISSION OF THE EPARTMENT, WITHIN THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF ERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS. STORMWATER ANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE

RECORD	DRAWING	CERTIFICA

A record set of approved Sediment Control/Stormwater Management plans must be maintained on-site plans must include the number and location of all trees proposed to be planted to comply with the Tree stormwater practices or tree canopy plantings or information must be shown on this record set of plans the project, this record set of plans, including hereon this signed Record Drawing Certification, must be Drawing Certification, a formal Stormwater Management As-Built submission [] is required [x] is not
If this project is subject to a Stormwater Management Right of Entry and Maintenance Agreement, Records at:
Liber <u>N/A</u> Folio <u>N/A</u> . This Record Drawing will serve as referenced in the recor
"This record drawing accurately and completely represents the stormwater management practices and stormwater management practices were constructed per the approved Sediment Control / Stormwater N
N/A N/A
Owner/Developer Signature Date FIELD CHECK OF RECORD DRAWING BY MCDPS INSPECTOR: INITIALS:

UNDER THE TRENCHING NOTES:

- CALL "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK. EXCAVATED TRENCH MATERIAL SHALL BE DIRECTLY LOADED ON DUMP TRUCKS FOR EXPORT OR PLACED ON THE HIGH SIDE OF THE TRENCH.
- TRENCHES FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED, AND STABILIZED AT THE END OF EACH WORKING DAY. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THE SAME DAY. UNLESS: TEMPORARY SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMA MORE THAN ONE DAY.
- BE USED TRENCH BACKFILL WITH APPROVAL BY THE OWNER. ALL T OVED FROM THE SITE SHALL BE DISCHARGED TO AN APPROPRIATE FACILITY. USE ALL G ER BAG FOR DEWATERING.

ROCKVILLE RNG INJECTION FACILITY EROSION & SEDIMENT CONTROL PLAN

APPROVED Department of Permitting Services

TION

- at all times. In addition to stormwater management items, these Canopy Law. Any approved modifications or deletions of and on the Tree Canopy Requirements table. Upon completion submitted to the MCDPS inspector. In addition to this Record required for this project.
- that document is recorded in Montgomery County Land
- ded document.
- tree canopy plantings as they were constructed or planted. All Management plans or subsequent approved revisions."
 - DATE

CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.

- 13. NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS OR ON RESIDENTIAL LOTS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NON-MAINTENANCE AREAS PROVIDED THAT THOSE AREAS ARE INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN WITH A LOW-MAINTENANCE GROUND COVER SPECIFIED FOR PERMANENT STABILIZATION. SLOPE GRADIENT STEEPER THAN 2:1 WILL NOT BE PERMITTED WITH VEGETATIVE STABILIZATION.
- 14. THE PERMITTEE SHALL INSTALL A SPLASHBLOCK AT THE BOTTOM OF EACH DOWNSPOUT UNLESS THE DOWNSPOUT IS CONNECTED BY A DRAIN LINE TO AN ACCEPTABLE OUTLET.
- 15. FOR FINISHED GRADING, THE PERMITTEE SHALL PROVIDE ADEQUATE GRADIENTS SO AS TO PREVENT WATER FROM STANDING ON THE SURFACE OF LAWNS MORE THAN TWENTY-FOUR (24) HOURS AFTER THE END OF A RAINFALL, EXCEPT IN DESIGNATED DRAINAGE COURSES AND SWALE FLOW AREAS, WHICH MAY DRAIN AS LONG AS FORTY-EIGHT (48) HOURS AFTER THE END OF A RAINFALL.
- SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN 20 FEET OF A BUILDING WHICH IS EXISTING OR UNDER CONSTRUCTION. NO BUILDING MAY BE CONSTRUCTED WITHIN 20 FEET OF A SEDIMENT TRAP OR BASIN.
- 20. VEGETATIVE STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 21. SEDIMENT TRAP(S)/BASIN(S) SHALL BE CLEANED OUT AND RESTORED TO THE ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO THE POINT OF ONE-HALF (1/2) THE WET STORAGE DEPTH OF THE TRAP/BASIN (1/4 THE WET STORAGE DEPTH FOR ST-III) OR WHEN REQUIRED BY THE SEDIMENT CONTROL INSPECTOR.
- 22. SEDIMENT REMOVED FROM TRAPS/BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN.
- 23. ALL SEDIMENT BASINS AND TRAPS MUST BE SURROUNDED WITH A WELDED WIRE SAFETY FENCE. THE FENCE MUST BE AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THE TWO INCHES IN WIDTH AND FOUR INCHES IN HEIGHT, WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
- 24. NO EXCAVATION IN THE AREAS OF EXISTING UTILITIES IS PERMITTED UNLESS THEIR LOCATION HAS BEEN DETERMINED. CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK.

A. PUMP DISCHARGE MAY BE DIRECTED TO ANOTHER ON-SITE SEDIMENT TRAP OR BASIN, PROVIDED IT IS OF SUFFICIENT VOLUME AND THE PUMP INTAKE IS FLOATED TO PREVENT

- DISCHARGE INTO AN UNDISTURBED AREA THROUGH A NON-EROSIVE OUTLET; OR C. THE PUMP INTAKE MAY BE FLOATED AND DISCHARGE INTO A DIRT BAG (12 OZ. NON-WOVEN FABRIC), OR APPROVED EQUIVALENT, LOCATED IN AN UNDISTURBED BUFFER
- AREA. 27. THE PERMITTEE MUST NOTIFY THE DEPARTMENT OF ALL UTILITY CONSTRUCTION ACTIVITIES WITHIN THE PERMITTED LIMITS OF DISTURBANCE PRIOR TO THE COMMENCEMENT OF THOSE ACTIVITIES.
- 28. Topsoil must be applied to all pervious areas within the limits of disturbance prior to permanent stabilization in accordance with MDE "Standards and Specifications for Soil Preparation, Topsoiling, and Soil Amendments".

