

MR2024006 – ROCKVILLE RNG INJECTION FACILITY

Description

Proposal to construct a temporary gas unloading station at the existing Rockville system located at 7301 Westmore Road, Rockville, MD

No. 8

Completed: January 31,
2024

MCPB

Item No. 8
February 8, 2024

2425 Reddie Drive
Floor 13
Wheaton, MD 20902

Planning Staff

JP

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PB

Patrick Butler, Chief, Patrick.Butler@montgomeryplanning.org

LOCATION

7301 Westmore Road, Rockville, MD 20850

MASTER PLAN

2004 Upper Rock Creek Master Plan

PROPERTY SIZE

1.22 Acres (of 126.63 Acres of total property)

APPLICATION

Mandatory Referral

ACCEPTANCE DATE

December 6, 2023

REVIEW BASIS

Md. Land Use Article, Section 20-301, et seq.

Summary:

- Staff recommends Approval and transmittal of comments to Washington Gas.
- The proposed facility is temporary and will be in use for one year while pipeline is constructed.
- The Planning Board review of a Mandatory Referral is advisory.

SECTION 1 - RECOMMENDATIONS

Staff recommends Approval of the Mandatory Referral and the transmittal of the following comments to Washington Gas:

1. Except for emergencies related to the delivery of gas, trucks should not operate to and from the Property between nighttime hours of 9pm and 7am.
2. Minimize light pollution outside the station limits by positioning towers in strategic locations to limit light throw towards Westmore Road and focusing on high traffic areas within the station.

SECTION 2 - INTRODUCTION

Review Process

This proposal for the construction of a new RNG injection facility requires the Mandatory Referral review process under the Montgomery County Planning Department's Uniform Standards for Mandatory Referral Review. State law requires all federal, state, and local governments and public utilities to submit proposed projects for a Mandatory Referral review and approval by the Commission. The law requires the Planning Board to review and approve the proposed location, character, grade and extent of any road, park, public way or ground, public (including federal) building or structure, or public utility (whether publicly or privately owned) prior to the project being located, constructed or authorized.

SECTION 3 - PROJECT DESCRIPTION

Background

Washington Gas owns and operates a 120+ acre gas operations facility at 7301 Westmore Road, Rockville, MD. On this property, Washington Gas plans to build a Temporary Injection Facility ("TIF"), which is the subject of this Mandatory Referral.

Surrounding Neighborhood

The property is located between MD-355 and East Gude Drive, and confronts and abuts the City of Rockville properties to the west and south and Montgomery County to the north and east. The

immediately adjacent properties are zone IM and IH and are industrial/commercial in nature. The closest Residential neighborhood is Lincoln Park which is about 1,00 feet south of the proposed facility.

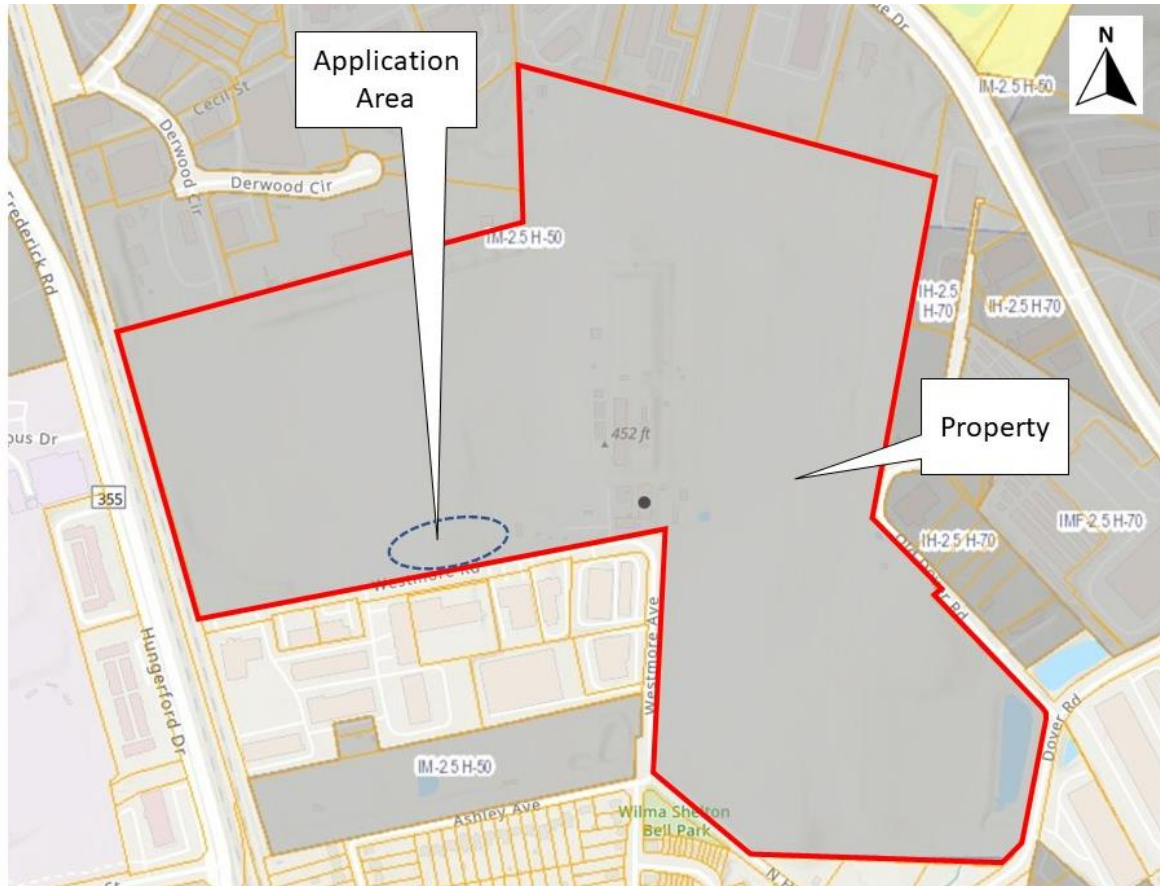


Figure 1: Vicinity and Zoning

Site Description

The property is located at 7301 Westmore Rd, Rockville MD, Tax Account number 00055883 on Tax Map/Grid GS341/GR343, Zoned IM-2.5 H-50, containing 126.63 AC ("Property"). The Property is currently developed and operated as a gas storage facility operated by Washington Gas. The proposed project will occur on approximately 1.21 acres of the overall Property located immediately adjacent to Westmore Road west of the existing site improvements.

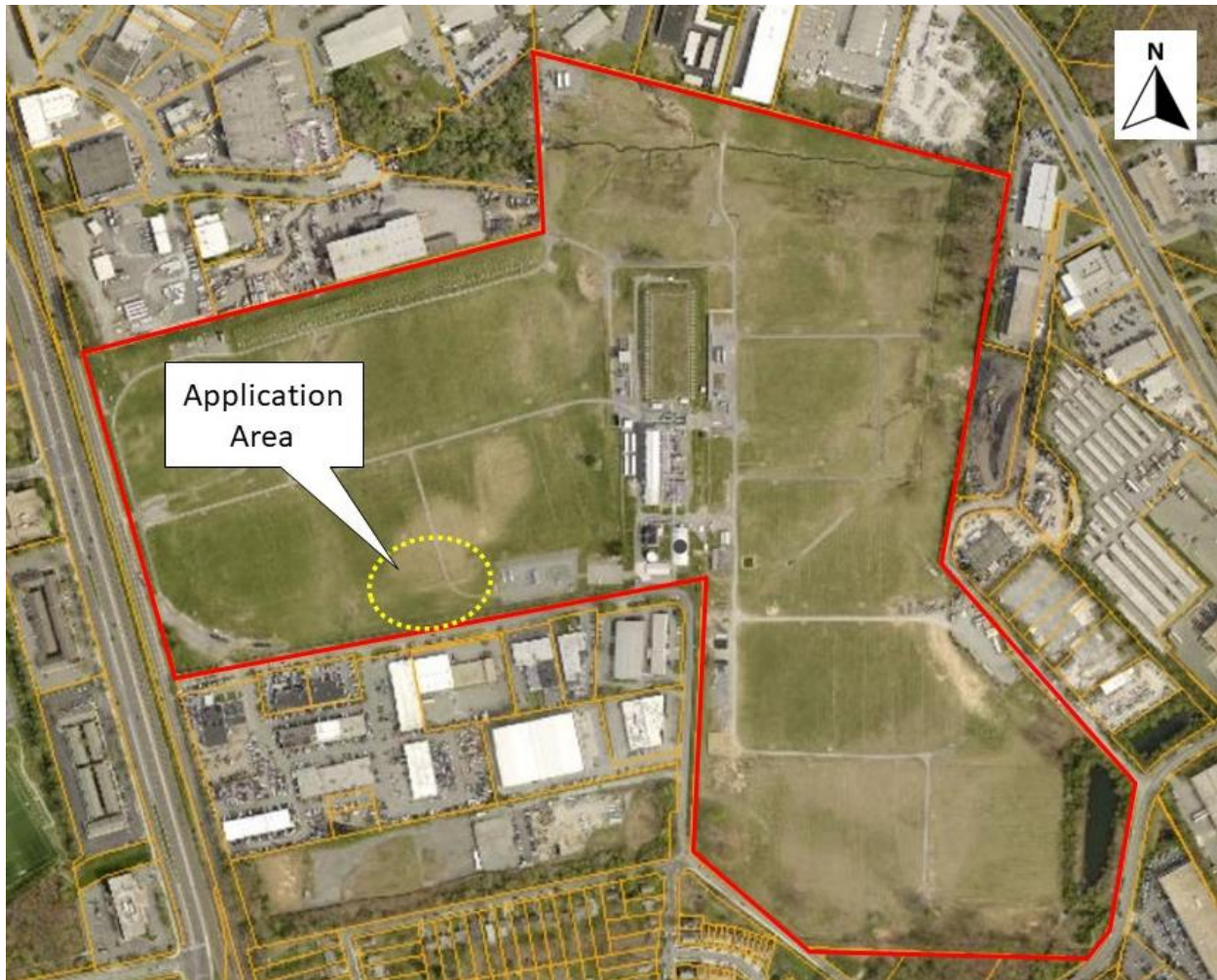


Figure 2: Aerial View of Property

Project Description

Washington Gas plans to build a temporary Renewable Natural Gas (RNG) Injection Facility, which is the subject of this Mandatory Referral. The RNG facility will be in use for approximately 10-12 months. This facility will be the end point of a “virtual” pipeline. Commercial trucks will receive the renewable natural gas from a landfill in Prince William County, VA, transport it to the temporary RNG injection site at 7301 Westmore Road, and inject the renewable natural gas into the existing underground storage tanks already located on the Washington Gas gate station and storage site. Given the nature of the operations at the source point (landfill), the virtual pipeline must remain in continuous operation (24 hours a day, 7 days a week) until a permanent pipeline is built connecting the landfill to the WG system. Therefore, this RNG Injection Facility will receive a commercial truck approximately every 2-4 hours in a 24-hr period (with a maximum of 12 trucks within a 24-hr period). Once the RNG injection facility is online, the landfill will run 24 hours to refine the raw methane into pipeline quality renewable natural gas source. The refinement of the raw methane gas also assists with lowering greenhouse gas emissions at the source. There is no storage available at the source; therefore,

without the ability to continuously fill trucks and transport the RNG to Rockville where storage exists, the landfill would be forced to burn it off (into the atmosphere) at the existing flare. Therefore, trucking operations are unable to regularly pause for any given amount of time without wasting energy on the refinement process and wasting the generated resource.

Lastly, upon permanent pipeline completion, the temporary RNG Injection Facility will be decommissioned and restored to its original site conditions as lawn and the virtual pipeline will cease operation.

Improvements on the Property are minimal and will include two construction entrances on Westmore Road, a gravel pad, natural gas utility equipment, small communications shed (SCADA Building) and three generators.

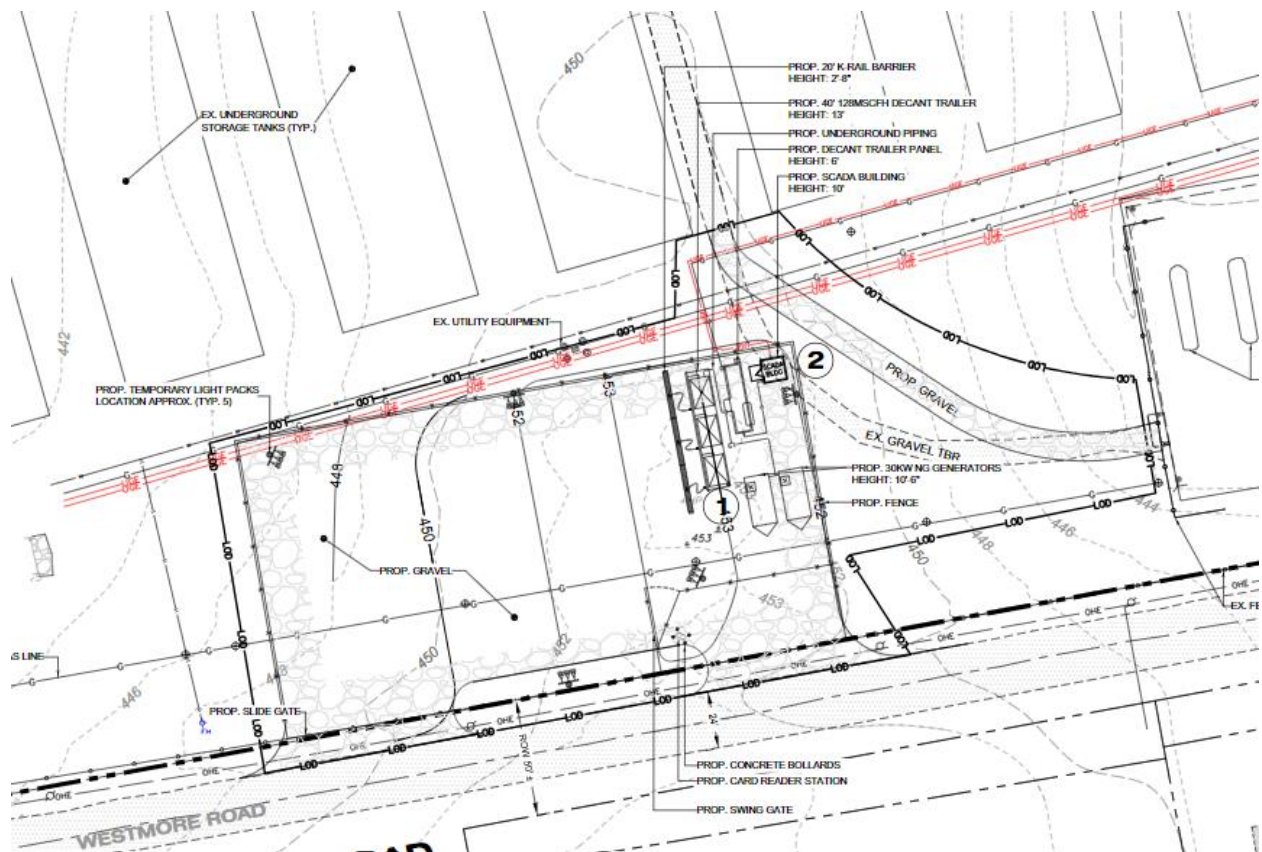


Figure 3: Proposed Site Improvements

SECTION 4 – MANDATORY REFERRAL ANALYSIS

Mandatory Referral review is guided by the Montgomery Planning Mandatory Referral Review Uniform Standards (December 2022), and the authority granted through the Maryland Land Use Article, Section 20-301, et.seq. As set forth in Sections 20-301 and -302, the Montgomery County Planning Board has jurisdiction over mandatory referral projects presented by Montgomery County

government and Montgomery County Board of Education/Montgomery County Public Schools, for (i) acquiring or selling land; (ii) locating, constructing or authorizing a road, park, public way or ground, public building or structure, or public utility; or (iii) changing the use of or widening, narrowing, extending, relocating, vacating or abandoning any of the previously mentioned facilities. The Planning Board must review such projects and transmit comments on the proposed location, character, grade and extent of the activity.

As described in the Uniform Standards, the Planning Board considers all relevant land use and planning aspects of the proposal including, but not limited to, the following:

1. *whether the proposal is consistent with the County’s General Plan, functional plans such as the master plan of highways, environmental guidelines, the approved and adopted area master plan or sector plan, and other public plans, guidance documents, or programs for the area;*

The site is in the 2004 *Upper Rock Creek Master Plan* (“Plan”) area. There are no site-specific recommendations for the property.

The overall goals of the Plan are to protect environmental resources, maintain stream quality, and preserve residential character. The plan also embraces the Maryland Economic Growth, Resource Protection and Planning Act of 1992, which established statewide planning objectives that would be implemented through local master plans. The proposed project directly aligns with the planning objective of conservation of resources, through the initiative of redistribution of renewable gas, which will be delivered and stored at the existing utility facility. Furthermore, sensitive areas are protected, as the proposed work does not impact any existing forests, wetlands, or streams.

More specifically, the Plan talks about the industrial areas near the Gude Drive/Southlawn Lane area in the City of Rockville and that it had prompted annexation requests from owners of property zoned for heavy industry, who wanted to take advantage of the city’s Service Industrial Zone, which allowed a wider array of light industrial and service uses than the County’s heavy industrial I-2 Zone (now IM Zone). These requests raised concerns about the impact of reductions in the overall inventory of heavy industrial land on the County’s ability to provide these important but sometimes unattractive land uses.

Some portions of the Gude Drive/Southlawn Lane area are generally light industrial in character, even though parts of the area are classified in the IM Zone. Other areas in the IM Zone retain a heavy industrial character. The majority of land zoned for heavy industry in the County is devoted to mineral extraction or utility operations that are unlikely to change over time, leaving the Gude/Southlawn area as the only place in the County with zoning, ownership, and use patterns suitable for a variety of heavy industrial activities.

The proposed use will not change the zoning of the property and will maintain the existing industrial character of the neighborhood.

2. *whether the proposal is consistent with the intent and the requirements of the zone in which it is located;*

The Property is zoned Medium Industrial (IM) and is home to the existing Washington Gas facility. This addition of a temporary injection facility is permitted in the zone and is compatible with both the existing use on the property and the underlying IM zone.

3. *whether the nature of the proposed site and development, including its size, shape, scale, height, arrangement, design of structure, massing, setback(s), site layout, and location(s) of parking is compatible with the surrounding neighborhood and properties;*

The actual onsite improvements are minimal consisting of two construction entrances on Westmore Road, a gravel pad, natural gas utility equipment, small communications shed (SCADA Building) and three generators. No impact is expected from the physical improvements.

However, Staff requested the applicant provide a landscape and lighting plan for the project which included landscaping at the two access points to soften the edge along the public roadway. The applicant has provided this with this Application.

Additionally, Staff looked at noise, generators, and lighting for compatibility:

Noise

Washington Gas will comply with Montgomery County's Noise ordinance for the duration of the project.

Generators

Generators will power the Temporary Renewable Gas Injection Facility. The generators will be in use continuously (24/7) throughout the operation running noise at the generator will be 74 dBA. The noise level at the nearest receiving area/adjacent property is less than 62 dBA which complies with Sec. 31B-5 (a) of the Montgomery County Noise Ordinance which states that the maximum allowable noise level for receiving noise areas (non-residential) in the daytime is 67 dBA and 62 dBA at night.

Lighting

The proposed facility, once constructed and in operation, will have five (5) light towers to illuminate the parking area and equipment on site. Lighting will be designed to provide ample

light to safely operate the large truck and natural gas equipment. The lighting design will also consider excess light pollution outside the station limits by positioning towers in strategic locations to limit light throw towards Westmore Road and focusing on high traffic areas within the station.

4. *whether the locations of buildings and structures, the open spaces, the landscaping, recreation facilities, and the pedestrian and vehicular circulation systems are adequate, safe, and efficient;*

The entrance of the proposed facility is on Westmore Road, which is not a thru street and dead ends before reaching the major road, Hungerford Drive, to the west. The proposed use of the facility will not increase traffic on the lightly used road, which is mainly occupied by industrial, warehouse units on the south side of the road. The entire north side of the road is occupied by the Washington Gas property.

The truck route has been selected so as to limit truck movements through the Rockville core by using a northern approach utilizing highways and major collectors rather than local roads to the extent possible.

A continuous flagging operation will occur at the Dover Road/Horners Lane intersection to facilitate safe movement of trucks and local traffic at this intersection.

The site design has two access points one for entering trucks and one for exiting trucks. This design allows for the truck to pull onto the Property unload and exit the property in a safe adequate and efficient matter.

5. *whether the proposal has an approved NRI/FSD and a preliminary SWM concept plan, and meets the requirements of the Forest Conservation Law (Chapter 22A of the County Code). Forest Conservation Plan, if applicable, must be approved by the Planning Board, either before or at the time of the Board's mandatory referral review and action on the project. Unlike the mandatory referral review by the Board, the conditions of the Forest Conservation Plan are binding on all county projects and require a Resolution of Approval.*

The Application is subject to Chapter 22A and has been granted a Forest Conservation Exemption number 42024038E which was approved on September 5, 2023. The exemption was granted under Section 22A-5(t)(1) for modifications to an existing non-residential developed property. The activity does not result in forest loss. No streams, stream buffer or environmental buffers will be impacted. The activity does not require approval of a preliminary plan, administrative subdivision plan, conditional use or special exception. The

modification does not increase the developed area by more than 50% and does not propose any residential uses.

The project was granted a wavier from the Stormwater Management requirements by MCDPS on October 16, 2023. The project was required to get an engineered sediment control plan. The sediment control plan was approved by MCDPS on January 9, 2024.

- 6. *whether a Preliminary or a Final Water Quality Plan has been reviewed by the Planning Board if the project is located in a Special Protection Area. In addition, for a Water Quality Plan for a project on public property, the Board must determine if the plan meets the standards of Article V. WATER QUALITY REVIEW IN SPECIAL PROTECTION AREAS, of the County Code (pursuant to Section 19-65(d)(4));***

This Property is not in a Special Protection Area

- 7. *whether or not the site would be needed for park use if the proposal is for disposition of a surplus school.***

This Property is not a surplus school site

- 8. *whether alternatives or mitigation measures have been considered for the project if the proposal is inconsistent with the General Plan or other plans and policies for the area, or has discernible negative impacts on the surrounding properties or neighborhood, the transportation network, the environment, historic resources (including burial sites) or other resources.***

The project is not inconsistent with the General Plan or other plans and policies for the area, or has discernible negative impacts on the surrounding properties or neighborhood, the transportation network, the environment, historic resources (including burial sites) or other resources.

Two possible impacts would be from the access route on Horners Lane and light pollution.

The truck route was specifically planned to minimize impacts on the surrounding community. In the local area of the Property, the trucks will primarily travel through the industrial district along Gude Drive and Dover Road. At the flagger-controlled intersection of Dover Road and Horners Lane, the trucks and associated flagger lighting are in the vicinity of the cemetery, not in proximity to any residential homes. There is only an approximate 620-foot stretch of roadway along N. Horners Lane that runs behind residential homes – refer to Truck Route Exhibit. These residential homes are set back approximately 48'+/- from the curb line at the closest point, while most are 100' or more away from the travel lane and largely buffered from

the street by mature trees and open space. Notably, given the alignment of the roadway and the existing landscaping, the trucks will not be oriented directly towards any residence; thus, there are no anticipated adverse lighting impacts on the nearby residential homes. Trucks will be driving at low speeds in normal traffic operations; no backup alarms should be needed. When considering this in combination with the infrequency of the trips, adverse noise impacts will be limited on the surrounding community to those that are standard to any larger trucks entering/exiting the industrial area where the temporary injection Facility (“TIF”) is located. And, as noted in Washington Gas’s narrative, the proposed TIF and associated Virtual Pipeline are only temporary in nature. The TIF is anticipated to operate only through the end of 2024.

