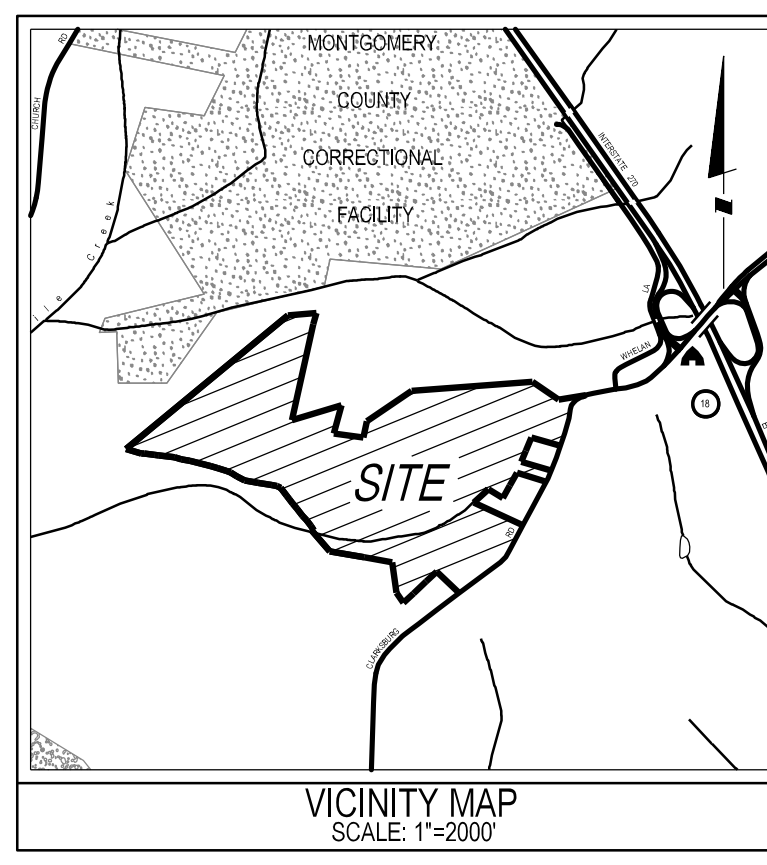




REFERENCE GRID
A B C D E F G H I J K L M N O

PLANNING DEPARTMENT USE ONLY (E-PLANS)



SCALE: 1" = 160'

LEGEND

	PROPERTY LINE
	EXISTING TOPOGRAPHY
	EXISTING ROAD
	EXISTING BUILDING
	PROPOSED TOPOGRAPHY
	PROPOSED LOT LINES
	PROPOSED BRL
	PROPOSED STORM DRAIN
	PROPOSED WATER PIPE
	PROPOSED SEWER PIPE
	PROPOSED BUILDING
	15% SLOPE
	25% SLOPE

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE PLAN SHOWN HEREON CONFORMS WITH THE MONTGOMERY COUNTY SUBDIVISION REGULATIONS AS ADOPTED OCTOBER 1991 AND AS AMENDED THEREAFTER.

SIGNATURE: KYLE J. WALKER DATE: _____
 PRINTED NAME: KYLE J. WALKER TITLE: PROJECT MANAGER
 MD. REG. NO. 33901

SOLTESZ, INC.
 ROCKVILLE OFFICE
 2 Research Place, Suite 100
 Rockville, MD 20850
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 www.solteszco.com

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1	POST DRC SUBMITTAL	KDL	03/29/2024
NO.	REVISIONS	BY	DATE

MISS UTILITY NOTE
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY USING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT THE UTILITY AT 1-800-327-7747 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR THESE 12" MINIMUM CLEARANCES ARE LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THE PLAN.

OWNER / DEVELOPER / APPLICANT
 US HOME LLC
 7035 ALBERT EINSTEIN DR.
 SUITE 200
 COLUMBIA, MD 21046
 (443) 296-5737
 MARK ANDERSON

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 33901 EXPIRATION DATE: 06/01/24

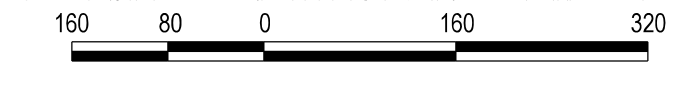
OVERALL PLAN

PRELIMINARY PLAN 120240040

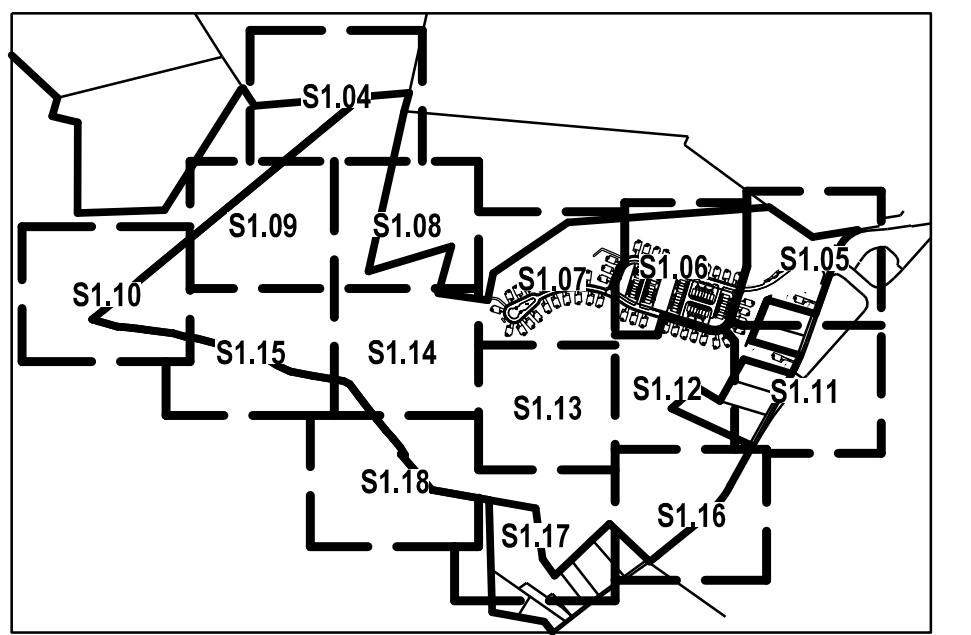
CLARKSBURG CHASE

CLARKSBURG (MD) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP EV 123	ZONING CATEGORY: RNC
WS&C 200' SHEET 231 NW 14	OVERLAY ZONE: CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM: HORIZONTAL: <u>NAD83</u> VERTICAL: <u>NAVD83</u>	WATER / SEWER CAT: W3 / S3
DATE: 8/7/2024 DESIGNED: K.J.W. TECHNICAL: G.M.M. CHECKED: K.J.W. CADD STPL: CONNECT VERSION: / NCS	
SHEET P1.03 OF P1.22	PROJECT NO. 1548-38-00



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NO.	REVISIONS	BY	DATE
1	POST DRC SUBMITTAL	KDL	03/29/2024

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OWNER / DEVELOPER / APPLICANT
US HOME LLC
7035 ALBERT EINSTEIN DRIVE
SUITE 200
COLUMBIA, MD 21046
(443) 206-5737
MARK ANDERSON

PROFESSIONAL CERTIFICATION
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LICENSE NO. 33901 - EXPIRATION DATE: 06/30/24

- LEGEND**
- PROPERTY LINE
 - EXISTING TOPOGRAPHY
 - EXISTING ROAD
 - EXISTING BUILDING
 - PROPOSED TOPOGRAPHY
 - PROPOSED LOT LINES
 - PROPOSED BRL
 - PROPOSED STORM DRAIN
 - PROPOSED WATER PIPE
 - PROPOSED SEWER PIPE
 - PROPOSED BUILDING

DEVELOPER'S CERTIFICATE
The Undersigned agrees to execute all the features of the Site Plan Approval No. 820240050 including Approval Conditions, Development Program, and Certified Site Plan.
Developer's Name: US Home, LLC Mark Anderson
Company Contact Person
Address: 7035 Albert Einstein Drive, Suite 200 Columbia, MD 21046
Phone: 443-206-5737
Signature: _____

OVERALL PLAN
SITE PLAN 820240050
CLARKSBURG CHASE

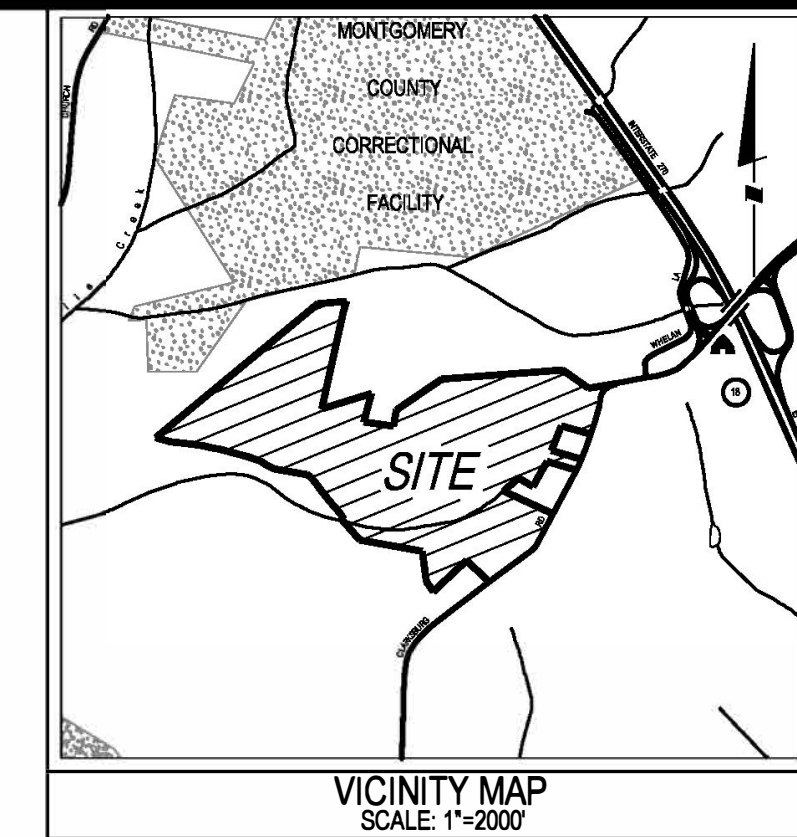
CLARKSBURG (06) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP EV 123	ZONING CATEGORY: RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE: CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM: HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 8/17/2024 DESIGNED: K.J.W. TECHNICAL: G.M.M. CHECKED: K.J.W. CADD STPL: CONN/ECT VERSION: / NCS	PROJECT NO. 1548-36-00

CLARKSBURG CHASE

PRELIMINARY / FINAL FOREST CONSERVATION PLAN

F20240180



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FOREST CONSERVATION WORKSHEET
 CLARKSBURG CHASE

NET TRACT AREA:

A. Total tract area ...	136.17
B. Additions to tract area (Off-Site Work, etc.; construction required by this plan)...	0.04
C. Land dedication acres (parks, county facility, etc.) ...	0.00
D. Land dedication for roads or utilities (construction not required by this plan) ...	0.00
E. Area to remain in commercial agricultural production/use ...	0.00
F. Other deductions (specify)	0.00
G. Net Tract Area	136.22

LAND USE CATEGORY: (from Chapter 22A-3, Definitions)
 Input the number "1" under the appropriate land use, limit to only one entry.

ARA	CDR	MDR	IDA	HDR	MPD	CIA
0	1	0	0	0	0	0

G. Afforestation Threshold ... 20% x G = 27.24
 H. Conservation Threshold ... 45% x G = 61.30

EXISTING FOREST COVER:

I. Existing forest cover	75.51
J. Area of forest above afforestation threshold	48.27
K. Area of forest above conservation threshold	14.21

BREAK EVEN POINT:

L. Forest retention above threshold with no mitigation	64.14
M. Clearing permitted without mitigation	11.37

PROPOSED FOREST CLEARING:

N. Total area of forest to be cleared	0.89
O. Total area of forest to be retained	74.62

PLANTING REQUIREMENTS:

P. Reforestation for clearing above conservation threshold	0.45
Q. Reforestation for clearing below conservation threshold	0.00
R. Credit for retention above conservation threshold	13.32
S. Total reforestation required	0.00
T. Total afforestation required	0.00
U. Credit for landscaping (may not be used to meet reforestation requirement if project is located outside an EFA. For projects within EFA, may not exceed 20% of project area)	0.00
V. Total reforestation and afforestation required	0.00

PLANTING AREA:

SVB Planting	8.04
--------------------	------

worksheet date: 4/1/2024

Forest Conservation Data Table

Number of Acres	
Tract	136.22
Remaining in Agricultural Use	
Road & Utility ROWs ¹	
Total Existing Forest	75.51
Forest Retention	74.62
Forest Cleared	0.89

Land Use & Thresholds ²	
Land Use Category	CDR
Conservation Threshold	45% percent
Afforestation Threshold	20% percent

Total Channel Length (ft) ³	Average Buffer Width (ft) ³
Stream(s)	1,806 / 200

Acres of Forest in			
	Retained	Cleared	Planted
Wetlands	0.42	0.04	0.04
100-Year Floodplain	0.81	-	0.81
Stream Buffers	26.19	0.52	8.00
Priority Areas	26.19	0.52	8.00



GENERAL NOTES:

- THIS SITE IS CLASSIFIED AS ZONE RNC AND FALLS UNDER THE CLARKSBURG WEST ENVIRONMENTAL COVERALL ZONE (CWE).
- THE NET TRACT AREA FOR THE FOREST CONSERVATION IS 136.18 ACRES ON FOUR PARCELS (P270, P290, P090, AND P150), INCLUDING ADDITION TO TRACT AREA FOR OFFSITE WORK AND CONSTRUCTION REQUIRED BY THIS PLAN. THE SITE TAX ACCOUNTS ARE 00023012, 00023045, 00019203, AND 00023023.
- BOUNDARY INFORMATION ON IS FROM A SURVEY PREPARED BY SOLTESZ, INC.
- THE PROJECT LIES WITHIN THE CLARKSBURG TEN MILE CREEK LIMITED AMENDMENT MASTER PLAN, APPROVED AND ADOPTED JULY 2014.
- THE SITE LIES IN THE LITTLE SENECA CREEK - TEN MILE CREEK WATERSHED, CLASS I-P.
- THIS PROPERTY IS WITHIN THE TEN MILE CREEK SPECIAL PROTECTION AREA.
- FLOODPLAIN SHOWN IS PER MNCPPC GIS. NO FLOODPLAIN IS SHOWN ON FEMA DIGITAL FLOOD INSURANCE RATE MAP NUMBER 24031C0160D.
- THERE ARE NO DESIGNATED HISTORIC SITES ASSOCIATED WITH THIS PROPERTY.
- THERE ARE NO KNOWN RARE, THREATENED, OR ENDANGERED SPECIES OCCURRING ON THIS PROPERTY, PER LETTER FROM MARYLAND DEPARTMENT OF NATURAL RESOURCES (MD DNR) DATED JULY 2021. THE LIMITS OF FOREST INTERIOR DWELLING SPECIES HABITAT DEPICTED HERON, WERE PREPARED IN GENERAL ACCORDANCE WITH GUIDANCE FROM THE MD DNR'S GUIDE TO CONSERVATION OF INTERIOR DWELLING BIRDS IN THE CHESAPEAKE BAY CRITICAL AREA, DATED JUNE 2000.

LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	LIMIT OF DISTURBANCE
◎	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
◎	SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
---	EXISTING SOIL LINE AND LABEL
---	LIMIT OF FOREST STAND
---	INTERMITTENT/PERENNIAL STREAM
---	EPHEMERAL STREAM
---	STREAM VALLEY BUFFER
---	WETLAND
---	WETLAND BUFFER
---	FLOODPLAIN
---	FLOODPLAIN BUFFER
---	PARK DEDICATION BOUNDARY
■	EXISTING FOREST TO REMAIN
■	FOREST TO BE REMOVED
■	FOREST PLANTING AREA
■	VARIANCE TREE MITIGATION PLANTING AREA
■	FOREST CONSERVATION EASEMENT SIGN
■	15% SLOPE
■	25% SLOPE
■	VARIANCE TREE MITIGATION PLANTING AREA

GENERAL NOTES:

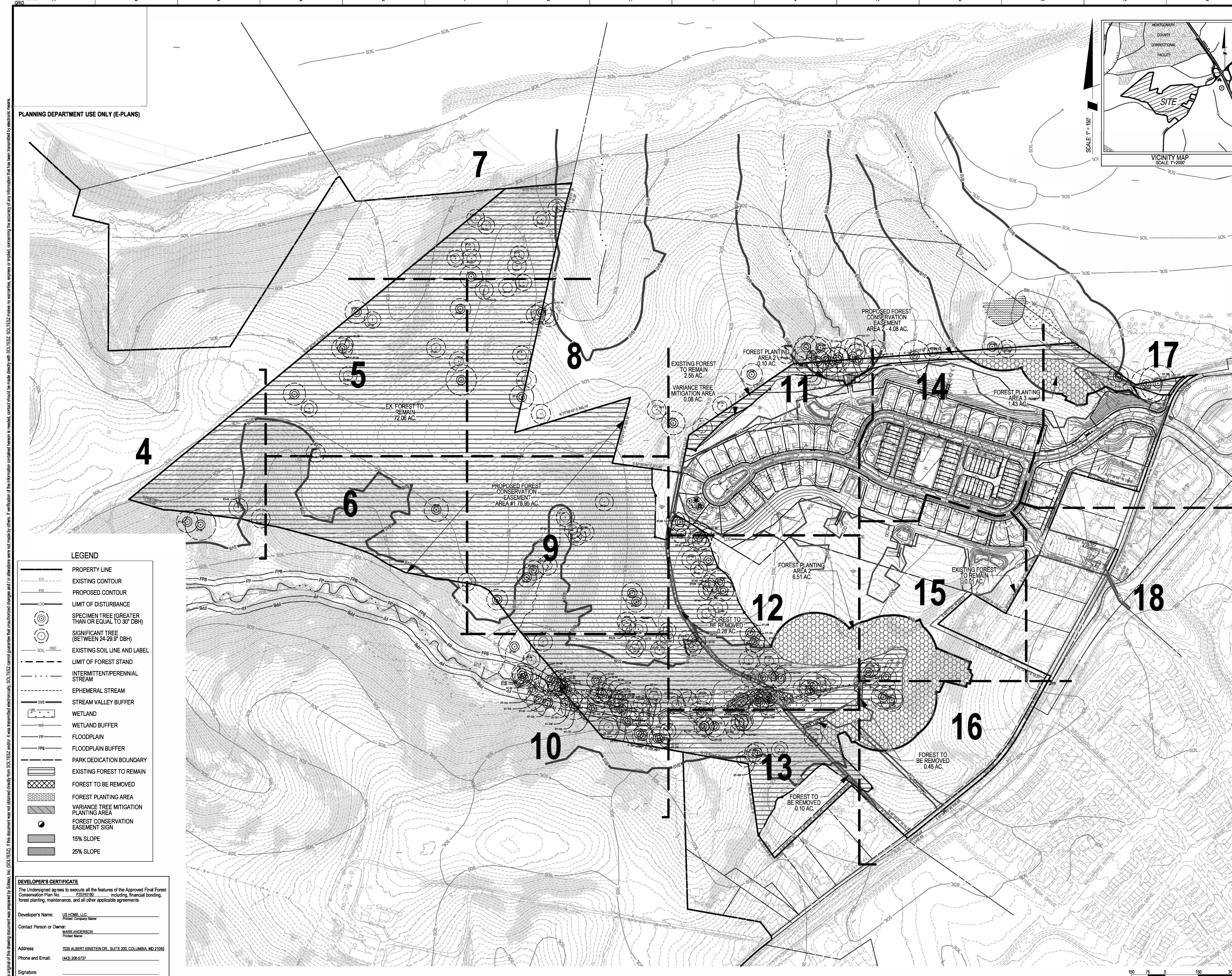
- SHEET F1.01 COVER SHEET
- SHEET F1.02 APPROVAL SHEET
- SHEET F1.03 OVERALL PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.04 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.05 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.06 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.07 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.08 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.09 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.10 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.11 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.12 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.13 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.14 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.15 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.16 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.17 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.18 PRELIMINARY / FINAL FOREST CONSERVATION PLAN
- SHEET F1.19 TREE INVENTORY
- SHEET F1.20 NOTES AND DETAILS
- SHEET F1.21 NOTES AND DETAILS

DEVELOPER'S CERTIFICATE
 The Undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20240180, including, financial bonding, forest planting, maintenance, and all other applicable agreements.