PROJECT SCOPE:

- 1. DEWBERRY IS WORKING WITH WASHINGTON GAS AT THEIR ROCKVILLE GAS STORAGE FACILITY LOCATED AT 7301 WESTMORE ROAD, ROCKVILLE MD. WASHINGTON GAS PLANS TO CONSTRUCT A TEMPORARY FILLING STATION TO FEED EXISTING ROCKVILLE SYSTEM WHILE A GAS PIPELINE IS BUILT IN PRINCE WILLIAM COUNTY.
- 2. SEDIMENT CONTROL ONLY FOR WASHINGTON GAS TEMPORARY RNG INJECTION FACILITY TO BE REMOVED ON OR ABOUT Q4, 2024, AND RESTORED IN KIND

ALL RE	QUIRED PER	MITS PRIOR 1	TO ISSUANCE OF THE S	ER OF THIS SITE TO OBT	AIN RMIT
TYPE OF PERMIT	REQD	NOT REQD	PERMIT #	EXPIRATION DATE	WORK RESTRICTION DATE
MCDPS Floodplain District		X			
WATERWAYS/WETLAND(S):					
a. Corps of Engineers		X			
b. MDE		X			
c. MDE Water Quality Certification		X			
MDE Dam Safety		X			
* DPS Roadside Trees Protection Plan		X		Approval Date	
**N.P.D.E.S. NOTICE OF INTENT	X				
FEMA LOMR (Required Post Construction)		X			
OTHERS (Please List):		X			
A copy of the approved Roadsi	de Trees Pro	tection Plan m	nust be delivered to th	e Sediment Control Insr	ector at the Preconstru

SITE SUMMARY:

	_
SITE AREA (LOD):	63,8
EX. IMPERVIOUS AREA:	2,380
PR. IMPERVIOUS AREA	2,380
TEMP. IMPERVIOUS AREA	33,89
TOTAL PROPERTY AREA	5,516
VOLUME CUT:	396.0
VOLUME FILL:	26.67

SEQUENCE OF CONSTRUCTION:

- 7. INSTALL/ CONSTRUCT TEMPORARY INJECTION FACILITY.
- 8. OPERATE INJECTION FACILITY FOR 10-12 MONTHS.
- STABILIZATION MEASURES.
- ALL DISTURBED AREAS.

GENERAL NOTES:

- COUNTY OPEN DATA.
- 17 2023 3. TOTAL PROPERTY AREA = 5.516.003 SF 3.1. PROPOSED LOD AREA = 63,853 SF
- 3.2. EXISTING IMPERVIOUS AREA = 2,380 SF 3.3. PROPOSED IMPERVIOUS AREA = 2.380 SF 3.4. TEMPORARY IMPERVIOUS AREA = 33,897 SF
- 4. PROPERTY ADDRESS: 7301 WESTMORE RD. ROCKVILLE. MD
- TAX ACCOUNT NUMBER: 00055883 5. THIS SITE IS NOT WITHIN AN EXISTING COUNTY OR FEMA FLOODPLAIN. WATERSHED: MIDDLE ROCK CREEK MAP ID: 28