Lighting should be positioned internal to the site and to minimize impact to neighboring properties.

With the temporary nature of the project, long-term issues are not anticipated.

TRANSPORTATION VEHICULAR ACCESS

Vehicular access to the Site is derived from Westmore Road, which is classified as an Industrial Street in the 2021 *Complete Streets Design Guide*. The closest major streets to the Subject Property are Hungerford Drive/Frederick Road (“MD 355”) to the west and East Gude Drive to the east. Westmore Road is divided from Hungerford Drive/Frederick Road by a combination of Amtrak, CSX Transportation, and WMATA heavy rail lines. Westmore Road’s terminus directly abuts the railroad tracks. East Gude Drive is the only major street that provides almost direct access to the facility. Further access to the Subject Property is provided via Westmore Avenue/Horners Lane and Dover Road, the latter of which is directly connected to East Gude Drive. East Gude Drive is almost one full mile from the Subject Property; the site has no frontage on East Gude Drive. Westmore Avenue, Horners Lane, and Dover Road are all categorized as Industrial Streets in the *Complete Streets Design Guide*.

LOCAL AREA TRANSPORTATION REVIEW

Both sides of Westmore Road, the Property frontage and primary entrance point, contains miscellaneous industrial and warehousing uses. A maximum number of twelve trucks delivering compressed natural gas are projected to enter the facility every 2-4 hours over a 24-hour time frame.

The Property is located in the Derwood Policy Area, which is categorized as an Orange Policy Area under the 2020 – 2025 *Growth and Infrastructure Policy* (the “GIP”). As demonstrated via the Applicant’s Traffic Exemption Statement (“TES”) dated April 12th, 2023, The facility will generate a maximum of 6 net-new person trips during the AM peak-hour period and an additional 6 during the PM peak-hour period. As this is below the 50-person threshold to trigger a full-scale transportation study, the Application is not subject to additional Local Area Transportation Review (“LATR”) and is exempt from completing further transportation adequacy analysis.

Trip Generation						
	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
*Based on maximum anticipated truck delivery intervals	3	3	6	3	3	6
	Total Trips		12			

PEDESTRIAN AND BICYCLE FACILITIES

There are no existing pedestrian or bicycle facilities within the vicinity of the Subject Property. The closest pedestrian facilities exist on Horners Lane, which straddles the border between Derwood and the City of Rockville. Master-planned bikeways exist on East Gude Drive, but otherwise have no significant impact on the proposed use of the Subject Property.

PUBLIC TRANSIT SERVICE

No public transportation routes serve the facility directly. The nearest bus stop serves Ride On Route 59, which provides service to Rockville Metrorail Station and Montgomery Village. The bus stop, located on Moore Drive and Frederick Avenue in the City of Rockville, is approximately a quarter mile from the entrance to the Site.

PARKING

The facility contains an internal parking lot with a total of 26 spaces. As part of this Application, the Applicant is not proposing additional parking spaces to serve the Site.

Environment

ENVIRONMENTAL GUIDELINES

A Forest Conservation Exemption Request #42024038E was approved by Staff on September 5, 2023. There are no streams, floodplains, wetlands, or environmental buffers affected by the Project.

FOREST CONSERVATION

The Application is subject to Chapter 22A and has been granted a Forest Conservation Exemption number 42024038E which was approved on September 5, 2023. The exemption was granted under Section 22A-5(t)(1) for modifications to an existing non-residential developed property. The activity does not result in forest loss. No streams, stream buffer or environmental buffers will be impacted.

The activity does not require approval of a preliminary plan, administrative subdivision plan, conditional use or special exception. The modification does not increase the developed area by more than 50% and does not propose any residential uses.

STORMWATER MANAGEMENT

The project was granted a waiver from the Stormwater Management requirements by MCDPS on October 16, 2023.

SECTION 5 - COMMUNITY OUTREACH

After staff accepted the Mandatory Referral for review, Montgomery Planning notified local civic and homeowners' associations and other interested parties of this proposal. As of the date of this report, no correspondence has been received in regard to this application.

SECTION 6 - CONCLUSION

Staff recommends Approval and the transmittal of comments to Washington Gas.

Attachments:

Attachment A: Mandatory Referral Plans

Attachment B: Applicant's Supplemental Letter

Attachment C: Sediment Control Plan

Attachment D: MCDPS Stormwater Management Waiver Letter

Attachment A:

RNG INJECTION FACILITY ROCKVILLE, MD

MANDATORY REFERRAL NARRATIVE

APPLICANT:

Washington Gas
 6801 Industrial Road Springfield, VA 22151
 Contact: Morgan Smith; mrsmith@washgas.com

Site Information

Address: 7301 Westmore Road, Rockville, MD 20850
 LOD: 53,183 SF / 1.22 AC
 Total Property Area: ±5,516,003 SF / 126.63 AC
 Tax Account: 00055883
 Tax Map/Grid: GS341/GR343
 WSSC Grid: 220NW07/219NW07
 Election District: 4
 Zoning: IM-2.5 H-50
 Legal Description: VALENTINES GAR ENL E TC
 MDE 12-Digit Watershed: Middle Rock Creek
 (021402060837)
 Water Use Designation: IV

Project Background & Scope

Washington Gas owns and operates a 120+ acre underground natural gas storage facility in Rockville, MD located at 7301 Westmore Road. On this property, Washington Gas plans to build a Temporary Renewable Natural Gas (RNG) Injection Facility, which is the subject of this Mandatory Referral. The RNG facility will be in use for approximately 10-12 months. The RNG facility will consist of two construction entrances on Westmore Road, a gravel pad, natural gas utility equipment, small communications shed (SCADA Building) and three generators. This facility will be the end point of a "virtual" pipeline. Commercial trucks will receive the renewable natural gas from a landfill in Prince William County, VA, transport it to the temporary RNG injection site at 7301 Westmore Road, and inject the renewable natural gas into the existing underground storage tanks already located on the Washington Gas gate station and storage site.

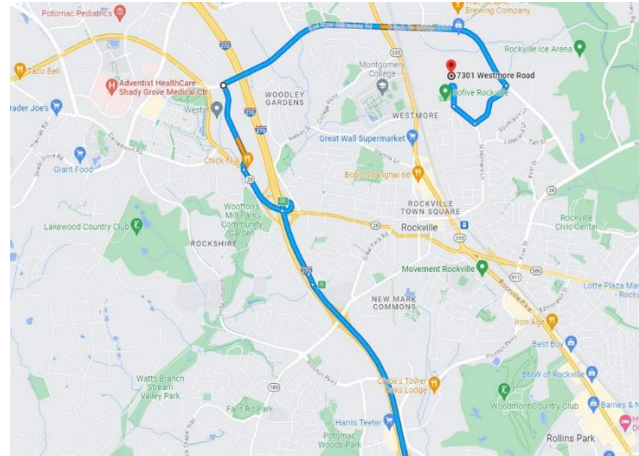


Figure 1. Preliminary Virtual Pipeline Route

Given the nature of the operations at the source point (landfill), the virtual pipeline must remain in continuous operation (24 hours a day, 7 days a week) until a permanent pipeline is built connecting the landfill to the WG system. Therefore, this RNG Injection Facility will receive a commercial truck every 2-4 hours in a 24-hr period (with a maximum of 12 trucks within a 24-hr period). Once the RNG injection facility is online, the landfill will run 24 hours in order to refine the raw methane into pipeline quality renewable natural gas source. The refinement of the raw methane gas also assists with lowering greenhouse gas emissions at the source. There is no storage available at the source; therefore, without the ability to continuously fill trucks and transport the RNG to Rockville where storage exists, the landfill would be forced to burn it off (into the atmosphere) at the existing flare. Therefore, trucking operations is unable to regularly pause for any given amount of time without wasting energy on the refinement process and wasting the generated resource.

Lastly, upon permanent pipeline completion, the temporary RNG Injection Facility will be decommissioned and restored to its original site conditions as lawn and the virtual pipeline will cease operation.

Other Approvals

City of Rockville

Washington Gas has coordinated with the City of Rockville on the virtual pipeline route and has received approval for the commercial trucks to pass through the City limits with flagger assistance at Dover Rd and Horners Ln. They have received a Right of Way permit to establish a long-term, continuous flagging operation for the duration of the project.

Montgomery County DPS

Washington Gas has submitted a Sediment and Erosion Control Plan to the Montgomery County Department of Permitting Services. They have also submitted a Right of Way permit application for the two construction entrances on Westmore Road and will submit a building permit application for the SCADA Building.

Montgomery County General Plan Compliance

The site is subject to the Upper Rock Creek Master Plan (2004). The primary goals of the Plan are to protect environmental resources, maintain stream quality, and preserve residential character. The plan also embraces the Maryland Economic Growth, Resource Protection and Planning Act of 1992, which established statewide planning objectives that would be implemented through local master plans. The proposed project directly aligns with the planning objective of conservation of resources, through the initiative of redistribution of renewable gas, which will be delivered and stored at the existing utility facility. Furthermore, sensitive areas are protected, as the proposed work does not impact any existing forests, wetlands, or streams.

Pedestrian and Bicycle Impact Statement

There are no existing or proposed pedestrian or bicycle facilities in the proximity of the project site and therefore no pedestrian or bicycle improvements are proposed or required.

Cultural/Historic Resources

This property is not designated as historic nor does it impact, abut, or otherwise present a proximity impact to a historic resource.

Parkland Impacts

There are no parkland impacts as a result of this project.

Environmental Resources

While there are environmental resources on the 100+ acre property, there are none within or in the immediate vicinity of the project site. The project site is not within or in the vicinity of the 100-yr floodplain, wetlands, streams, or associated buffers. The project does involve the addition of impervious surfaces; however, no trees or forests will be cut down or impacted in any way due to the construction. Due to the existing conditions of this project a Storm Water Management Exemption has been requested.

Other Local Area Impacts

Noise

Washington Gas will comply with Montgomery County's Noise ordinance for the duration of the project.

Generators

The proposed facility will use 3-30 kilowatt NG Generators to power the Temporary Renewable Gas Injection Facility. The generators will be in use continuously (24/7) throughout the operation. The noise level at the nearest receiving area/adjacent property is less than 62 dBA which complies with Sec. 31B-5 (a) of the Montgomery County Noise Ordinance which states that the maximum allowable noise level for receiving noise areas (non-residential) in the daytime is 67 dBA and 62 dBA at night.

Traffic

The proposed facility, once constructed and in operation, will see, on average, 1 truck access the site every 2-4 hours (with a maximum of 12 trucks in a single 24-hour period). This will be a 24-hour, continuous operation with no limitations on nighttime services due to the nature of the source (landfill) emitting RNG continuously throughout the 24-hour period. The entrance of the proposed facility is on Westmore Road, which is not a thru street and dead ends before reaching the major road, Hungerford Drive, to the west. The proposed use of the facility will not increase traffic on the lightly used road, which is mainly occupied by industrial, warehouse units on the south side of the road. The

entire north side of the road is occupied by the Washington Gas property.

The truck route has been selected so as to limit truck movements through the Rockville core- see Figure 1 which shows a northern approach utilizing highways and major collectors rather than local roads to the extent possible.

Refer to Other Approvals- City of Rockville section above; a continuous flagging operation has been permitted at the Dover Road/Horners Lane intersection to facilitate safe movement of trucks and local traffic at this intersection.

Lighting

The proposed facility, once constructed and in operation, will have five (5) light towers to illuminate the parking area and equipment on site. Lighting will be designed to provide ample light to safely operator the large truck and natural gas equipment. The lighting design will also consider excess light pollution outside the station limits by positioning towers in strategic locations to limit light throw towards Westmore Road and focusing on high traffic areas of the station.

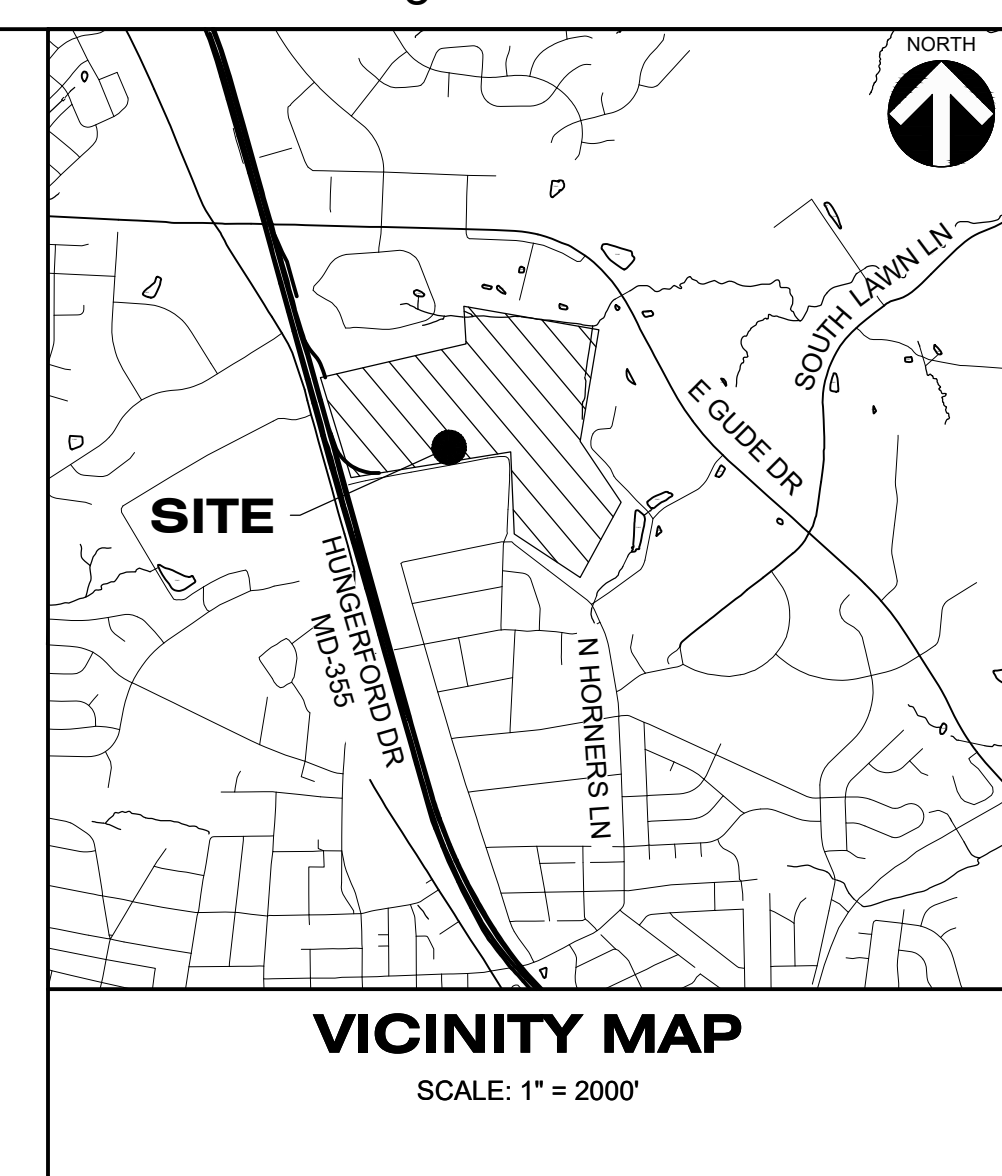
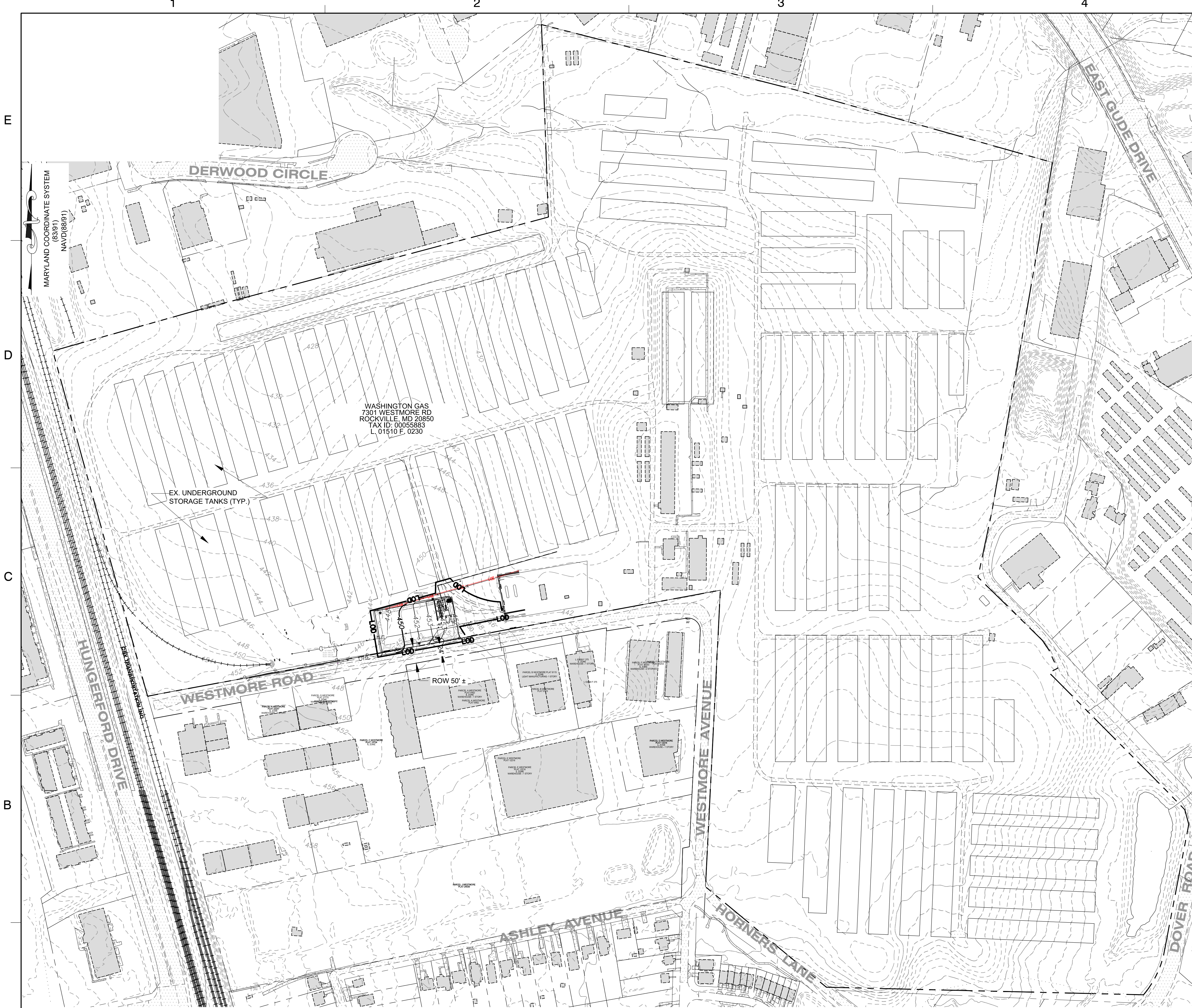
Architecture and Green Building Components

The SCADA building, which acts as a small communications equipment shed, is 8'x8' and is approximately 10' tall.

Schedule and Funding

This project is privately funded by the utility and their virtual pipeline partner, OPAL.

Washington Gas desires the project to be online and the virtual pipeline operation active by the end of Q1 2024. The temporary operation will likely run through the end of 2024 in order for the pipeline to be built/available and the temporary facility removed and restored in kind.



- LEGEND:**
- EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING TREE LINE
 - EXISTING FENCE
 - EXISTING STREAM
 - EXISTING ROAD
 - EXISTING BUILDING
 - EXISTING SIDEWALK/CONCRETE
 - EXISTING OVERHEAD ELECTRIC
 - LIMITS OF DISTURBANCE (LOD)

- GENERAL NOTES:**
1. LIMITS OF DISTURBANCE: 53,183 SF (1.22 AC)
 IMPERVIOUS EXISTING: 1,895 SF (0.05 AC)
 IMPERVIOUS TEMPORARY: 33,897 SF (0.79 AC)
 IMPERVIOUS PROPOSED: 2380 SF (0.05 AC)
 TOTAL PROPERTY AREA: 5,516,003 SF (126.63 AC)
 2. LOCATION: ON WESTMORE ROAD, APPROX. 1,600 FT SOUTHEAST OF E. GUDE DRIVE AND HUNGERFORD DRIVE INTERSECTION
 3. PROPERTY OWNER: WASHINGTON GAS LIGHT CO.
 4. APPLICANT: WASHINGTON GAS
 6801 INDUSTRIAL ROAD
 SPRINGFIELD, VA 22151
 5. ZONING: IM-2.5 H-50
 6. USE EXISTING/PROPOSED: UTILITY - WASHINGTON GAS LIGHT - OPERATING PROPERTY
 7. WSSC GRID: 220NW07/219NW07
 8. TAX ID: 00055883
 9. ELECTION DISTRICT: 4
 10. MAP: GS341/GR343
 11. COORDINATES AND BEARINGS SHOWN HEREON ARE DERIVED FROM THE MARYLAND STATE PLANE COORDINATES NAD83 (2011 ADJUSTMENT) DERIVED FROM NGS NSRS USING THE REAL TIME NETWORK "KEYNETGPS" OPERATED BY TRIMBLE VRS NETWORK.
 GPS RECEIVER TECHNICAL DATA: TRIMBLE R8 ROVER GEODETIC GNSS RECEIVER (GPS L1/L2/L2C, GLONASS FREQUENCIES)
 SEE SURVEY CONTROL TABLE. THIS SHEET
 12. THERE ARE NO KNOWN NATURAL RESOURCES ON THIS SITE. THEREFORE NO PROPOSED CLEARING OF ANY FOREST.
 13. THIS SITE DOES NOT LIE WITHIN A 100-YR FLOODPLAIN.
 14. THIS SITE DOES NOT LIE WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
 15. THIS PROPERTY IS SUBJECT TO THE UPPER ROCK CREEK AREA MASTER PLAN, ADOPTED 2004
 16. THERE ARE NO HISTORIC RESOURCES OR CEMETERIES WITHIN THIS SITE.

POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	521771.74	1268976.25	452.41	TRV/ 1
2	521852.62	1269612.77	454.14	TRV/ 2 RC
3	522024.08	1270465.23	433.10	TRV/ 3 RC
4	521113.41	1270425.88	439.77	TRV
33	522023.95	1270465.22	433.07	TRV

NOTE
 FOR LOCATION OF UTILITIES CALL
 8-1-1 OR 1-800-257-7777
 OR LOG ON TO
 www.call811.com
 http://www.missutility.net
 48 HOURS IN ADVANCE OF ANY WORK
 IN THIS VICINITY.
 INFORMATION CONCERNING UNDERGROUND
 UTILITIES WAS OBTAINED FROM AVAILABLE
 RECORDS BUT THE CONTRACTOR MUST
 DETERMINE THE EXACT LOCATION AND
 ELEVATION OF THE MAINS BY DIGGING TEST PITS
 BY HAND AT ALL UTILITY CROSSINGS WELL IN
 ADVANCE OF THE START OF EXCAVATION.