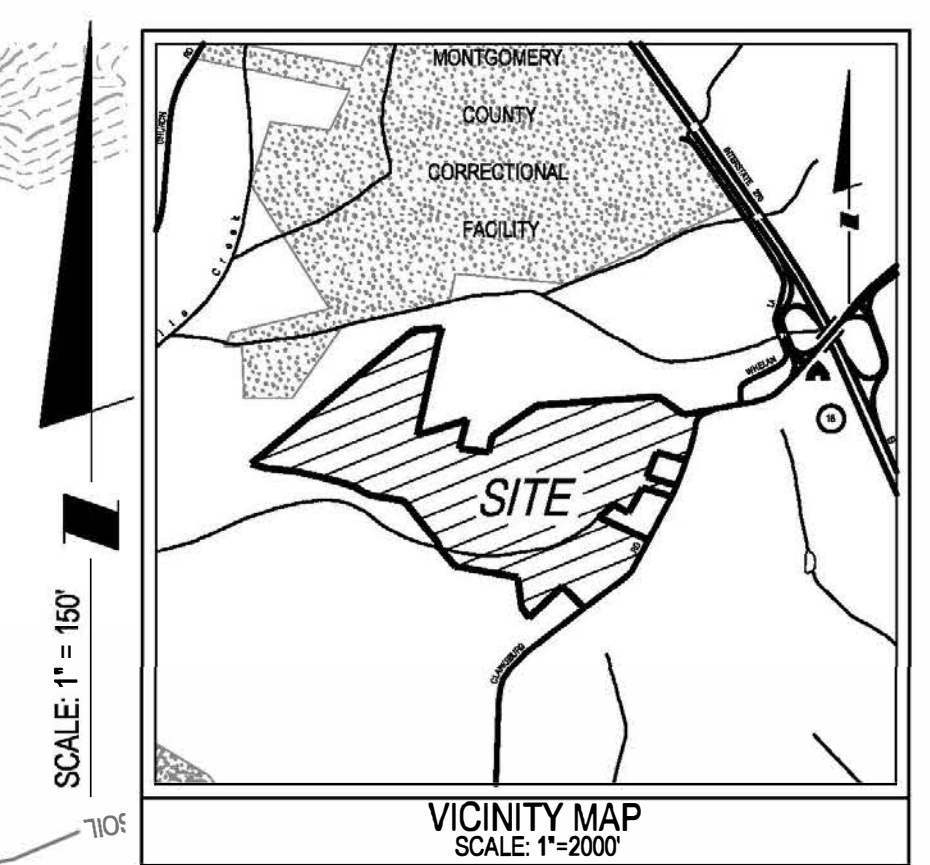
Developer's Name: US HOME, LLC
 Contact Person or Owner: MARK ANDERSON
 Address: 7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046
 Phone and Email: (443) 206-5737
 Signature: _____

COVER SHEET
 PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
 CLARKSBURG CHASE

TAX MAP	EV 123	ZONING CATEGORY	RNC
WSSC 200' SHEET	231 NW 14	OVERLAY ZONE	CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM	HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT.	WS / SS
DATE	03/23/2024	DESIGNED	NC
TECHNICIAN	NC	CHECKED	DHP
CAD BY / VERSION	V8 / NCS	DATE	03/23/2024
PROJECT NO.	1548-38-00		



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NO.	REVISIONS	BY	DATE
1	POST DRC SUBMISSION	KDL	03/29/2024

MISS UTILITY NOTE
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OWNER / DEVELOPER / APPLICANT
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 SUITE 200
 COLUMBIA, MD 21046
 (443) 296-5737
 MARK ANDERSON

OVERALL PRELIMINARY / FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
	SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
	EXISTING SOIL LINE AND LABEL
	LIMIT OF FOREST STAND
	INTERMITTENT/PERENNIAL STREAM
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	STREAM VALLEY BUFFER
	WETLAND BUFFER
	FLOODPLAIN
	FLOODPLAIN BUFFER
	PARK DEDICATION BOUNDARY
	EXISTING FOREST TO REMAIN
	FOREST TO BE REMOVED
	FOREST PLANTING AREA
	VARIANCE TREE MITIGATION PLANTING
	FOREST CONSERVATION EASEMENT SIGN
	15% SLOPE
	25% SLOPE

DEVELOPER'S CERTIFICATE
 The undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20240180, including, financial bonding, forest planting, maintenance, and all other applicable agreements.

Developer's Name: US HOME, LLC
 Printed Company Name

Contact Person or Owner: MARK ANDERSON
 Printed Name

Address: 7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046

Phone and Email: (443) 296-5737

Signature: _____

TAX MAP EV 123	ZONING CATEGORY RNC
W80C 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT.: W3 / S3
DATE: 9/23/2024	DESIGNED: NC
TECHNICIAN: NC	CHECKED: DHP
CAD SETS: V8 / NCS	VERSION:
SHEET F1.03 OF F1.21	PROJECT NO. 1548-36-00

NO.	REVISIONS	BY	DATE
1	POST DRG SUBMISSION	KDL	03/29/2024

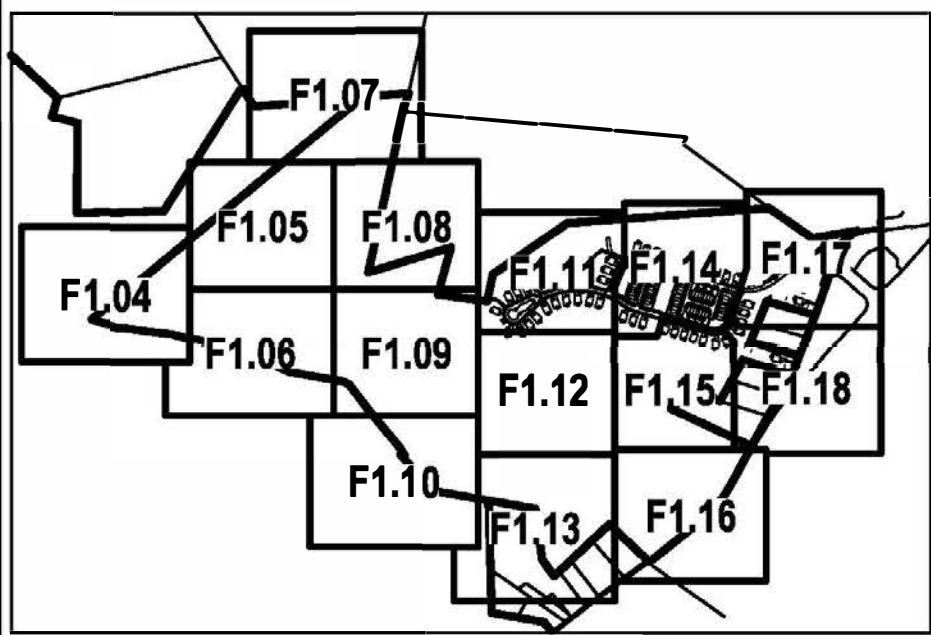
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 7035 ALBERT EINSTEIN DRIVE
 SUITE 200
 COLUMBIA, MD 21046
 (443) 296-5737
 MARK ANDERSON

PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER DAT. W3 / S3
DATE: 03/23/2024	DESIGNED: NC
1" = 30'	TECHNICAL: NC
SHEET F1.04 OF F1.21	CHECKED: DHP CAB LET'S VERSION: V8 / NCS
PROJECT NO. 1548-38-00	

PLANNING DEPARTMENT USE ONLY (E-PLANS)



KEY MAP
 SCALE: 1" = 1,200'

SCALE: 1" = 30'

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
	SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
	EXISTING SOIL LINE AND LABEL
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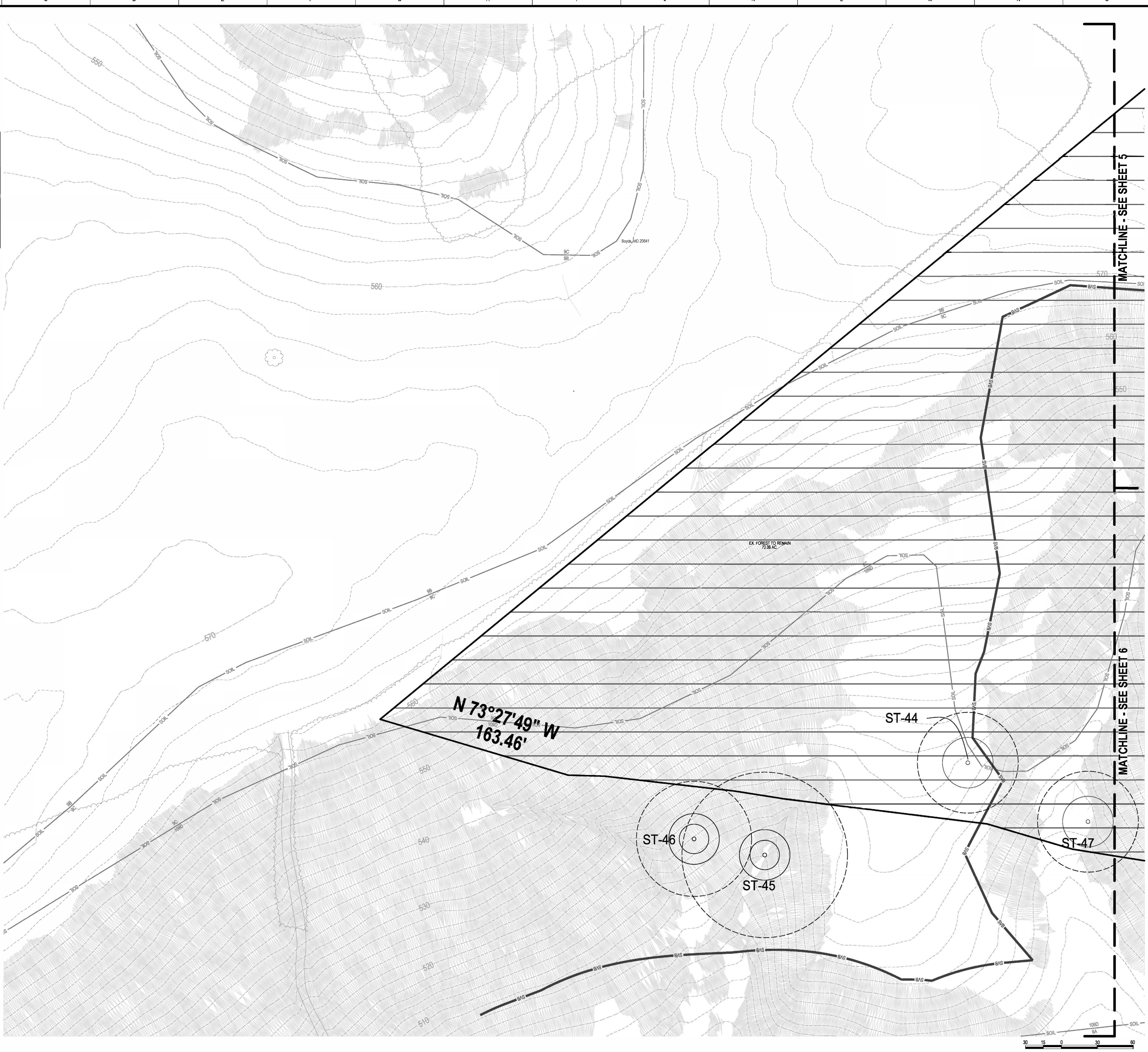
Developer's Name: US HOME, LLC
 (Printed Company Name)

Contact Person or Owner: MARK ANDERSON
 (Printed Name)

Address: 7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046

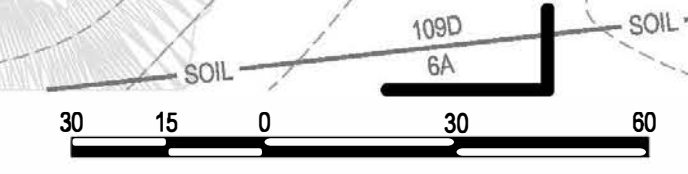
Phone and Email: (443) 296-5737

Signature: _____

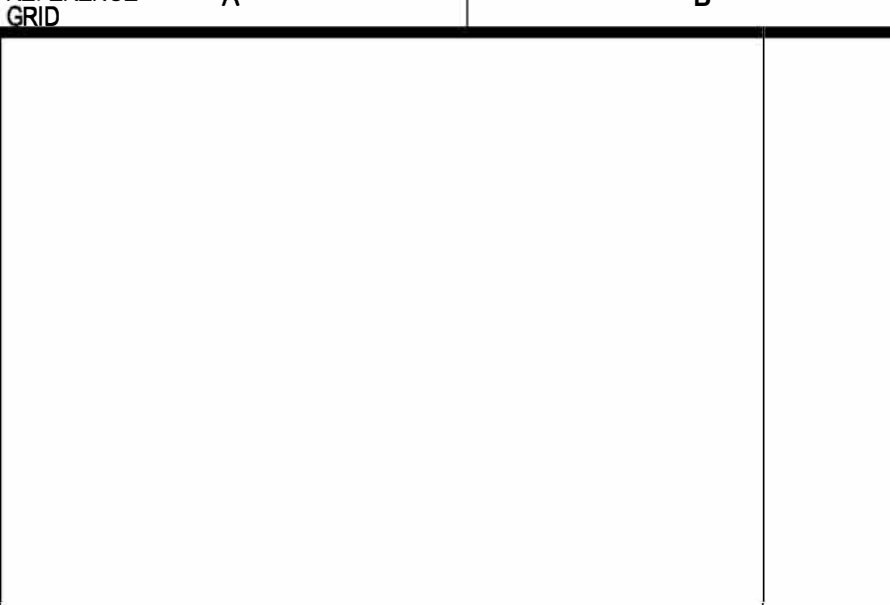


MATCHLINE - SEE SHEET 5

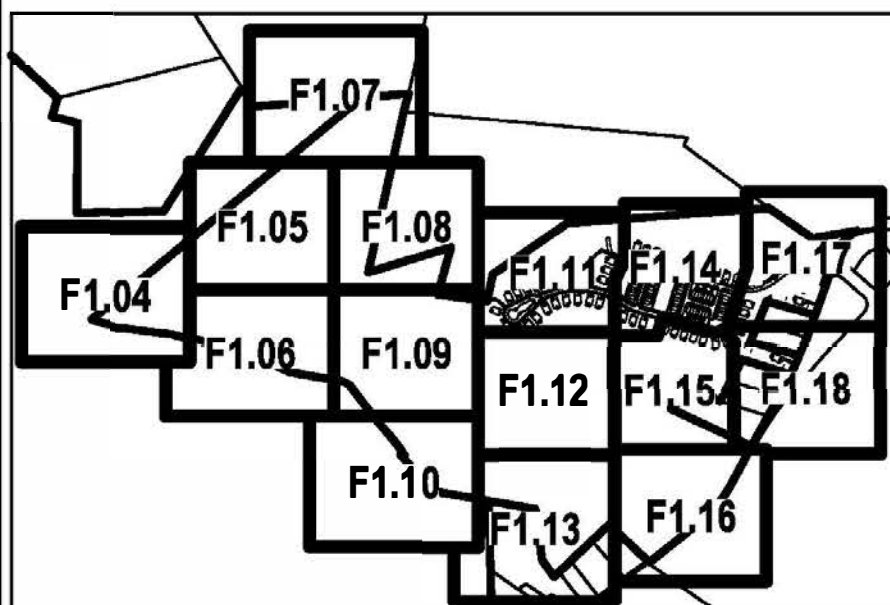
MATCHLINE - SEE SHEET 6



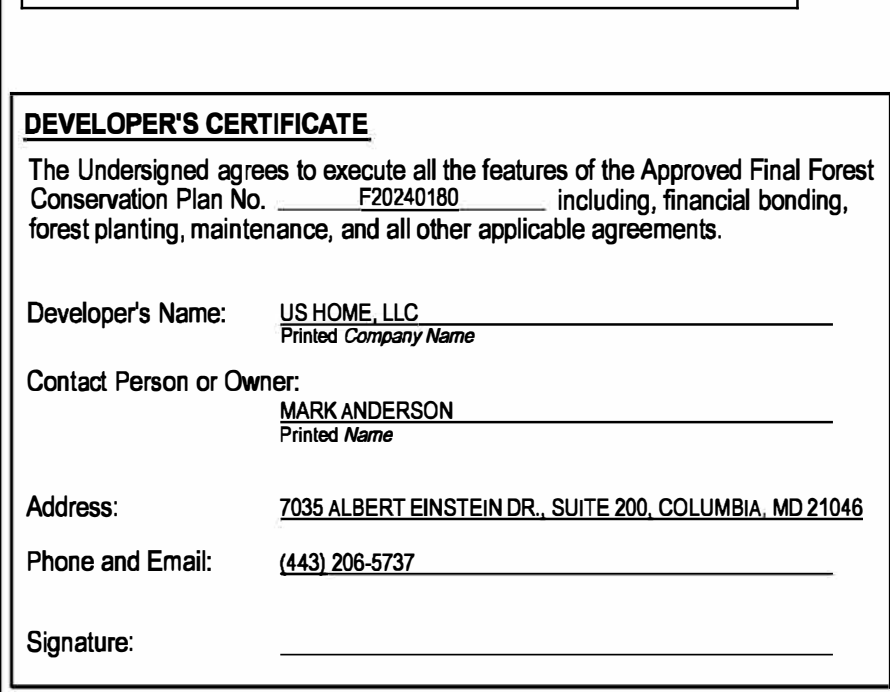
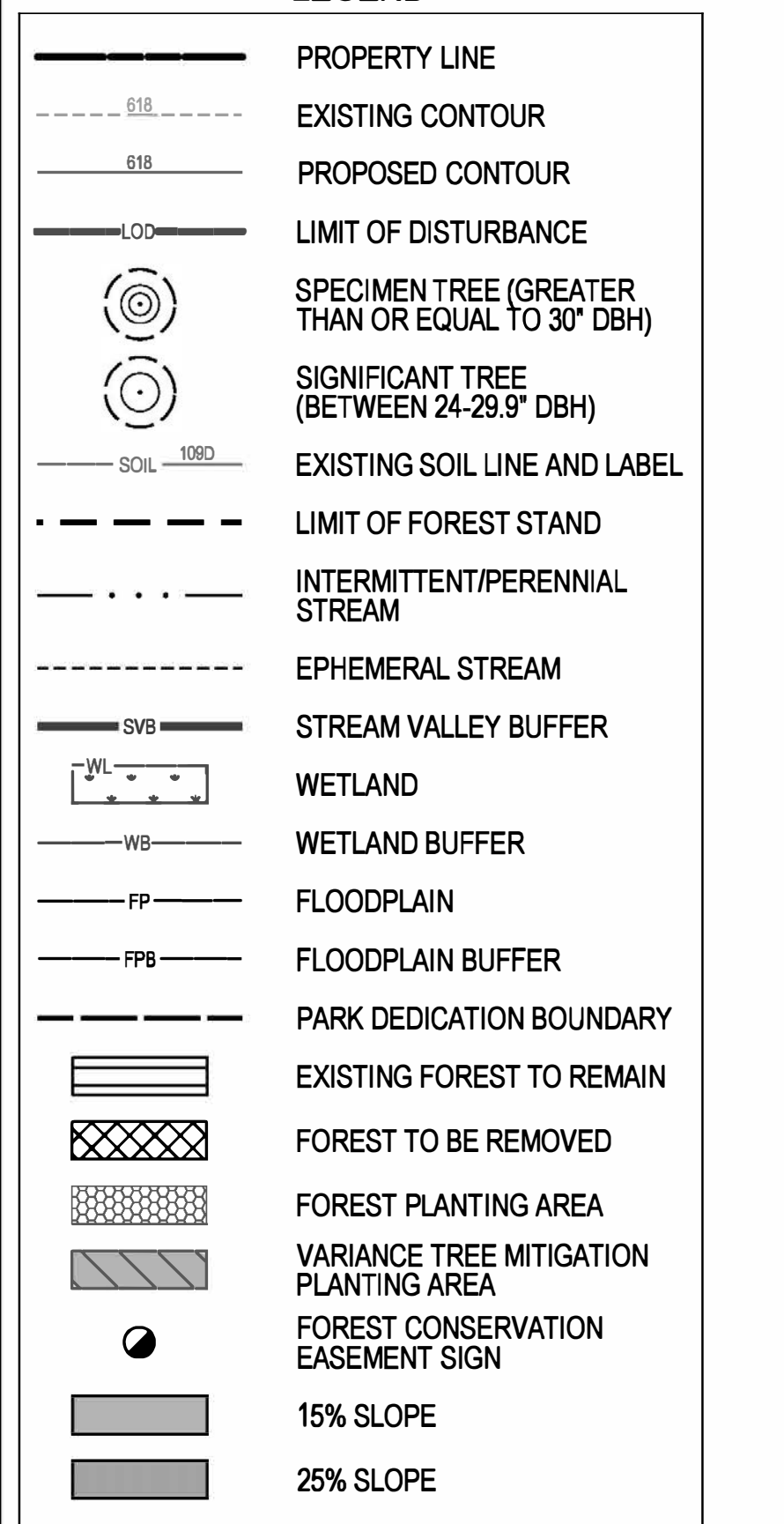
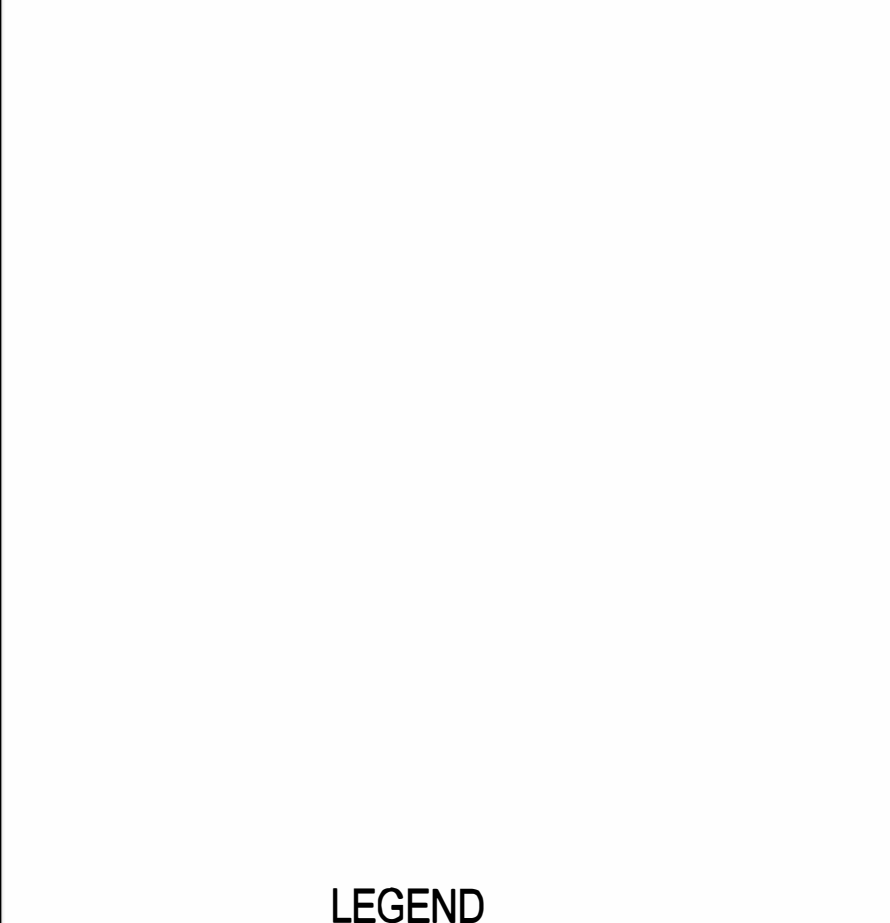
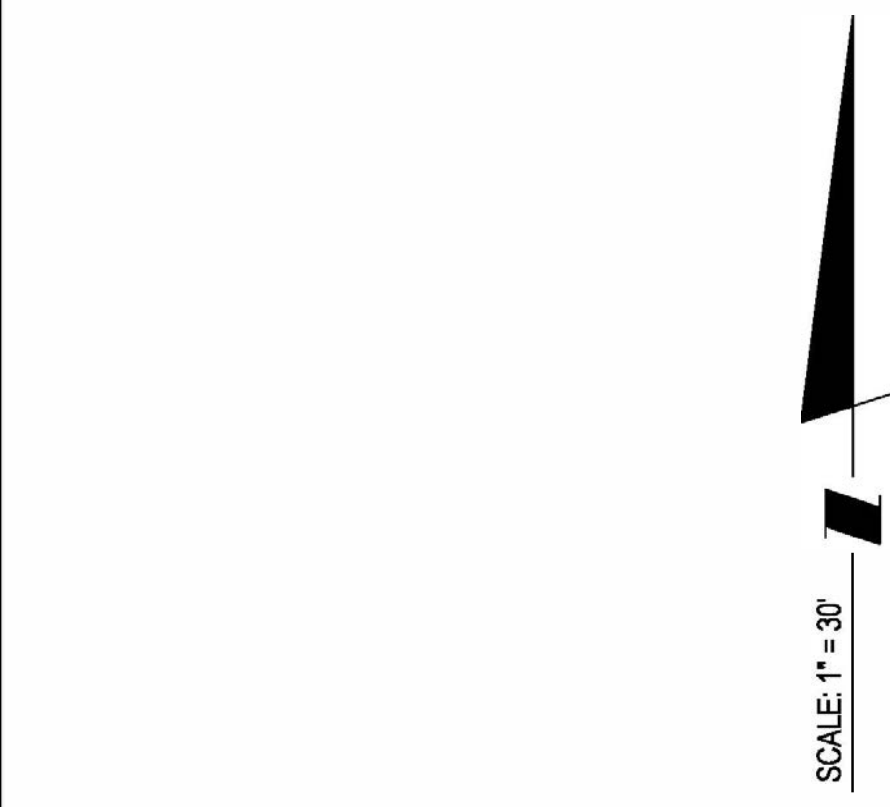
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PLANNING DEPARTMENT USE ONLY (E-PLANS)