WATERSH	IED: MIDDLE ROCK CREEK, MAP ID: 28		JUF LAIN.					SHOWN
R202400	06							
🏶 Dev	Dewberry Engineers Inc. 410.28 10461 Mill Run Circle, Suite 300 410.26 Owings Mills, MD 21117-5557 www.x	5.9500 5.8875 fax ewberry.com		Itgomery Plannin	9 2425 Reedie Drive Floor 14 Wheaton, MD 20902			
October 13, 2	2023				MontgomeryPlanning	g.org		
Montgomery City of Rockv 2425 Reedle Wheaton, MI Dear Mr. Eth	r County Department of Permitting Services ville ∋ Drive, 7 th Floor, D 20902 neridge,		September 5 Washington (c/o Morgan S 6801 Industr Springfield, \ RE: RNG i	, 2023 Gas mith ial Road VA 22151 Iniection Facility at 7301 Westmory	Road			
On behalf of (DPS) waive	f our client, Washington Gas, Dewberry is requesting the Department of Permitting s Stormwater Management requirements for a temporary Renewable Natural Gas is Rockville, MD due to the temporary nature of the project	Services RNG)	Fores	t Conservation Exemption and Exi rmed and Approved on 9/5/2023	sting Conditions Plan No. 42024038E			
Dewberry is v Westmore Rr, pipeline is bu operation will Gas will need The gravel pr property, whi temporary im system. Last to install ESD or any other i restored to its Should you n project, pleas Thank you fo	working with Washington Gas at their existing Rockville Gas Storage Facility local toad, Rockville, MD. Washington Gas plans to construct a temporary filing station uilit from Prince William County to the existing underground storage site in Rockville Ibe in use for 8-12 months and then decommissioned. As part of the operation, V d to install ~200x120' (24,000 sf) gravel pad to allow trucks to maneuver through waill be graded in such a way that the site will generally discharge across Wash ich is grass at the surface. Therefore, any increase in stormwater runoff related to ppacts can be contained within Washington Gas' property and will not discharge the ty, the vast majority of the site houses underground gas storage tanks which limits D stormwater facilities. Upon completion of the 8-12 month virtual [trucked] pipeline impervious areas constructed throughout the duration of this project will be remove ts current (existing) conditions. require any additional information to evaluate this request or have any questions al se reach out to me at <u>410.645.1402</u> or <u>LBetz@dewberry.com</u> .	ed at 7301 /hile a gas . The ashington he site. ngton Gas' these a public our ability all gravel d and out the	Dear Morgan On August 30, Department r Renewable N: Exemption Re Exemption re Review of the County Code, existing non- stream buffer preliminary modification	Smith, , 2023, Intake and Regulatory Coordi eceived an Existing Conditions Plan atural Gas (RNG) Injection Facility at quest is for a modification to an exis quest has been assigned plan numb exemption request is complete. Th Chapter 22A (Forest Conservation L residential developed property. The or environmental buffers will be im lan, administrative subdivision plan does not increase the developed are	nation staff of the Montgomery County Planni and Forest Conservation Exemption Request 1 7301 Westmore Road. The Forest Conservatio ting non-residential developed property. Thi er 42024038E. Project meets the requirements of the Montq wy), Section 22A-5(t)(1) for modifications to an activity does not result in forest loss. No strea pacted. The activity does not require approva conditional use or special exception. The by more than 50% and does not propose an	ing for a on is gomery n ams, al of a	REVISIONS	
Sincerely,			residential us Forest Conse	es. rvation Exemption Request No. 42	024038E for the RNG Injection Facility at 73	301	DRAWN BY	NKM
Lisa R. Betz,	PE		Westmore Ro	bad is confirmed. The submitted E ny subsequent modifications to the a Montgomery County Planning review	tisting Conditions Plan is approved. pproved plans, a separate amendment may b and approval prior to those activities occurrii	ie ng.	APPROVED BY	
Attachments:	s: Site Plan		Sincerely,	5 , , , 5			CHECKED BY	
* Approved C	Conditionally		Stephen Stephen Peck Senior Forest	Peck Conservation Inspector			DATE	11/9/2023
Mark Ct Mark Etheridg Water Resour Montgomery C	Blanidge October 16, 2023 ge, Manager rces Section County Dept. of Permitting Services		M-NCPPC - Mo CC: Sarah Pu	rcell, Dewberry	lent			
 An engineere include subse completion of 	ed sediment control plan must be approved for this project prior to commencement equent removal of all impervious material placed under this permit, to be complete f the project as stated in the waiver request letter.	of work. Plans must d within 90 days of Page 1 of 1		Forest Conservation Exemption	No. 42024038E Approval Memo			
	TECHNICAL REVIEW OF SEDIMENT CONTROL		ADMINISTRATIVE	REVIEW	DPS approval of a sediment management plan is for demo minimum environmental runo	control or stormwater nstrated compliance with ff treatment standards	COVE	ER SHE
	Patrick Eitzgerald 01/09/20	24 Patrick	Fitzgerald	01/09/2024	concentrate runoff onto any a that property owner's permiss	adjacent property without		
	REVIEWED DATE	REVIEWED		DATE	the design engineer or other professional liability or ethico	r responsible person of al responsibility for the		
					adequacy of the drainage designed adequation of the drainage designed adequation of the drainage designed adequ	gn as it affects uphill or perties.	PROJECT NO.	50147954
	STORMWATER MANAGEMENT	SMA	LL LOT DRAINAG	E APPROVAL	29018	37		

NOTE: MCDPS APPROVAL DOES NOT NEGATE THE

NEED FOR A MCDPS ACCESS PERMIT.

.D. MIDDLE ROOK OREER, MAI 10.20			
6			
berry" Dewberry Engineers Inc. 410.265.9500 10461 Mili Run Circle, Suite 300 Owings Mills, MD 21117-5557 www.dewberry.com	Montgomery Planning	2425 Reedie Drive Floor 14 Wheaton, MD 20902	
23	THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSIC	MontgomeryPlanning.org	
	September 5, 2023		
e rive, 7 th Floor, 20902	Washington Gas c/o Morgan Smith 6801 Industrial Road Springfield, VA 22151		
dge, r client, Washington Gas, Dewberry is requesting the Department of Permitting Services ormwater Management requirements for a temporary Renewable Natural Gas (RNG) Rockville, MD due to the temporary nature of the project.	RE: RNG Injection Facility at 7301 Westmore S Forest Conservation Exemption and Exis Confirmed and Approved on 9/5/2023	Road ting Conditions Plan No. 42024038E	
rking with Washington Gas at their existing Rockville Gas Storage Facility located at 730' d, Rockville, MD. Washington Gas plans to construct a temporary filling station while a gas from Prince William County to the existing underground storage site in Rockville. The e in use for 8-12 months and then decommissioned. As part of the operation, Washington o install ~200*120' (24,000 sf) gravel pad to allow trucks to maneuver through the site. will be graded in such a way that the site will generally discharge across Washington Gas is grass at the surface. Therefore, any increase in stormwater runoff related to these tots can be contained within Washington Gas' property and will not discharge to a public the vast majority of the site houses underground gas storage tanks which limits our ability tormwater facilities. Upon completion of the 8-12 month virtual [trucked] pipeline, all gravel pervious areas constructed throughout the duration of this project will be removed and urrent (existing) conditions.	Dear Morgan Smith, Dear Morgan Smith, On On August 30, 2023, Intake and Regulatory Coordin Department received an Existing Conditions Plan a Renewable Natural Gas (RNG) Injection Facility at 7 Exemption Request is for a modification to an exist tw Construction Exemption Request is for a modification to an exist Review of the exemption request is complete. The County Code, Chapter 22A (Forest Conservation La	hation staff of the Montgomery County Planning Ind Forest Conservation Exemption Request for a 7301 Westmore Road. The Forest Conservation ting non-residential developed property. This r 42024038E. project meets the requirements of the Montgomery w), Section 22A-5(t)(1) for modifications to an	
uire any additional information to evaluate this request or have any questions about the reach out to me at <u>410.645.1402</u> or <u>LBetz@dewberry.com</u> .	existing non-residential developed property. The a stream buffer or environmental buffers will be imp preliminary plan, administrative subdivision plan, o modification does not increase the developed area residential uses	activity does not result in forest loss. No streams, acted. The activity does not require approval of a conditional use or special exception. The by more than 50% and does not propose any	REVISIONS
E	Forest Conservation Exemption Request No. 420 Westmore Road is confirmed. The submitted Ex If there are any subsequent modifications to the ap required for Montgomery County Planning review a	024038E for the RNG Injection Facility at 7301 isting Conditions Plan is approved. oproved plans, a separate amendment may be and approval prior to those activities occurring.	DRAWN BY <u>NKM</u>
ite Plan			CHECKED BY
nditionally widge October 16, 2023	Staphen Peck Stephen Peck Senior Forest Conservation Inspector Intake and Regulatory Coordination M-NCPPC- Montgomery County Planning Departm	ent	DATE
Manager s Section	CC: Sarah Purcell, Dewberry		
unty Dept. of Permitting Services sediment control plan must be approved for this project prior to commencement of work. F lent removal of all impervious material placed under this permit, to be completed within 90 e project as stated in the waiver request letter. Page 1 of	Plans must 90 days of of 1	No. 42024038E Approval Memo	
TECHNICAL REVIEW OF SEDIMENT CONTROL	ADMINISTRATIVE REVIEW	DPS approval of a sediment control or stormwater management plan is for demonstrated compliance with minimum environmental runoff treatment standards and does not create or imply any right to divert or	COVER SHE
Patrick Fitzgerald 01/09/2024	Patrick Fitzgerald 01/09/2024	concentrate runoff onto any adjacent property without that property owner's permission. It does not relieve the design engineer or other responsible person of	
REVIEWED DATE	REVIEWED DATE	protessional liability or ethical responsibility for the adequacy of the drainage design as it affects uphill or	
TECHNICAL REVIEW OF STORMWATER MANAGEMENT	SMALL LOT DRAINAGE APPROVAL	downhill properties.	
N//2	N/A: 🛛 OR	SEDIMENT CONTROL PERMIT NO.	
N/A		_	
REVIEWED DATE	REVIEWED DATE	SM. FILE NO. STORMWATER MANAGEMENT:	