Dewberry
 Dewberry Engineers Inc.
 10461 MILL RUN CIRCLE
 SUITE 300
 OWINGS MILLS, MARYLAND 21117
 PHONE: 410.265.9500
 FAX: 410.265.8875

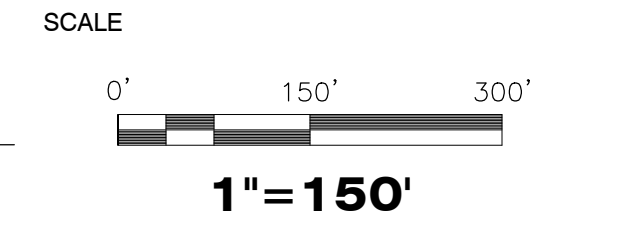
OWNER/APPLICANT
 WASHINGTON GAS
 A WGL COMPANY
 6801 INDUSTRIAL ROAD
 SPRINGFIELD, VA 22151
 ATTN: MORGAN SMITH
 MRSMITH@WASHGAS.COM
 PHONE: 703.750.4205

WASHINGTON GAS
RNG INJECTION FACILITY
 WSSC: 220NW07, 219NW07
 TAX MAP: GS341, GR343
 GAS STORAGE FACILITY
 7301 WESTMORE ROAD
 ROCKVILLE, MD 20850

SEAL

 Lisa R. Betz
 10.30.2023

Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: January 14, 2023.



NO.	REVISIONS

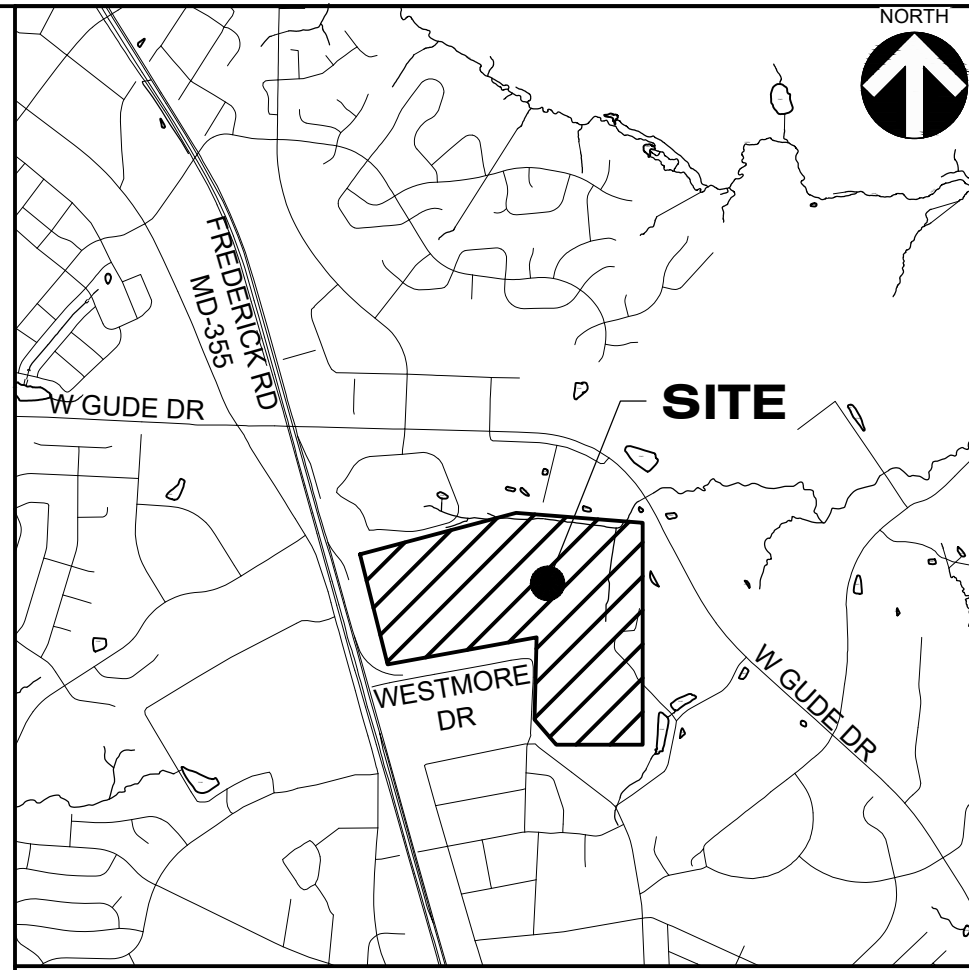
DRAWN BY: DJ
 APPROVED BY:
 CHECKED BY:
 DATE: 08/10/2023

MANDATORY REFERRAL
SITE PLAN

PROJECT NO. 50147954

E
D
C
B
A

MARYLAND COORDINATE SYSTEM
(83/81)
NAVD(88/81)



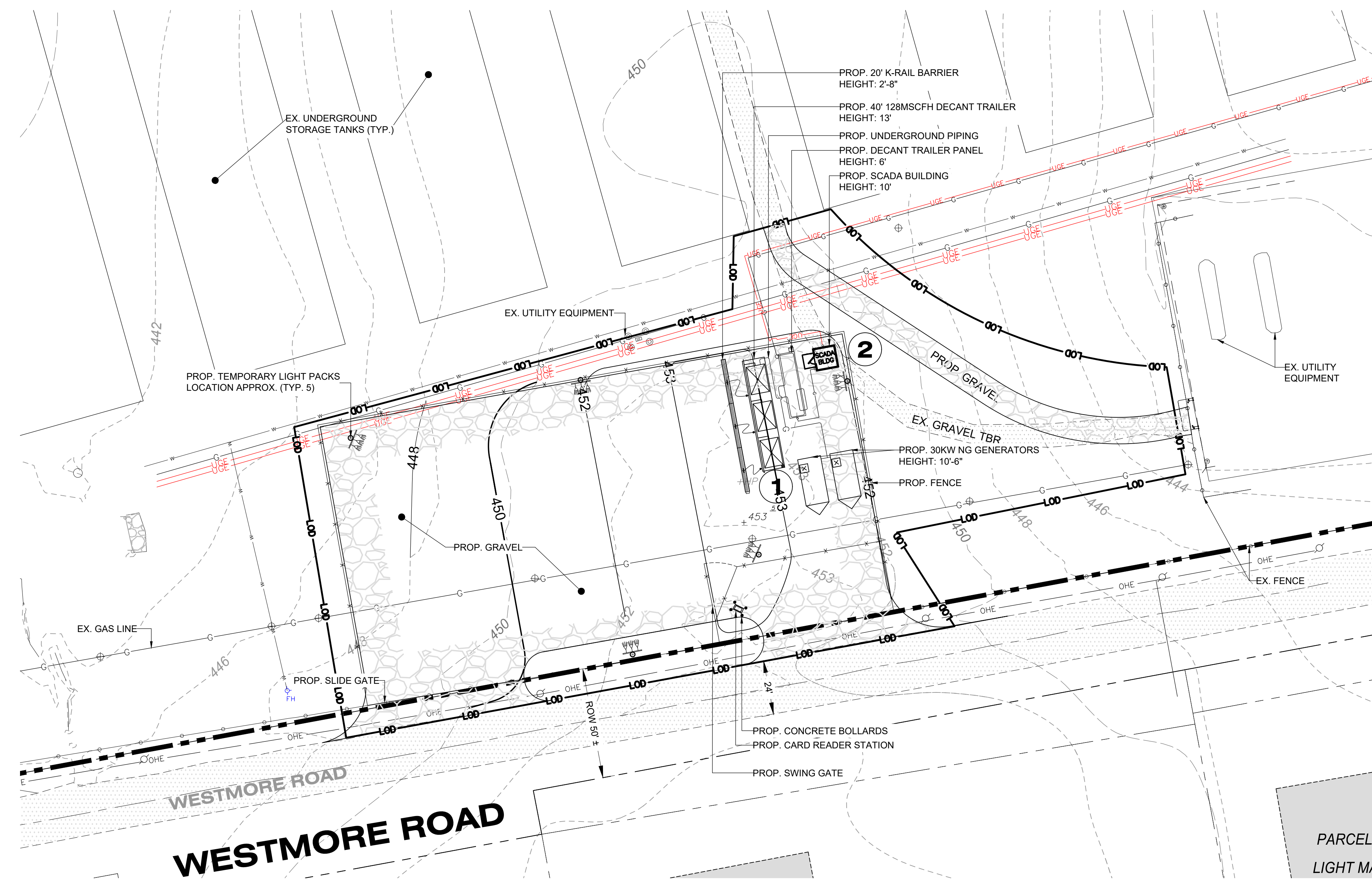
Dewberry
Dewberry Engineers Inc.
10461 MILL RUN CIRCLE
SUITE 300
OWINGS MILLS, MARYLAND 21117
PHONE: 410.265.9500
FAX: 410.265.8875

OWNER/APPLICANT
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A WGL COMPANY

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PHONE: 703.750.4205

1 DECANTER TRAILER (TYP.)
NTS

2 SCADA BUILDING
NTS



VICINITY MAP
SCALE: 1" = 2000'

CHAPTER 59 MONTGOMERY COUNTY ZONING ORDINANCE, TABLE 4.8.3A
IL AND IM ZONES, STANDARD METHOD DEVELOPMENT STANDARDS

	REQUIRED	PROPOSED
1. SITE		
OPEN SPACE (MIN)		
AMENITY OPEN SPACE, TRACT ≤ 10,000 SF	5%	N/A
AMENITY OPEN SPACE, TRACT > 10,000 SF	10%	N/A
SPECIFICATIONS FOR OPEN SPACE		
A. OPEN SPACE IS CALCULATED ON THE AREA OF THE SITE		
2. LOT AND DENSITY		
DENSITY (MAX)		
DENSITY, FAR	2.5	<0.0001
SPECIFICATION FOR DENSITY		
A. ANY AREA USED EXCLUSIVELY FOR MECHANICAL EQUIPMENT IS EXCLUDED FROM THE MAXIMUM DENSITY CALCULATION, AND ANY AREA EXCLUDED FROM THIS CALCULATION THAT EXCEEDS THE FAR OF THE ZONE MUST BE USED ONLY FOR THIS PURPOSE. THE TOTAL AREA OF ANY PARTIAL FLOORS OR STORIES EXCLUDED FROM THE MAXIMUM DENSITY CALCULATION MUST NOT EXCEED THE GROSS FLOOR AREA OF ANY FULL FLOOR OF THE BUILDING		
3. PLACEMENT		
PRINCIPAL BUILDING AND ACCESSORY STRUCTURE SETBACKS (MIN)		
FRONT SETBACK	10'-0"	128'-0"
SIDE STREET SETBACK	10'-0"	956'
SIDE SETBACK, ABUTTING AGRICULTURAL, RURAL RESIDENTIAL, RESIDENTIAL DETACHED, OR RESIDENTIAL TOWNHOUSE ZONES	SEE SECTION 4.1.8.A	N/A
SIDE SETBACK, ABUTTING INDUSTRIAL ZONES	0'-0"	1,620'
SIDE SETBACK, ABUTTING ALL OTHER ZONES	10'-0"	N/A
REAR SETBACK, ABUTTING AGRICULTURAL, RURAL RESIDENTIAL, RESIDENTIAL DETACHED, OR RESIDENTIAL TOWNHOUSE ZONES	SEE SECTION 4.1.8.A	N/A
REAR SETBACK, ABUTTING INDUSTRIAL ZONES	0'-0"	1,026'
REAR SETBACK, ABUTTING ALL OTHER ZONES	10'-0"	N/A
REAR SETBACK, ALLEY	0'-0"	N/A
PARKING SETBACKS FOR SURFACE PARKING LOTS (MIN)		
FRONT SETBACK	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
SIDE STREET SETBACK	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
SIDE SETBACK	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
REAR SETBACK	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
REAR SETBACK, ALLEY	MUST ACCOMMODATE LANDSCAPING REQUIRED UNDER SECTION 6.2.9	N/A
4. HEIGHT		
HEIGHT (MAX)		
PRINCIPAL BUILDING	50'	N/A
ACCESSORY STRUCTURE	50'	10'-0"
5. FORM		
ALLOWED BUILDING ELEMENTS		
GALLERY/AWNING	YES	NO
PORCH/STOOP	YES	NO
BALCONY	YES	NO

LEGEND:

	EXISTING PROPERTY LINE		LIMITS OF DISTURBANCE (LOD)
	EXISTING ADJACENT PROPERTY LINE		PROPOSED GRAVEL PAD
	EXISTING MINOR CONTOUR		PROPOSED FENCE
	EXISTING MAJOR CONTOUR		PROPOSED GAS EQUIPMENT
	EXISTING FENCE		PROPOSED MINOR CONTOUR
	EXISTING ROAD		PROPOSED MAJOR CONTOUR
	EXISTING OVERHEAD ELECTRIC		PROPOSED TEMPORARY LIGHT PACK
	EXISTING POWER POLE		
	EXISTING UNDERGROUND ELECTRIC		
	EXISTING NATURAL GAS TEST STATION		
	EXISTING NATURAL GAS PIPE LINE		

NOTE
FOR LOCATION OF UTILITIES CALL 8-1-1 OR 1-800-257-7777 OR LOG ON TO www.call811.com OR <http://www.missutility.net> 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY.

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION.

WASHINGTON GAS
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TAX MAP: G5341, GR343
GAS STORAGE FACILITY
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SEAL

Lisa R. Bety
10.30.2023

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SCALE
0' 30' 60'
1"=30'

REVISIONS

DRAWN BY: DJJ

APPROVED BY: _____

CHECKED BY: _____

DATE: 08/10/2023

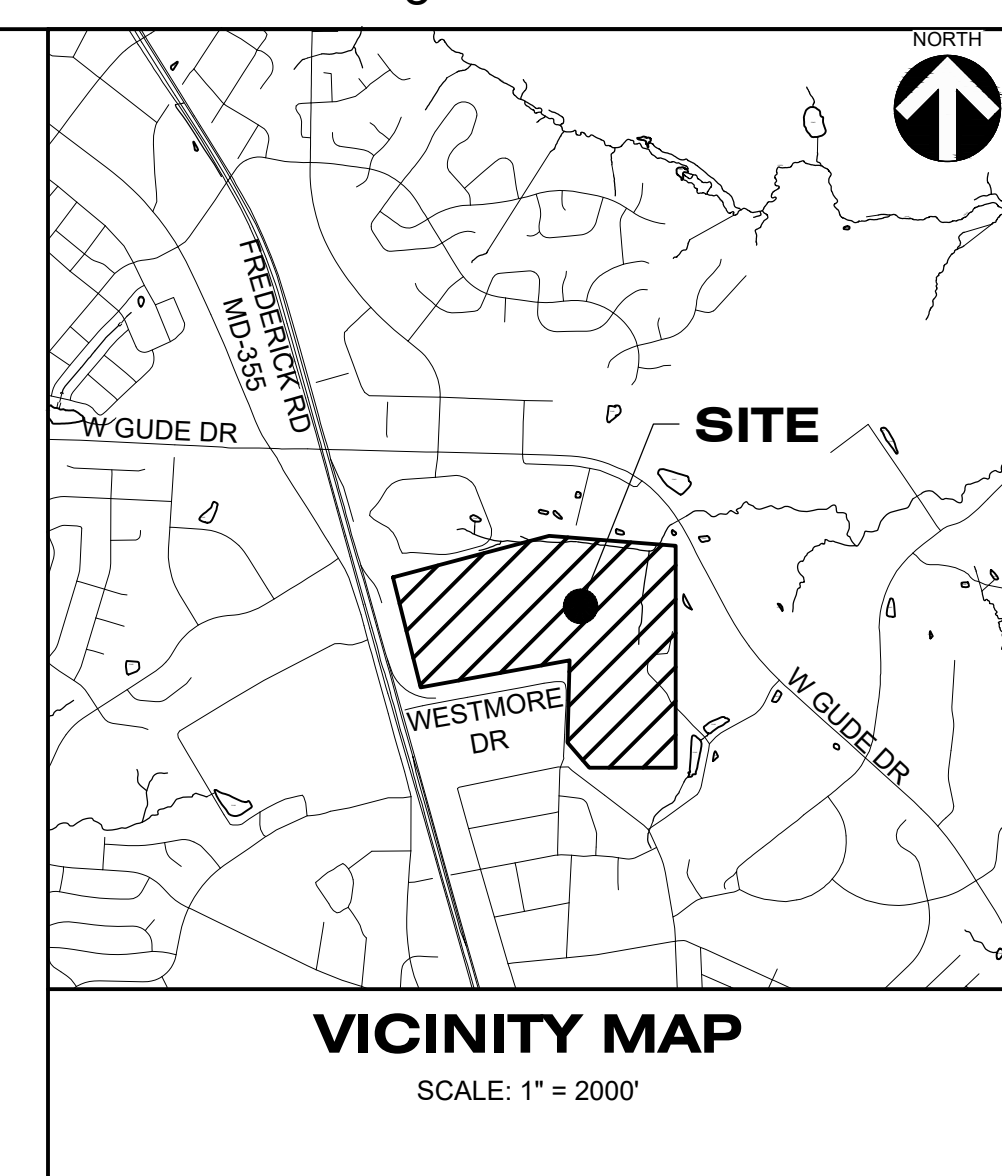
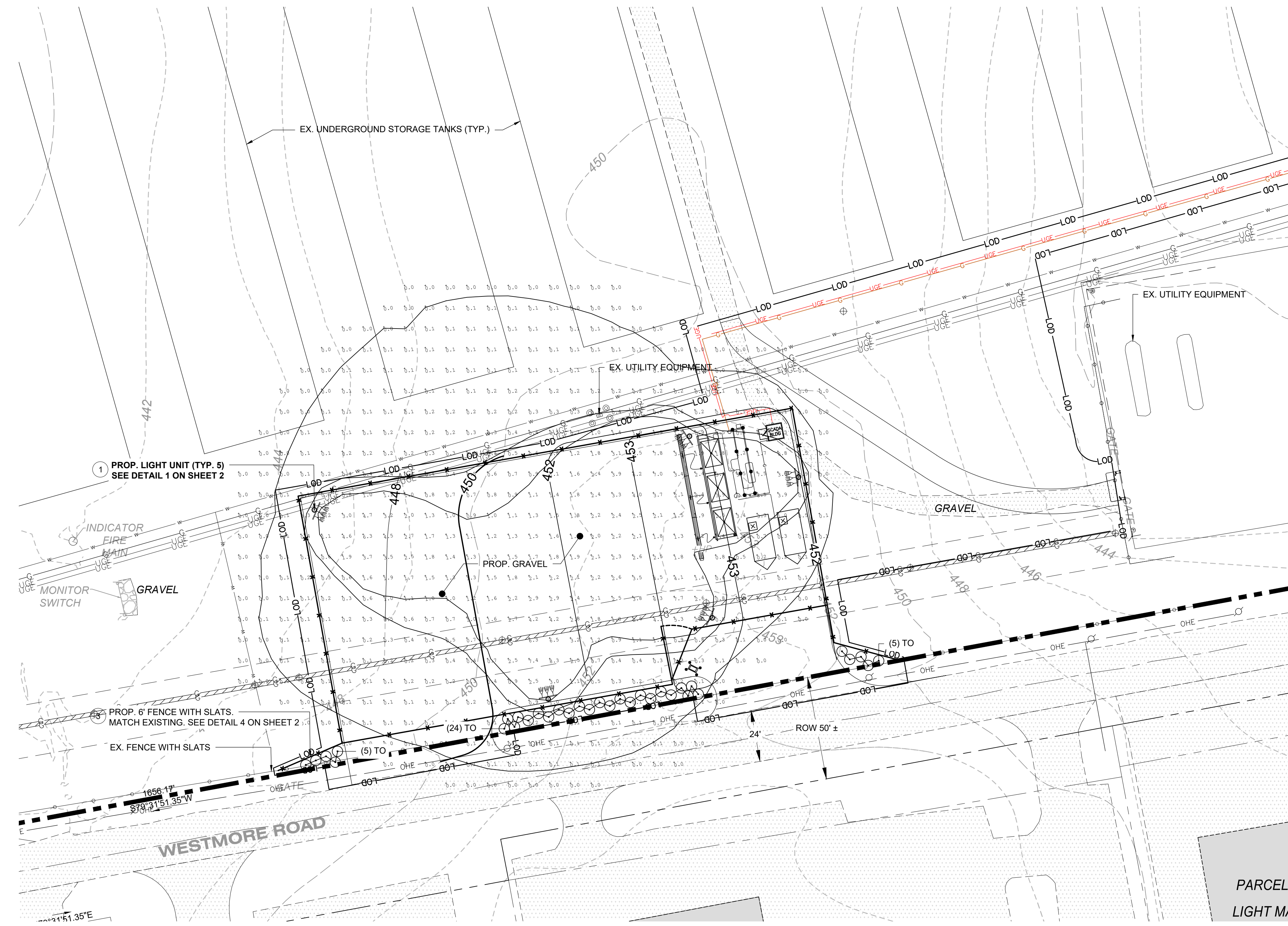
MANDATORY REFERRAL

SITE PLAN
ENLARGEMENT

PROJECT NO. 50147954

2

MARYLAND COORDINATE SYSTEM
(83/81)
NAVD(88/81)

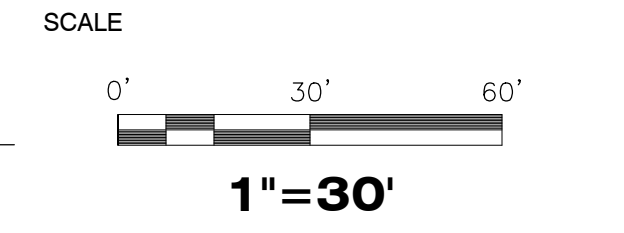


- LEGEND:**
- — — — — EXISTING PROPERTY LINE
 - - - - - EXISTING ADJACENT PROPERTY LINE
 - - - - -212- EXISTING MINOR CONTOUR
 - - - - -210- EXISTING MAJOR CONTOUR
 - · - · - · EXISTING TREE LINE
 - · - · - · EXISTING FENCE
 - · - · - · EXISTING STREAM
 - ▨ EXISTING ROAD
 - ▩ EXISTING BUILDING
 - ▧ EXISTING SIDEWALK/CONCRETE
 - OHE — EXISTING OVERHEAD ELECTRIC
 - ⊕ EXISTING TEST STATION
 - ⊙ EXISTING POWER POLE
 - LOD — LIMITS OF DISTURBANCE (LOD)
 - ☉ PROPPOSED LIGHT
 - ▨ PROPPOSED GRAVEL PAD
 - * — * — * — PROPPOSED FENCE
 - ⊙ FOOTCANDLE
 - ⊙ ⊙ ⊙ ⊙ ⊙ PROPPOSED SHRUB

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DRAWN BY: DJ
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DATE: 08/10/2023

**MANDATORY REFERRAL
LANDSCAPE AND
PHOTOMETRICS
PLAN**

PROJECT NO. 50147954

PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	FORM	SPACING	NOTES
☉	TO	34	<i>Thuja occidentalis</i> 'Smaragd Emerald Green Arborvitae	6' height min.	B&B / Container	Full, vigorous, evenly branching, no bare areas	As shown	