KEY MAP
SCALE: 1" = 1,200'



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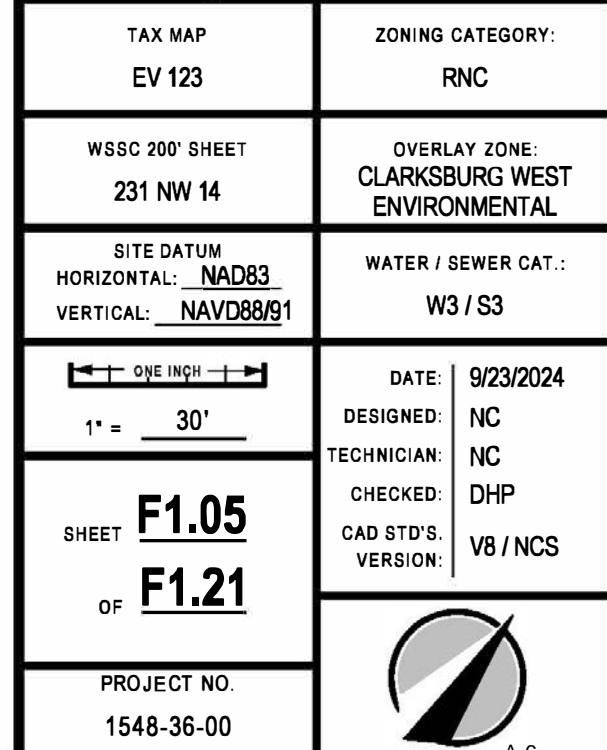
NO.	REVISIONS	BY	DATE
1	POST DRG SUBMISSION	KDL	09/23/2024

MISS UTILITY NOTE
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OWNER / DEVELOPER / APPLICANT
US HOME, LLC
7035 ALBERT EINSTEIN DRIVE
SUITE 200
COLUMBIA, MD 21046
(443) 206-5737
MARK ANDERSON

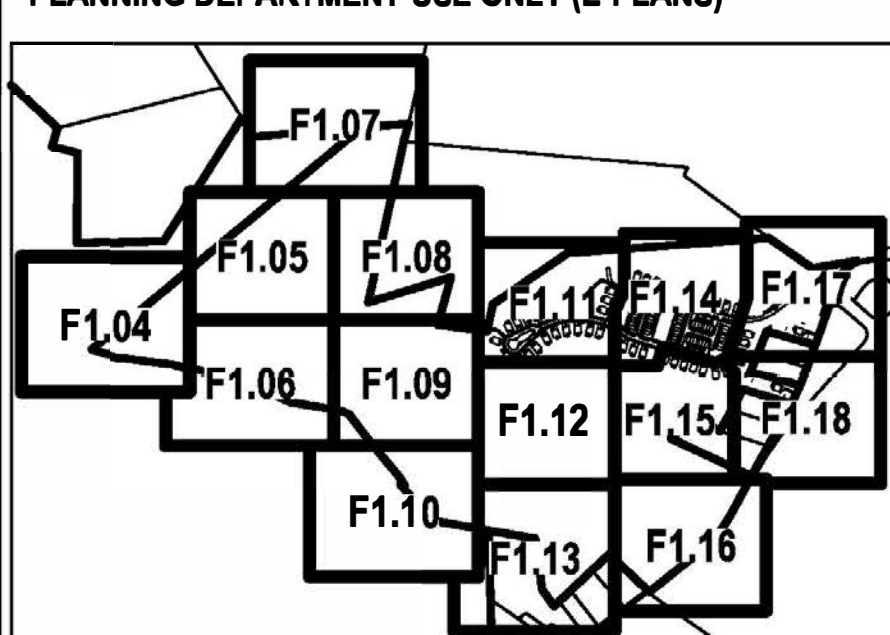
PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP: EV 123
ZONING CATEGORY: RNC
WBSO 200' SHEET: 231 NW 14
OVERLAY ZONE: CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM: NAVD83
HORIZONTAL: NAVD83
VERTICAL: NAVD83
DATE: 9/23/2024
DESIGNED: NC
CHECKED: DHP
CADD SETS: V8 / NCS
VERSION: V8 / NCS
PROJECT NO.: 1548-36-00



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PLANNING DEPARTMENT USE ONLY (E-PLANS)



KEY MAP
SCALE: 1" = 1,200'

SCALE: 1" = 30'

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
	SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
	EXISTING SOIL LINE AND LABEL
	LIMIT OF FOREST STAND
	INTERMITTENT/PERENNIAL STREAM
	EPHEMERAL STREAM
	STREAM VALLEY BUFFER
	WETLAND
	WETLAND BUFFER
	FLOODPLAIN
	FLOODPLAIN BUFFER
	PARK DEDICATION BOUNDARY
	EXISTING FOREST TO REMAIN
	FOREST TO BE REMOVED
	FOREST PLANTING AREA
	VARIANCE TREE MITIGATION PLANTING AREA
	FOREST CONSERVATION EASEMENT SIGN
	15% SLOPE
	25% SLOPE

DEVELOPER'S CERTIFICATE
The Underdesigner agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20240180, including, financial bonding, forest planting, maintenance, and all other applicable agreements.

Developer's Name: US HOME, LLC
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Signature: _____



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Engineering
Surveying
Planning
Environmental Sciences

NO.	POST DRC SUBMISSION	KOL	03/29/2024
1			

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PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 03/23/2024 DESIGNED: NC TECHNICAL: NC CHECKED: DHP CADD STAFF: V8 / NCS	PROJECT NO. 1548-38-00

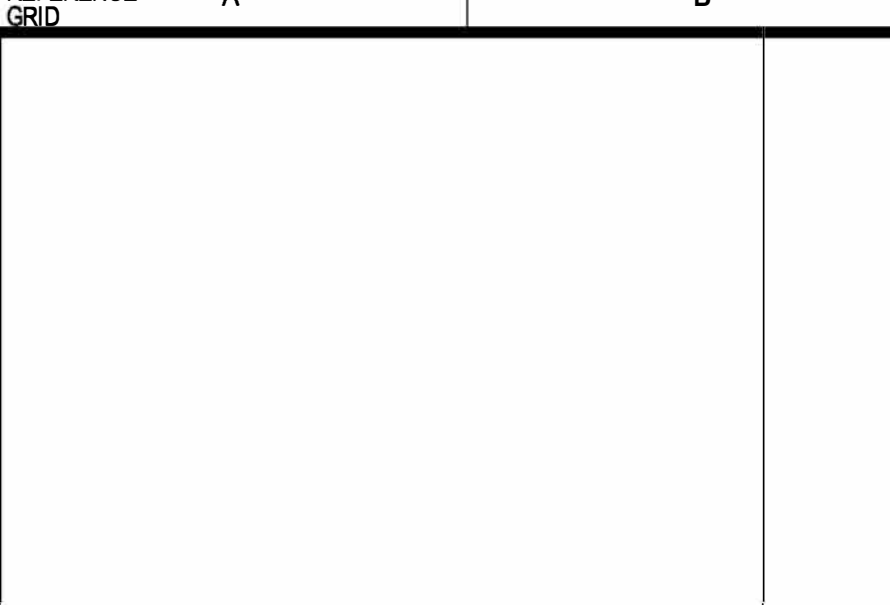
NO.	REVISIONS	BY	DATE
1	POST DRG SUBMISSION	KDL	03/29/2024

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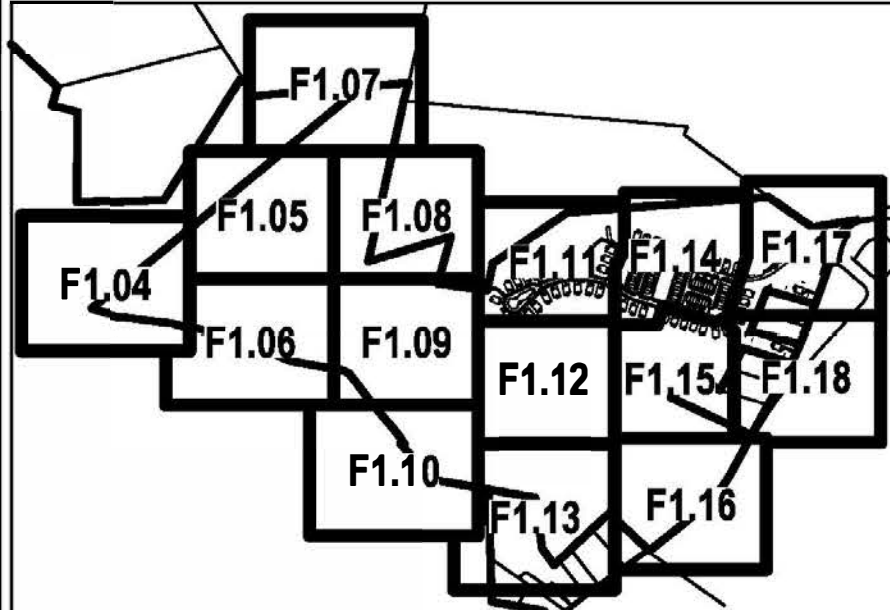
OWNER / DEVELOPER / APPLICANT
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7035 ALBERT EINSTEIN DRIVE
SUITE 200
COLUMBIA, MD 21046
(443) 296-5737
MARK ANDERSON

PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WBSC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 03/23/2024	DESIGNED: NC
TECHNICIAN: NC	CHECKED: DHP
CAD SETS: V8 / NCS	VERSION:
SHEET F1.07 OF F1.21	PROJECT NO. 1548-36-00



PLANNING DEPARTMENT USE ONLY (E-PLANS)



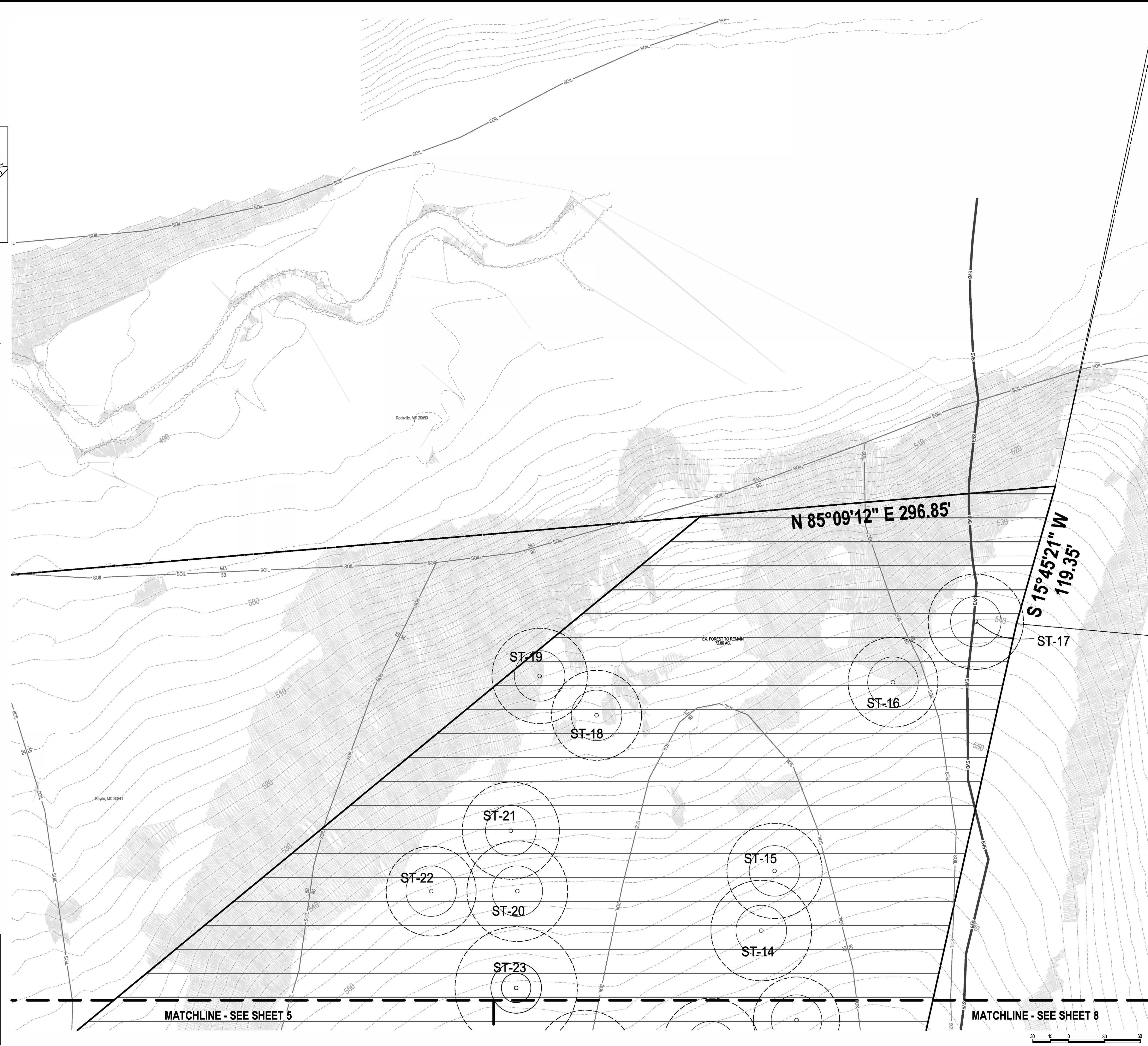
KEY MAP
SCALE: 1" = 1,200'

SCALE: 1" = 30'

- LEGEND**
- PROPERTY LINE
 - - - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - LIMIT OF DISTURBANCE
 - SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
 - SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
 - SOIL 1000
 - LIMIT OF FOREST STAND
 - · - · - INTERMITTENT/PERENNIAL STREAM
 - · - · - EPHEMERAL STREAM
 - SVB STREAM VALLEY BUFFER
 - WL WETLAND
 - WB WETLAND BUFFER
 - FP FLOODPLAIN
 - FPB FLOODPLAIN BUFFER
 - PARK DEDICATION BOUNDARY
 - EXISTING FOREST TO REMAIN
 - FOREST TO BE REMOVED
 - FOREST PLANTING AREA
 - VARIANCE TREE MITIGATION PLANTING AREA
 - FOREST CONSERVATION EASEMENT SIGN
 - 15% SLOPE
 - 25% SLOPE

DEVELOPER'S CERTIFICATE
The undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20240180 including, financial bonding, forest planting, maintenance, and all other applicable agreements.

Developer's Name: US HOME, LLC
Printed Company Name
Contact Person or Owner: MARK ANDERSON
Printed Name
Address: 7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046
Phone and Email: (443) 296-5737
Signature: _____



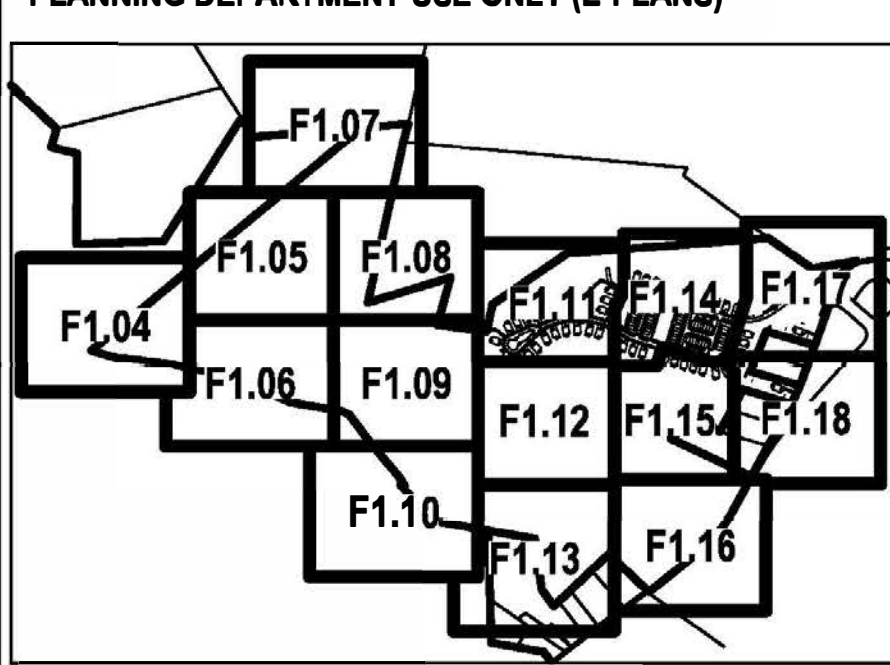
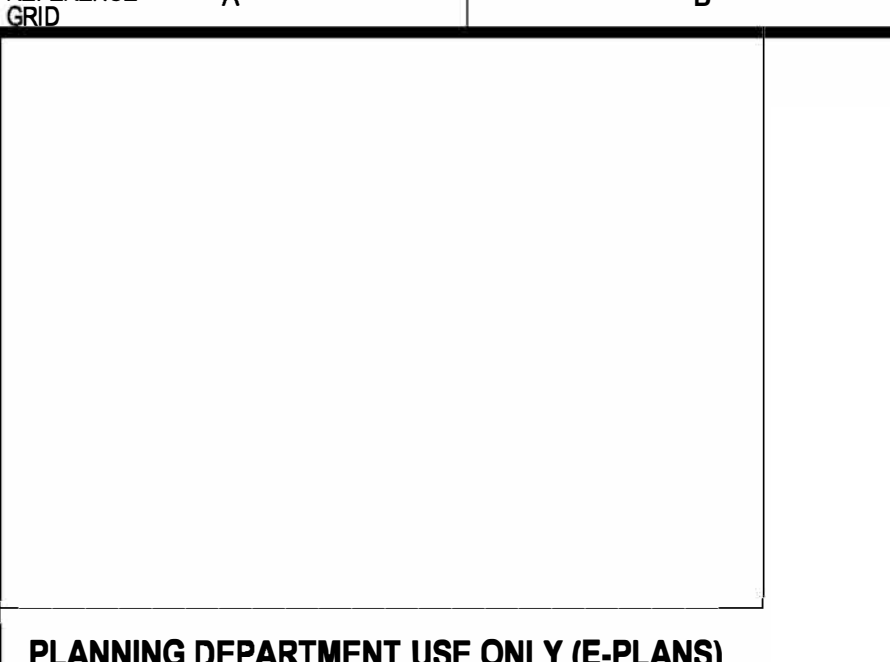
NO.	REVISIONS	BY	DATE
1	POST DRG SUBMISSION	KDL	03/29/2024