MDE's 20-CP permit has been submitted to DPS

UNANT SILT FENCE
IN DISTURBED FOR I
RENCHED SPOIL TO
ROUNDWATER REM
IENT TANK OR FILTE

53 SF

0 SF 0 SF

97 SF

6,003 SF

03 CY

7 CY

1. PRIOR TO CLEARING TREES, INSTALLING SEDIMENT CONTROL MEASURES, OR GRADING, A PRECONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (MCDPS) SEDIMENT CONTROL INSPECTOR (240) 777-0311 (48 HOURS NOTICE) AND THE MNCPPC. PLANNING DEPARTMENT. PLANS ENFORCEMENT INSPECTOR (301)495-4550 (48 HOURS NOTICE), THE OWNERS REPRESENTATIVE, AND THE SITE ENGINEER. IN ORDER FOR THE MEETING TO OCCUR, THE APPLICANT MUST PROVIDE ONE PAPER SET OF APPROVED SEDIMENT CONTROL PLANS TO THE MCDPS SEDIMENT CONTROL INSPECTOR AT THE PRECONSTRUCTION MEETING. IF NO PLANS ARE PROVIDED, THE MEETING SHALL NOT OCCUR AND WILL NEED TO BE RESCHEDULED PRIOR TO COMMENCING ANY WORK.

2. THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO CLEARING OF TREES, INSTALLATION OF SEDIMENT CONTROL MEASURES, CONSTRUCTION, OR OTHER LAND DISTURBING ACTIVITIES.

3. THE PERMITTEE MUST OBTAIN WRITTEN APPROVAL FROM THE MNCPPC INSPECTOR, CERTIFYING THAT THE LIMITS OF DISTURBANCE AND TREE PROTECTION MEASURES ARE CORRECTLY MARKED AND INSTALLED PRIOR TO COMMENCING ANY CLEARING. 4. CLEAR AND GRADE FOR INSTALLATION OF SEDIMENT CONTROL DEVICES.

INSTALL SEDIMENT CONTROL DEVICES (STABILIZED CONSTRUCTION ENTRANCE & SILT FENCE).

ONCE THE SEDIMENT CONTROL DEVICES ARE INSTALLED, THE PERMITTEE MUST OBTAIN WRITTEN APPROVAL FROM THE MCDPS INSPECTOR BEFORE PROCEEDING WITH ANY ADDITIONAL CLEARING, GRUBBING OR GRADING.

A. CONTRACTOR MUST MAINTAIN ALL PERIMETER CONTROLS DURING OPERATION.

9. UPON INJECTION FACILITY OPERATION COMPLETION. REMOVE ALL STRUCTURES AND GRAVEL & STABILIZE WITH PERMANENT

10. WITH WRITTEN APPROVAL OF THE MCDPS INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND VEGETATIVELY STABILIZE

1. PROPERTY BOUNDARIES IN THE VICINITY OF THE WORK AREA ARE SHOWN BASED ON GIS DATA PULLED FROM MONTGOMERY

2. THE SOURCE OF THE SOILS INFORMATION ON THIS PLAN IS FROM USDA NRCS WEB SOIL SURVEY (WSS) IN A CUSTOM SOIL RESOURCE REPORT FOR AN AREA OF INTEREST (AOI) ESTABLISHED FOR THE SUBJECT SITE ONLY AND GENERATED ON NOVEMBER

MCDPS APPROVAL OF THIS PLAN WILL EXPIRE TWO

YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT STARTED.

Dewberry Engineers Inc.