LIGHTING SCHEDULE

SYMBOL	QTY	MANUFACTURER	MODEL	LUMENS	MOUNTING HEIGHTS
☉	5	NATIONAL SIGNAL	SUNRAY LTS-160	104,800	20 FT

NOTE
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OR LOG ON TO
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BY HAND AT ALL UTILITY CROSSINGS WELL IN
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Sunray LTS-160

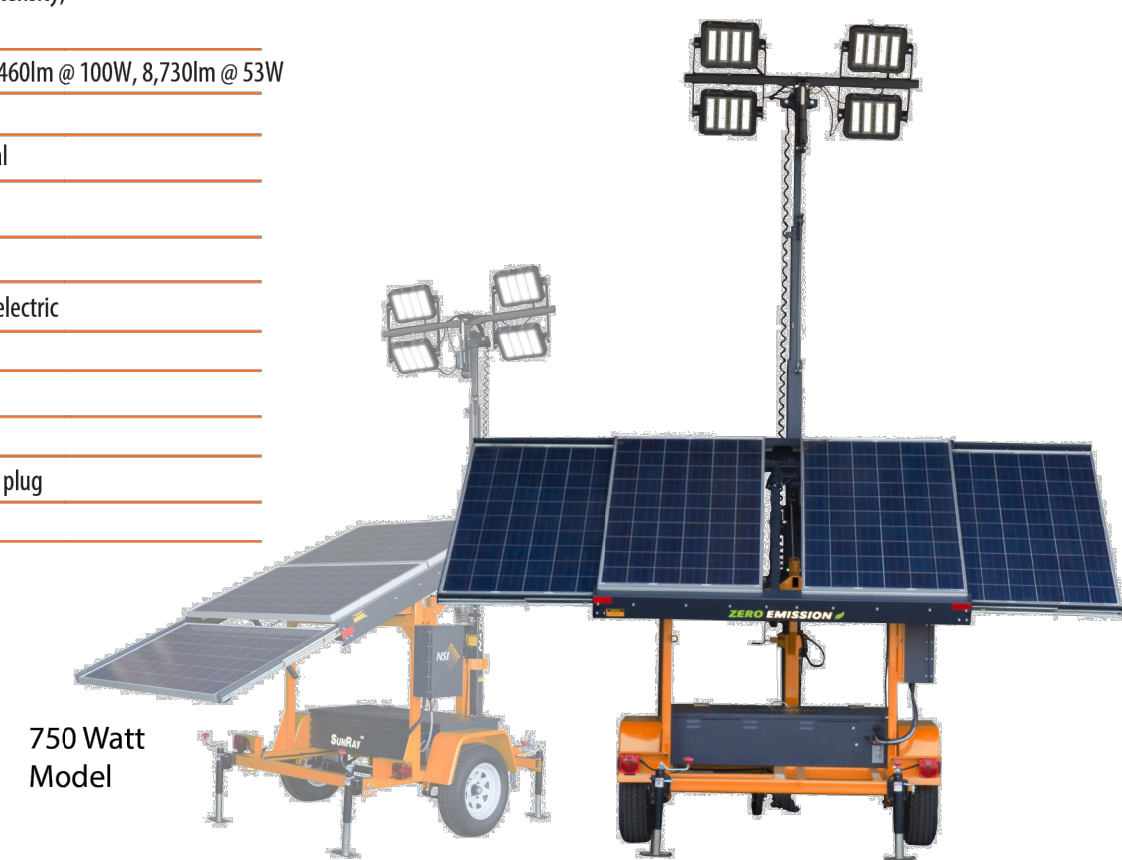
National's LTS-160 Solar Light Tower is our brightest and boldest in the solar series. With exceptionally powerful 160W lamps, this tower can fulfill virtually every lighting need. It's versatile enough to be placed in most environments, can be used almost anywhere and is designed for maximum efficiency. Additionally, its three brightness settings put you in control of its battery usage, so you can manage how long to go before recharging.

To maximize solar charging, we installed LED meters for the solar array. Now you can position your tower by pointing the array at the sun and view its charge output. Dual battery controllers monitor battery charging and automatically keep the batteries performing at optimum charge. By separating the tower control from the battery box, you don't have to worry about rental customers accessing batteries.

- No fuel, no fuel trips, no fuel spills, no fuel bills
- Sealed, maintenance-free batteries
- Separate control from battery enclosure
- Slide out solar collectors to minimize footprint
- Custom coiled cord to reduce sagging
- 104,800 total lumens

Specifications

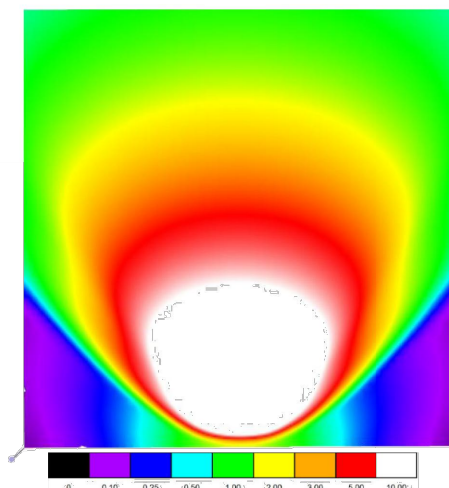
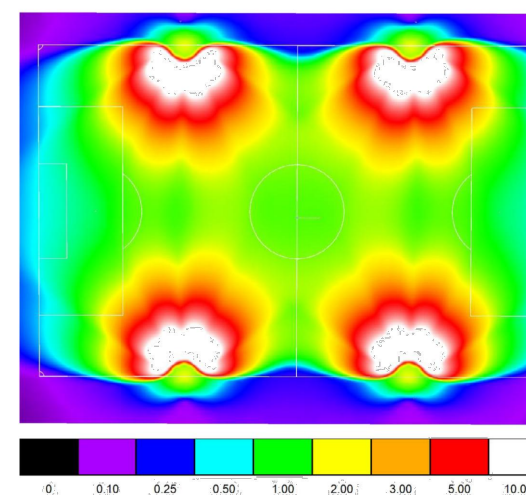
Lamps	(4) 160W each, high intensity, modular lamps
Brightness	26,200lm @ 160W, 17,460lm @ 100W, 8,730lm @ 53W
Dimmer	Low, med, high
Solar Array	750W, 1,000W optional
Batteries	AGM 660Ahr
Mast Height	20'
Winch	Manual with optional electric
Width across fender	78"
Length	121"
Weight	2,500 lbs
Battery Charger	30A, 110VAC, external plug
Tires/Wheels	ST205/75D15



Specifications subject to change any time without notice. Copyright 2022 National Signal, Inc. All rights reserved. Printed in the United States.

Four LTS-160 on Soccer Field

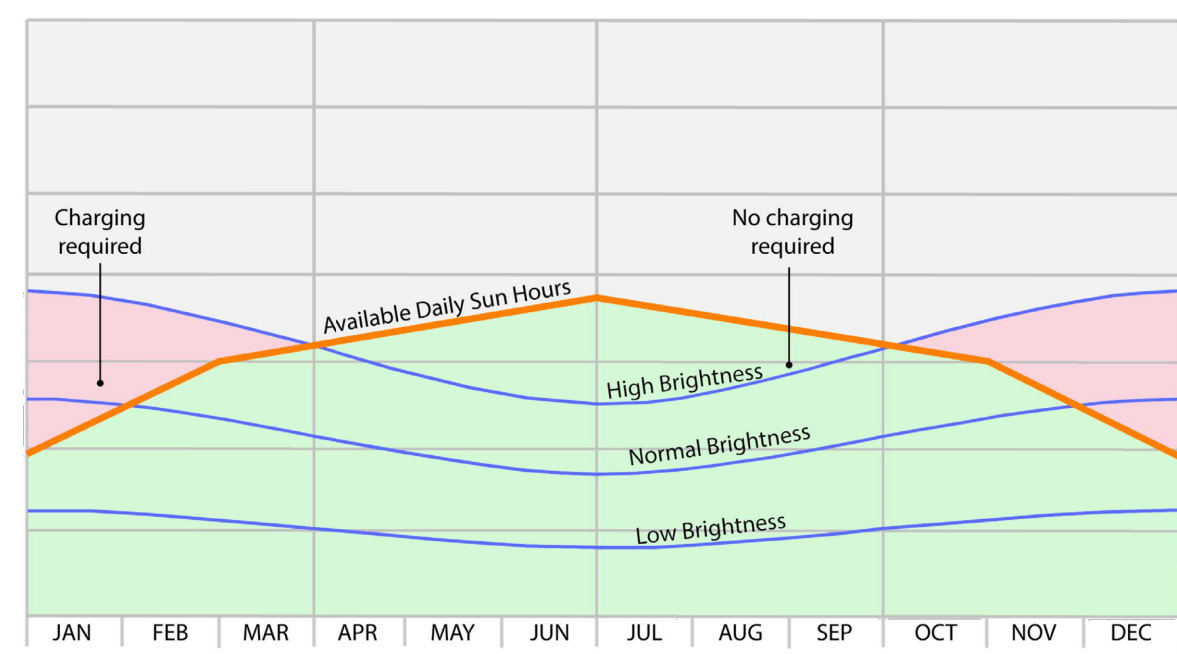
Lights	(4) 160W high intensity, modular lamps
Light Height	20 ft.
Lighting Area	400 x 250 ft.
Total Acreage	2.2960
Luminosity	2.67 fc average over entire area



LTS-160 Color Rendering

Lights	(4) 80W lamps
Light Height	20 ft.
Lighting Area	100 x 100 ft.
Total Acreage	0.23 acres
Luminosity	4.42 fc average over entire area

160 Watt Lamp Performance*



*Curves describe dusk to dawn, five nights of operation. Contact the factory for location and usage.

2440 Artesia Avenue
Fullerton, CA 92833
United States of America

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1-888-994-0300



Access our website by scanning our QR code

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PLANT SPECIFICATIONS

1. DESCRIPTION

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANT MATERIALS, LABOR AND OTHER MATERIALS NECESSARY TO COMPLETE THE WORK AS SHOWN ON THE PLANS AND DETAILS.

A. MATERIALS AND METHODS

THE MATERIALS AND METHODS SHALL COMPLY WITH ALL REQUIREMENTS OF THE CURRENT EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" AS PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND AS MODIFIED HEREIN.

B. SUBSTITUTIONS

- IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE BEFORE BIDDING, ALONG WITH A RECOMMENDED SUBSTITUTION, AND A LIST OF EACH NURSERY THAT WAS CONTACTED TO PROCURE THE ORIGINAL PLANT TYPE. THE LIST SHALL INCLUDE THE NURSERY NAME, ADDRESS, PHONE NUMBER AND FAX.
- THE OWNER OR OWNER'S REPRESENTATIVE MAY SELECT A REASONABLE ALTERNATIVE.

C. UTILITIES

THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL CALL "MISS UTILITY" (1-800-257-7777) A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.

D. PLANT MATERIAL SOURCES AND QUANTITY

THE LANDSCAPE CONTRACTOR SHALL, AT LEAST TEN (10) DAYS BEFORE BEGINNING PLANTING OPERATIONS, SUBMIT A LIST OF PLANTING MATERIAL SOURCES GIVING THE NURSERY NAME, ADDRESS AND PHONE NUMBER FOR EACH PLANT MATERIAL REQUIRED ON THE JOB.

THE TOTAL NUMBER OF PLANTS ARE SHOWN ON THE LANDSCAPE PLAN. IF THIS TOTAL DIFFERS FROM THE PLANTING SCHEDULE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE BEFORE BIDDING.

E. TIME OF PLANTING:

PLANTING SEASON SCHEDULE SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" AS PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT PINES AND OAKS DURING SPRING PLANTING SEASON ONLY.

F. MULCH:

OTHER THAN WITHIN THE SWM FACILITIES, MULCH SHALL BE UTILIZED IN MULCH BEDS AN SHALL BE SHREDDED HARDWOOD. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE (1) POUND SAMPLE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO ANY INSTALLATION. MULCH SHALL BE APPLIED TO A DEPTH OF TWO (2) INCHES WITHIN 24 HOURS OF INSTALLATION OF PLANT MATERIALS.

G. TREE WRAP

PER DETAILS THIS SHEET. IF TREE TAPE IS USED, THEN SUBMIT SPECIFICATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE APPLICATION; INCLUDE MATERIALS AND METHODS, INCLUDING REMOVAL SCHEDULE.

H. PRUNING

THE LANDSCAPE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

I. TOPSOIL

TOPSOIL SHALL HAVE A PH RANGE 5.5 TO 7.4, 1.5 PERCENT ORGANIC MATERIAL MINIMUM, AND BE FREE OF STONES 1 INCH (25MM) OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.

- TOPSOIL SOURCE: REUSE TOPSOIL STOCKPILED ON THE SITE. VERIFY SUITABILITY OF TOPSOIL TO MEET REQUIREMENTS AND AMEND WHEN NECESSARY. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
- SPREAD TOPSOIL 4" MINIMUM DEPTH OVER ALL LANDSCAPE AND SEEDING AREAS. TOPSOIL SHALL BE USED FOR BACKFILL OF ALL PLANTING HOLES.

J. CLEAN-UP AND RESTORATION:

- DURING THE COURSE OF PLANTING, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED, LAWN AREAS KEPT CLEAR, AND ALL REASONABLE PRECAUTIONS TAKEN TO AVOID DAMAGE OF EXISTING LAWNS, PAVING, ETC.
- THE LANDSCAPE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL PAVEMENTS, SOODED AND PLANTED AREAS, STRUCTURES AND SUBSTRUCTURES, NOT SPECIFICALLY PROVIDED FOR IN THE CONTRACT, WHICH ARE DISTURBED BY THE LANDSCAPE CONTRACTOR DURING PLANTING OPERATIONS. SUCH RESTORATION SHALL BE IN A MANNER SATISFACTORY TO THE OWNER'S REPRESENTATIVE AND AT NO ADDITIONAL COST TO THE OWNER.

K. WATER:

WATER FOR PLANTING AND MAINTENANCE PURPOSES WILL BE SUPPLIED BY THE LANDSCAPE CONTRACTOR TO THE REQUIRED LOCATIONS. THE LANDSCAPE CONTRACTOR SHALL WATER ALL PLANTS WITHIN 24 HOURS OF ARRIVAL ON THE PROJECT SITE. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO TRANSPORT THE WATER FROM THE SOURCE ADEQUATELY AND AS OFTEN AS NECESSARY TO ENSURE PROPER PLANT GROWTH AND TO KEEP THE SOIL MOIST AND IN A CONDITION SATISFACTORY TO THE OWNER'S REPRESENTATIVE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANTS AND SEEDING FROM THE TIME OF PLANTING UNTIL THE FINAL INSPECTION.

L. GUARANTEE / CONTRACTOR MAINTENANCE PERIOD

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GUARANTEE OF ALL PLANTING AND SEEDING FOR ONE (1) YEAR AFTER INITIAL ACCEPTANCE. UPON WRITTEN REQUEST BY THE LANDSCAPE CONTRACTOR THE OWNER'S REPRESENTATIVE SHALL REVIEW THE PLANTING AND SEEDING FOR CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. REVIEW FOR INITIAL ACCEPTANCE OF SEEDING SHALL ONLY OCCUR AFTER 85% OF THE SEED HAS GERMINATED AND PROVIDES A VISIBLE COVER. REVIEW OF THE PLANTING SHALL OCCUR ONLY WHEN ALL OF THE PLANTING IN A PROJECT SECTION IS COMPLETE. PLANTING AND SEEDING WHICH DIE OR ARE IN POOR CONDITION AFTER INITIAL ACCEPTANCE SHALL BE REPLACED ONCE BY THE LANDSCAPE CONTRACTOR AS PART OF THEIR ONE (1) YEAR GUARANTEE AND PRIOR TO FINAL ACCEPTANCE.

M. FINAL ACCEPTANCE / INSPECTION:

THE OWNER'S REPRESENTATIVE SHALL MAKE A FINAL ACCEPTANCE INSPECTION UPON WRITTEN REQUEST BY THE LANDSCAPE CONTRACTOR, AND SHALL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, WHEN ALL WORK IS SATISFACTORILY COMPLETED. IF THE WORK IS NOT SATISFACTORILY COMPLETED, THE OWNER'S REPRESENTATIVE WILL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, AS TO THE DEFICIENCIES IN THE WORK AND THE NECESSARY CORRECTIVE MEASURES. A REASONABLE AMOUNT OF TIME WILL BE GIVEN FOR LANDSCAPE CONTRACTOR TO ADDRESS DEFICIENCIES DEFINED BY OWNER'S REPRESENTATIVE, AND ANOTHER FINAL ACCEPTANCE INSPECTION WILL BE SCHEDULED BY THE OWNER'S REPRESENTATIVE UPON WRITTEN REQUEST BY THE LANDSCAPE CONTRACTOR. UPON FINAL ACCEPTANCE, THE LANDSCAPING AND SEEDING SHALL BE THE RESPONSIBILITY OF THE OWNER.

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SEAL

SCALE

AS SHOWN

REVISIONS

DRAWN BY: DJJ
APPROVED BY: _____
CHECKED BY: _____
DATE: 08/10/2023

MANDATORY REFERRAL LANDSCAPE AND PHOTOMETRICS DETAILS

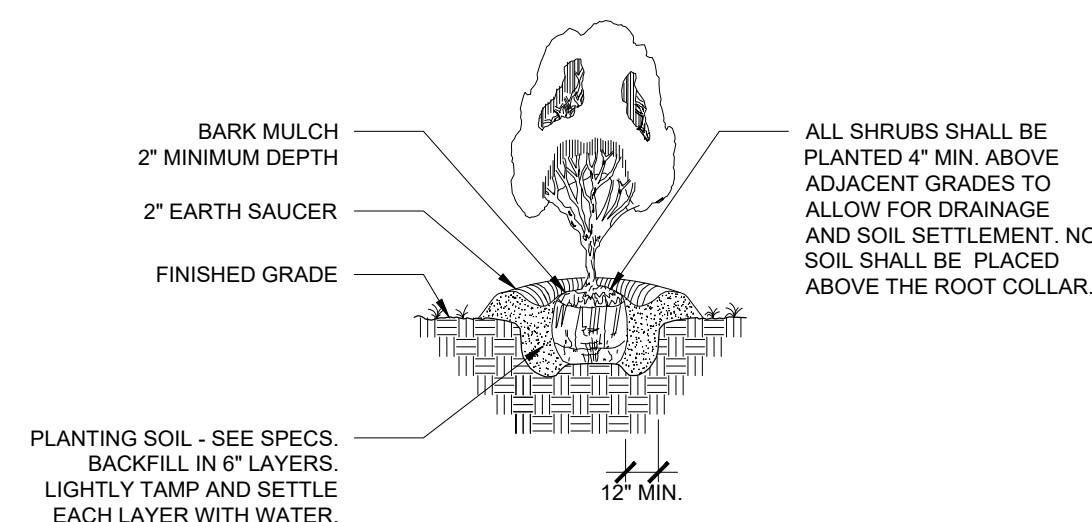
PROJECT NO. 50147954

2

SHEET NO. 2 OF 2

1 NATIONAL SIGNAL SOLAR LIGHT TOWER - SUNRAY LTS-160

NOT TO SCALE



ALL SHRUBS SHALL BE PLANTED 4" MIN. ABOVE ADJACENT GRADES TO ALLOW FOR DRAINAGE AND SOIL SETTLEMENT. NO SOIL SHALL BE PLACED ABOVE THE ROOT COLLAR.

PLANTING SOIL - SEE SPECS. BACKFILL IN 6" LAYERS. LIGHTLY TAMP AND SETTLE EACH LAYER WITH WATER.

12" MIN.

2 TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE



3 EXISTING FENCE

NOT TO SCALE

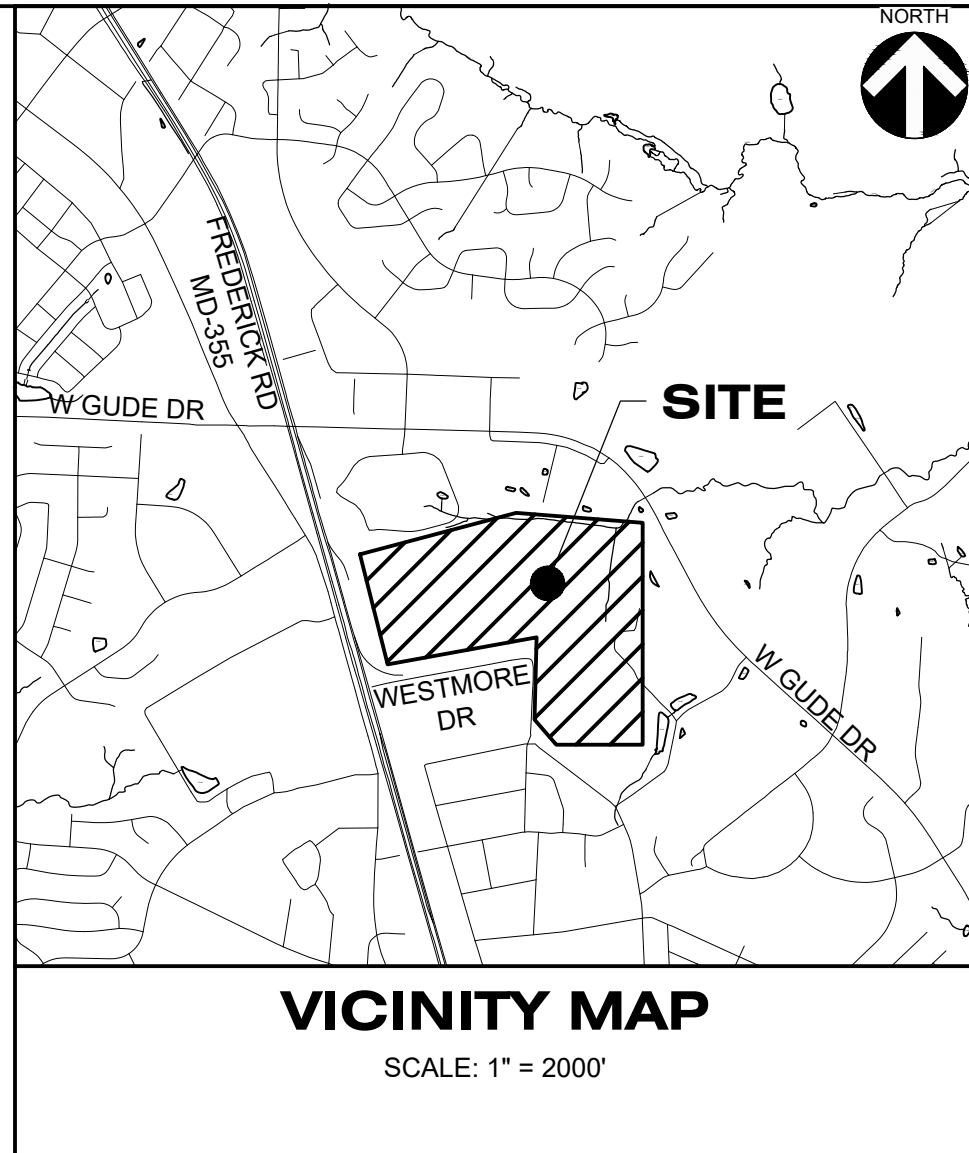
Attachment B:

Supplemental Statement
Washington Gas
Mandatory Referral No. MR2024006

The proposed Temporary Injection Facility (“TIF”) for renewable natural gas deliveries on the existing Washington Gas property located at 7301 Westmore Road, Rockville, MD (“Property”) and the associated Virtual Pipeline (renewable natural gas transportation via truck) operation will have only *de minimus* impacts on the surrounding community. There will be a maximum of 12 trucks accessing the Property in any given 24-hour period. Of those, it is estimated that 5 trucks will come to the Property during noise restricted hours of 9 pm to 7 am. As discussed herein, those after-hours truck deliveries are essential, as the renewable natural gas will otherwise be burned and released to the atmosphere during the evening hours if not captured and injected.