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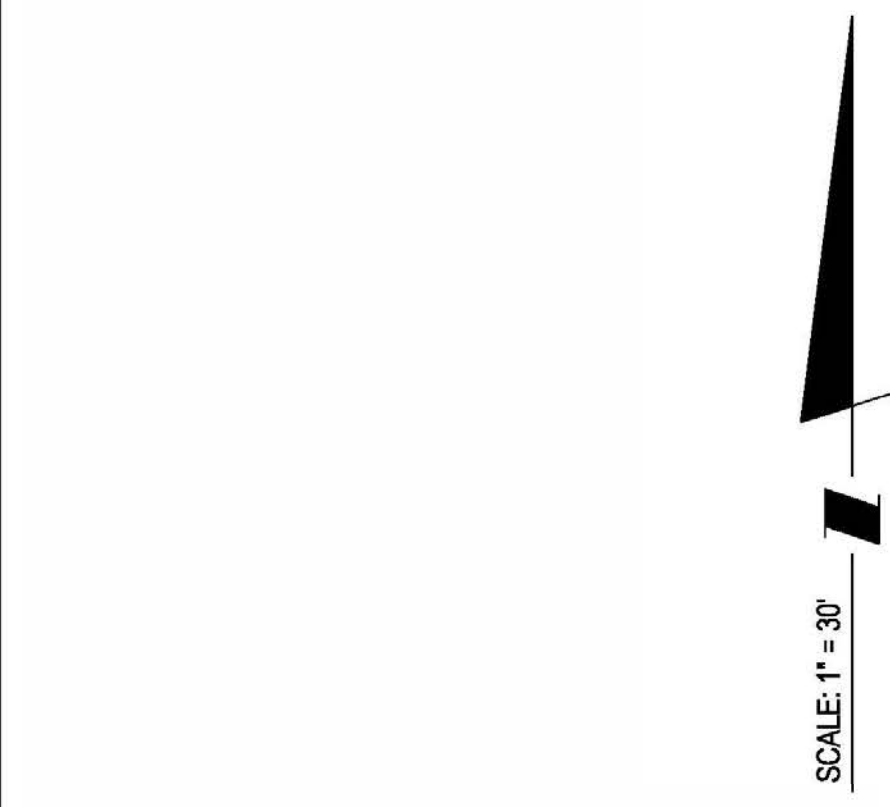
OWNER / DEVELOPER / APPLICANT
 US HOME, LLC
 7035 ALBERT EINSTEIN DRIVE
 SUITE 200
 COLUMBIA, MD 21046
 (443) 296-5737
 MARK ANDERSON

PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WBSC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT.: W3 / S3
DATE: 9/23/2024	DESIGNED: NC
TECHNICIAN: NC	CHECKED: DHP
CAD FILE VERSION: V8 / NCS	
SHEET F1.08 OF F1.21	PROJECT NO. 1548-36-00



KEY MAP
 SCALE: 1" = 1,200'



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE
- SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
- SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
- EXISTING SOIL LINE AND LABEL
- LIMIT OF FOREST STAND
- INTERMITTENT/PERENNIAL STREAM
- EPHEMERAL STREAM
- STREAM VALLEY BUFFER
- WETLAND
- WETLAND BUFFER
- FLOODPLAIN
- FLOODPLAIN BUFFER
- PARK DEDICATION BOUNDARY
- EXISTING FOREST TO REMAIN
- FOREST TO BE REMOVED
- FOREST PLANTING AREA
- VARIANCE TREE MITIGATION PLANTING AREA
- FOREST CONSERVATION EASEMENT SIGN
- 15% SLOPE
- 25% SLOPE

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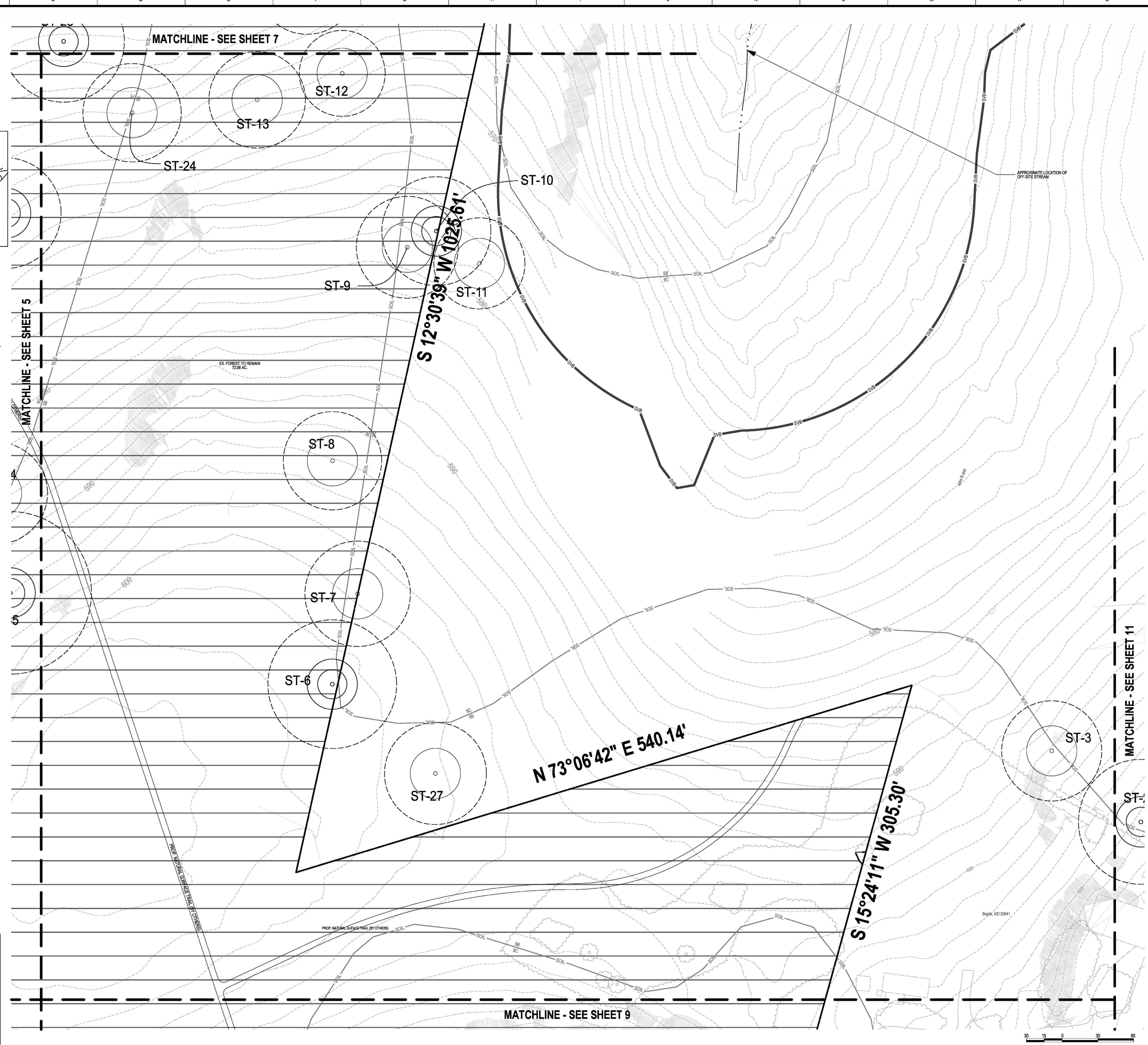
Developer's Name: US HOME, LLC
 (Printed Company Name)

Contact Person or Owner: MARK ANDERSON
 (Printed Name)

Address: 7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046

Phone and Email: (443) 296-5737

Signature: _____



1	POST DRG SUBMISSION	KDL	03/29/2024
NO.	REVISIONS	BY	DATE

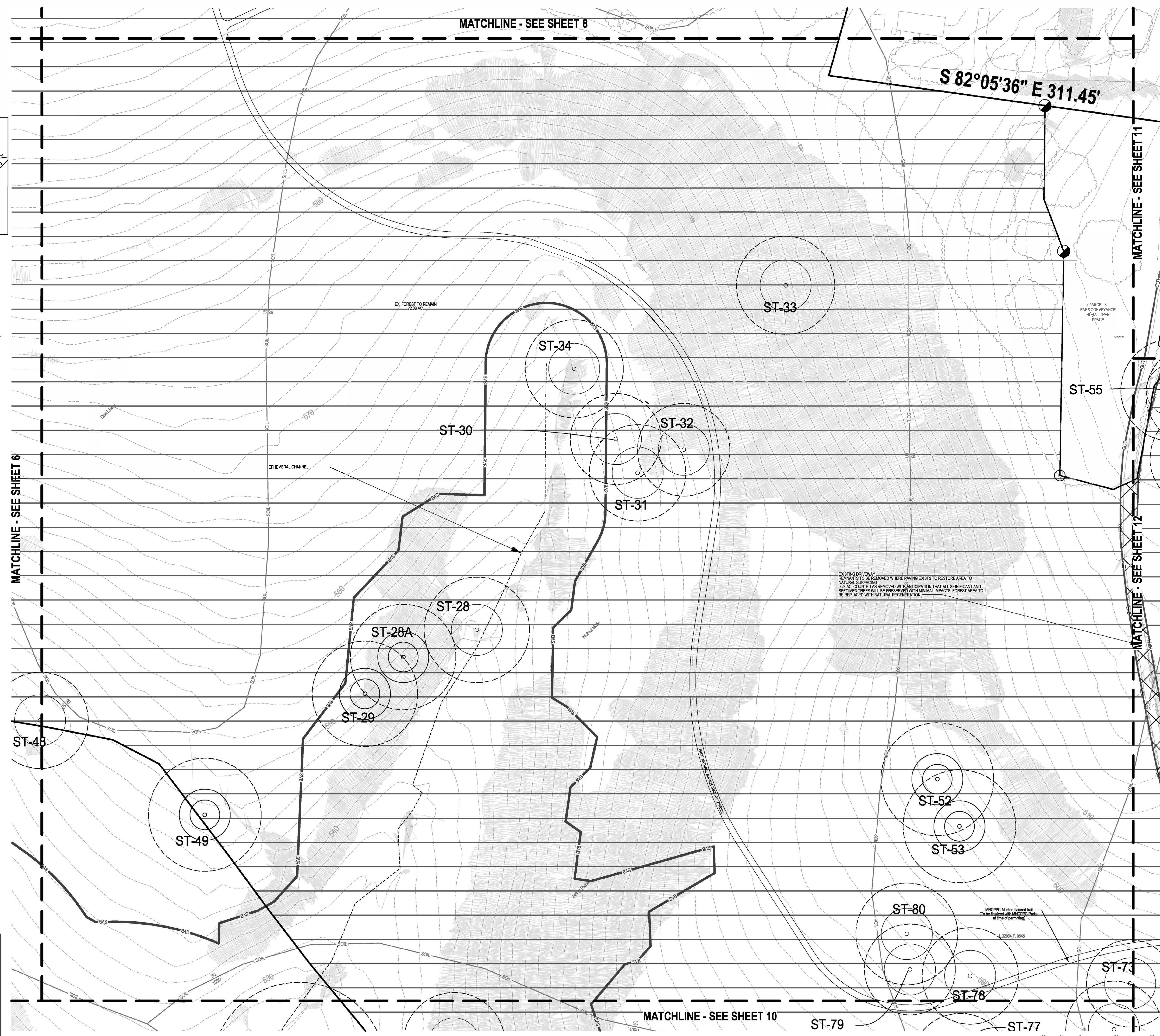
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OWNER / DEVELOPER / APPLICANT

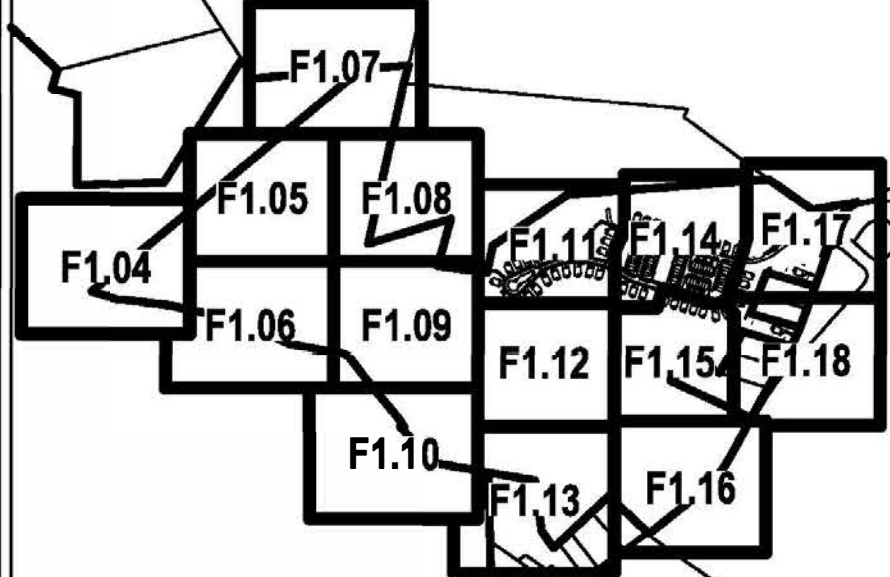
US HOME, LLC
7035 ALBERT EINSTEIN DRIVE
SUITE 200
COLUMBIA, MD 21046
(443) 296-5737
MARK ANDERSON

**PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE**

TAX MAP EV 123	ZONING CATEGORY RNC
WS&C 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: WS / SS
DATE: 9/23/2024	DESIGNED: NC
1" = 30'	CHECKED: DHP
SHEET F1.09 OF F1.21	CAD FILE VERSION: V8 / NCS
PROJECT NO. 1548-36-00	



PLANNING DEPARTMENT USE ONLY (E-PLANS)



KEY MAP
SCALE: 1" = 1,200'

SCALE: 1" = 30'

LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE
- SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
- SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
- EXISTING SOIL LINE AND LABEL
- - - LIMIT OF FOREST STAND
- - - INTERMITTENT/PERENNIAL STREAM
- - - EPHEMERAL STREAM
- STREAM VALLEY BUFFER
- WETLAND
- WETLAND BUFFER
- FLOODPLAIN
- FLOODPLAIN BUFFER
- PARK DEDICATION BOUNDARY
- EXISTING FOREST TO REMAIN
- FOREST TO BE REMOVED
- FOREST PLANTING AREA
- VARIANCE TREE MITIGATION PLANTING AREA
- FOREST CONSERVATION EASEMENT SIGN
- 15% SLOPE
- 25% SLOPE

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Developer's Name: **US HOME, LLC**
Printed Company Name

Contact Person or Owner: **MARK ANDERSON**
Printed Name

Address: **7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046**

Phone and Email: **(443) 296-5737**

Signature: _____

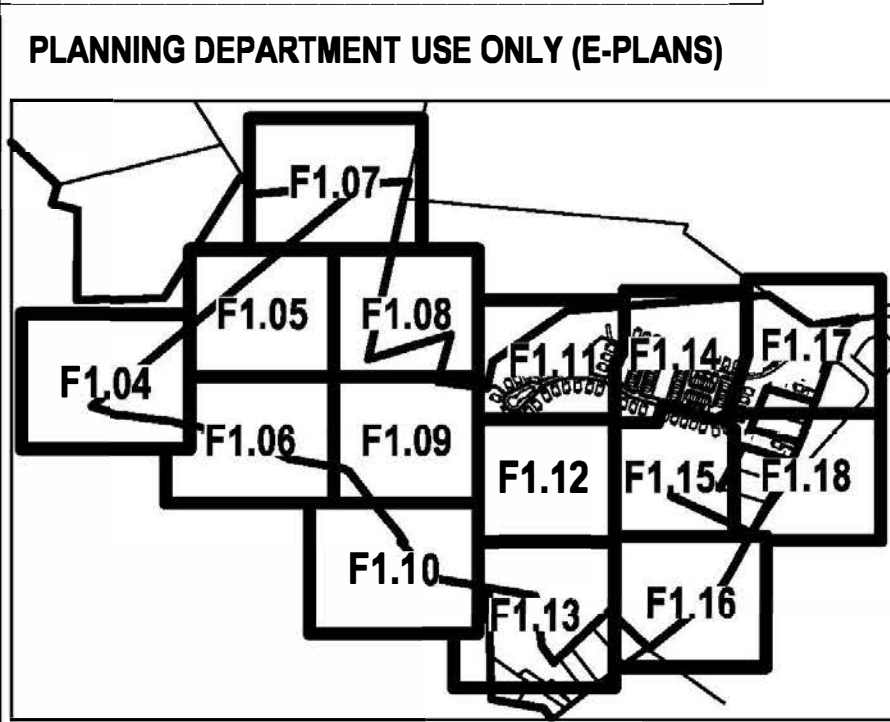
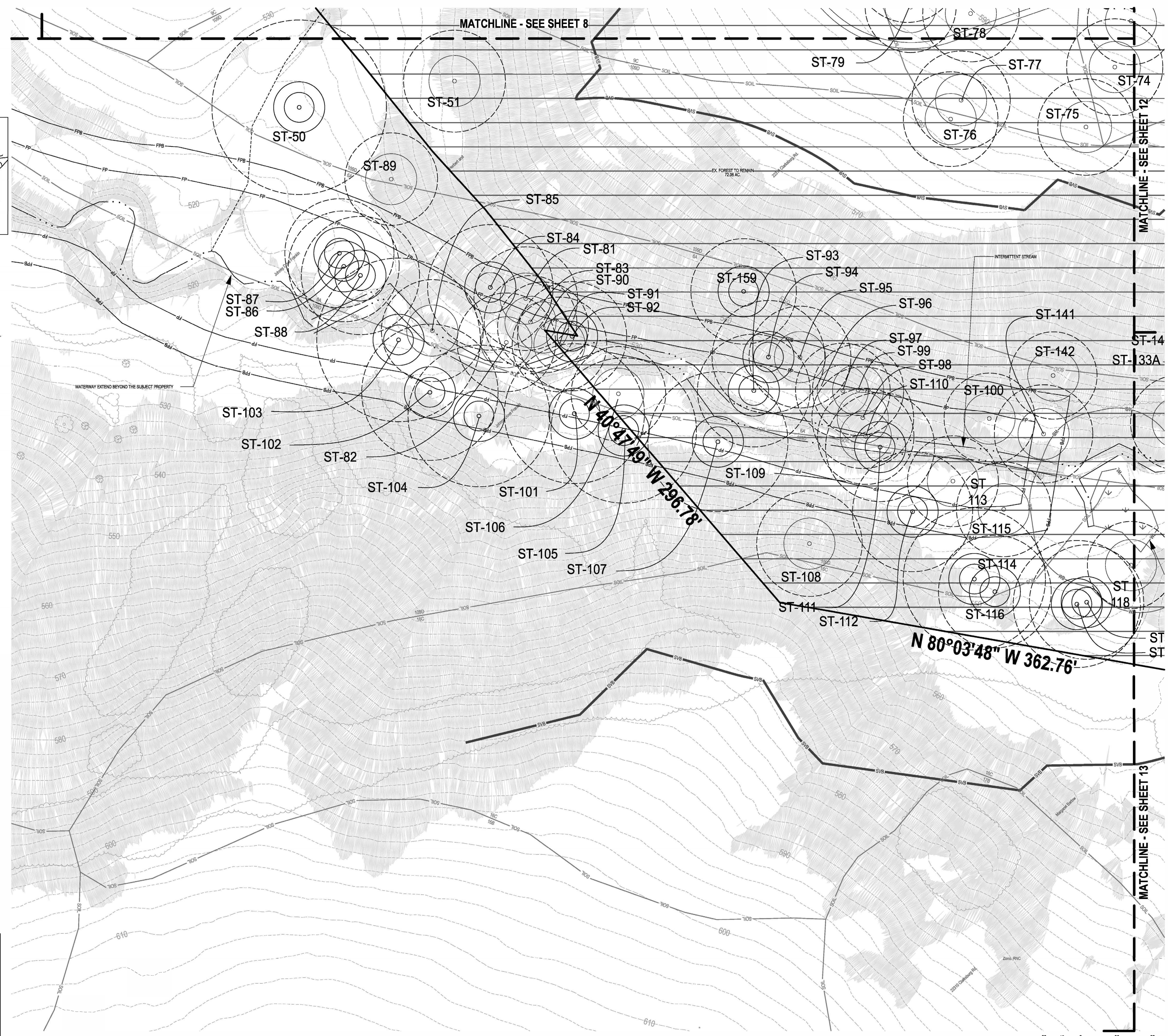
NO.	REVISIONS	BY	DATE
1	POST DRC SUBMISSION	KDL	03/29/2024

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OWNER / DEVELOPER / APPLICANT
 US HOME, LLC
 7035 ALBERT EINSTEIN DRIVE
 SUITE 200
 COLUMBIA, MD 21046
 (443) 296-5737
 MARK ANDERSON

**PRELIMINARY / FINAL FOREST CONSERVATION PLAN
 PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
 CLARKSBURG CHASE**

TAX MAP EV 123	ZONING CATEGORY RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 9/23/2024 DESIGNED: NC TECHNICAL: NC CHECKED: DHP CADD: V8 / NCS VERSION:	PROJECT NO. 1548-36-00



KEY MAP
 SCALE: 1" = 1,200'

SCALE: 1" = 30'