10461 MILL RUN CIRCLE SUITE 300 OWINGS MILLS, MARYLAND 21117 PHONE: 410.265.9500 FAX: 410.265.8875

OWNER/APPLICANT WASHINGTON GAS A WGL COMPANY

6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151 ATTN: MORGAN SMITH MRSMITH@WASHGAS.COM PHONE: 703.750.4205

UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. <u>33959</u> EXPIRATION DATE: JANUARY 14, 2025

SCALE

EET

N/A

30KW	NG	GENER	ATORS

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2B	Glenelg silt loam, 3 to 8 percent slopes	91.3	50.4%
5A	Glenville silt loam, somewhat poorly drained, 0 to 3 percent slopes	30.9	17.1%
6A	Baile silt loam, 0 to 3 percent slopes	23.9	13.2%
35C	Chrome silt loam, 8 to 15 percent slopes	1.4	0.8%
37В	Travilah silt loam, 3 to 8 percent slopes	22.8	12.6%
54A	Hatboro silt loam, 0 to 3 percent slopes, frequently flooded	4.3	2.4%
65B	Wheaton silt loam, 0 to 8 percent slopes	2.5	1.4%
66UB	Wheaton-Urban land complex, 0 to 8 percent slopes	3.2	1.8%
400	Urban land	0.9	0.5%
Totals for Area of Interest		181.2	100.0%

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212

Dewberry Engineers Inc. 10461 MILL RUN CIRCLE SUITE 300 OWINGS MILLS, MARYLAND 21117 PHONE: 410.265.9500 FAX: 410.265.8875 OWNER/APPLICANT WASHINGTON GAS A WGL COMPANY 6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151 ATTN: MORGAN SMITH MRSMITH@WASHGAS.COM PHONE: 703.750.4205 GAS CILI **WASHINGTON** TION 3 Ž SEAL **Professional Certification** I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: JANUARY 14, 2025. SCALE 1"=30' REVISIONS DRAWN BY NKM APPROVED BY CHECKED BY DATE 11/9/2023

PROJECT NO.

50147954

	EX
212	EX

2

CONSTRUCTION SPECIFICATIONS

E.3

WASHOUT STRUCTURE

EXCAVATED WASHOUT STRUCTURE

WASHOUT STRUCTURE WITH WOOD PLANKS

H.24

- IMPERMEABLE SHEETING

DETAIL H-6 ONSITE CONCRETE

10 FT TYP.

PLAN

10 FT TYP.

PLAN

STANDARD SYMBOL

-1:1 OR FLATTE SIDE SLOPE

CWS

OR EQUIVALENT-

SECTION A-A

WOOD FRAME SECURELY FASTENED AROUND ENTIRE PERIMETER WITH TWO STAKES

10 FT TYP.

SECTION B-B

1 OF 2

TY	
NUMB	
NUME	
RIPR	
(CLA	
CLA	
CLAS	
CLAS	
¹ This classif	
² This classif	
³ Optimum g	
Stone must b are larger th mixture com	

NOTE FOR LOCATION OF UTILITIES CALL 8-1-1 OR 1-800-257-7777 OR LOG ON TO www.call811.com http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION.

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С

В

Α

APPROVED Department of Permitting Services Permit # SEDIMENT-290187

Date 01/09/24

	Dewberry [®]
	Dewberry Engineers Inc.
	10461 MILL RUN CIRCLE SUITE 300 OWINGS MILLS, MARYLAND 2111 PHONE: 410.265 9500
	WASHINGTON GAS A WGL COMPANY
	6801 INDUSTRIAL ROAD SPRINGFIELD, VA 22151
MIN. 6 IN OF 2 TO 3 IN AGGREGATE OFFICIENCIAL PIPE (SEE NOTE 6)	ATTN: MORGAN SMITH MRSMITH@WASHGAS.COM
PROFILE 50 FT MIN.	PHONE: 703.750.4205
	I BNW I BNW I BNW I BNW I BNW I BNW
NS IN ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET SE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE DIDINIC BADITS OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE	ON F 00 F 01510 .01510 .01510 .01510
INTERNATIONAL REPORTS AND A SECONDARY OF A SECONDARY AND A SECONDARY A MOUNTABLE BERM IS REQUIRED WHEN SEC IS NOT	P: GS P: GS VILLE, L.
E NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. 2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT 3 ZEP OVER THE LENGTH AND WIDTH OF THE SCE. 3 DITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE 3 DEMAND TO MAINTAIN CIEAN SIDERACE MOUNTABLE DEPAN AND	SC: 2 SC: 2
TELY REMOVE STONE AND/OR SECURITY SPILLED, DROPPED, OR WAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING CKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIMENT CONTROL PRACTICE.	ANG WS WS
D SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL RVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION B.2	
	SEAL OF MARY
STANDARDS AND SPECIFICATIONS FOR MATERIALS	33959
Table H.1: Geotextile Fabrics	11.13.2023
SLIT FILM MONOFILAMENT GEOTEXTILE GEOTEXTILE GEOTEXTILE MINIMUM AVERAGE ROLL VALUE ¹ METHOD MD CD MD CD D-4632 200 lb 200 lb 370 lb 250 lb 200 lb 200 lb	Professional Certification
D-4632 15% 10% 15% 50% 50% D-4533 75 lb 75 lb 100 lb 60 lb 80 lb 80 lb D-6241 450 lb 900 lb 450 lb 450 lb D-4751 U.S. Sieve 30 U.S. Sieve 70 U.S. Sieve 70 U.S. Sieve 70	I hereby certify that these documents were prepared or approved by me, and that Lam a duly licensed professional
(0.59 mm) (0.21 mm) (0.21 mm) D-4491 0.05 sec^{-1} 0.28 sec^{-1} 1.1 sec^{-1} D-4355 70% strength 70% strength 70% strength at opening size (AOS) represent minimum average roll values (MARV). The second strength The second strength	engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: JANUARY 14, 2025
ninus two standard deviations. MD is machine direction; CD is cross rage maximum opening. the National Transportation Product Evaluation Program (NTPEP) and	
ionly encountered chemicals and hydrocarbons and must be rot and mildew anufactured from fibers consisting of long chain synthetic polymers and nt by weight of polyolefins or polyesters, and formed into a stable network limensional stability relative to each other, including selvages.	SCALE
xtile is necessary, overlap the sections by at least one foot. The geotextile urface. Equipment must not run over exposed fabric. When placing one foot drop height.	- NOT TO SCALE
H.1	
	REVISIONS
	DRAWN BY <u>NKM</u>
	CHECKED BY
	DATE11/9/2023
	DETAIL SHEET
	PROJECT NO. 50147954
	5

SHEET NO.