The truck route was specifically planned to minimize impacts on the surrounding community. In the local area of the Property, the trucks will primarily travel through the industrial district along Gude Drive and Dover Road. At the flagger-controlled intersection of Dover Road and Horners Lane, the trucks and associated flagger lighting are in the vicinity of the cemetery, not in proximity to any residential homes. There is only an approximate 620-foot stretch of roadway along N. Horners Lane that runs behind residential homes – refer to Truck Route Exhibit. These residential homes are set back approximately 48’+/- from the curb line at the closest point, while most are 100’ or more away from the travel lane and largely buffered from the street by mature trees and open space. Notably, given the alignment of the roadway and the existing landscaping, the trucks will not be oriented directly towards any residence; thus, there are no anticipated adverse lighting impacts on the nearby residential homes. Trucks will be driving at low speeds in normal traffic operations; no backup alarms should be needed. When considering this in combination with the infrequency of the trips, adverse noise impacts will be limited on the surrounding community to those that are standard to any larger trucks entering/exiting the industrial area where the TIF is located. And, as noted in Washington Gas’s narrative, the proposed TIF and associated Virtual Pipeline are only temporary in nature. The TIF is anticipated to operate only through the end of 2024.

1 2 3 4 5



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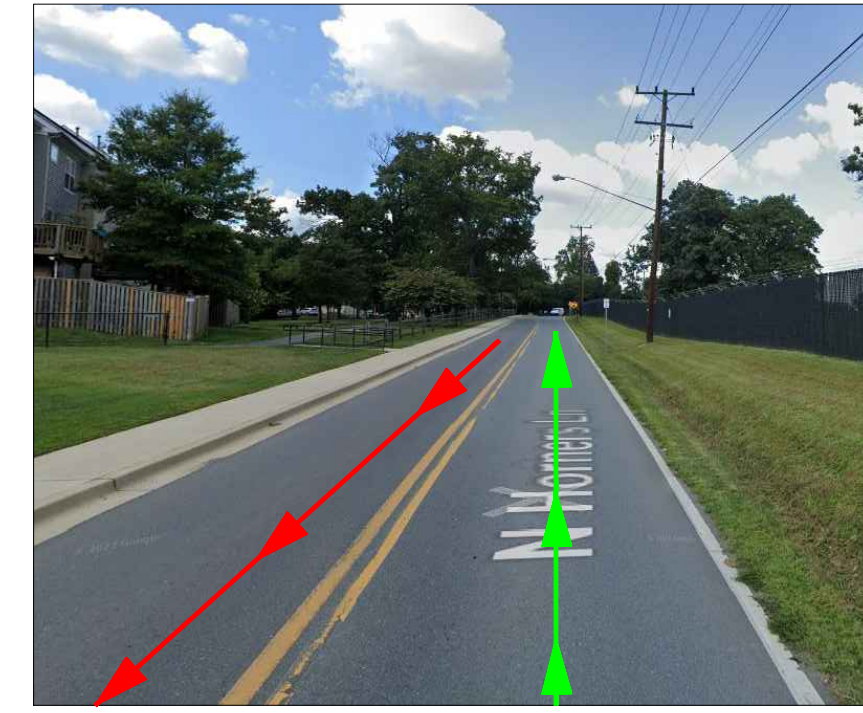
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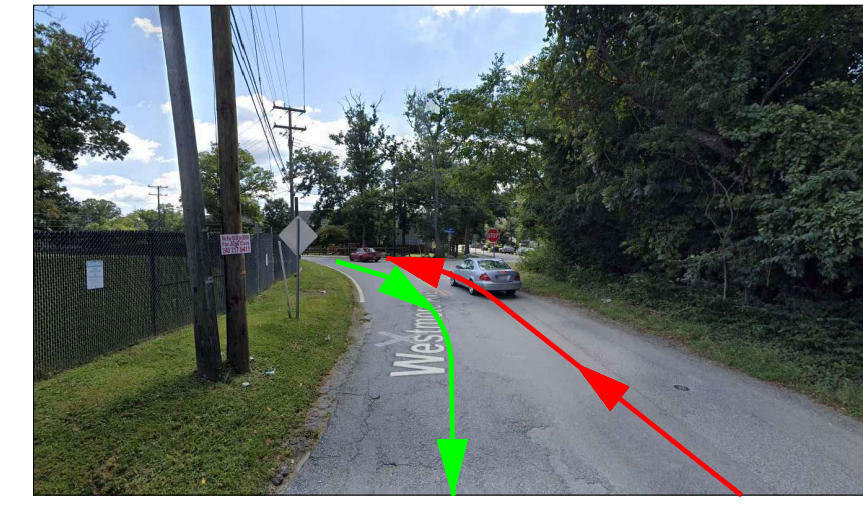
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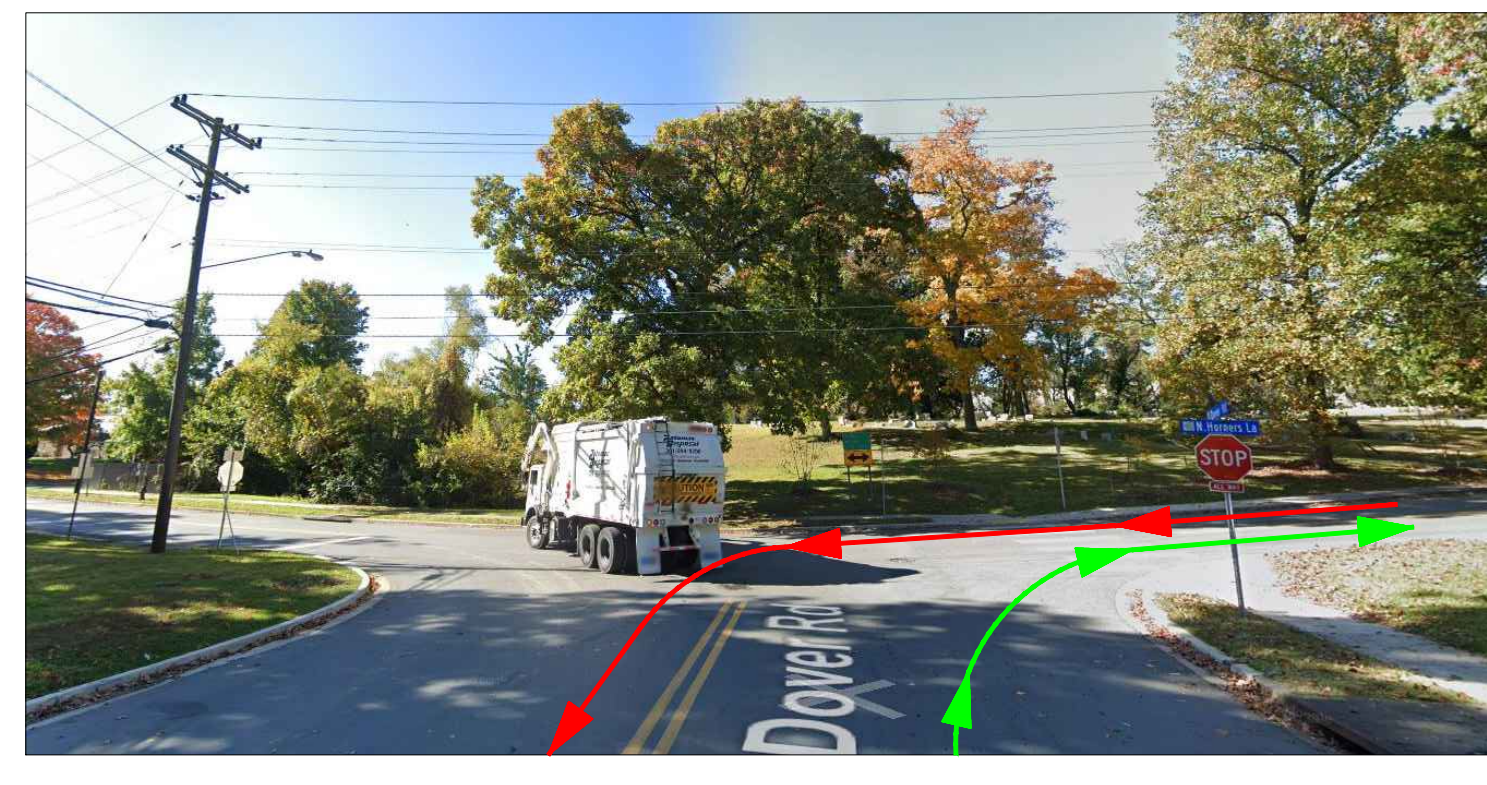
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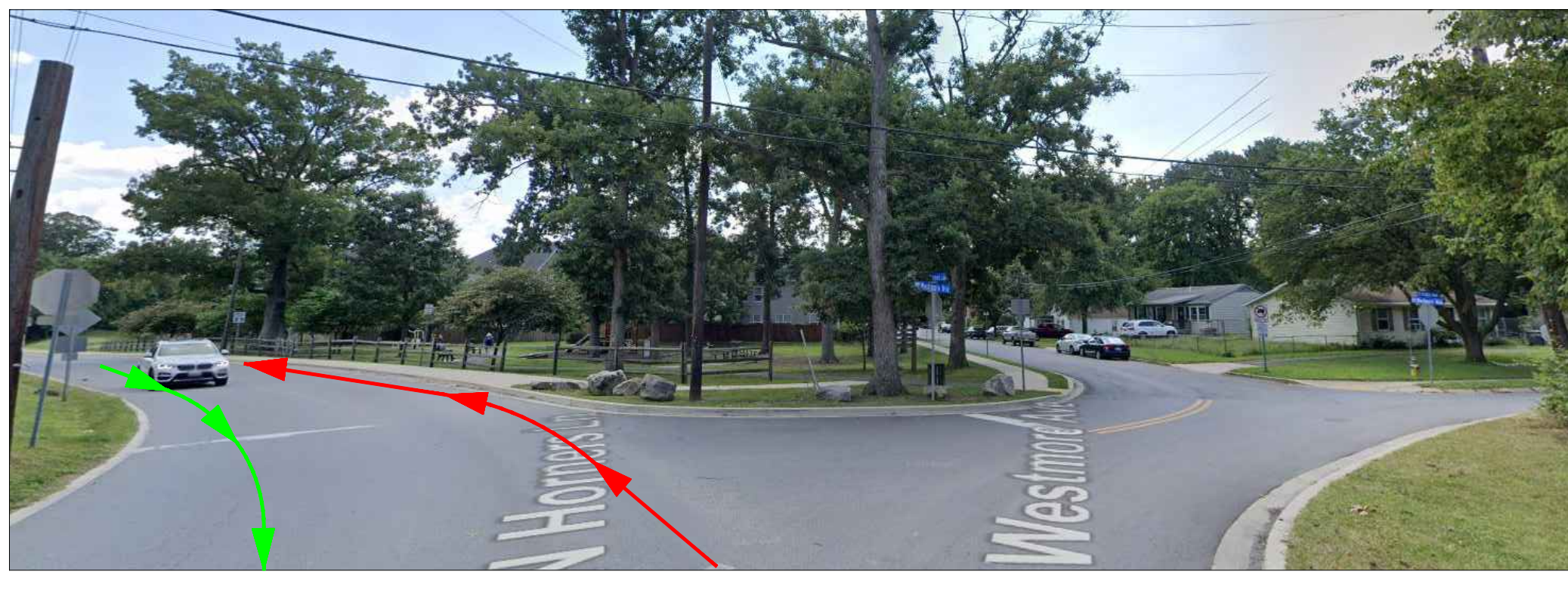
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3



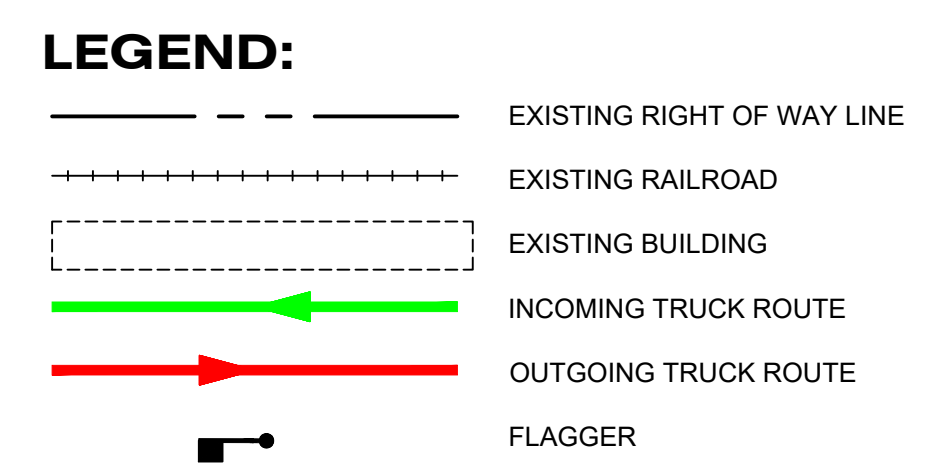
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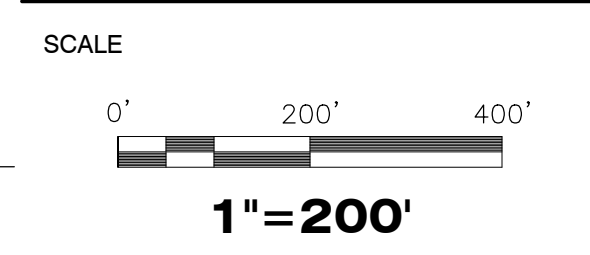
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NOTE
 FOR LOCATION OF UTILITIES CALL
 8-1-1 OR 1-800-257-7777
 OR LOG ON TO
 www.call811.com
 http://www.misutility.net
 48 HOURS IN ADVANCE OF ANY WORK
 IN THIS VICINITY.

INFORMATION CONCERNING UNDERGROUND
 UTILITIES WAS OBTAINED FROM AVAILABLE
 RECORDS BUT THE CONTRACTOR MUST
 DETERMINE THE EXACT LOCATION AND
 ELEVATION OF THE MAINS BY DIGGING TEST PITS
 BY HAND AT ALL UTILITY CROSSINGS WELL IN
 ADVANCE OF THE START OF EXCAVATION.



SEAL



REVISIONS

DRAWN BY: DJ

APPROVED BY:

CHECKED BY:

DATE: 08/10/2023

TRUCK ROUTE EXHIBIT

PROJECT NO. 50147954

1

1

2

3

4

5

E

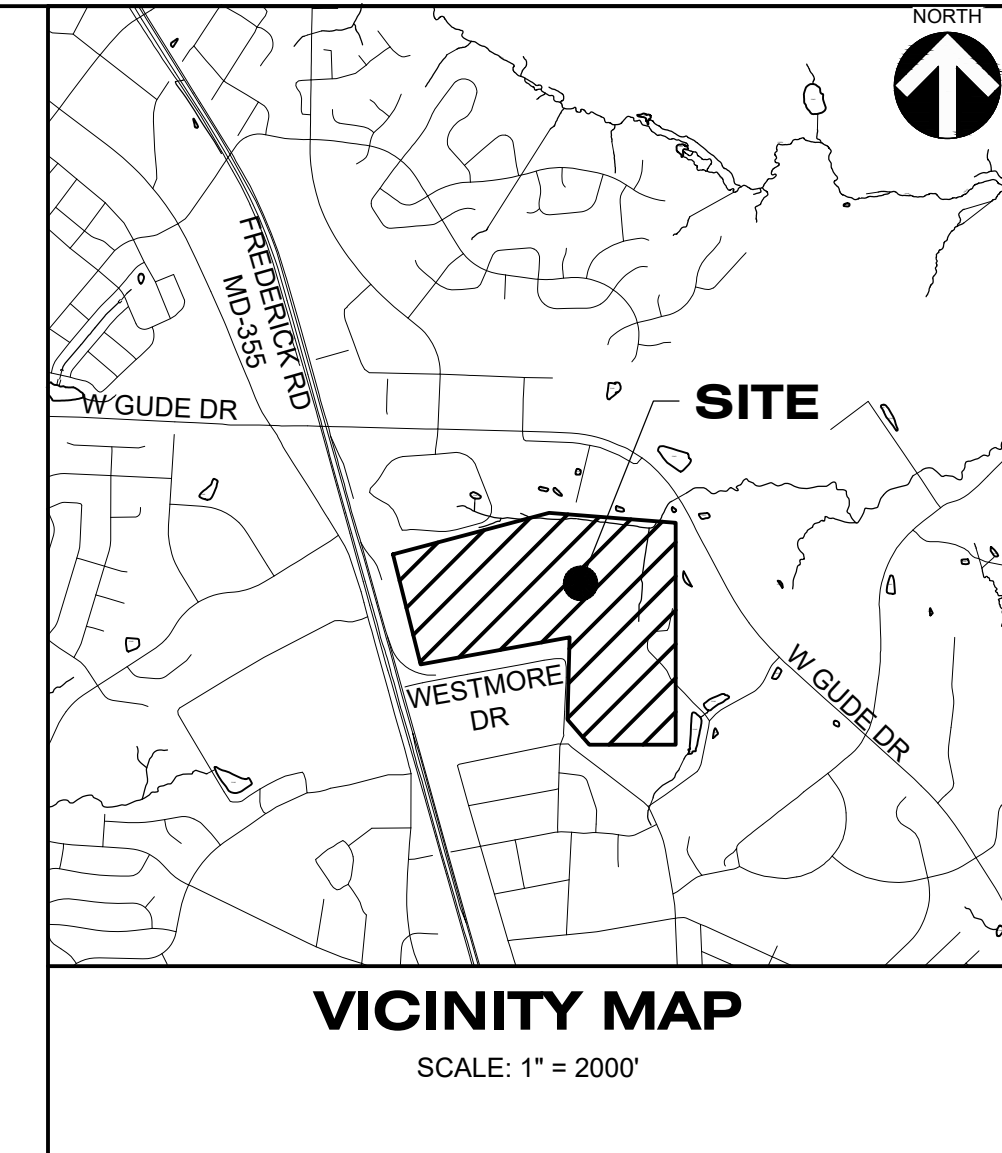
D

C

B

A

MARYLAND COORDINATE SYSTEM
(83/91)
NAVD(88/91)

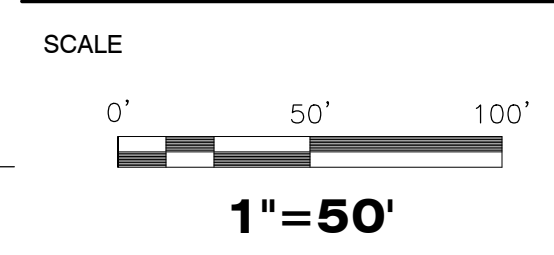


Dewberry Engineers Inc.
10461 MILL RUN CIRCLE
SUITE 300
OWINGS MILLS, MARYLAND 21117
PHONE: 410.265.9500
FAX: 410.265.8875

OWNER/APPLICANT
WASHINGTON GAS
A WGL COMPANY
6801 INDUSTRIAL ROAD
SPRINGFIELD, VA 22151
ATTN: MORGAN SMITH
MRSMITH@WASHGAS.COM
PHONE: 703.750.4205

WASHINGTON GAS
RNG INJECTION FACILITY
WSSC: 220NW07, 219NW07
TAX MAP: GGS41, GR843
GAS STORAGE FACILITY
7301 WESTMORE ROAD
ROCKVILLE, MD 20850

SEAL



REVISIONS

DRAWN BY: DJ

APPROVED BY:

CHECKED BY:

DATE: 08/10/2023

TRUCK ROUTE EXHIBIT

PROJECT NO. 50147954

2

SHEET NO. 2 OF 2

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ADVANCE OF THE START OF EXCAVATION.

Attachment C:

CERTIFICATION OF THE QUANTITIES

I HEREBY CERTIFY THAT THE ESTIMATED TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO 65.03 CUBIC YARDS OF EXCAVATION, 176.05 CUBIC YARDS OF FILL AND THE TOTAL AREA TO BE DISTURBED AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE 63,853 SQUARE FEET.

Digitally signed by Lisa R. Betz
R. Betz
Date: 2024.01.02
09:39 -05'00'

LISA R. BETZ 33959
PRINTED NAME REGISTRATION NUMBER

OWNER'S/DEVELOPER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

03-Jan-2024
SIGNATURE DATE

Morgan Smith Process Engineer
PRINTED NAME AND TITLE

DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL," MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES EXECUTIVE REGULATIONS 5-90, 7-02AM AND 36-90, AND MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION "STORM DRAIN DESIGN CRITERIA" DATED AUGUST 1988.

Digitally signed by Lisa R. Betz
Date: 2024.01.02 17:09:13
LISA R. BETZ 33959
PRINTED NAME REGISTRATION NUMBER

DRAINAGE STATEMENT

I UNDERSTAND THAT DPS APPROVAL OF THIS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN IS FOR DEMONSTRATED COMPLIANCE WITH REQUIRED ENVIRONMENTAL RUNOFF TREATMENT STANDARDS. THIS DPS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN APPROVAL DOES NOT RELIEVE ME OF PROFESSIONAL RESPONSIBILITY. I HAVE ANALYZED THE PROPOSED DESIGN FOR SEDIMENT CONTROL PERMIT NO. 290187 AND HEREBY STATE THAT, BASED UPON MY BACKGROUND, TRAINING AND EXPERIENCE, I HAVE DETERMINED THAT THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN MEET RELEVANT LAWS AND REGULATIONS. I FURTHER ACKNOWLEDGE THAT I HAVE ANALYZED THE POST DEVELOPMENT DRAINAGE PATTERNS FOR THIS PROJECT FROM THE STANDPOINT OF MY RESPONSIBILITIES UNDER CURRENT MARYLAND LAW AND HAVE DETERMINED THAT IF PERMISSION IS REQUIRED FROM ADJACENT PROPERTY OWNERS, IT HAS BEEN OBTAINED AND COPIES OF THOSE PERMISSIONS HAVE BEEN MADE AVAILABLE TO DPS.

Digitally signed by Lisa R. Betz
Date: 2024.01.02 17:08:38
LISA R. BETZ 33959
PRINTED NAME REGISTRATION NUMBER

LISA R. BETZ 33959
PRINTED NAME REGISTRATION NUMBER

Table with 2 columns: Total Property Area (5,516.003 square feet), Total Disturbed Area (63,853 square feet). Includes sections for Shade Trees Required, Fee in Lieu, and Exemption Categories.

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48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY

SHEET INDEX

Table listing sheet numbers and titles: COVER SHEET, EROSION & SEDIMENT CONTROL PLAN, EXISTING DRAINAGE AREA, PROPOSED DRAINAGE AREA, DETAIL SHEET, etc.