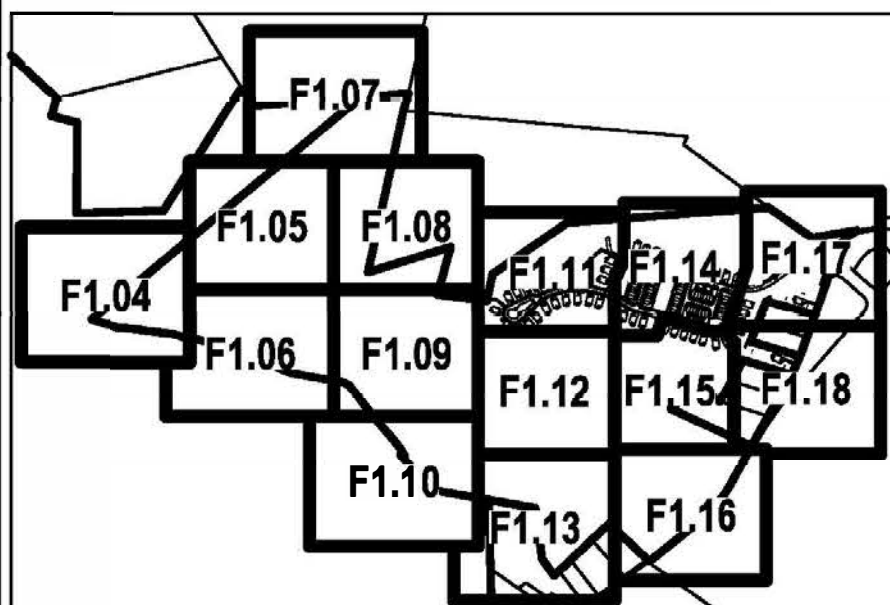
LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - LIMIT OF DISTURBANCE
- ⊙ SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
- ⊙ SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
- SOIL 10B0 EXISTING SOIL LINE AND LABEL
- - - LIMIT OF FOREST STAND
- - - INTERMITTENT/PERENNIAL STREAM
- - - EPHEMERAL STREAM
- SVB STREAM VALLEY BUFFER
- W1 WETLAND
- WB WETLAND BUFFER
- FP FLOODPLAIN
- FPB FLOODPLAIN BUFFER
- - - PARK DEDICATION BOUNDARY
- EXISTING FOREST TO REMAIN
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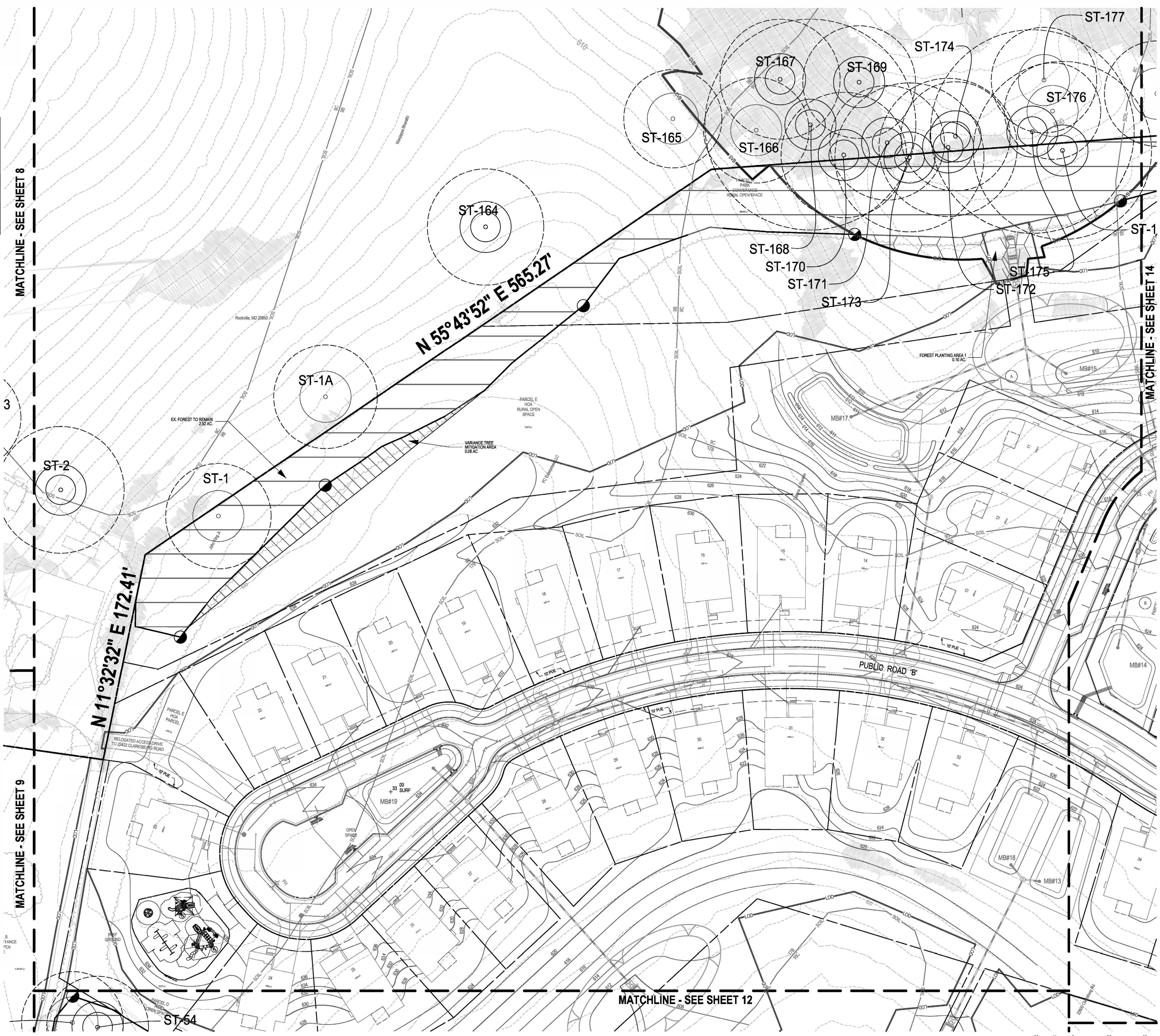


KEY MAP
 SCALE: 1" = 1,200'

MATCHLINE - SEE SHEET 8

3

MATCHLINE - SEE SHEET 9



MATCHLINE - SEE SHEET 14

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30' DBH)
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MATCHLINE - SEE SHEET 12

NO.	REVISION	BY	DATE
1	POST DRG SUBMISSION	KDL	03/29/2024

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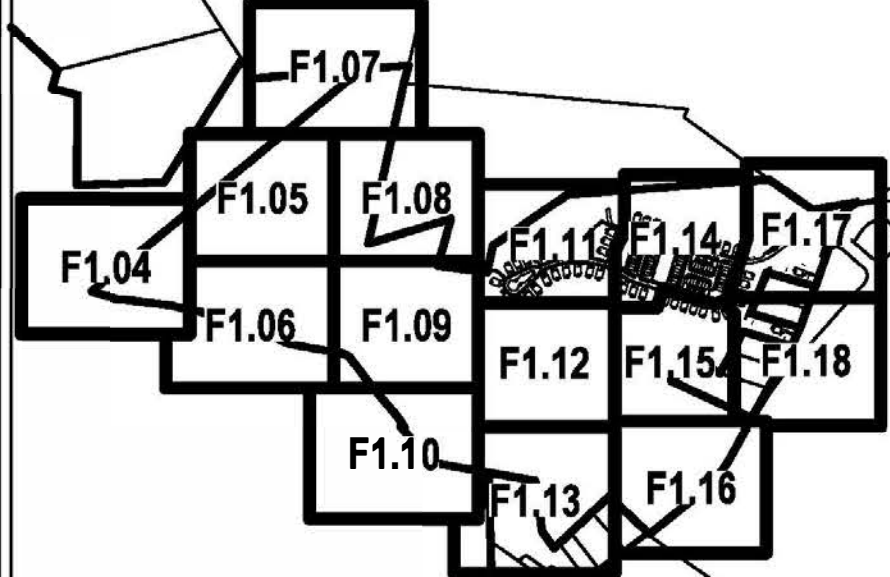
OWNER / DEVELOPER / APPLICANT
 US HOME, LLC
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 COLUMBIA, MD 21046
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 MARK ANDERSON

PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER DAT. W3 / S3
DATE: 03/23/2024	DESIGNED: NC
1" = 30'	TECHNICIAN: NC
SHEET F1.11	CHECKED: DHP
OF F1.21	CAD SETS: V8 / NCS
PROJECT NO. 1548-36-00	

REFERENCE GRID
A B C D E F G H J K L M N O

PLANNING DEPARTMENT USE ONLY (E-PLANS)



KEY MAP
SCALE: 1" = 1,200'

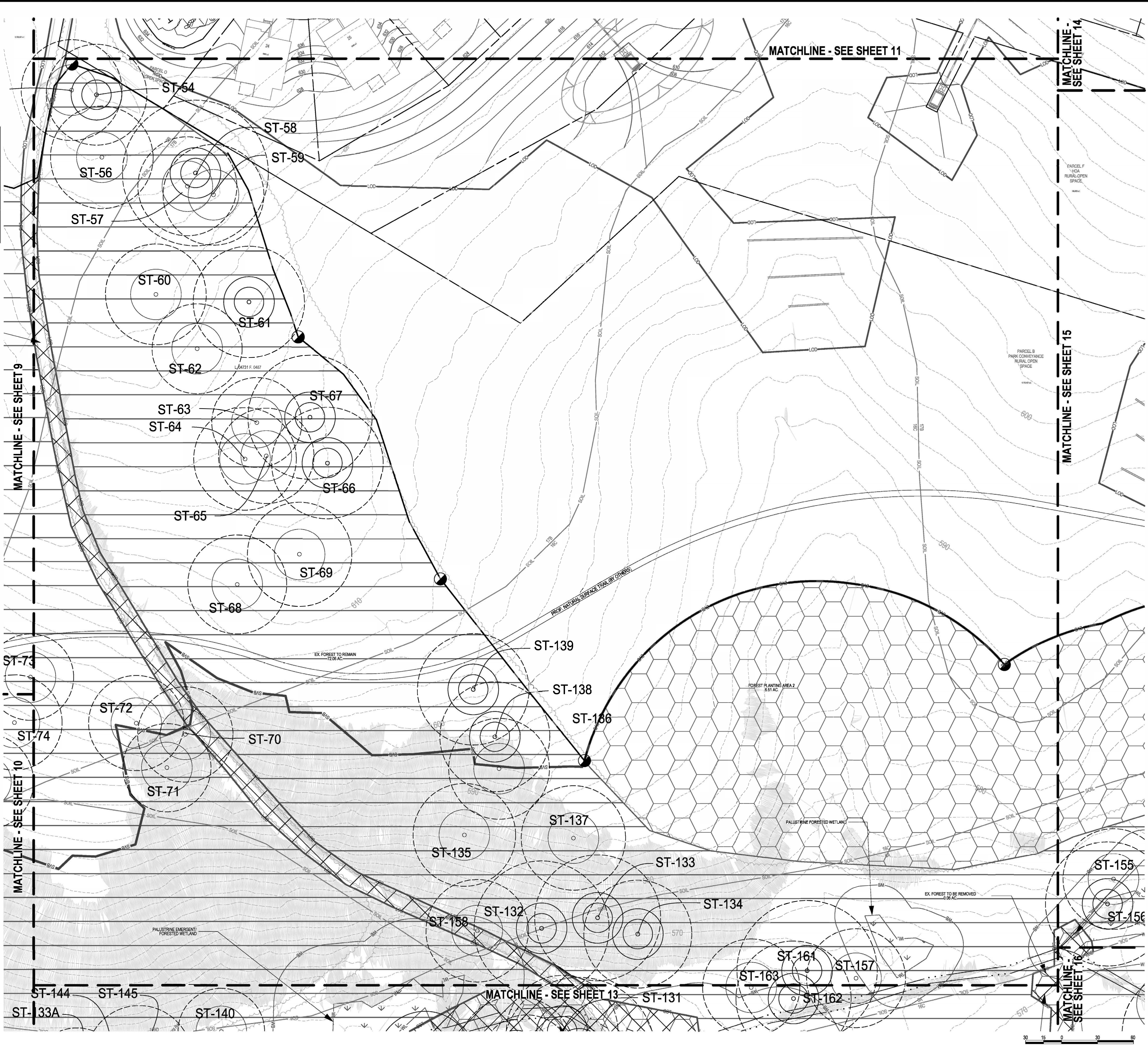
SCALE: 1" = 30'

LEGEND

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	EXISTING CONTOUR
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	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
	SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
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Printed Name: _____
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Engineering
Surveying
Planning
Environmental Sciences

NO.	REVISIONS	BY	DATE
1	POST DRC SUBMISSION	KDL	03/29/2024

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR THE LEVEL TO WHICH, WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT
US HOME, LLC
7035 ALBERT EINSTEIN DRIVE
SUITE 200
COLUMBIA, MD 21046
(443) 206-5737
MARK ANDERSON

PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WS&C 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 9/23/2024	DESIGNED: NC
TECHNICAL: NC	CHECKED: DHP
CAD SETS: V8 / NCS	VERSION: V8 / NCS
SHEET F1.12 OF F1.21	PROJECT NO. 1548-36-00

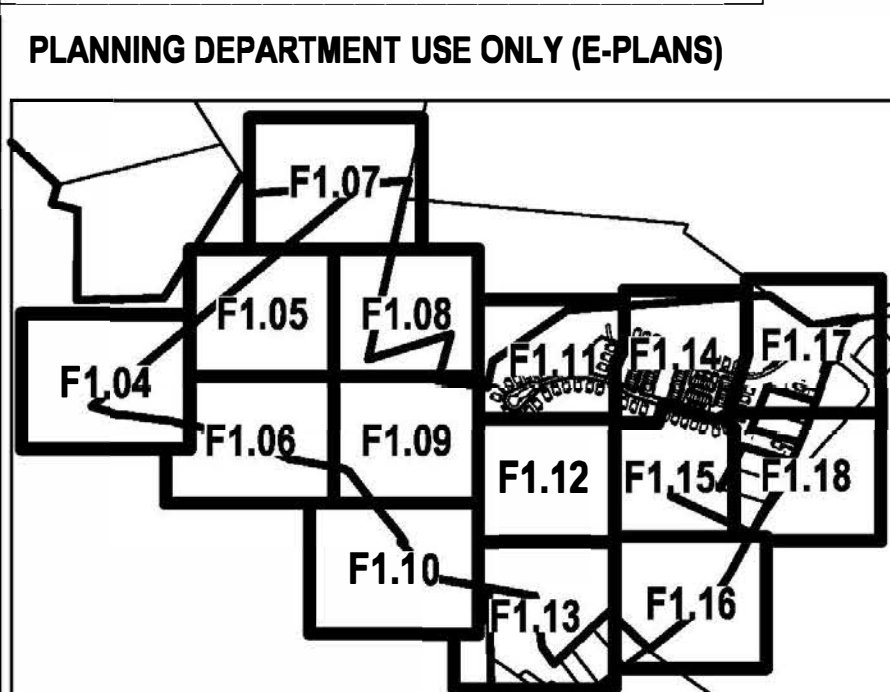
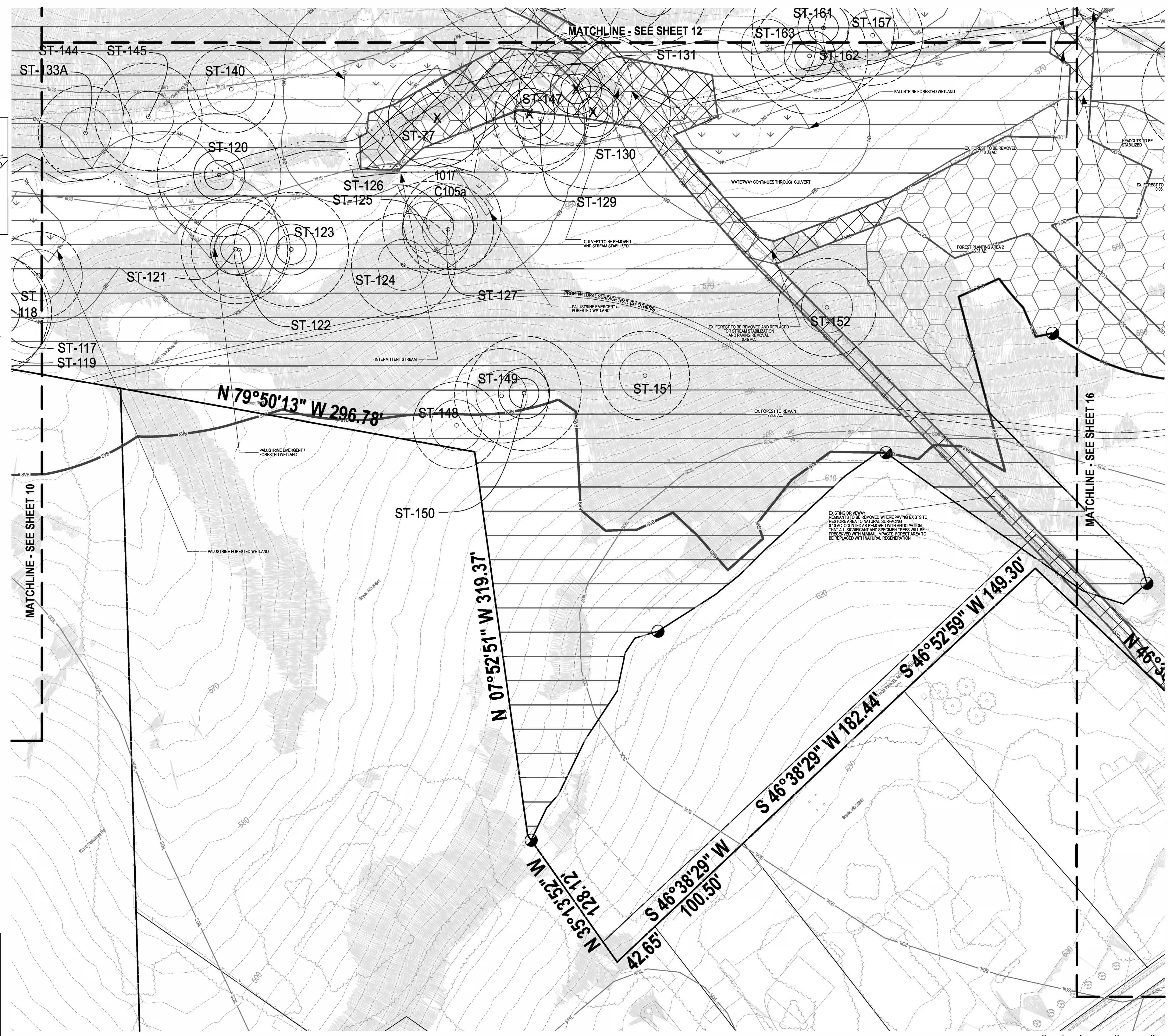
NO.	REVISIONS	BY	DATE
1	POST DRG SUBMISSION	KDL	03/29/2024

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PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 03/23/2024	DESIGNED: NC
TECHNICIAN: NC	CHECKED: DHP
CAD FILE VERSION: V8 / NCS	
SHEET F1.13 OF F1.21	PROJECT NO. 1548-36-00



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE
- SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
- SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
- EXISTING SOIL LINE AND LABEL
- LIMIT OF FOREST STAND
- INTERMITTENT/PERENNIAL STREAM
- EPHEMERAL STREAM
- STREAM VALLEY BUFFER
- WETLAND
- WETLAND BUFFER
- FLOODPLAIN
- FLOODPLAIN BUFFER
- PARK DEDICATION BOUNDARY
- EXISTING FOREST TO REMAIN
- FOREST TO BE REMOVED
- FOREST PLANTING AREA
- VARIANCE TREE MITIGATION PLANTING AREA
- FOREST CONSERVATION EASEMENT SIGN
- 15% SLOPE
- 25% SLOPE

DEVELOPER'S CERTIFICATE
The undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20240180 including, financial bonding, forest planting, maintenance, and all other applicable agreements.

Developer's Name: US HOME, LLC
Printed Company Name

Contact Person or Owner: MARK ANDERSON
Printed Name

Address: 7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046

Phone and Email: (443) 296-5737

Signature: _____

NO.	REVISIONS	BY	DATE
1	POST DRG SUBMISSION	KDL	03/29/2024

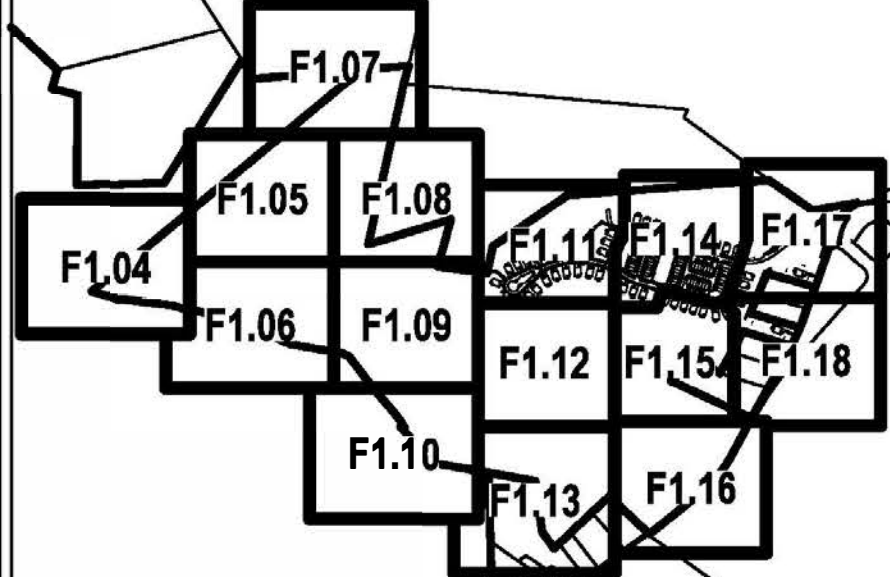
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 MARK ANDERSON

PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE
 CLARKSBURG (09) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP EV 123	ZONING CATEGORY RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER DAT. W3 / S3
DATE: 9/23/2024	DESIGNED: NC
TECHNICIAN: NC	CHECKED: DHP
CAD SETS: V8 / NCS	VERSION:
SHEET F1.14 OF F1.21	PROJECT NO. 1548-36-00

PLANNING DEPARTMENT USE ONLY (E-PLANS)



KEY MAP
 SCALE: 1" = 1,200'

SCALE: 1" = 30'

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
	SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
	EXISTING SOIL LINE AND LABEL
	LIMIT OF FOREST STAND
	INTERMITTENT/PERENNIAL STREAM
	EPHEMERAL STREAM
	STREAM VALLEY BUFFER
	WETLAND
	WETLAND BUFFER
	FLOODPLAIN
	FLOODPLAIN BUFFER
	PARK DEDICATION BOUNDARY
	EXISTING FOREST TO REMAIN
	FOREST TO BE REMOVED
	FOREST PLANTING AREA
	VARIANCE TREE MITIGATION PLANTING AREA
	FOREST CONSERVATION EASEMENT SIGN
	15% SLOPE
	25% SLOPE