5 OF 7

	1 2	
	B-3 STANDARDS AND SPECIFICATIONS FOR LAND GRADING	
	DEFINITION RESHAPING THE EXISTING LAND SURFACE TO PROVIDE SUITABLE TOPOGRAPHY FOR BUILDING FACILITIES AND OTHER SITE	
	IMPROVEMENTS.	
Е	TO PROVIDE EROSION CONTROL AND VEGETATIVE ESTABLISHMENT FOR EXTREME CHANGES IN GRADE.	
	EARTH DISTURBANCES OR EXTREME GRADE MODIFICATIONS ON STEEP OR LONG SLOPES.	
	DESIGN CRITERIA THE GRADING PLAN SHOULD BE BASED ON THE INCORPORATION OF BUILDING DESIGNS AND STREET LAYOUTS THAT FIT AND UTILIZE EXISTING TOPOGRAPHY AND DESIRABLE	
	NATURAL SURROUNDINGS TO AVOID EXTREME GRADE MODIFICATIONS. INFORMATION SUBMITTED MUST PROVIDE SUFFICIENT TOPOGRAPHIC SURVEYS AND SOIL INVESTIGATION TO DETERMINE LIMITATIONS THAT MUST BE IMPOSED ON THE GRADING OPERATION RELATED TO SLOPE STABILITY, ADJACENT PROPERTIES, DRAINAGE PATTERNS, MEASURES FOR WATER REMOVAL, AND VEGETATIVE TREATMENT, ETC.	IS ESTABLISHMEN
	MANY JURISDICTIONS HAVE REGULATIONS AND DESIGN PROCEDURES ALREADY ESTABLISHED FOR LAND GRADING THAT MUST BE FOLLOWED. THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS FOR THE AREA(S) TO BE GRADED INCLUDING PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, AND SAFE CONVEYANCE OF RUNOFF (E.G., WATERWAYS, LINED CHANNELS, REVERSE BENCHES, GRADE STABILIZATION STRUCTURES). THE GRADING/CONSTRUCTION PLANS ARE TO INCLUDE THE PHASING OF THESE	
	PRACTICES AND CONSIDERATION OF THE FOLLOWING: 1. PROVISIONS TO SAFELY CONVEY SURFACE RUNOFF TO STORM DRAINS, PROTECTED OUTLETS OR STABLE WATER COURSES TO ENSURE THAT SURFACE RUNOFF WILL NOT DAMAGE SLOPES OR OTHER GRADED AREAS	
	2. CUT AND FILL SLOPES, STABILIZED WITH GRASSES, NO STEEPER THAN 2:L. (WHERE THE SLOPE IS TO BE MOWED, THE SLOPE SHOULD BE NO STEEPER THAN 3:L, BUT 4:L IS PREFERRED BECAUSE OF SAFETY FACTORS RELATED TO MOWING STEEP SLOPES.) SLOPES STEEPER THAN 2:L REQUIRE SPECIAL DESIGN AND STABILIZATION	ANY CUT OR FIL
	CONSIDERATIONS TO BE SHOWN ON THE PLANS. 3. BENCHING PER DETAIL B-3-1 WHENEVER THE VERTICAL INTERVAL (HEIGHT) OF ANY 2:L SLOPE EXCEEDS 20 FEET; FOR 3:L SLOPES, WHEN IT EXCEEDS 30 FEET; AND FOR 4:L SLOPES WHEN IT EXCEEDS 40 EEET LOCATE PENCHES TO DIVIDE THE SLOPE FACE AS EQUALLY AS POSSIBLE AND TO CONVEX THE WATER TO A STARLE OUTLET. SOILS	1. EXC THE
	a. PROVIDE BENCHES WITH A MINIMUM WIDTH OF SIX FEET FOR EASE OF MAINTENANCE.	2. CON a. b.
	 b. DESIGN BENCHES WITH A REVERSE SLOPE OF 6:L OR FLATTER TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF ONE FOOT IN DEPTH. GRADE THE LONGITUDINAL SLOPE OF THE BENCH BETWEEN 2 PERCENT AND 3 PERCENT, UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. c. THE MAXIMUM ALLOWABLE FLOW LENGTH WITHIN A BENCH IS 800 FEET UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. 	d. NOTE: ONCE EX
	4. DIVERSION OF SURFACE WATER FROM THE FACE OF ALL CUT AND FILL SLOPES USING EARTH DIKES OR SWALES. CONVEY SURFACE WATER DOWN SLOPE USING A DESIGNE STRUCTURE, AND:	REQUIRED) AND THE APPLICATI
D	 a. PROTECT THE FACE OF ALL GRADED SLOPES FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED. DO NOT SUBJECT THE SLOPE'S FACE TO ANY CONCENTRATED FLOW OF SURFACE WATER SUCH AS FROM NATURAL DRAINAGE WAYS, GRADED SWALES, DOWNSPOUTS, ETC. b. PROTECT THE FACE OF THE SLOPE BY SPECIAL EROSION CONTROL MATERIALS TO INCLUDE, BUT NOT BE LIMITED TO, APPROVED VEGETATIVE STABILIZATION 	— EXIS — DIKE
	PRACTICES, RIPRAP OR OTHER APPROVED STABILIZATION METHODS. 5. SERRATED SLOPE AS SHOWN IN DETAIL B-3-2. THE STEEPEST ALLOWABLE SLOPE FOR RIPABLE ROCK IS 1.5:1. FOR NON ROCK SURFACES, THE SLOPES ARE TO BE 2:1 OR 15 ELATTER THESE STEPS WILL WEATHER AND ACT TO HOLD MOISTURE. LIME FERTILIZER AND SEED THUS PRODUCING A MUCH OUCKER AND LONGER UVED VEGETATIVE	ET MAX