ROCKVILLE RNG INJECTION FACILITY

EROSION & SEDIMENT CONTROL PLAN

MONTGOMERY STANDARD COUNTY EROSION & SEDIMENT CONTROL NOTES:

- 1. THE PERMITTEE SHALL NOTIFY THE DEPARTMENT OF PERMITTING SERVICES (DPS) FORTY-EIGHT (48) HOURS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY...
2. THE PERMITTEE MUST OBTAIN INSPECTION AND APPROVAL BY DPS AT THE FOLLOWING POINTS:
A. AT THE REQUIRED PRE-CONSTRUCTION MEETING.
B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES AND PRIOR TO ANY OTHER LAND DISTURBING ACTIVITY.
...
12. SEDIMENT CONTROL DEVICES SHALL BE REMOVED, WITH PERMISSION OF THE DEPARTMENT, WITHIN THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.

- 13. NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS OR ON RESIDENTIAL LOTS...
14. THE PERMITTEE SHALL INSTALL A SPLASHBLOCK AT THE BOTTOM OF EACH DOWNSPOUT UNLESS THE DOWNSPOUT IS CONNECTED BY A DRAIN LINE TO AN ACCEPTABLE OUTLET.
...
27. THE PERMITTEE MUST NOTIFY THE DEPARTMENT OF ALL UTILITY CONSTRUCTION ACTIVITIES WITHIN THE PERMITTED LIMITS OF DISTURBANCE PRIOR TO THE COMMENCEMENT OF THOSE ACTIVITIES.

PROJECT SCOPE:

- 1. DEWBERRY IS WORKING WITH WASHINGTON GAS AT THEIR ROCKVILLE GAS STORAGE FACILITY LOCATED AT 7301 WESTMORE ROAD, ROCKVILLE, MD. WASHINGTON GAS PLANS TO CONSTRUCT A TEMPORARY FILLING STATION TO FEED EXISTING ROCKVILLE SYSTEM WHILE A GAS PIPELINE IS BUILT IN PRINCE WILLIAM COUNTY.
2. SEDIMENT CONTROL ONLY FOR WASHINGTON GAS TEMPORARY RNG INJECTION FACILITY TO BE REMOVED ON OR ABOUT Q4, 2024, AND RESTORED IN KIND

Table titled 'RELATED REQUIRED PERMITS' with columns: TYPE OF PERMIT, REQD, NOT REQD, PERMIT #, EXPIRATION DATE, WORK RESTRICTION DATES. Lists permits like MCDCPS Floodplain District, WATERWAYS/WETLAND(S), etc.

*A copy of the approved Roadside Trees Protection Plan must be delivered to the Sediment Control Inspector at the Preconstruction meeting.
**When a Notice of Intent is required, the sediment control permit may not be issued until confirmation of authorization under the MDE's 20-CP permit has been submitted to DPS.

UTILITY TRENCHING NOTES:

- 1. CALL "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK.
2. EXCAVATED TRENCH MATERIAL SHALL BE DIRECTLY LOADED ON DUMP TRUCKS FOR EXPORT OR PLACED ON THE HIGH SIDE OF THE TRENCH.
...
5. SEDIMENT TANK OR FILTER BAG FOR DEWATERING.

SITE SUMMARY:

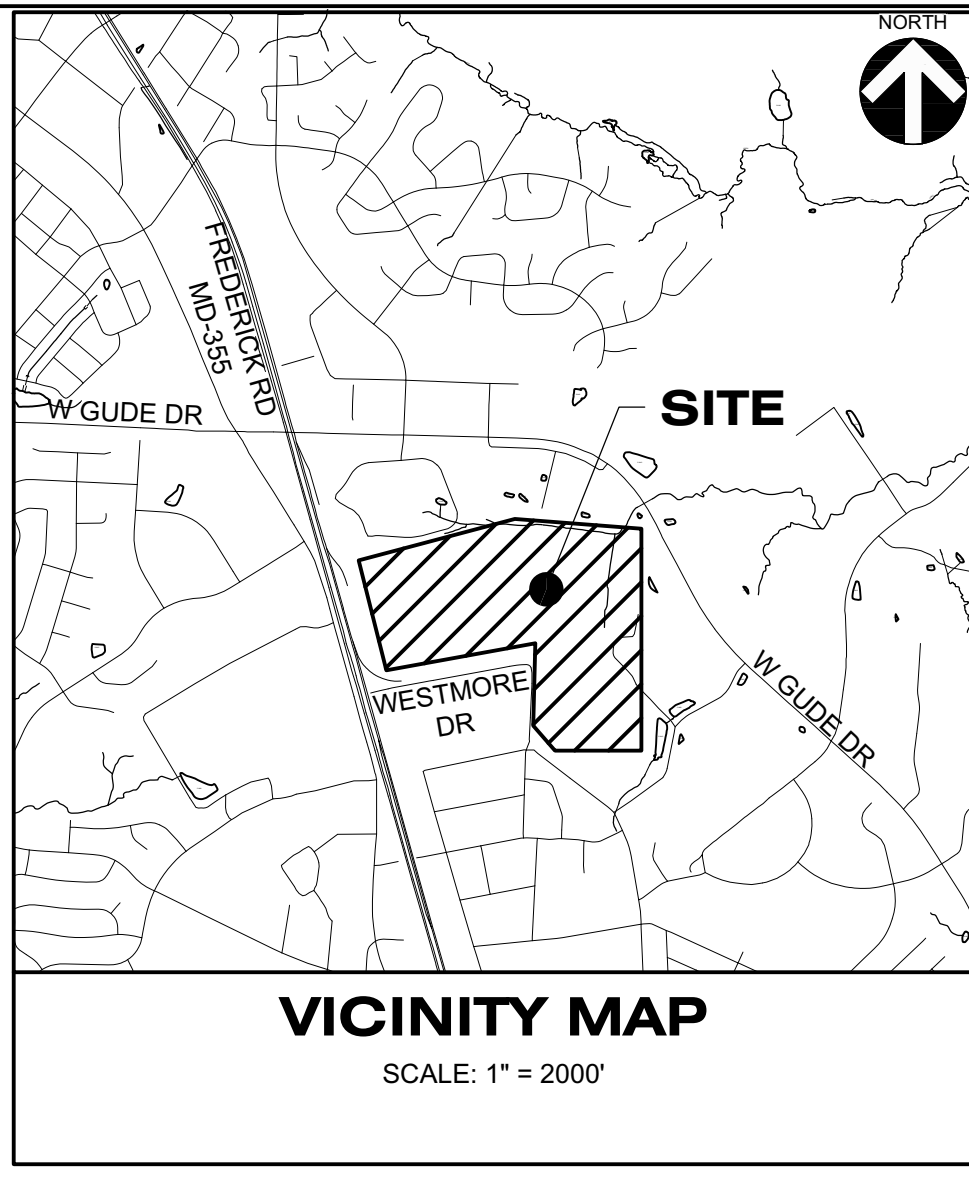
Table with 2 columns: SITE AREA (L.O.D.), EX. IMPERVIOUS AREA, PR. IMPERVIOUS AREA, TEMP. IMPERVIOUS AREA, TOTAL PROPERTY AREA, VOLUME CUT, VOLUME FILL.

SEQUENCE OF CONSTRUCTION:

- 1. PRIOR TO CLEARING TREES, INSTALLING SEDIMENT CONTROL MEASURES, OR GRADING, A PRECONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (MCDCPS) SEDIMENT CONTROL INSPECTOR...
2. THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO CLEARING OF TREES, INSTALLATION OF SEDIMENT CONTROL MEASURES, CONSTRUCTION, OR OTHER LAND DISTURBING ACTIVITIES.
...
10. WITH WRITTEN APPROVAL OF THE MCDCPS INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND VEGETATIVELY STABILIZE ALL DISTURBED AREAS.

GENERAL NOTES:

- 1. PROPERTY BOUNDARIES IN THE VICINITY OF THE WORK AREA ARE SHOWN BASED ON GIS DATA PULLED FROM MONTGOMERY COUNTY OPEN DATA.
2. THE SOURCE OF THE SOILS INFORMATION ON THIS PLAN IS FROM USDA NRCS WEB SOIL SURVEY (WSS) IN A CUSTOM SOIL RESOURCE REPORT FOR AN AREA OF INTEREST (AOI) ESTABLISHED FOR THE SUBJECT SITE ONLY AND GENERATED ON NOVEMBER 17, 2023.
...
6. WATERSHED: MIDDLE ROCK CREEK, MAP ID: 28



MR2024006 Dewberry
October 13, 2023
Montgomery County Department of Permitting Services
City of Rockville
3425 Resolute Drive, 7th Floor,
Wheaton, MD 20906

Montgomery Planning
September 5, 2023
Washington Gas
c/o Morgan Smith
6802 Industrial Road
Springfield, VA 22151

Table with 4 quadrants: TECHNICAL REVIEW OF SEDIMENT CONTROL, ADMINISTRATIVE REVIEW, TECHNICAL REVIEW OF STORMWATER MANAGEMENT, SMALL LOT DRAINAGE APPROVAL. Includes dates and signatures.

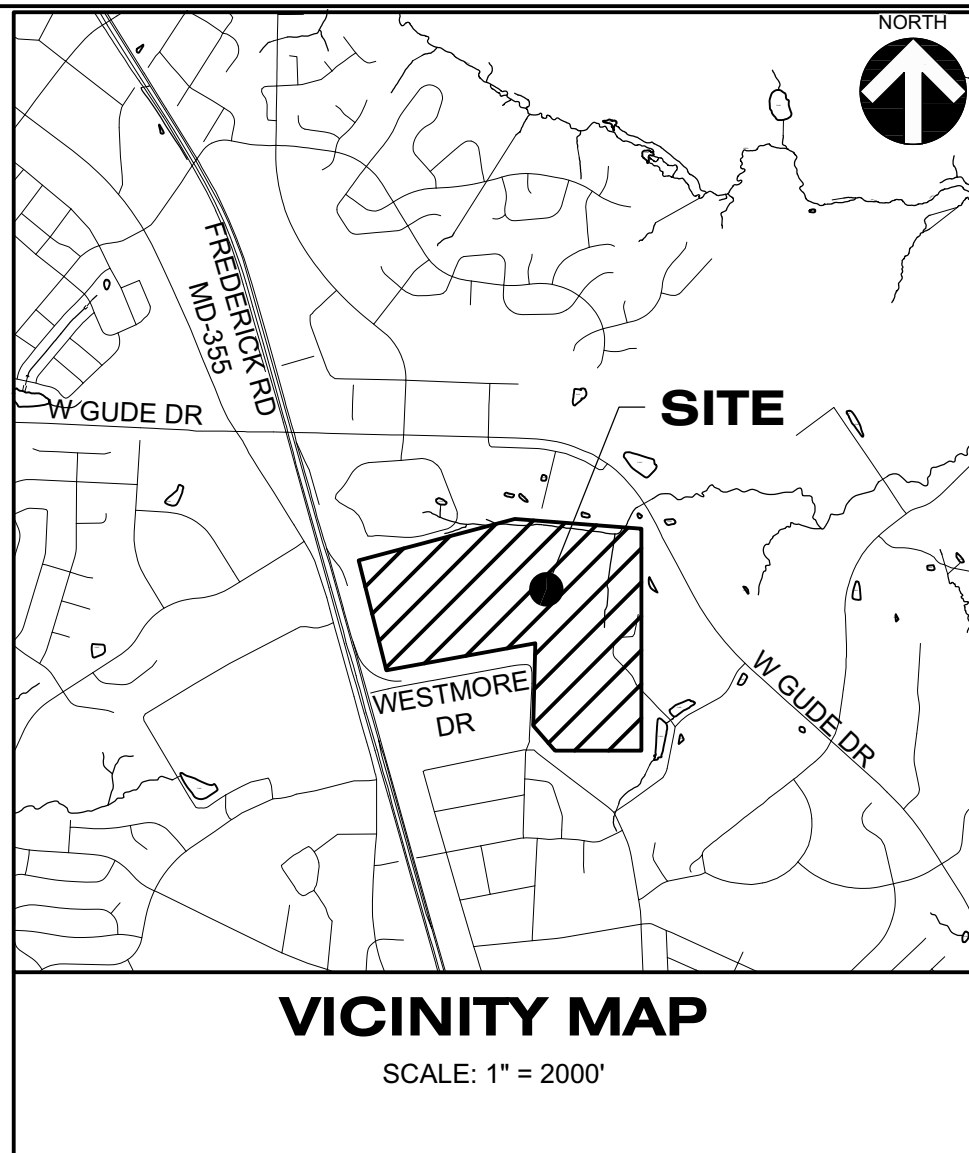
Dewberry Engineers Inc.
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SUITE 300
OWINGS MILLS, MARYLAND 21117
PHONE: 410.265.9500
FAX: 410.265.8875

WASHINGTON GAS
RNG INJECTION FACILITY
WSSC: 220NNW07, 219NNW07
TAX MAP: G5341, GR343
PARCEL: 777, L01510 F.0230
7301 WESTMORE ROAD
ROCKVILLE, MD 20850

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33959.
EXPIRATION DATE: JANUARY 14, 2025.

Table with columns: SCALE, AS SHOWN, REVISIONS, DRAWN BY, APPROVED BY, CHECKED BY, DATE.

COVER SHEET
PROJECT NO. 50147954
290187
SM. FILE NO.
SEDIMENT CONTROL PERMIT NO.
SM. FILE NO.
N/A
1
SHEET NO. 1 OF 7

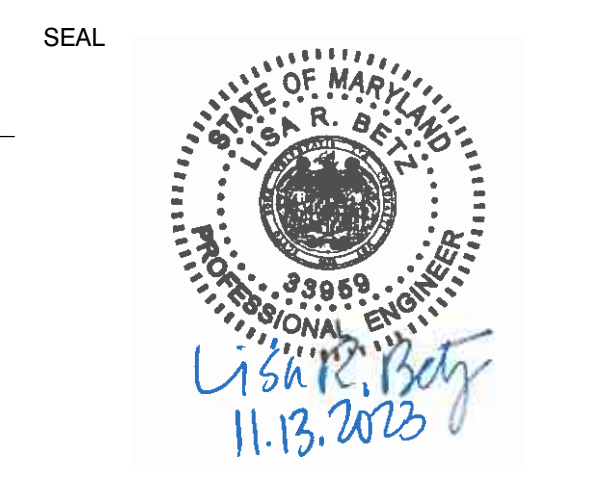


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OWNER/APPLICANT
 WASHINGTON GAS
 A WGL COMPANY

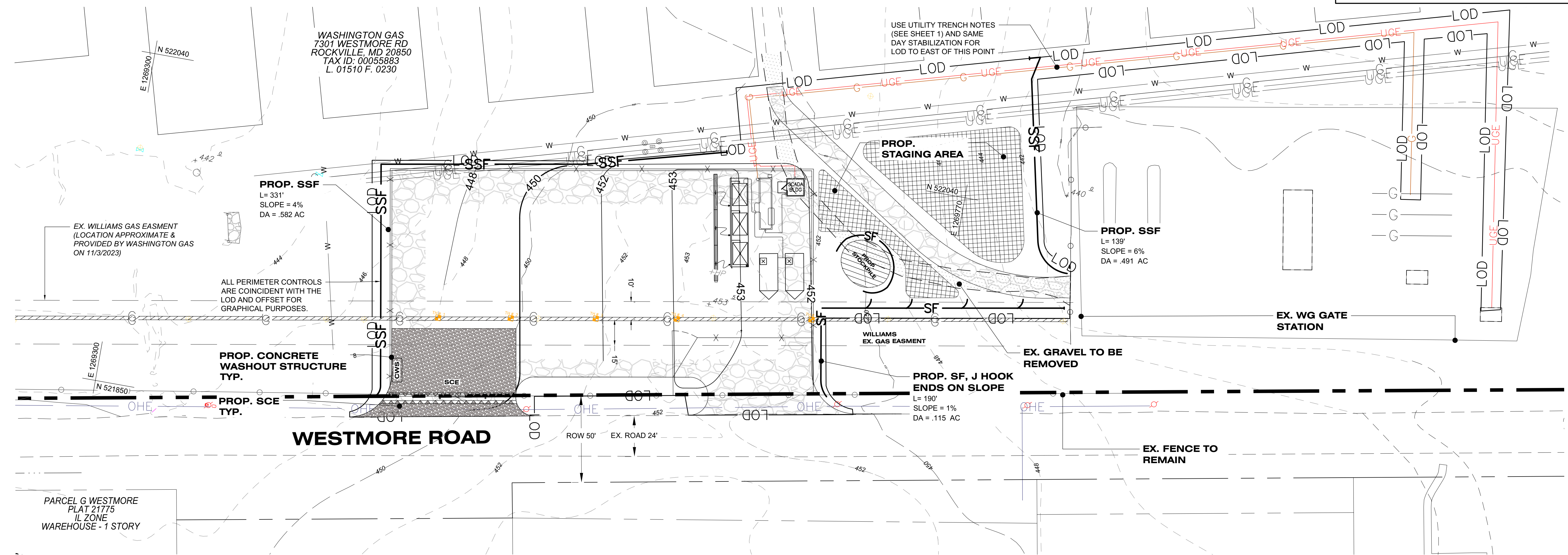
 6801 INDUSTRIAL ROAD
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 MRSMITH@WASHGAS.COM
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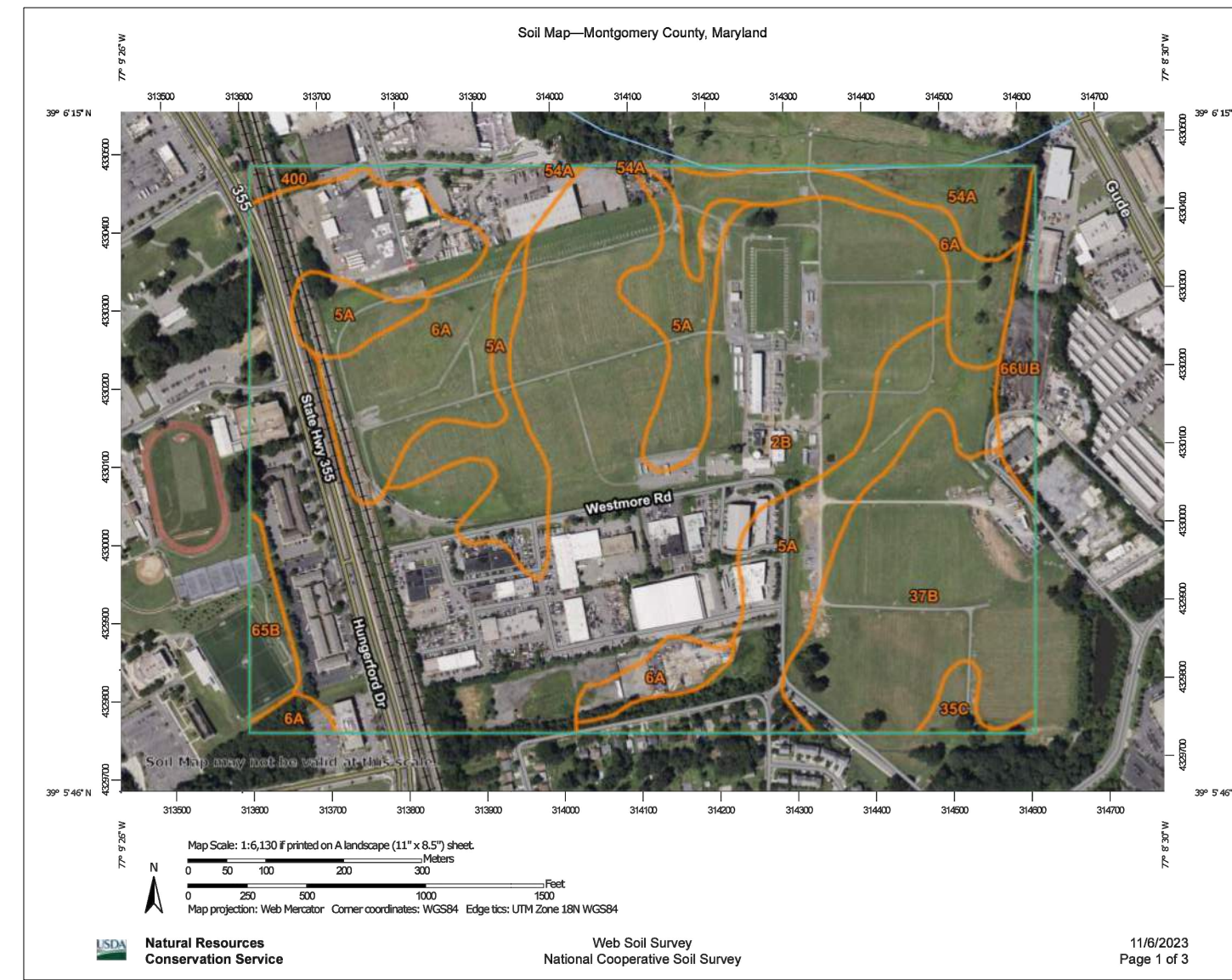


Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: JANUARY 14, 2025.