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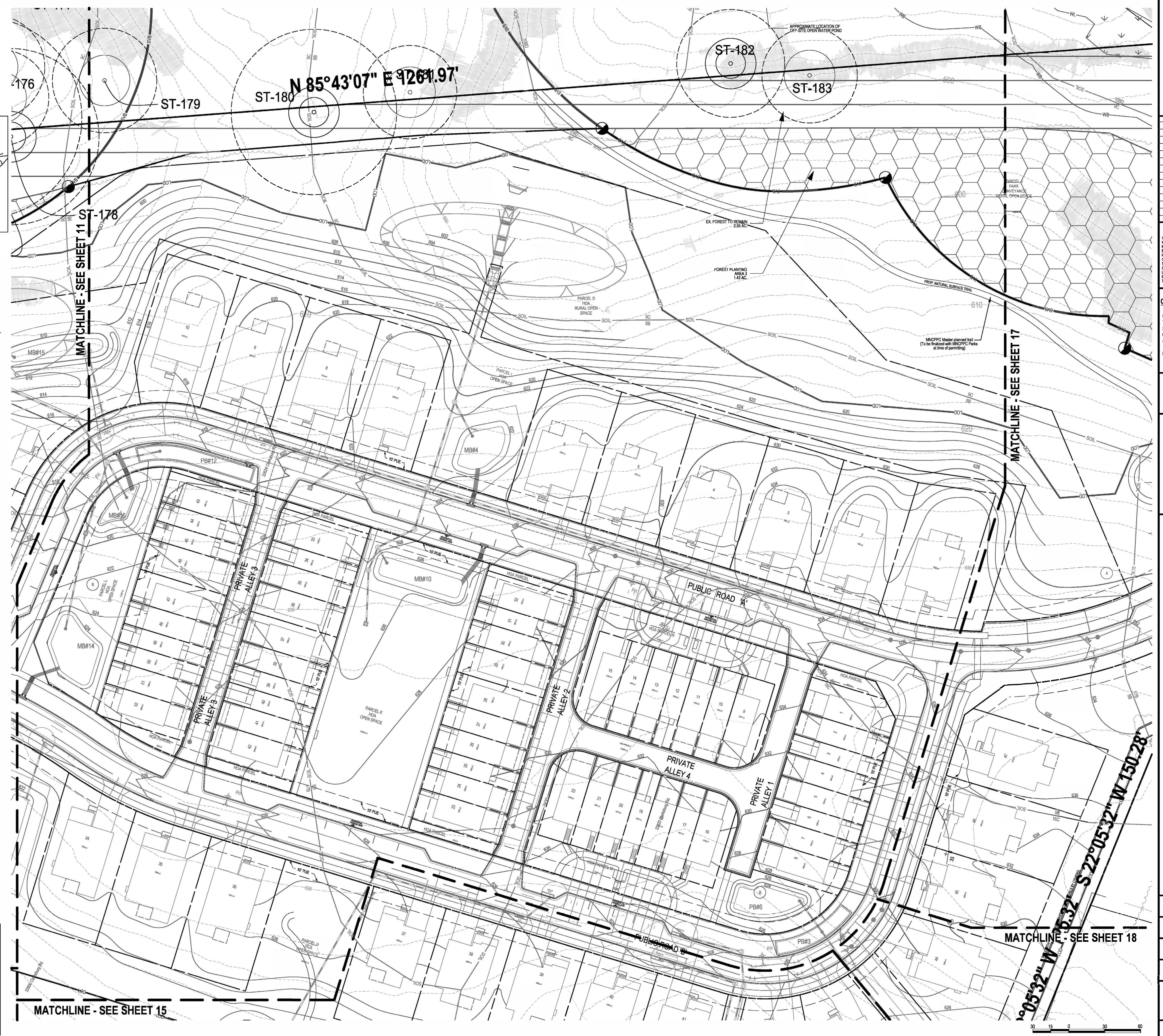
Developer's Name: US HOME, LLC
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 Printed Name

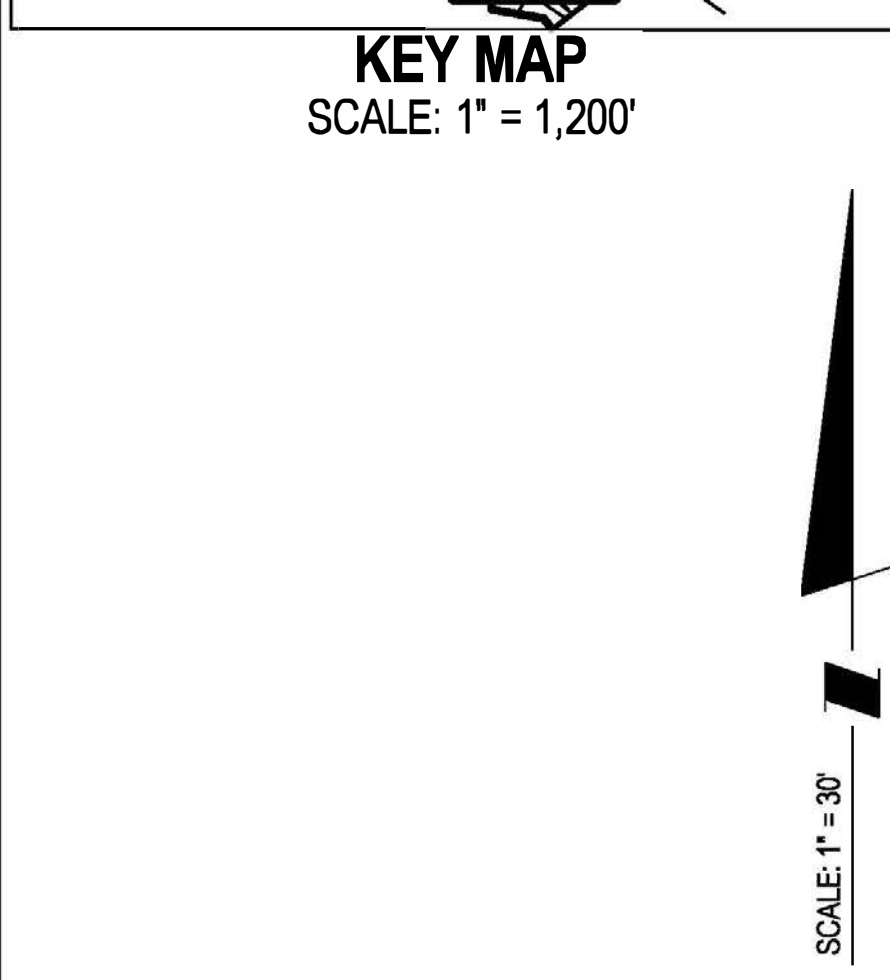
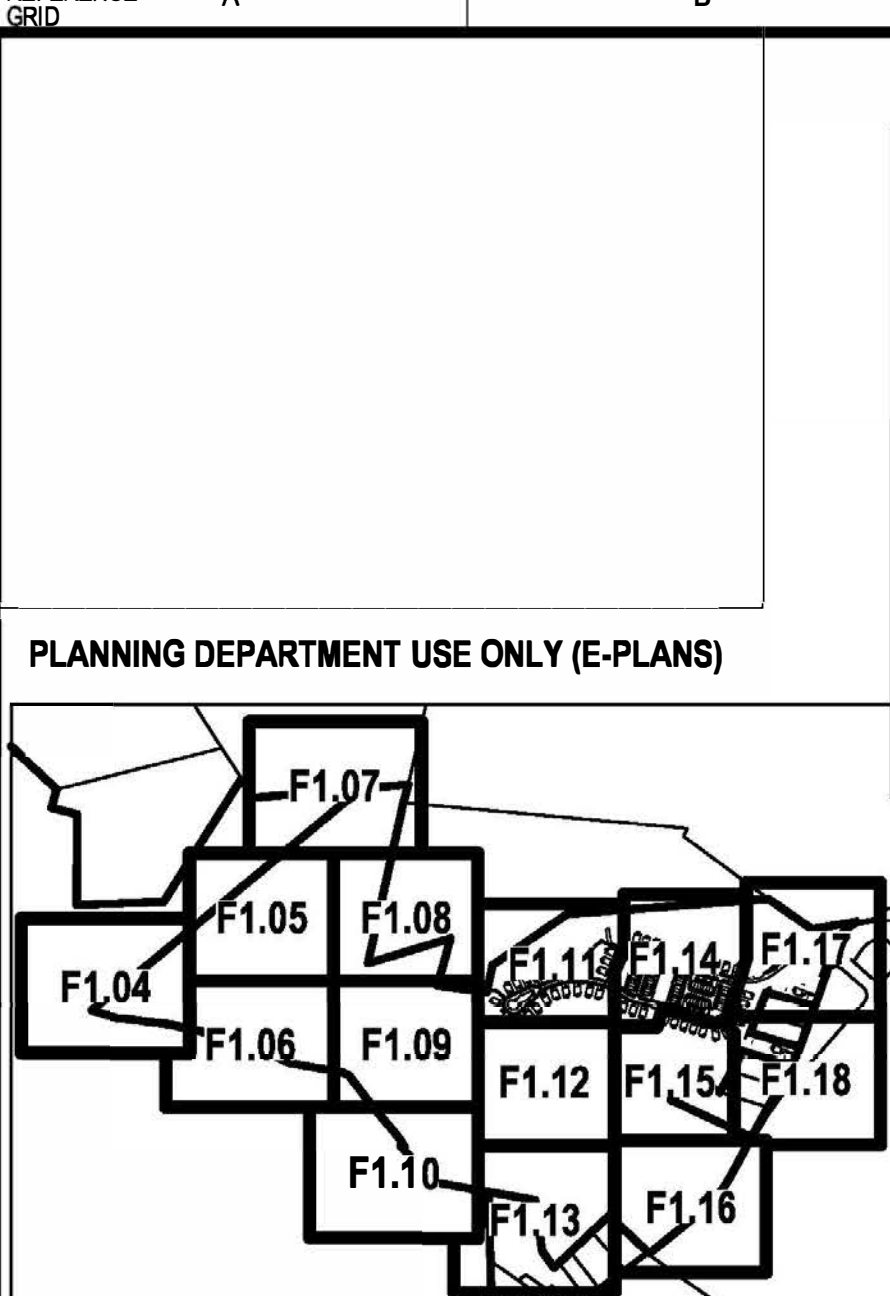
Address: 7035 ALBERT EINSTEIN DR., SUITE 200, COLUMBIA, MD 21046

Phone and Email: (410) 206-5737

Signature: _____



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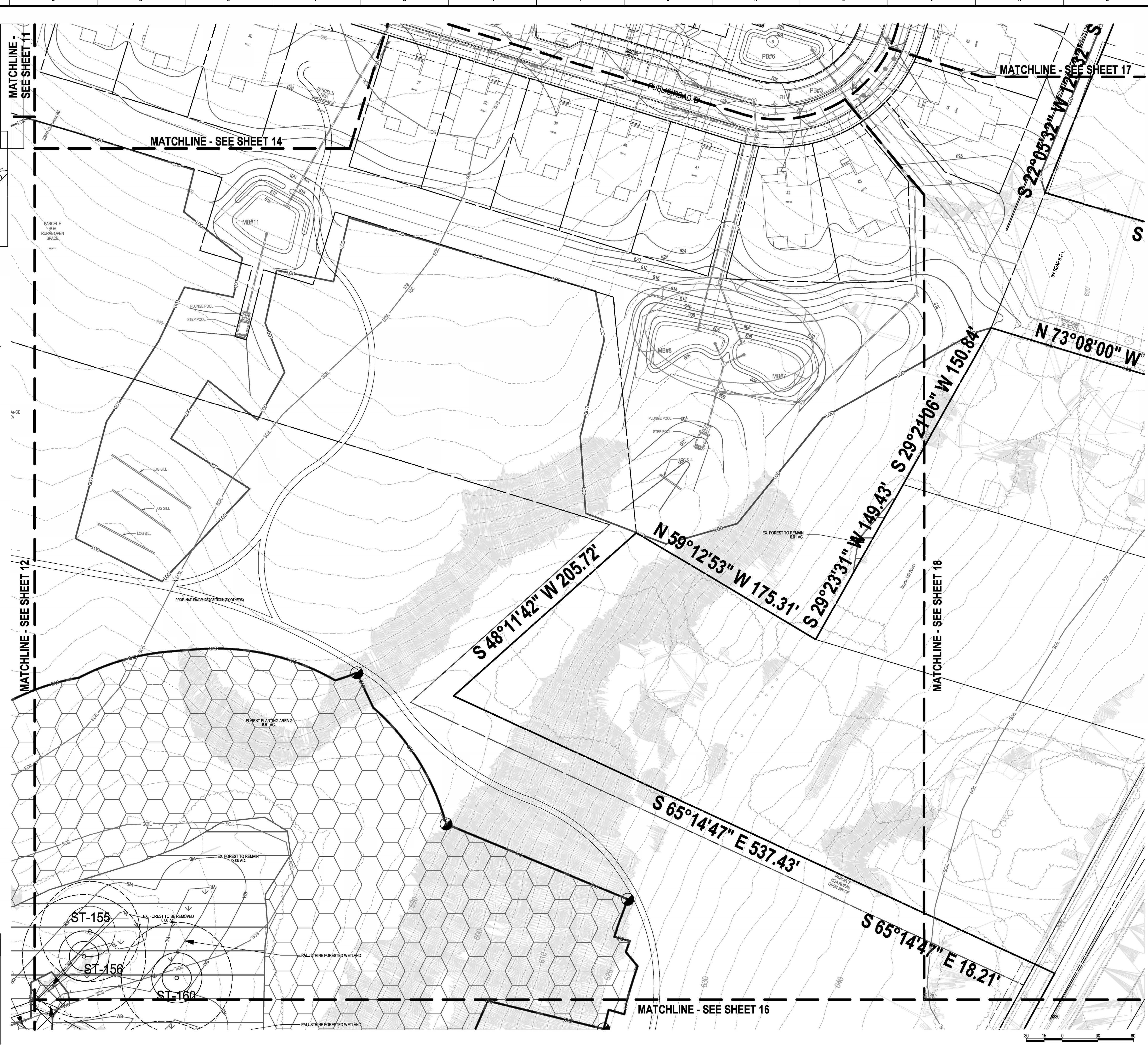


LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
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 ROCKVILLE OFFICE
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 www.solteszco.com

Engineering
 Surveying
 Planning
 Environmental Sciences

NO.	REVISIONS	BY	DATE
1	POST DRG SUBMISSION	KDL	03/29/2024

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PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

CLARKSBURG (09) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP EV 123	ZONING CATEGORY RNC
WBSC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT.: W3 / S3
DATE: 9/23/2024	DESIGNED: NC
TECHNICIAN: NC	CHECKED: DHP
CAD SETS: V8 / NCS	VERSION:

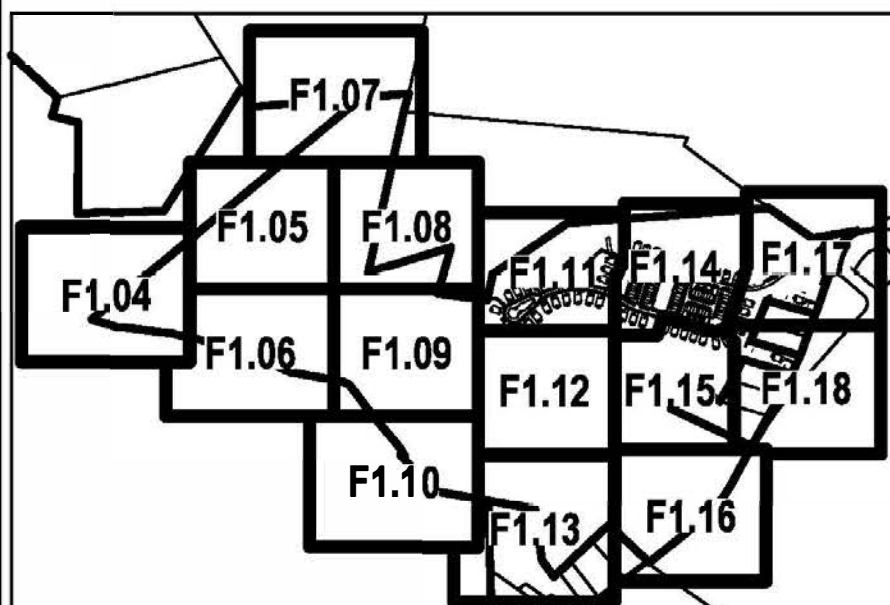
SHEET **F1.15** OF **F1.21**

PROJECT NO.
1548-36-00

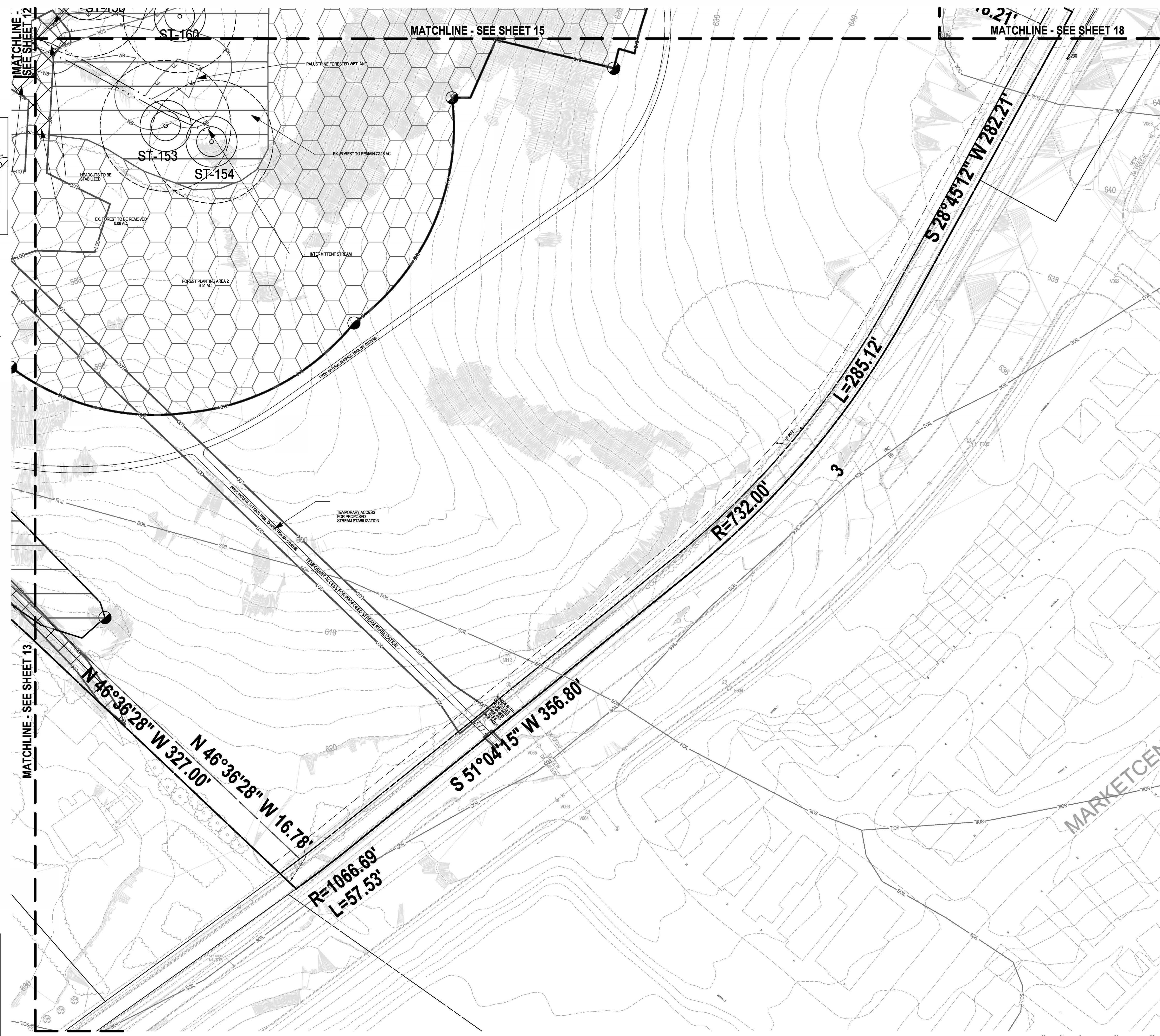
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REFERENCE GRID
A B C D E F G H J K L M N O

PLANNING DEPARTMENT USE ONLY (E-PLANS)



SCALE: 1" = 30'



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
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Printed Company Name

Contact Person or Owner: **MARK ANDERSON**
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Phone and Email: **(443) 206-5737**

Signature: _____

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Engineering
Surveying
Planning
Environmental Sciences

NO.	POST DRC SUBMISSION	KDL	03/29/2024
1			

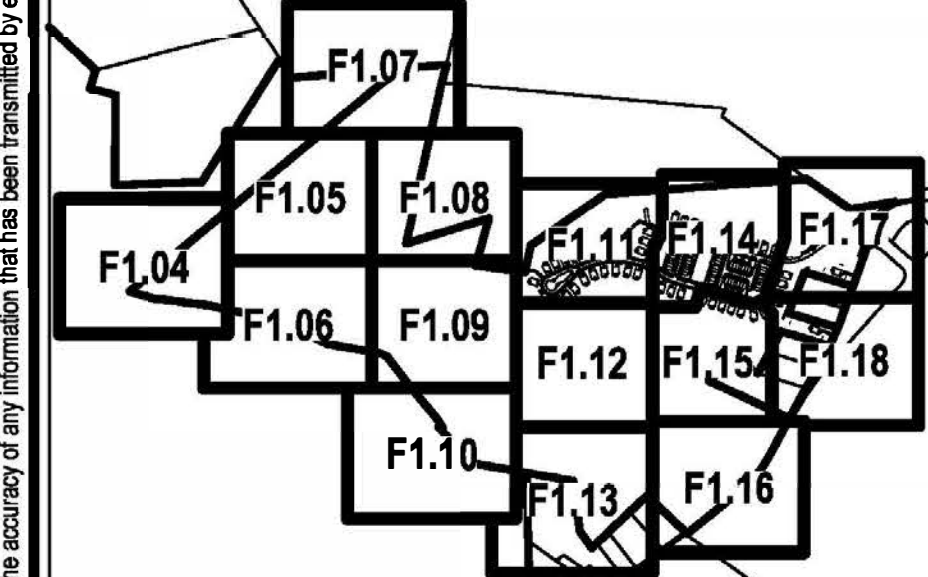
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US HOME, LLC
7035 ALBERT EINSTEIN DRIVE
SUITE 200
COLUMBIA, MD 21046
(443) 206-5737
MARK ANDERSON