	6. SUBSURFACE DRAINAGE PROVISIONS. PROVIDE SUBSURFACE DRAINAGE WHERE NECESSARY TO INTERCEPT SEEPAGE THAT WOULD OTHERWISE ADVERSELY AFFECT SLOP	PE
	STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS. 7. PROXIMITY TO ADJACENT PROPERTY. SLOPES MUST NOT BE CREATED CLOSE TO PROPERTY LINES WITHOUT ADEQUATE PROTECTION AGAINST SEDIMENTATION, EROSION,	
	SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED DAMAGES. 8. QUALITY OF FILL MATERIAL. FILL MATERIAL MUST BE FREE OF BRUSH, RUBBISH, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIAL. DO NOT PLACE FROZEN MATERIALS IN THE FILL NOR PLACE THE FILL MATERIAL ON A FROZEN FOUNDATION.	A. INCREMEN
	9. STABILIZATION. STABILIZE ALL DISTURBED AREAS STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH SECTION B-4 STANDARDS AND SPECIFICATIONS FOR STABILIZATION PRACTICES.	2. STA
	MAINTENANCE THE LINE, GRADE, AND CROSS SECTION OF BENCHING AND SERRATED SLOPES MUST BE MAINTAINED, BENCHES AND SERRATED	PLA 3. AT 1
	SLOPES MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.	4. CON
	 a. CONVEY RUNOFF AROUND EXCAVATION. b. PERFORM PHASE 1 EXCAVATION, PREPARE SEEDBED, AND STABILIZE. c. PERFORM PHASE 2 EXCAVATION, PREPARE SEEDBED, AND STABILIZE. OVERSEED PHASE 1 AREAS AS NECESSARY. d. PERFORM FINAL PHASE EXCAVATION. PREPARE SEEDBED, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY. 	b.
		с. d. e.
С	B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION	NOTE: ONCE TH TOPSOIL (IF RE NECESSITATE 1
-	USING VEGETATION AS COVER TO PROTECT EXPOSED SOIL FROM EROSION.	В-
	PURPOSE TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL.	
	CONDITIONS WHERE PRACTICE APPLIES ON ALL DISTURBED AREAS NOT STABILIZED BY OTHER METHODS. THIS SPECIFICATION IS DIVIDED INTO SECTIONS ON INCREMENTAL STABILIZATION: SOIL PREPARATION. SOIL	THE PROCES
	AMENDMENTS AND TOPSOILING; SEEDING AND MULCHING; TEMPORARY STABILIZATION; AND PERMANENT STABILIZATION. EFFECTS ON WATER QUALITY AND QUANTITY	TO PROVIDE
	STABILIZATION PRACTICES ARE USED TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL. WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO ERODE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS.	WHERE VEGE
	PLANTING VEGETATION IN DISTURBED AREAS WILL HAVE AN EFFECT ON THE WATER BUDGET, ESPECIALLY ON VOLUMES AND RATES OF RUNOFF, INFILTRATION, EVAPORATION, TRANSPIRATION, PERCOLATION, AND GROUNDWATER RECHARGE. OVER TIME, VEGETATION WILL INCREASE ORGANIC MATTER CONTENT AND IMPROVE THE WATER HOLDING CAPACITY OF THE SOIL AND SUBSEQUENT PLANT GROWTH.	
	VEGETATION WILL HELP REDUCE THE MOVEMENT OF SEDIMENT, NUTRIENTS, AND OTHER CHEMICALS CARRIED BY RUNOFF TO RECEIVING WATERS. PLANTS WILL ALSO HELP PROTECT GROUNDWATER SUPPLIES BY ASSIMILATING THOSE SUBSTANCES PRESENT WITHIN THE ROOT ZONE.	A. SOIL PRI 1. TEN a.
	SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT.	
	INSPECT SEEDED AREAS FOR VEGETATIVE ESTABLISHMENT AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEDINGS WITHIN THE PLANTING SEASON.	B. C.
	2. IF AN AREA HAS LESS THAN 40 PERCENT GROUNDCOVER, RESTABILIZE FOLLOWING THE ORIGINAL RECOMMENDATIONS FOR LIME, FERTILIZER, SEEDBED PREPARATION, AN SEEDING.	D
В	3. IF AN AREA HAS BETWEEN 40 AND 94 PERCENT GROUNDCOVER, OVER-SEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY SPECIFIED.	
	4. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDING ARE SHOWN IN TABLE B.O.	
А		
2 1	FOR LOCATION OF UTILITIES CALL 8-1-1 OR 1-800-257-7777 OR LOG ON TO	
	www.call811.com http://www.missutility.net	
	48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY	
	UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST	
	ELEVATION OF THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION.	