SCALE
 0' 30' 60'
1" = 30'



NOTE
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Map Unit Legend			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2B	Glenelg silt loam, 3 to 8 percent slopes	91.3	50.4%
5A	Glenville silt loam, somewhat poorly drained, 0 to 3 percent slopes	30.9	17.1%
6A	Ballie silt loam, 0 to 3 percent slopes	23.9	13.2%
35C	Chrome silt loam, 8 to 15 percent slopes	1.4	0.8%
37B	Travilah silt loam, 3 to 8 percent slopes	22.8	12.6%
54A	Hatboro silt loam, 0 to 3 percent slopes, frequently flooded	4.3	2.4%
65B	Wheaton silt loam, 0 to 8 percent slopes	2.5	1.4%
66UB	Wheaton-Urban land complex, 0 to 8 percent slopes	3.2	1.8%
400	Urban land	0.9	0.5%
Totals for Area of Interest		181.2	100.0%

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING MINOR CONTOUR (-212)
- EXISTING MAJOR CONTOUR (-210)
- EXISTING FENCE
- EXISTING STREAM
- EXISTING ROAD
- EXISTING SIDEWALK/CONCRETE
- EXISTING OVERHEAD ELECTRIC
- EXISTING TEST STATION
- EXISTING GAS LINE
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED SCADA BUILDING
- 30KW NG GENERATORS
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- LIMITS OF DISTURBANCE (LOD)
- PROPOSED GRAVEL PAD
- PROPOSED FENCE
- PROPOSED MINOR CONTOUR (-210)
- PROPOSED MAJOR CONTOUR (-212)
- SILT FENCE (-SF)
- SUPER SILT FENCE (-SSF)
- WILLIAMS EX. GAS EASEMENT
- STABILIZED CONSTRUCTION ENTRANCE
- STAGING AREA / STOCKPILE AREA
- PROPOSED DECANT TRAILER
- CONCRETE WASHOUT STRUCTURE

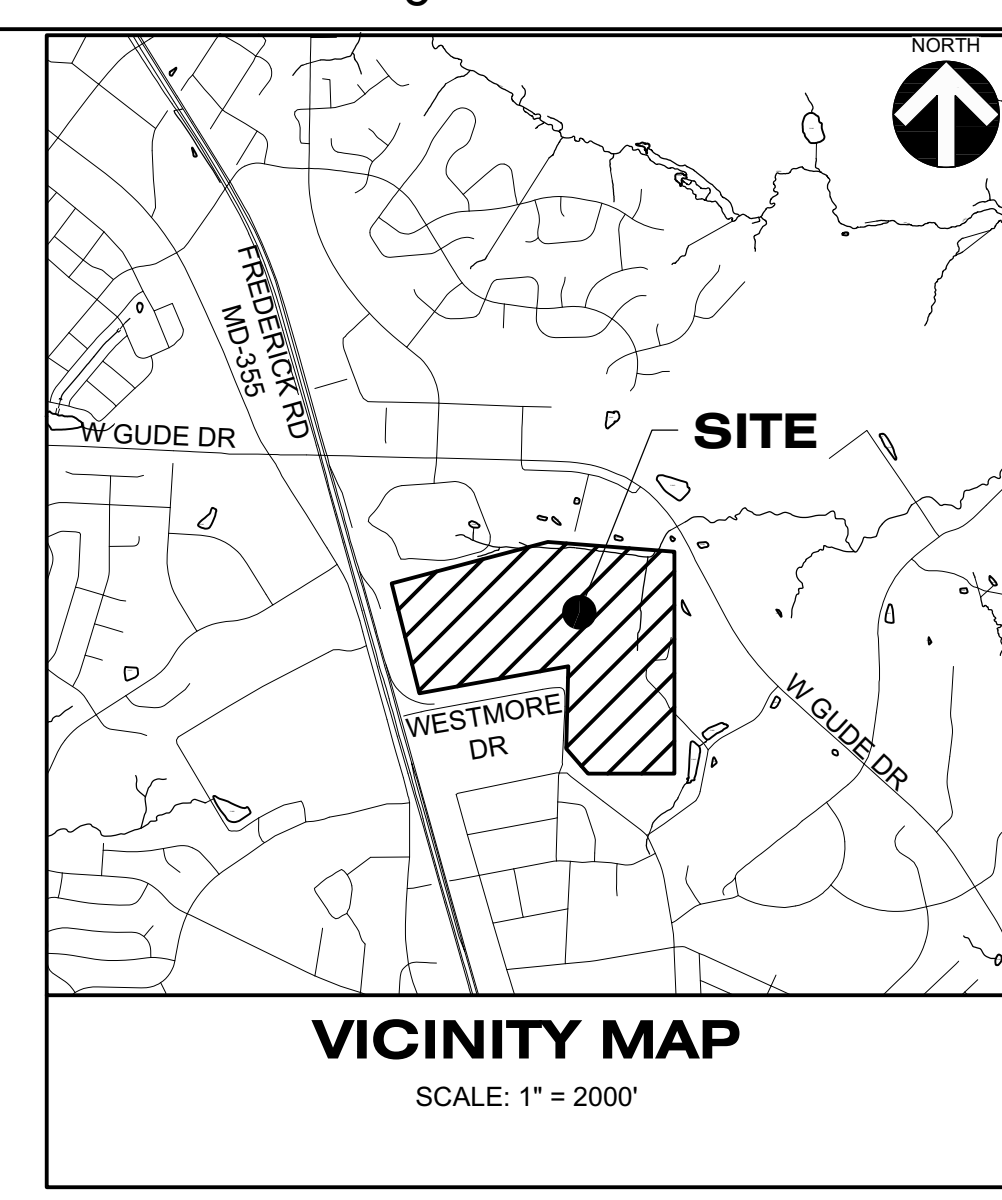
EROSION & SEDIMENT CONTROL PLAN

PROJECT NO. 50147954

DRAWN BY: NKM
 APPROVED BY:
 CHECKED BY:
 DATE: 11/9/2023

2

SHEET NO. 2 OF 7

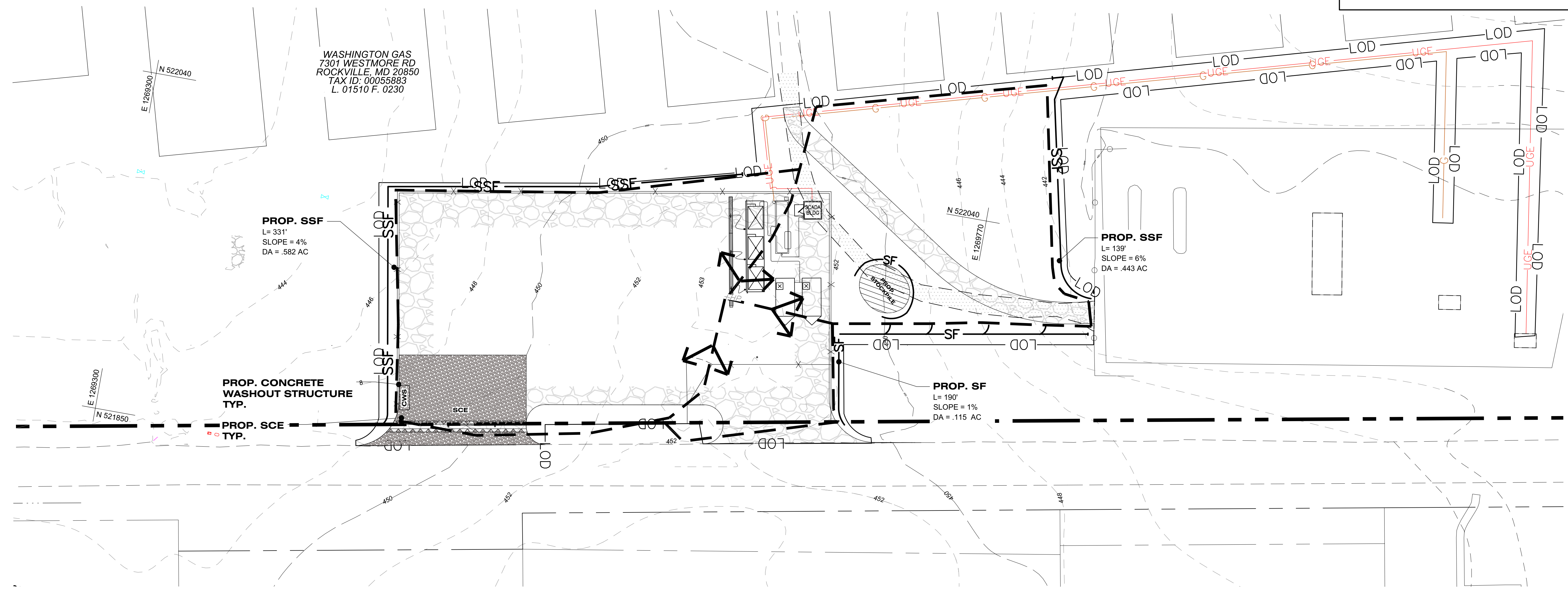


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PHONE: 703.750.4205

EXISTING DRAINAGE AREA



PROP. SSF
L = 331'
SLOPE = 4%
DA = .582 AC

PROP. SSF
L = 139'
SLOPE = 6%
DA = .443 AC

PROP. SF
L = 190'
SLOPE = 1%
DA = .115 AC

PROP. CONCRETE WASHOUT STRUCTURE TYP.
PROP. SCE TYP.

LEGEND:

- | | | | |
|--|---------------------------------|--|----------------------------------|
| | EXISTING PROPERTY LINE | | LIMITS OF DISTURBANCE (LOD) |
| | EXISTING ADJACENT PROPERTY LINE | | PROPOSED GRAVEL PAD |
| | EXISTING MINOR CONTOUR | | PROPOSED MINOR CONTOUR |
| | EXISTING MAJOR CONTOUR | | PROPOSED MAJOR CONTOUR |
| | EXISTING STREAM | | SILT FENCE |
| | EXISTING ROAD | | SUPER SILT FENCE |
| | EXISTING SIDEWALK/CONCRETE | | STABILIZED CONSTRUCTION ENTRANCE |
| | DRAINAGE AREA | | CONCRETE WASHOUT STRUCTURE |

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WSSC: 220NW07, 219NW07
TAX MAP: GS341, GR343
PARCEL: 777, L.01510 F.0230
7301 WESTMORE ROAD
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SEAL

Lisa R. Boly
11.13.2023

Professional Certification
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SCALE

1" = 30'

REVISIONS

DRAWN BY: NKM

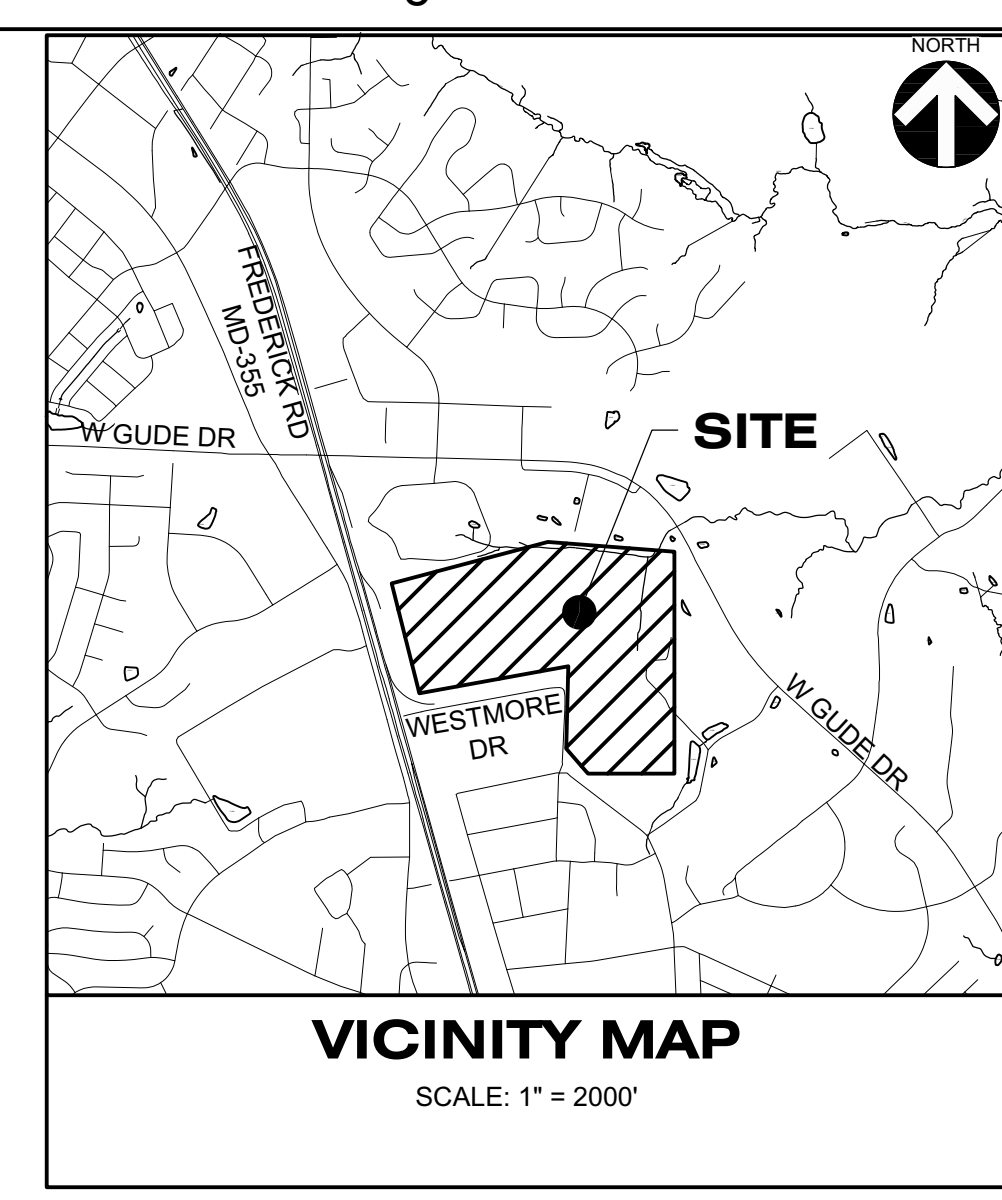
APPROVED BY:

CHECKED BY:

DATE: 11/9/2023

EXISTING DRAINAGE AREA

PROJECT NO. 50147954



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 SUITE 300
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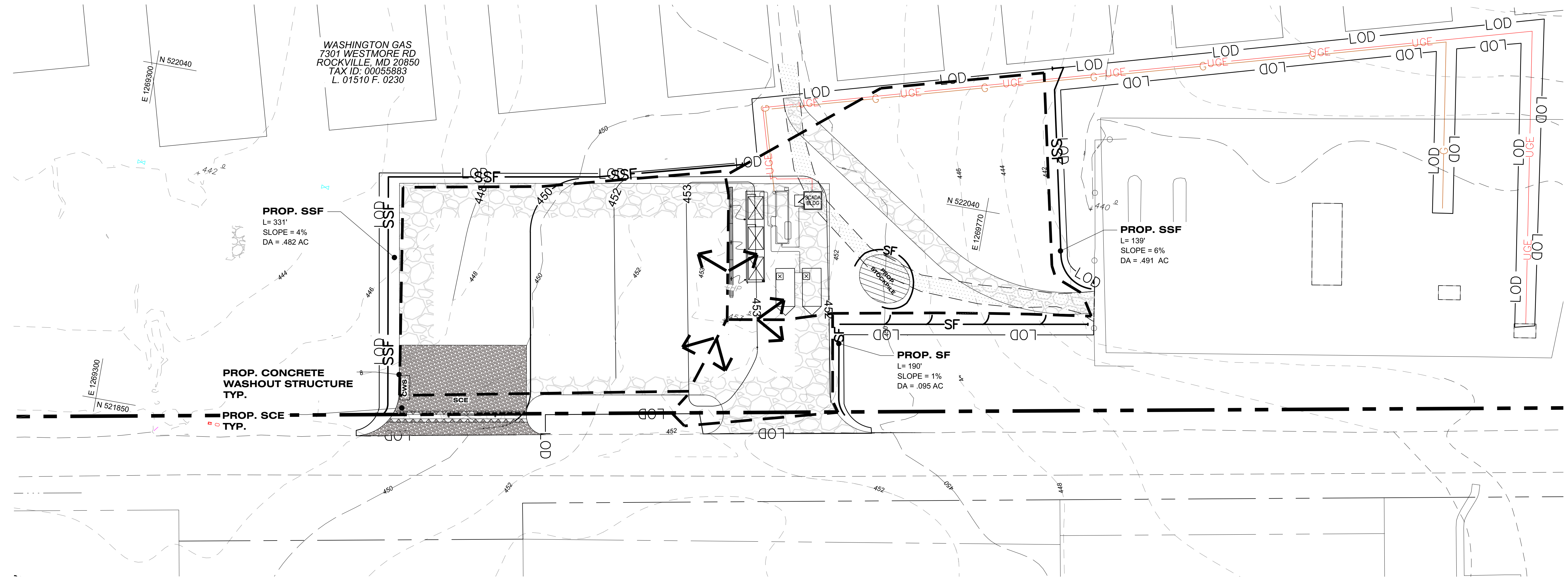
SCALE

1" = 30'