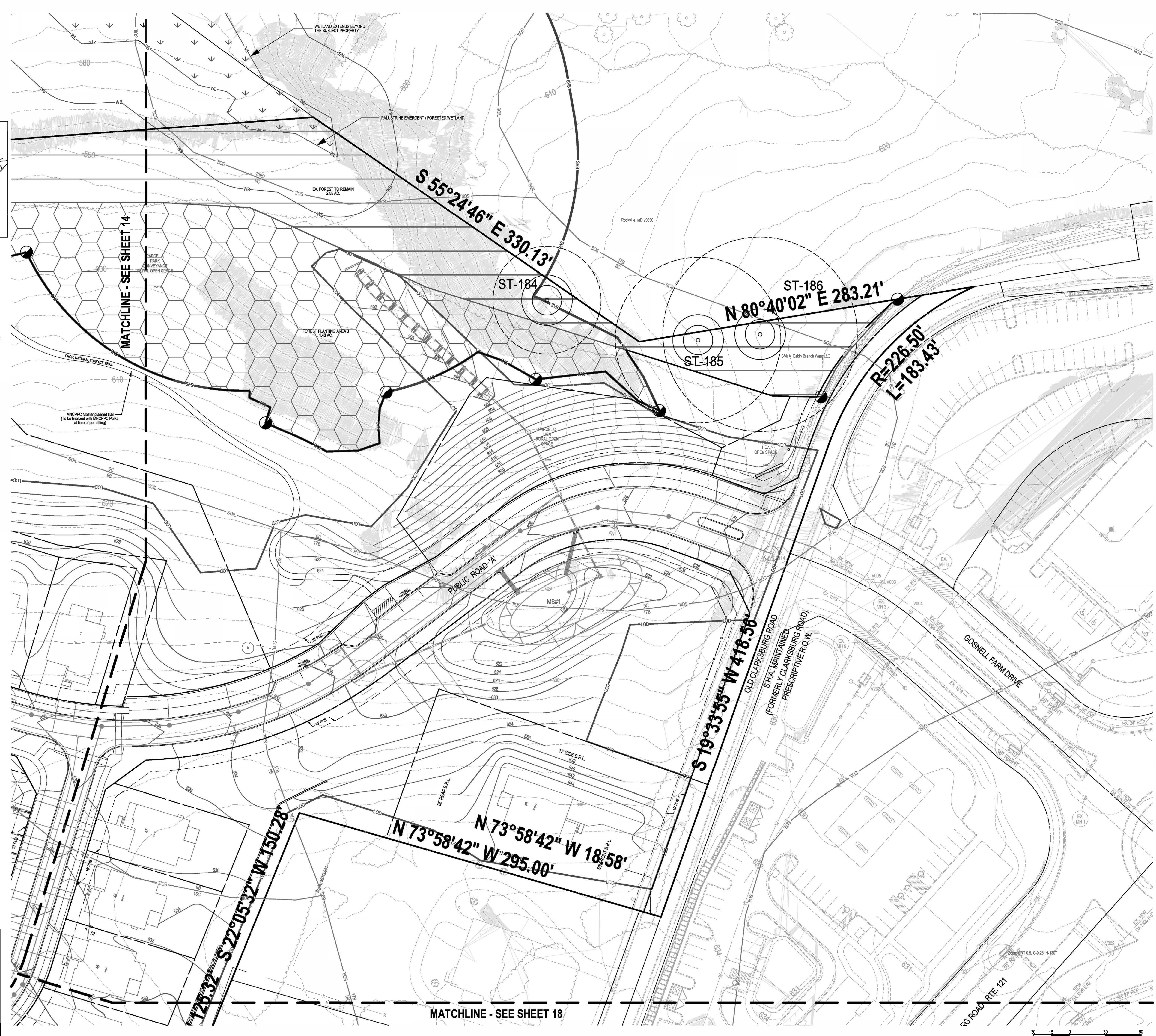
PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WBSC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 03/23/2024	DESIGNED: NC
TECHNICIAN: NC	CHECKED: DHP
CAD SETS: V8 / NCS	VERSION: V8 / NCS
SHEET F1.16 OF F1.21	PROJECT NO. 1548-36-00

PLANNING DEPARTMENT USE ONLY (E-PLANS)



KEY MAP
 SCALE: 1" = 1,200'



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
	SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
	EXISTING SOIL LINE AND LABEL
	LIMIT OF FOREST STAND
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	FOREST CONSERVATION EASEMENT SIGN
	15% SLOPE
	25% SLOPE

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Phone and Email: (443) 296-5737

Signature: _____

1	POST DRG SUBMISSION	KDL	03/29/2024
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 MARK ANDERSON

PRELIMINARY / FINAL FOREST CONSERVATION PLAN
PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180
CLARKSBURG CHASE

TAX MAP EV 123	ZONING CATEGORY RNC
WSBC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE: 03/23/2024 DESIGNED: NC TECHNICAL: NC CHECKED: DHP CADDISTS: V8 / NCS	PROJECT NO: 1548-36-00

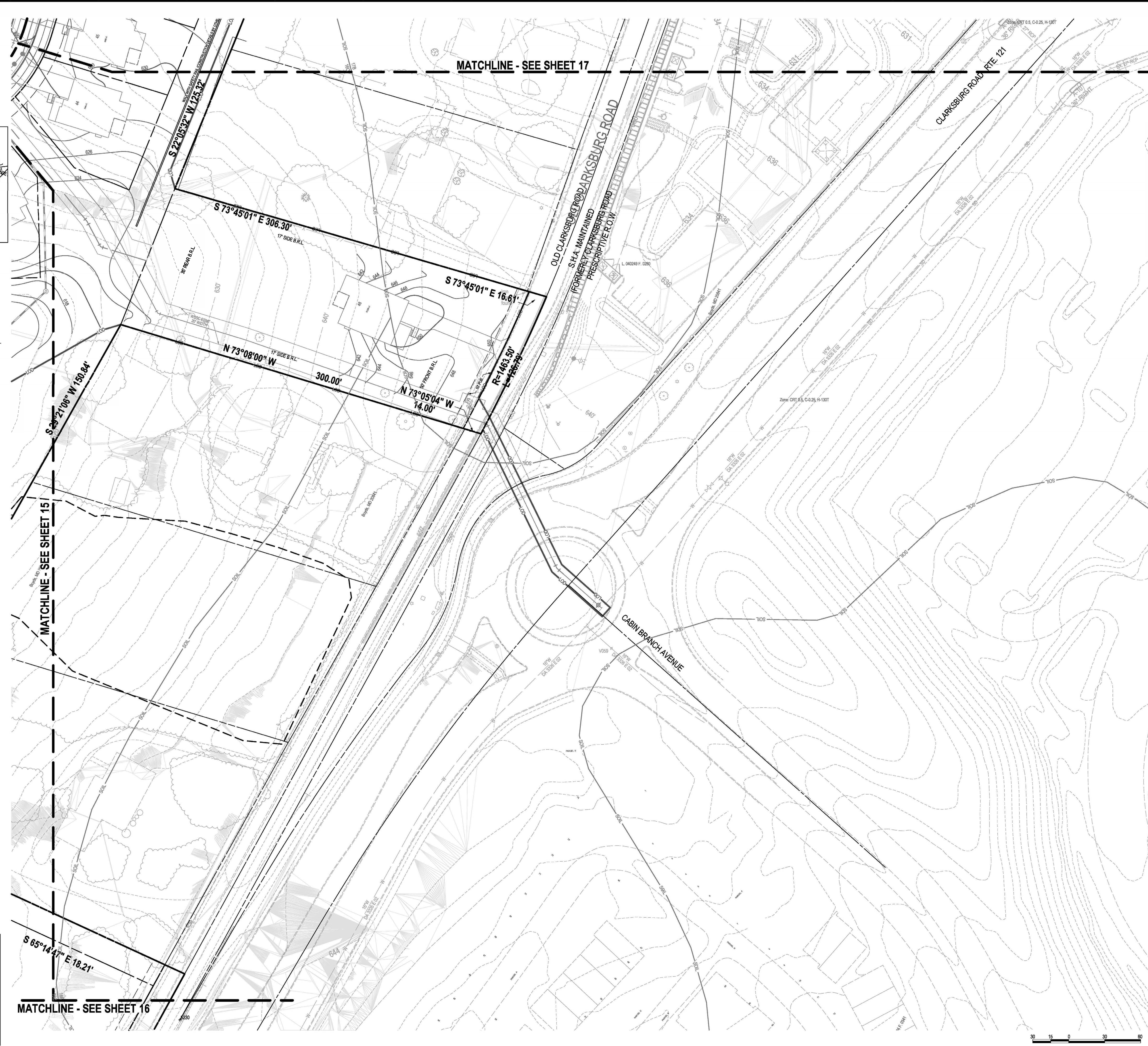
NO.	REVISIONS	BY	DATE
1	POST DRC SUBMISSION	KDL	03/29/2024

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PRELIMINARY / FINAL FOREST CONSERVATION PLAN
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CLARKSBURG CHASE

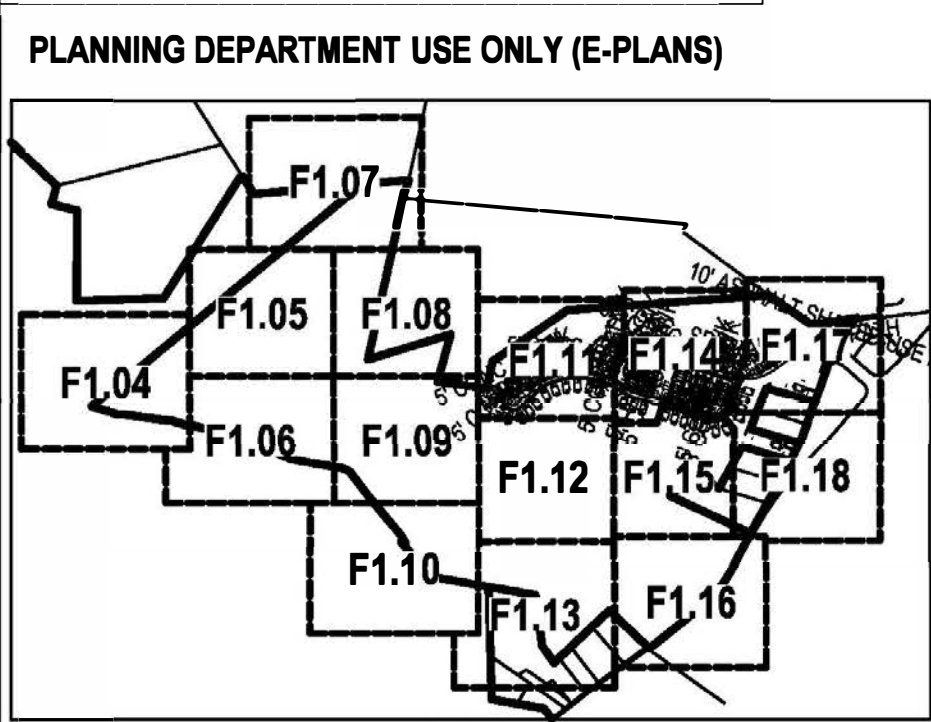
TAX MAP EV 123	ZONING CATEGORY RNC
WBSC 200' SHEET 231 NW 14	OVERLAY ZONE CLARKSBURG WEST ENVIRONMENTAL
SITE DATUM HORIZONTAL: NAVD83 VERTICAL: NAVD83	WATER / SEWER CAT: W3 / S3
DATE 9/23/2024	DESIGNED NC
TECHNICIAN NC	CHECKED DHP
SHEET F1.18 OF F1.21	CAD SETS V8 / NCS
PROJECT NO. 1548-36-00	



MATCHLINE - SEE SHEET 17

MATCHLINE - SEE SHEET 15

MATCHLINE - SEE SHEET 16



KEY MAP
 SCALE: 1" = 1,200'

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE
- SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
- SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
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PLANNING DEPARTMENT USE ONLY (E-PLANS)

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Signature: _____

Table with 10 columns: Tree #, Offsite, Common Name, Scientific Name, DBH (inches), CRZ (sq ft), CRZ Impacted (sq ft), % CRZ Impacted, Condition, Save/Remove. Rows include ST-1 through ST-149, listing various tree species like Quercus montana, Quercus rubra, Liriodendron tulipifera, etc.

SIGNIFICANT

Table with 10 columns: Tree #, Offsite, Common Name, Scientific Name, DBH (inches), CRZ (sq ft), CRZ Impacted (sq ft), % CRZ Impacted, Condition, Save/Remove. Rows include ST-151 through ST-186, listing various tree species like Liriodendron tulipifera, Quercus rubra, Quercus alba, etc.

SPECIMEN

SOLTESZ, INC.
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Engineering
Surveying
Planning
Environmental Sciences

1 POST DRC SUBMISSION KDL 03/29/2024
NO. REVISIONS BY DATE

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NOTES AND DETAILS

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CLARKSBURG CHASE
CLARKSBURG (MD) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP EV 123 ZONING CATEGORY: RNC
WSBC 200 SHEET 231 NW 14 OVERLAY ZONE: CLARKSBURG WEST ENVIRONMENTAL
DATE: 10/8/2024
DESIGNED: NC
CHECKED: NC
DHP
SHEET F1.19 OF F1.21
PROJECT NO: 1548-36-00

GENERAL CONDITIONS
I. SCOPE
A. The landscape contractor shall provide all materials, labor and equipment to complete all landscape work as shown on the plans, plant list and specifications.
B. Total number of plants shall be as drawn on the landscape plan. If this total differs from the plant schedule, the landscape contractor is to notify the landscape architect before the bid date.
II. STANDARDS
A. All plant material will conform to the current issue of the American Standard for Nursery Stock published by the American Nursery and Landscape Association (ANLA) in conformity to representative species.
B. The plant material must be selected from nurseries that have been inspected by state or federal agencies. Any certificates required must be provided to owner or representative upon delivery of materials.
III. SUBSTITUTIONS
A. If a plant is found not to be suitable or available, the contractor is to notify the landscape architect before bidding.
B. The owner or landscape architect is then required to select a reasonable alternate or to inform all landscape contractors of the availability of the original plant.
C. If a substitute is selected, it must be of the same size, value and quality as the original plant.
D. Substitutions to be made with written approval of M-NCPPC.
IV. UTILITIES
A. The landscape contractor shall notify utility companies prior to construction and call "Miss Utility" at 1-800-257-7177 to locate main utility lines.
B. If there is a conflict with the utilities and the planting, the landscape contractor shall notify the landscape architect or owner immediately. Any cost of relocating caused by the contractor's failure to notify shall be borne by the contractor.
V. DRAINAGE
A. Plants shall not be planted in situations that show obvious poor drainage. Such situations shall be brought to the attention of the landscape architect or owner and, if deemed necessary, plants shall be relocated or the contract shall be adjusted to provide drainage correction at a negotiated cost.
VI. WORKMANSHIP
A. During planting, all areas shall be kept clear and neat, and all reasonable precautions shall be taken to avoid damage to existing plants, turf and structures.
B. Upon completion, all debris and waste material resulting from planting operations shall be removed from the project and the area cleaned up.
C. Any damaged areas shall be restored to their original condition at the cost of the contractor.

PLANNING DEPARTMENT USE ONLY (E-PLANS)
I. PLANT MATERIAL
I. STANDARDS
A. Bare root
1. Bare rooted shrubs shall be dug with adequate fibrous roots.
2. Roots of all be protected during handling and transit and planted to guard against drying out and damage. If not planted soon after arrival, material must be heeled in an appropriate container.
B. Balled and Burlapped (B&B)
1. Balled and Burlapped plants shall be dug with firm natural barks of earth.
2. Ball sizes shall be in accordance with ANLA specifications.
C. Container plants
1. Container plants shall be dug with firm root system long enough for the root system to have developed sufficiently to hold soil in container together.
2. All plant material shall be nursery grown unless otherwise specified. Pruning shall be done before planting or during the planting operation.
E. All plant material to be transported in covered container. Locally available material may be covered with a tarpaulin and secured with ropes or straps to prevent wind damage. The tarpaulin must maintain a maximum of 35 mph.
F. Antidessicant
1. Antidessicant shall be applied to all materials dug while in foliage.
2. Container stock may replace B&B as long as all other criteria are met.
3. Some plant material may be dug with bare roots. Bare root material shall be similar enough in size and shape, etc. to create a uniform hedge.
II. MATERIALS
A. ANTI-TRANSPIRANTS
1. Anti-transpirants shall be an emulsifiable concentrate used to retard excess water loss without forming normal transpiration.
B. BACKFILL MIXTURES
1. Backfill shall be 1/3 existing soil mixed with 1/3 organic material (or peat) and 1/3 topsoil.
2. If any other additives are found to be needed at the time of planting, it shall be added only with the approval of the landscape contractor, landscape architect and owner or owner's representative.
3. Fertilizer is to be added depending on the size of the plant and the manufacturer's recommendation.
I. Trees - Use tree fertilizer as required by particular species.
II. Shrubs - Use tree fertilizer as required by particular species.
III. Grasses, Vines & Herbaceous Plants - Use tree fertilizer as required by species.
C. TOPSOIL
1. If used, top soil shall be sandy loam and uniform in color and composition.
2. It shall be free of stones, roots, lumps, plants and other debris over 1/2".
3. It shall not contain toxic substances harmful to plant growth.
4. Top soil shall have a pH range of 5.0 to 7.0 and the organic matter shall be a minimum content of 1%.
D. ORGANIC MATTER
1. Organic Matter used in backfill shall be peat or other material approved by the landscape architect or owner.
E. PEAT MIXTURES
1. Top 1" sphagnum peat moss finely divided with a pH of 4.0 to 5.0.
F. LEAF MULD
1. This is a composted leaf material to be used with the approval of landscape architect.
G. COMPOST
1. To be organic matter composted and aged by accepted methods to be used only when specified or by approval of landscape architect.
H. DOLOMITE LIME
1. This is agricultural grade limestone containing total carbonates of 85% with a minimum of 20% magnesium carbonates.
I. FERTILIZER
1. Fertilizer shall be granular, packet or pellet with 35% to 85% of the total nitrogen in a slowly available form. To be applied by manufacturer's methods.
2. Fertilizer shall be a complete fertilizer with a minimum analysis as required by soil test and plant material.
J. TRACE ELEMENTS
1. These slow release materials containing zinc (Zn), molybdenum (Mo), iron (Fe), copper (Cu), boron (B), and magnesium (Mg). To be applied as per manufacturer's directions as deemed necessary by soil test.
III. BACKFILLING TREES
A. Cut tops or wire on ball of tree and pull burlap back to the edge of the root ball remove all plastic wraps and wires. Roll burlap 1/3 of the way down the root ball.
B. Backfill tree pit with a soil mixture stated in the specifications.
C. Mix soil amendments in the mixture either prior to filling pit or as pit is being filled.
D. Make sure plants remain straight during backfilling procedure.
E. Backfill sides of tree pit halfway with soil mixture and tamp as pit is being filled.
F. Finish backfilling sides of tree pit and tamp firmly.
G. NEVER COVER TOP OF TREE BALL WITH SOIL. Top of root ball should be 1/4 the root ball height above the tree pit.
H. Form a 4" saucer above existing grade and around the outer rim of the tree pit.
I. Match top of root ball and saucer within 48 hours to a minimum depth of 2" and not exceed 3".
J. Water thoroughly the interior of the tree saucer until it is filled. EVEN IF IT IS RAINING.
K. Provide enough water to ensure saturation of the root ball.
L. Prune out any dead, conflicting or broken branches.
M. In extremely hot weather, reduce foliage surface by pruning or stripping of foliage.
N. Remove all tags, labels, strings, etc. from the tree.
IV. TREES BRACED BY STAKING
A. Choose the correct size and number of stakes and size of hose and wire according to the Tree Support Detail and plant requirements. Staking shall be completed within 48 hours of planting the tree.
B. Space stakes evenly and vertically on the outside of the tree ball, driven firmly into the ground (stakes can be slightly angled away from the tree). NOTE: Never drive a stake through the tree ball as it will damage the tree's root system. Stakes to be 2/3 above ground, 1/3 below.
C. Cut pieces of reinforced hose long enough to loop around the trunk of the tree.
D. Place the hose around the trunk at the height required to provide optimum support. Then run the wire through the hose and pull both ends horizontally beyond the stake by 2".
E. Cut the wire to sufficient length and then twist the wire at the rubber hose to keep it in place. Run both ends of wire together around the stake twice and then twist wire back into itself to secure it. Cut off excess wire and stave.
F. The above procedure is to follow for each stake.
G. STAKES
1. Stakes shall be 2"x2" hardwood, reasonably free of knots to be long enough for 1/3 to be driven into the soil, and 2/3 above the soil surface.
I. WIRE
1. Wire shall be 12 or 14 gauge galvanized steel or acceptable equal, depending on the size of the tree.
J. CABLE
1. Cable shall be 1/4" or 3/16" galvanized steel, depending on size of tree.
K. CLAMPS
1. Clamps shall be galvanized steel or zinc and large enough to hold wires or wires used.
L. HOSE
1. Hose shall be corded rubber, uniform in color and either 3/4" to 1" in diameter, depending on the size of the tree.