<u>PURPOSE</u>

A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH

CONDITIONS WHERE PRACTICE APPLIES

TATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA

EPARATION MPORARY STABILIZATION

SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.

APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE

SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS IS PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY)

b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS

c. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.

READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW

2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN

b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND.OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 11/2 INCHES IN DIAMETER.

b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL

PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO 2. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER

1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM

3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.

4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITIO

CONDITIONS WHERE PRACTICE APPLIES

CRITERIA

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED.

INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE. d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT

A. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT. b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.

I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER). I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS),200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING. III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.

1. MULCH MATERIALS (IN ORDER OF PREFERENCE)

IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

AFTER PLANTING.

UNIFORMLY SPREAD SLURRY

B. MULCHING

2. APPLICATION

3. ANCHORING

a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY, NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE

II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE IV. GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS V. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.

VI. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.

b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD: I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS

PRACTICE SHOULD FOLLOW THE CONTOUR. II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000FEET LONG.

Dewberry Engineers Inc.

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Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: JANUARY 14, 2025.

SCALE

NOT TO SCALE

DETAIL SHEE

PROJECT NO.

50147954

	Dewberry [®]
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B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OF LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

- 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FIGURE B.3) AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY (BELOW) ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS
- 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY (SEE TEMPORARY SEEDING SUMMARY THIS SHEET). SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. 3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

Seed Mix					
Species	Application Rates (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer Rate** (10-20-20)	Lime Rate K ₂ 0
BARLEY (Hordeum vulgaare)	96	MARCH 1 TO MAY 15 AUGUST 1 TO OCTOBER 15			
OATS (Avena sativa)	72		1.0 IN	436 LBS 2 IN PER ACRE	2 TONS PER ACRE
CEREAL RYE (Secale cereale)	112	MARCH 1 TO MAY 15 AUGUST 1 TO NOVEMBER 15			

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NOTE FOR LOCATION OF UTILITIES CALL 8-1-1 OR 1-800-257-7777 OR LOG ON TO www.call811.com http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN

ADVANCE OF THE START OF EXCAVATION.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION DEFINITION

APPROVED APPROVED Department of Permitting Services Permit # SEDIMENT-2901

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

A. SEED MIXTURES 1. GENERAL USE

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S) APPLICATION RATÉS, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE

- PLAN. b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR
- SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. c. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING
- AGENCY. d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 ½ POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING

2. TURFGRASS MIXTURES

SUMMARY

- A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE, ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID
- ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED. iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR
- ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET. NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION,
- AGRONOMY MEMO #77, "TURFGRASS CULTIVA RECOMMENDATIONS FOR MARYLAND" CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION
- AND ASSURES A PURE GENETIC LINE C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
 - WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, 6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B)
- SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B) D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 11/2 INCHES IN DIAMETER. THE
- RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY. E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (½ TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

Seed Mixture (Hardiness Zone 6B) From Table B.3					Fert (1	ilizer Rate** 0-20-20)	*	
<	Species	Application Rates (lb/ac)	Seeding Dates	SEEDING DEPTHS	N	P205	K20	Lime Rate
	TALL FESCUE (Lolium arundinaceum)	40	MARCH 1 TO					
	PERENNIAL RYEGRASS (Lolium perenne)	25	MAY 15 AUGUST 15 TO OCTOBER 15	¹ / ₄ - ¹ / ₂ IN	45 LBS PER ACRE	90 LBS PER ACRE	90 LBS PER ACRE	2 TONS PER ACRE
	WHITE CLOVER (Trifolium repens)	5						

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER). 1. GENERAL SPECIFICATIONS

- a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF ¾ INCH, PLUS OR MINUS ¼ INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL
- NOT BE ACCEPTABLE.
- c. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. d. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY
- AFFECT ITS SURVIVAL. e. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT
- TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
- 2. SOD INSTALLATION a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
- b. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD
- IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- c. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
- d. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
- 3. SOD MAINTENANCE . IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT
- WILTING. b. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
- c. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN ½ OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL

CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

Dewberry Engineers Inc.

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OWNER/APPLICANT WASHINGTON GAS A WGL COMPANY

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WASHINGTON GAS RNG INJECTION FACILITY WSSC: 220NW07, 219NW07	TAX MAP: GS341, GR343	PARCEL: 777, L.01510 F.0230	7301 WESTMORE ROAD	ROCKVILLE, MD 20850
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Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: JANUARY 14, 2025.

SCALE

EVISIONS				
PRAWN BYNKM				
PPROVED BY				
HECKED BY				
DATE	1	1/9/2023		

DETAIL SHEET

PROJECT NO.

50147954

Attachment D:

MR2024006

Dewberry Engineers Inc. 10461 Mill Run Circle, Suite 300 Owings Mills, MD 21117-5557 www.dewberry.com

410.265.9500 410.265.8875 fax

October 13, 2023

Montgomery County Department of Permitting Services City of Rockville 2425 Reedle Drive, 7th Floor, Wheaton, MD 20902

Dear Mr. Etheridge,

On behalf of our client, Washington Gas, Dewberry is requesting the Department of Permitting Services (DPS) waive Stormwater Management requirements for a temporary Renewable Natural Gas (RNG) injection site in Rockville, MD due to the temporary nature of the project.

Dewberry is working with Washington Gas at their existing Rockville Gas Storage Facility located at 7301 Westmore Road, Rockville, MD. Washington Gas plans to construct a temporary filling station while a gas pipeline is built from Prince William County to the existing underground storage site in Rockville. The operation will be in use for 8-12 months and then decommissioned. As part of the operation, Washington Gas will need to install ~200'x120' (24,000 sf) gravel pad to allow trucks to maneuver through the site. The gravel pad will be graded in such a way that the site will generally discharge across Washington Gas' property, which is grass at the surface. Therefore, any increase in stormwater runoff related to these temporary impacts can be contained within Washington Gas' property and will not discharge to a public system. Lastly, the vast majority of the site houses underground gas storage tanks which limits our ability to install ESD stormwater facilities. Upon completion of the 8-12 month virtual [trucked] pipeline, all gravel or any other impervious areas constructed throughout the duration of this project will be removed and restored to its current (existing) conditions.

Should you require any additional information to evaluate this request or have any questions about the project, please reach out to me at 410.645.1402 or LBetz@dewberry.com.

Thank you for considering this request.

Sincerely, Dewberry

USUK. Bet

Lisa R. Betz, PE Senior Associate

Attachments: Site Plan

Approved Conditionally

Mark Cheridge October 16, 2023

Mark Etheridge, Manager Water Resources Section Montgomery County Dept. of Permitting Services

An engineered sediment control plan must be approved for this project prior to commencement of work. Plans must include subsequent removal of all impervious material placed under this permit, to be completed within 90 days of completion of the project as stated in the waiver request letter.