REVISIONS

DRAWN BY	NKM
APPROVED BY	
CHECKED BY	
DATE	11/9/2023

PROPOSED DRAINAGE AREA
 PROJECT NO. 50147954



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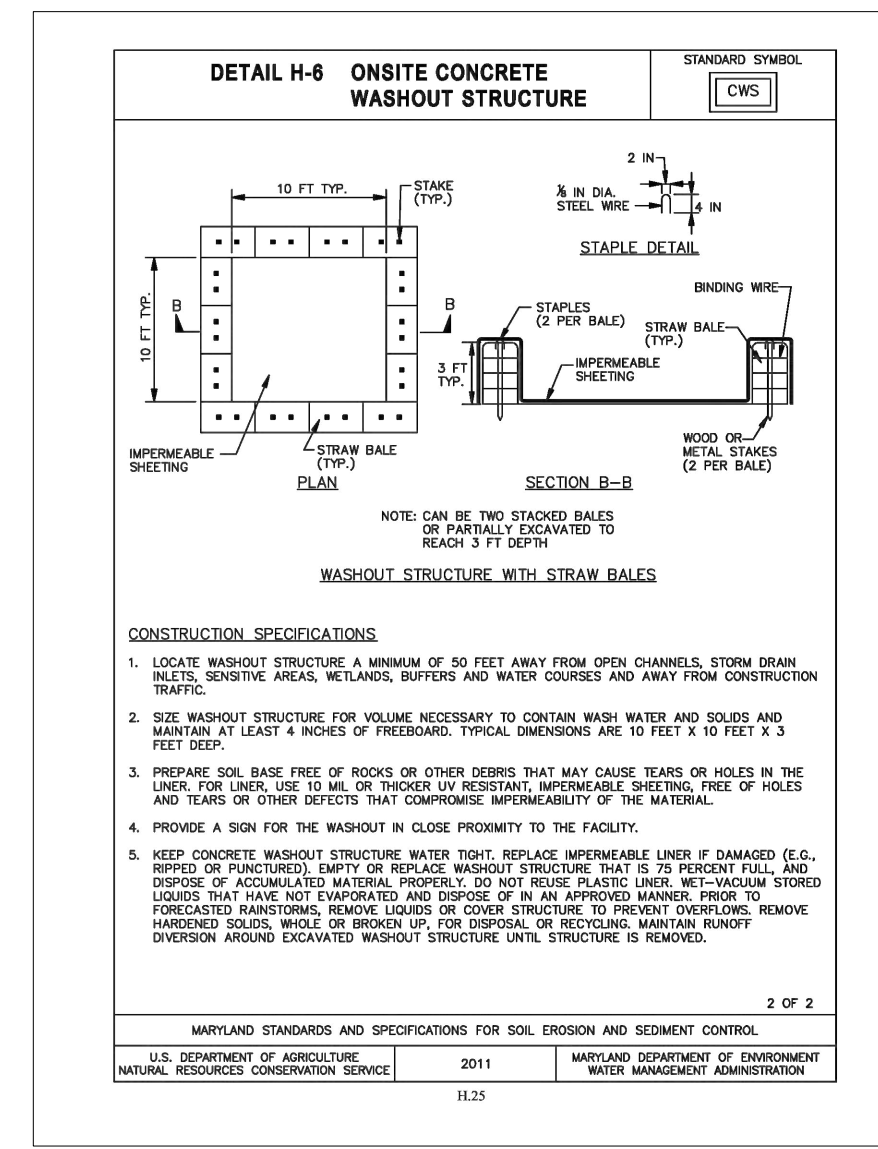
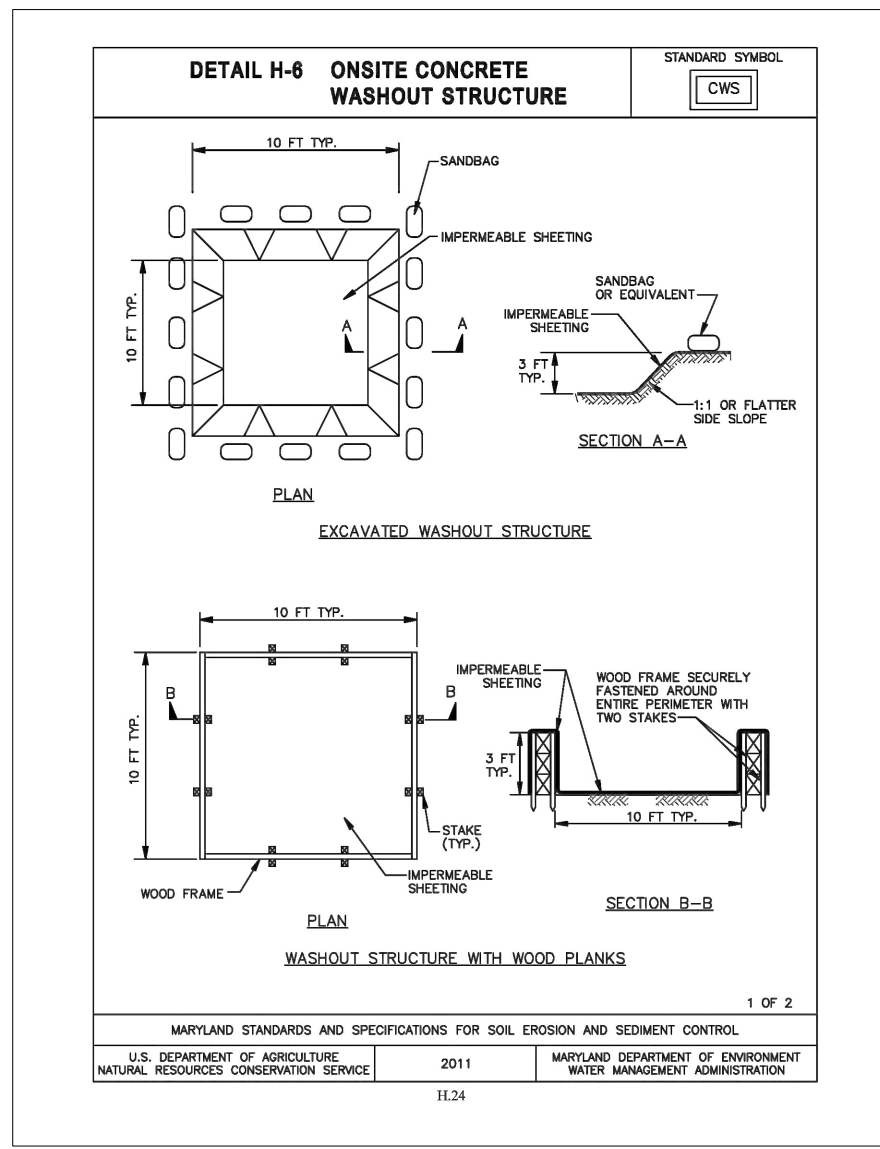
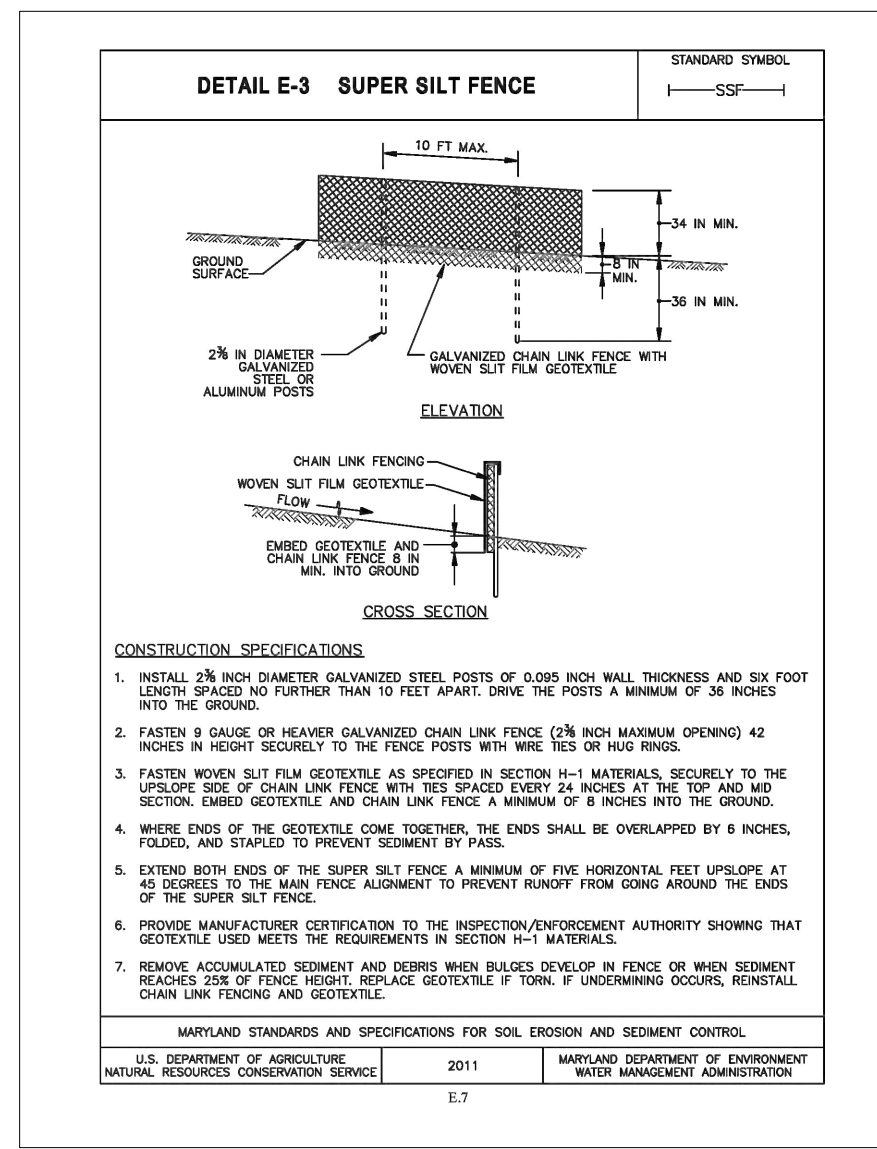
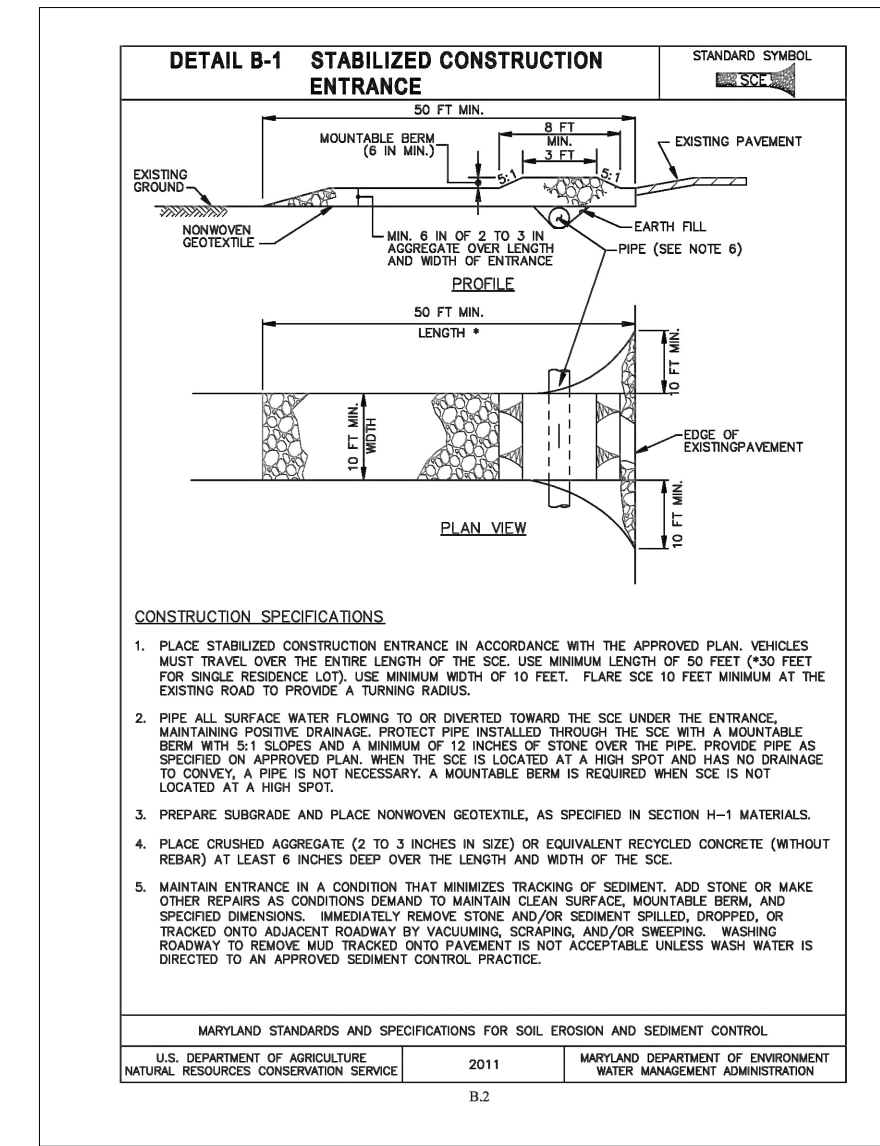
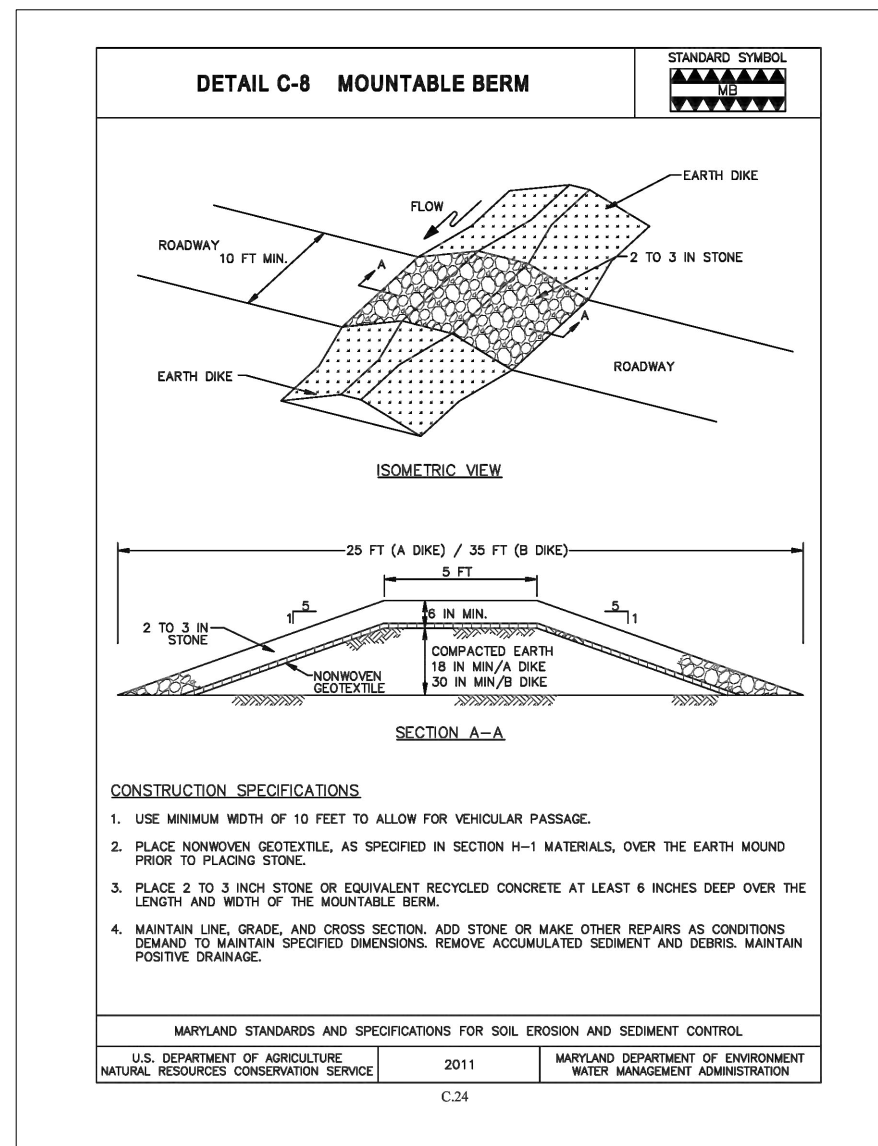
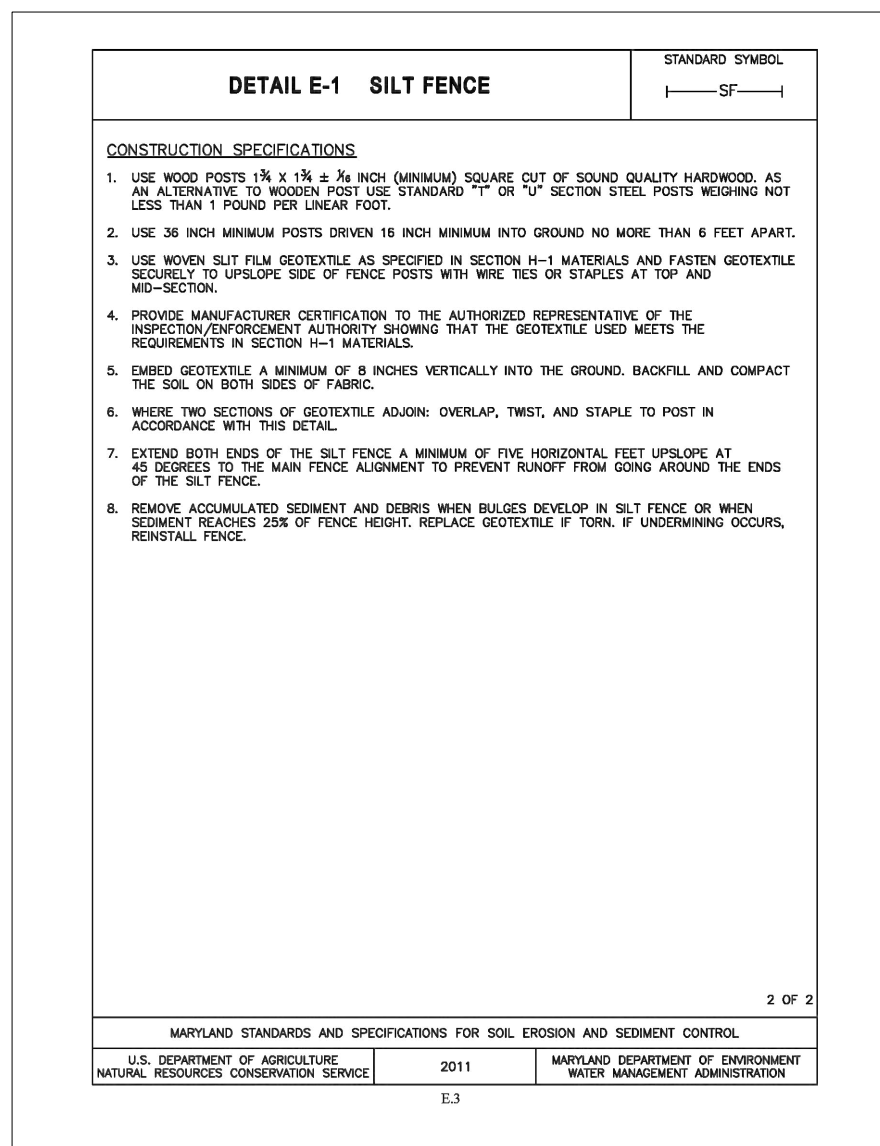
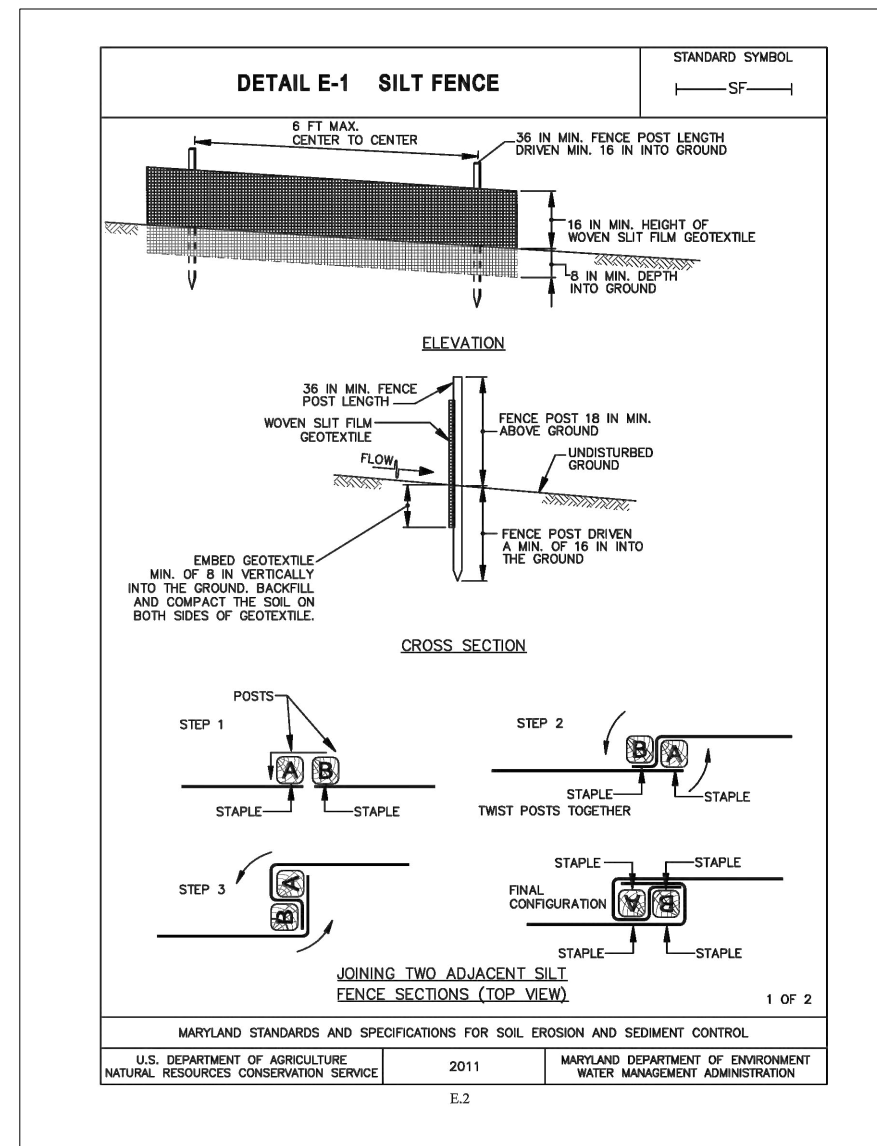
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NOT TO SCALE

DETAIL SHEET



H.I. STANDARDS AND SPECIFICATIONS

PROPERTY	TEST METHOD	WOVEN SILT FLEM GEOTEXTILE				NONWOVEN GEOTEXTILE			
		MD	CD	MD	CD	MD	CD	MD	CD
Tensile Strength	ASTM D-4852	200 lb	200 lb	250 lb	200 lb	200 lb	200 lb	200 lb	200 lb
Chamber Tensile Strength	ASTM D-4862	120 lb	120 lb	150 lb	150 lb	150 lb	150 lb	150 lb	150 lb
Triplicate Tear Strength	ASTM D-4533	75 lb	75 lb	100 lb	100 lb	100 lb	100 lb	100 lb	100 lb
Puncture Strength	ASTM D-4241	450 lb	450 lb	600 lb	600 lb	600 lb	600 lb	600 lb	600 lb
Apparent Opening Size ¹	ASTM D-4751	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 30 (0.59 mm)	U.S. Sieve 30 (0.59 mm)
Permeability	ASTM D-4461	0.05 sec ²	0.28 sec ²	0.28 sec ²	0.28 sec ²	0.28 sec ²	0.28 sec ²	0.28 sec ²	0.28 sec ²
Ultimate Resistance Retained at 500 hours	ASTM D-4255	70% strength	70% strength	70% strength	70% strength	70% strength	70% strength	70% strength	70% strength

¹ All numeric values except apparent opening size (AOS) represent minimum average values (MARV). MARV is calculated as the typical minus two standard deviations. MD is machine direction, CD is cross direction.

² Values for AOS represent the average maximum opening.

Table H.I.1: Stone Size

TYPE	SIZE RANGE	d ₁₀	d ₄₀	AASHTO	MESH SIZE
NUMBER 57	3/8 to 1 1/2 inch	1/16	1 1/16	M-43	N/A
NUMBER 1	2 to 3 inch	3/16	3/4	M-43	N/A
IRAPAF (CLASS B)	4 to 7 inch	5/16	7/8	N/A	N/A
CLASS I	N/A	9/16	1 1/2	N/A	40
CLASS II	N/A	3/4	2 1/4	N/A	200
CLASS III	N/A	1 1/4	3 1/2	N/A	600

¹ This classification is to be used on the upstream face of stone outlets and check dams.
² This classification is to be used for gabions.
³ Optimum gradation is 50 percent of the stone being above and 50 percent below the median.

Note: Stone must be composed of a well graded mixture of stone sized so that fifty (50) percent of the pieces by weight are larger than the size determined by using the sieve. A well graded mixture, as used herein, is defined as a mixture composed primarily of larger stone sizes but with a sufficient mixture of other sizes to fill the voids between the larger stones. The diameter of the largest stone in a batch of material shall not exceed the respective diameter shown in Table H.I.1. The d₁₀ refers to the median diameter of the stone. This is the size for which 10 percent by weight will be smaller and 50 percent will be larger.

Table H.I.3: Compost

Parameter	Acceptable Range
pH	5.0 - 8.5
Molasses content	30% - 60%, wet weight basis
Organic matter content	25% - 65%, dry weight basis
Particle size	75% passing a selected mesh size, dry weight basis 3 in (75 mm), 100% passing 1 in (25 mm), 90% - 100% passing 0.75 in (19 mm), 70% - 100% passing 0.25 in (6.4 mm), 30% - 60% passing 0.04 in (1 mm), 30% min. passing
Physically contaminants (estimate limit)	<1% dry weight basis

Adapted from AASHTO Standards Specs for Compost Filter Socks and EPA's Example Compost Filter Parameters.
¹ Recommended test methodologies are provided in Test Methods for the Examination of Composting and Compost (CMEC), The U.S. Composting Council.

NOTE
FOR LOCATION OF UTILITIES CALL 8-1-1 OR 1-800-257-7777 OR LOG ON TO WWW.CALL811.COM
http://www.missutility.net
48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION.



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OWNER/APPLICANT
WASHINGTON GAS
A WGL COMPANY

6801 INDUSTRIAL ROAD
SPRINGFIELD, VA 22151
ATTN: MORGAN SMITH
MRSMITH@WASHGAS.COM
PHONE: 703.750.4205

WASHINGTON GAS
RNG INJECTION FACILITY
WSSC: 220NW07, 219NW07
TAX MAP: GS341, GR343
PARCEL: 777, L01510 F.0230
7301 WESTMORE ROAD
ROCKVILLE, MD 20850



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33959, Expiration Date: JANUARY 14, 2025.

SCALE

NOT TO SCALE

REVISIONS

DRAWN BY: NKM
APPROVED BY:
CHECKED BY:
DATE: 11/9/2023

DETAIL SHEET

PROJECT NO. 50147954

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE:
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES:
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA:
1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FIGURE B.3) AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY (BELOW) ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS.
2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY (SEE TEMPORARY SEEDING SUMMARY THIS SHEET). SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

Seed Mixture (Hardiness Zone 6B) From Table B.1				Fertilizer Rate** (10-20-20)	Lime Rate
Species	Application Rates (lb/ac)	Seeding Dates	Seeding Depths		K ₂ O
BARLEY (Hordeum vulgare)	96	MARCH 1 TO MAY 15	1.0 IN	436 LBS PER ACRE	2 TONS PER ACRE
OATS (Avena sativa)	72	AUGUST 1 TO OCTOBER 15			
CEREAL RYE (Secale cereale)	112	MARCH 1 TO MAY 15 AUGUST 1 TO NOVEMBER 15			

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE:
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES:
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA:

A. SEED MIXTURES
1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUNDED ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
c. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
2. TURFGRASS MIXTURES
A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT, CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE, CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 4 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA, MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.
NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVA RECOMMENDATIONS FOR MARYLAND".
CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.
C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, 6A)
CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B)
SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)
D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND MAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

Seed Mixture (Hardiness Zone 6B) From Table B.3				Fertilizer Rate** (10-20-20)	Lime Rate			
MIX	Species	Application Rates (lb/ac)	Seeding Dates	SEEDING DEPTHS	N	P ₂ O ₅	K ₂ O	
6	TALL FESCUE (Lolium arundinaceum)	40	MARCH 1 TO MAY 15	1/4 - 1/2 IN	45 LBS PER ACRE	90 LBS PER ACRE	90 LBS PER ACRE	2 TONS PER ACRE
	PERENNIAL RYEGRASS (Lolium perenne)	25	AUGUST 15 TO OCTOBER 15					
	WHITE CLOVER (Trifolium repens)	5						

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 1/2 INCH, PLUS OR MINUS 1/8 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH, BROKEN PADS AND TORN OR UNEVEN ENDS WHICH NOT BE ACCEPTABLE.
c. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
d. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
e. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
2. SOD INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
b. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
c. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SET THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
d. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
3. SOD MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
b. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
c. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/4 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

NOTE
FOR LOCATION OF UTILITIES CALL
8-1-1 OR 1-800-257-7777
OR LOG ON TO
www.call811.com
http://www.missutility.net
48 HOURS IN ADVANCE OF ANY WORK
IN THIS VICINITY

INFORMATION CONCERNING UNDERGROUND
UTILITIES WAS OBTAINED FROM AVAILABLE
RECORDS BUT THE CONTRACTOR MUST
DETERMINE THE EXACT LOCATION AND
ELEVATION OF THE MAINS BY DIGGING TEST PITS
BY HAND AT ALL UTILITY CROSSINGS WELL IN
ADVANCE OF THE START OF EXCAVATION.

Attachment D:



Dewberry Engineers Inc. | 410.265.9500
10461 Mill Run Circle, Suite 300 | 410.265.8875 fax
Owings Mills, MD 21117-5557 | www.dewberry.com

October 13, 2023

Montgomery County Department of Permitting Services
City of Rockville
2425 Reedle Drive, 7th Floor,
Wheaton, MD 20902

Dear Mr. Etheridge,

On behalf of our client, Washington Gas, Dewberry is requesting the Department of Permitting Services (DPS) waive Stormwater Management requirements for a temporary Renewable Natural Gas (RNG) injection site in Rockville, MD due to the temporary nature of the project.

Dewberry is working with Washington Gas at their existing Rockville Gas Storage Facility located at 7301 Westmore Road, Rockville, MD. Washington Gas plans to construct a temporary filling station while a gas pipeline is built from Prince William County to the existing underground storage site in Rockville. The operation will be in use for 8-12 months and then decommissioned. As part of the operation, Washington Gas will need to install ~200'x120' (24,000 sf) gravel pad to allow trucks to maneuver through the site. The gravel pad will be graded in such a way that the site will generally discharge across Washington Gas' property, which is grass at the surface. Therefore, any increase in stormwater runoff related to these temporary impacts can be contained within Washington Gas' property and will not discharge to a public system. Lastly, the vast majority of the site houses underground gas storage tanks which limits our ability to install ESD stormwater facilities. Upon completion of the 8-12 month virtual [trucked] pipeline, all gravel or any other impervious areas constructed throughout the duration of this project will be removed and restored to its current (existing) conditions.

Should you require any additional information to evaluate this request or have any questions about the project, please reach out to me at [410.645.1402](tel:410.645.1402) or LBetz@dewberry.com.

Thank you for considering this request.

Sincerely,
Dewberry

A handwritten signature in blue ink that reads "Lisa R. Betz".

Lisa R. Betz, PE
Senior Associate

Attachments: Site Plan

* **Approved Conditionally**

Mark Etheridge October 16, 2023

Mark Etheridge, Manager
Water Resources Section
Montgomery County Dept. of Permitting Services

* An engineered sediment control plan must be approved for this project prior to commencement of work. Plans must include subsequent removal of all impervious material placed under this permit, to be completed within 90 days of completion of the project as stated in the waiver request letter.