GENERAL CONDITIONS
M. MULCH
1. Material shall be double shredded composted hardwood bark, such as "silvabark" or approved equivalent.
2. Material shall be mulching grade, uniform in size and free of foreign or harmful matter.
V. INSPECTION
A. Plants may be subject to inspection and approval by the owner or owner's representative at the place of growth for conformity to specification requirements as to quality, size and variety. This will be at the owner's expense.
B. Plants damaged in handling or transportation may be rejected by the owner or owner's representative.
II. PLANTING PROCEDURES FOR TREES
I. PREPARING TREE PIT
A. The tree pit must be a minimum width of 2 times the size of the root ball at the top.
B. The walls of tree pit shall be dug so that they are sloped.
C. The tree pit shall be dug enough to allow 1/3 of the root ball to be above the existing grade. Any loose soil at the bottom of the pit shall be tamped by hand with the bucket of the backhoe.
D. Dig pit deeper than depth required for root ball. Fill bottom of pit with 1" compacted soil mix.
E. Any dropped material may be rejected by owner or representative.
II. PLACING TREE IN THE PIT
A. Place the tree in the pit by lifting and carrying the tree by the ball (never lift by branches or trunk) and then lowering it into the pit.
B. The contractor is responsible for providing any machinery necessary to lift and move plant material and to insure it is not damaged.
C. The tree shall be positioned in the center of the pit with the most desirable side of the tree facing toward the prominent view (sidewalk, building, street, etc.).
D. Any dropped material should be raked with red flagging on its trunk and noted on a plan. Should plant die, it will be replaced by the contractor at no cost to the owner.
III. PLANTING PROCEDURES FOR SHRUBS
I. PREPARING SHRUB PIT
A. For a single shrub, the pit shall be dug large enough for the proper setting of the root ball (4" wider than root ball and base 2 to 3 times the width of the root ball at the top).
B. For a shrub mass planting, the entire bed area shall be established 3 to 4" deep. Each shrub pit shall be excavated for the proper setting of the root ball.
C. For a hedge, a trench shall be dug large enough for the proper setting of all of the plants root balls (the trench shall be 2 times wider than the root balls).
D. Form a compacted base in the bottom of the hole to adjust plant height to proper location. Compact sufficiently to prevent settling.
II. PLANTING SINGLE SHRUBS AND BUCKLING LINES
A. Remove all plastic wraps, wires, containers, etc.
B. Place the plant in the pit by lifting and carrying by the root ball.
C. Set the plant straight and in the center of the pit with the most desirable side facing toward the prominent view.
D. Use a soil mixture as specified.
E. Make sure the plant remains straight during backfilling procedure.
F. Remove all plastic wraps, labels, strings, etc. from the plant.
G. Put the burlap back 1/3 the way down the root ball. Make sure burlap does not become exposed above soil surface.
H. Use a saucer above the existing grade and around the planting pit.
I. Match top of root ball and saucer within 48 hours to a minimum depth of 2" and not exceed 3".
J. Water thoroughly, the interior of the shrub saucer to insure root ball is saturated. EVEN IF IT IS RAINING.
K. Provide enough water to ensure saturation of the root ball.
L. Prune out any dead, conflicting or broken branches.
M. In extremely hot weather, reduce foliage surface by pruning or stripping of foliage.
N. Remove all tags, labels, strings, etc. from the plant.
III. PLANTING A SHRUB MASS
A. Follow the same procedure as for a single shrub. (Section II A & B).
B. Edge and rake the entire planting bed to obtain uniform surface.
C. Match the entire planting bed a minimum of 2" depth and not to exceed 3" depth.
D. Water the entire ground cover thoroughly. EVEN IF IT IS RAINING. To saturate top 2" of soil.
E. Prune out any dead, conflicting or broken branches.
F. Remove all tags, labels, strings.

IV. PLANTING PROCEDURES FOR GROUND COVER
I. PREPARING GROUNDCOVER BED
A. The ground cover bed shall be loosened prior to planting by one of the following methods: rototilling, backhoeing and rototilling or by picking (generally done on areas or on slopes). Soil shall be loosened to a depth of 4" to 6".
B. Soil additives for the ground cover bed shall be peat and topsoil (2" deep) after the soil has been loosened and additives then worked into the bed by one of the following methods: rototilling, backhoeing and rototilling or by picking in which soil additives are spread by hand into the individual plant pockets and worked into the soil by pick.
C. Fertilize in planting holes or use water soluble fertilizer at base of plants after planting.
D. Match the entire ground cover bed to minimum 1" depth and not to exceed 2" in depth.
II. PLANTING
A. The ground cover planting holes shall be dug through the mulch with the following: hand trowel, shovel, ball plunger or trowel.
B. Before planting, biodegradable pots shall be crushed and the top edges broken down below the surface. Non biodegradable pots shall be removed. Unwrap any bound roots, do not break root ball.
C. The ground cover (either potted or bare root) shall be planted.
1. So that the roots of the plant are surrounded by soil below the mulch. Potted plants being set so that the top of the soil in the pot is even with the existing grade, and bare root plants being covered up to the crown of the plant or soil level.
2. An equal distance apart plants and specifications specify the "on center" (o.c.) distance for the ground cover.
3. See spacing guide.
D. The entire ground cover bed shall be edged and thoroughly watered.
V. SEEDING
I. TEMPORARY SEEDING
A. Vegetation: Annual Ryegrass or Pearl Millet shall be used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetation cover, permanent seeding is required.
1. Seed Mixture - Temporary Seeding
Preferred: Annual Ryegrass - cool season, 40 lbs./acre (1/2 that amount for over seeding) Pearl Millet - warm season, 20lbs./acre (These are preferred because existing and proposed native grasses and wildflowers may not compete well with certain grass species).
B. If seed mixture used and other than those preferred, they must be from table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of Environmental Protection. Temporary plant material must be removed prior to seeding of other material.
C. For sites having soil tests performed, the seeding and amendment rates shown in table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for temporary seeding.
II. PERMANENT SEEDING
A. Seeding grasses and legumes to establish ground cover for a minimum period of one year on all disturbed areas generally receiving low maintenance. Seed mixtures:
1. Seed Mixture - Permanent Seeding
Preferred: Annual Ryegrass - cool season, 40 lbs./acre (1/2 that amount for over seeding) Pearl Millet - warm season, 20lbs./acre (These are preferred because existing and proposed native grasses and wildflowers may not compete well with certain grass species).
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D. Do not fertilize area to be seeded around storm water management facilities.
E. Contractor to provide a final product of grass crop creating a lawn of uniform color and texture after three mowings.

VI. SOIL TESTING
1. Contractor to perform soil test as per accepted methods by the local agricultural extension service.
2. Samples to be tested by reputable lab.
3. Contractor will be held responsible for notifying owner of any problems or deficits determined by the test results.
4. Corrections will be discussed and cost negotiated with owner.
5. Plant failure based on soil deficits or problems due to failure of contractor to take samples, will be replaced at the cost of the contractor after corrections have been made.

GENERAL CONDITIONS
I. PLANTING PROCEDURES FOR TREES
I. PREPARING TREE PIT
A. The tree pit must be a minimum width of 2 times the size of the root ball at the top.
B. The walls of tree pit shall be dug so that they are sloped.
C. The tree pit shall be dug enough to allow 1/3 of the root ball to be above the existing grade. Any loose soil at the bottom of the pit shall be tamped by hand with the bucket of the backhoe.
D. Dig pit deeper than depth required for root ball. Fill bottom of pit with 1" compacted soil mix.
E. Any dropped material may be rejected by owner or representative.
II. PLACING TREE IN THE PIT
A. Place the tree in the pit by lifting and carrying the tree by the ball (never lift by branches or trunk) and then lowering it into the pit.
B. The contractor is responsible for providing any machinery necessary to lift and move plant material and to insure it is not damaged.
C. The tree shall be positioned in the center of the pit with the most desirable side of the tree facing toward the prominent view (sidewalk, building, street, etc.).
D. Any dropped material should be raked with red flagging on its trunk and noted on a plan. Should plant die, it will be replaced by the contractor at no cost to the owner.
III. PLANTING PROCEDURES FOR SHRUBS
I. PREPARING SHRUB PIT
A. For a single shrub, the pit shall be dug large enough for the proper setting of the root ball (4" wider than root ball and base 2 to 3 times the width of the root ball at the top).
B. For a shrub mass planting, the entire bed area shall be established 3 to 4" deep. Each shrub pit shall be excavated for the proper setting of the root ball.
C. For a hedge, a trench shall be dug large enough for the proper setting of all of the plants root balls (the trench shall be 2 times wider than the root balls).
D. Form a compacted base in the bottom of the hole to adjust plant height to proper location. Compact sufficiently to prevent settling.
II. PLANTING SINGLE SHRUBS AND BUCKLING LINES
A. Remove all plastic wraps, wires, containers, etc.
B. Place the plant in the pit by lifting and carrying by the root ball.
C. Set the plant straight and in the center of the pit with the most desirable side facing toward the prominent view.
D. Use a soil mixture as specified.
E. Make sure the plant remains straight during backfilling procedure.
F. Remove all plastic wraps, labels, strings, etc. from the plant.
G. Put the burlap back 1/3 the way down the root ball. Make sure burlap does not become exposed above soil surface.
H. Use a saucer above the existing grade and around the planting pit.
I. Match top of root ball and saucer within 48 hours to a minimum depth of 2" and not exceed 3".
J. Water thoroughly, the interior of the shrub saucer to insure root ball is saturated. EVEN IF IT IS RAINING.
K. Provide enough water to ensure saturation of the root ball.
L. Prune out any dead, conflicting or broken branches.
M. In extremely hot weather, reduce foliage surface by pruning or stripping of foliage.
N. Remove all tags, labels, strings, etc. from the plant.
III. PLANTING A SHRUB MASS
A. Follow the same procedure as for a single shrub. (Section II A & B).
B. Edge and rake the entire planting bed to obtain uniform surface.
C. Match the entire planting bed a minimum of 2" depth and not to exceed 3" depth.
D. Water the entire ground cover thoroughly. EVEN IF IT IS RAINING. To saturate top 2" of soil.
E. Prune out any dead, conflicting or broken branches.
F. Remove all tags, labels, strings.

IV. PLANTING PROCEDURES FOR GROUND COVER
I. PREPARING GROUNDCOVER BED
A. The ground cover bed shall be loosened prior to planting by one of the following methods: rototilling, backhoeing and rototilling or by picking (generally done on areas or on slopes). Soil shall be loosened to a depth of 4" to 6".
B. Soil additives for the ground cover bed shall be peat and topsoil (2" deep) after the soil has been loosened and additives then worked into the bed by one of the following methods: rototilling, backhoeing and rototilling or by picking in which soil additives are spread by hand into the individual plant pockets and worked into the soil by pick.
C. Fertilize in planting holes or use water soluble fertilizer at base of plants after planting.
D. Match the entire ground cover bed to minimum 1" depth and not to exceed 2" in depth.
II. PLANTING
A. The ground cover planting holes shall be dug through the mulch with the following: hand trowel, shovel, ball plunger or trowel.
B. Before planting, biodegradable pots shall be crushed and the top edges broken down below the surface. Non biodegradable pots shall be removed. Unwrap any bound roots, do not break root ball.
C. The ground cover (either potted or bare root) shall be planted.
1. So that the roots of the plant are surrounded by soil below the mulch. Potted plants being set so that the top of the soil in the pot is even with the existing grade, and bare root plants being covered up to the crown of the plant or soil level.
2. An equal distance apart plants and specifications specify the "on center" (o.c.) distance for the ground cover.
3. See spacing guide.
D. The entire ground cover bed shall be edged and thoroughly watered.
V. SEEDING
I. TEMPORARY SEEDING
A. Vegetation: Annual Ryegrass or Pearl Millet shall be used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetation cover, permanent seeding is required.
1. Seed Mixture - Temporary Seeding
Preferred: Annual Ryegrass - cool season, 40 lbs./acre (1/2 that amount for over seeding) Pearl Millet - warm season, 20lbs./acre (These are preferred because existing and proposed native grasses and wildflowers may not compete well with certain grass species).
B. If seed mixture used and other than those preferred, they must be from table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of Environmental Protection. Temporary plant material must be removed prior to seeding of other material.
C. For sites having soil tests performed, the seeding and amendment rates shown in table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for temporary seeding.
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D. Do not fertilize area to be seeded around storm water management facilities.
E. Contractor to provide a final product of grass crop creating a lawn of uniform color and texture after three mowings.

VI. SOIL TESTING
1. Contractor to perform soil test as per accepted methods by the local agricultural extension service.
2. Samples to be tested by reputable lab.
3. Contractor will be held responsible for notifying owner of any problems or deficits determined by the test results.
4. Corrections will be discussed and cost negotiated with owner.
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2. An equal distance apart plants and specifications specify the "on center" (o.c.) distance for the ground cover.
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I. TEMPORARY SEEDING
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Preferred: Annual Ryegrass - cool season, 40 lbs./acre (1/2 that amount for over seeding) Pearl Millet - warm season, 20lbs./acre (These are preferred because existing and proposed native grasses and wildflowers may not compete well with certain grass species).
B. If seed mixture used and other than those preferred, they must be from table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of Environmental Protection. Temporary plant material must be removed prior to seeding of other material.
C. For sites having soil tests performed, the seeding and amendment rates shown in table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for temporary seeding.
II. PERMANENT SEEDING
A. Seeding grasses and legumes to establish ground cover for a minimum period of one year on all disturbed areas generally receiving low maintenance. Seed mixtures:
1. Seed Mixture - Permanent Seeding
Preferred: Annual Ryegrass - cool season, 40 lbs./acre (1/2 that amount for over seeding) Pearl Millet - warm season, 20lbs./acre (These are preferred because existing and proposed native grasses and wildflowers may not compete well with certain grass species).
B. If seed mixture used and other than those preferred, they must be from table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of Environmental Protection. Temporary plant material must be removed prior to seeding of other material.
C. For sites having soil tests performed, the seeding and amendment rates shown in table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for permanent seeding.
D. Do not fertilize area to be seeded around storm water management facilities.
E. Contractor to provide a final product of grass crop creating a lawn of uniform color and texture after three mowings.

VI. SOIL TESTING
1. Contractor to perform soil test as per accepted methods by the local agricultural extension service.
2. Samples to be tested by reputable lab.
3. Contractor will be held responsible for notifying owner of any problems or deficits determined by the test results.
4. Corrections will be discussed and cost negotiated with owner.
5. Plant failure based on soil deficits or problems due to failure of contractor to take samples, will be replaced at the cost of the contractor after corrections have been made.

Sequence of Events for Properties Required to Comply With Forest Conservation Plans, Exemptions from Submitting Forest Conservation Plans, and Tree Save Plans

The property owner is responsible for ensuring all free tree protection measures are performed in accordance with the approved final forest conservation plan or tree save plan, and as modified in the field by a Planning Department Forest Conservation Inspector. The measures must meet or exceed the most recent standards published by the American National Standards Institute (ANSI A300).

Pre-Construction

- An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged and before any land disturbance.
- The property owner must arrange for the meeting and following people should must participate at the pre-construction meeting: the property owner or their representative, construction superintendent, International Society of Arboriculture (ISA) certified arborist/Maryland Licensed Tree Expert (representing owner) that will implement the tree protection measures, The Planning Department Forest Conservation Inspector, and Montgomery County Department of Permitting Services (DPS) Sediment Control Inspector. The purpose of this meeting is to verify the limits of disturbance and discuss specific tree protection and tree care measures shown on the approved plan. No land disturbance shall begin before tree protection and stress-reduction measures have been implemented and approved by the Planning Department's Forest Conservation Inspector.
 - Typical tree protection devices include:
 - Chain link fence (four feet high)
 - Shuper silt fence with wire strung between the support poles (minimum 4 feet high) with high visibility flagging.
 - 14 gauge, 2 inch x 4 inch welded wire fencing supported by steel T-bar posts (minimum 4 feet high) with high visibility flagging.
 - Typical stress reduction measures may include, but are not limited to:
 - Root pruning with a root cutter or vibratory plow designed for that purpose. Trenchers are not allowed, unless approved by the Forest Conservation Inspector
 - Crown Reduction or pruning
 - Watering
 - Fertilizing
 - Vertical mulching
 - Root aeration systems

Measures not specified on the Forest Conservation Plan may be required as determined by the Forest Conservation Inspector in coordination with the property owner's arborist.

- A Maryland Licensed Tree expert must perform, or directly supervise, the implementation of all stress reduction measures. Documentation of the process (including photographs) may be required by the Forest Conservation Inspector, and will be determined at the pre-construction meeting.
- Temporary tree protection devices must be installed per the approved Forest Conservation Plan, Exemption Plan, or Tree Save Plan and prior to any land disturbance. The Forest Conservation Inspector, in coordination with the DPS Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the approved plan.

Tree protection fencing must be installed and maintained by the property owner for the duration of construction project and must not be altered without prior approval from the Forest Conservation Inspector. All construction activity within protected tree and forest areas is prohibited. This includes the following activities:

- Parking or driving of equipment, machinery or vehicles of any type.
- Storage of any construction materials, equipment, stockpiling fill, debris, etc.
- Dumping of any chemicals (i.e., paint thinner) mortar or concrete remainder, wash, garbage, or debris of any kind.
- Felling of trees into a protected area.
- Trenching or grading for utilities, irrigation, drainage, etc.

Forest and tree protection signs must be installed as required by the Forest Conservation Inspector. The signs must be waterproof and wording provided in both English and Spanish.

During Construction

- Periodic inspections will be made by the Forest Conservation Inspector. Corrections and repairs to tree protection devices must be completed within the timeframe given by the Inspector.
- The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understory, ground cover, and any other undisturbed areas shown on the approved plan. Remedial actions, and the relative timeframes to restore these areas, will be determined by the Forest Conservation Inspector.

Post-Construction

- After construction is completed, but before tree protection devices have been removed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective measures, which may include:
 - Removal and possible replacement of dead, dying, or hazardous trees
 - Pruning of dead or declining limbs
 - Soil aeration
 - Fertilization
 - Watering
 - Wound repair
 - Clean up of retention areas, including trash removal

After the final inspection and completion of all corrective measures the Forest Conservation Inspector will request all temporary tree and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both DPS and the Forest Conservation Inspector and cannot be removed without permission of the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed.

Long-term protection measures, including permanent signage, must be installed per the approved plan. Installation will occur at the appropriate time during the construction project. Refer to the approved plan drawing for the long-term protection measures to be installed.

INSPECTIONS

All field inspections must be requested by the applicant.

Field Inspections must be conducted as follows:

Plans without Planting Requirements

- After the limits of disturbance have been staked and flagged, but before any clearing or grading begins.
- After necessary stress reduction measures have been completed and protection measures have been installed, but before any clearing and grading begin and before release of the building permit.
- After completion of all construction activities, but before removal of tree protection fencing, to determine the level of compliance with the provision of the forest conservation.

Additional Requirements for Plans with Planting Requirements

- Before the start of any required reforestation and afforestation planting.
- After the required reforestation and afforestation planting has been completed to verify that the planting is acceptable and prior to the start the maintenance period.
- 2 years after reforestation and afforestation have been completed, to determine survival and assess necessary maintenance activities for the remaining duration of the maintenance and management period.
- At the end of the maintenance period to determine the level of compliance with the provisions of the planting plan, and if appropriate, release of the performance bond.

Site Specific Guidelines for Converting Paved Areas into Pervious Greenspace

The Applicant has prepared the following guidelines that include typical practices for the removal of pavements and deconsolidation of underlying soils to promote vegetative growth and infiltration of stormwater, while minimizing impacts to forest and natural resources in the project area. These guidelines are based on an Adopted/Amended (Sept 2017) from M-NCPPC Department of Parks document dated 10/2/2009. Specifically, these procedures have been altered to better match the particular conditions at the Clarksburg Chase property and the conditions for restoration discussed with M-NCPPC Parks Staff during an on-site meeting held on January 10, 2024.

- Prior to starting construction, contact Miss Utility to clear all existing utilities within work area. Please note that a private utility location firm may be required to locate private utilities not marked by Miss Utility. Coordinate any utility disconnections and/or abandonments with appropriate utility company.
- Prior to beginning, ensure all required permits have been obtained. If the disturbed area exceeds 5,000 square feet (SF) or earth movement exceeds 100 cubic yards (CY), a Sediment Control Permit will be required from the Montgomery County Department of Permitting Services (MCDPS). Additional approvals may be required from the Department of Planning of M-NCPPC and/or the Maryland Department of the Environment (MDE), depending on the location of the project relative to streams, wetlands, and other natural resources. Please note, that even when the project does not require formal permitting, standard sediment control and tree protection practices should be used.

- Conduct a pre-construction meeting with appropriate personnel from the contracting company, Applicant, and any agency having jurisdiction over the proposed construction activities, including the M-NCPPC Inspector. The limit of disturbance (LOD) and access route should be identified, and a final set of approved plans should be available for review and discussion. The LOD may be field adjusted with the approval of the M-NCPPC inspector to minimize impacts to adjacent natural resources.

- Field-locate and install Tree Protection Measures on trees greater than 16" diameter at breast height (DBH) within 25' of the proposed LOD and any significant or specimen trees that project a Critical Root Zone (CRZ) within the LOD. Install perimeter sediment controls around work area per the approved plans. Schedule work when favorable weather conditions are forecasted over the anticipated period of construction. In the event that poor weather conditions develop or if work is suspended for more than 2-3 days, the work area should be covered or otherwise stabilized with a temporary seed and straw mulching.

- Remove existing pavements (and subbase, if applicable), and other impervious materials in accordance with the approved plans, the project intent, and field direction by Applicant's representative and inspectors.
- Deconsolidate soils throughout areas of former imperviousness extending 2-feet beyond previous limits where feasible to promote vegetative growth while minimizing impacts to existing forest and natural resources.

- Once soil is deconsolidated and approved by Applicant's representative and inspectors, apply approved native seed mix over disturbed area and install/rack straw mulching. Thoroughly water seeded area to establish good stand of vegetation. Note that if project is on M-NCPPC property (or area to be dedicated to M-NCPPC), establishment of vegetation shall be in accordance with Planting Requirements for Land-Disturbing Activities and Related Mitigation on M-NCPPC Montgomery County Parkland and latest standards of M-NCPPC.

- Once vegetation is established (and with approval of inspectors) remove sediment controls, tree protection fencing, and any miscellaneous debris throughout site.

- Periodic inspections will be made by the Forest Conservation Inspector. Corrections and repairs to tree protection devices must be completed within the timeframe given by the Inspector.
- The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understory, ground cover, and any other undisturbed areas shown on the approved plan. Remedial actions, and the relative timeframes to restore these areas, will be determined by the Forest Conservation Inspector.

After construction is completed, but before tree protection devices have been removed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective measures, which may include:

- Removal and possible replacement of dead, dying, or hazardous trees
- Pruning of dead or declining limbs
- Soil aeration
- Fertilization
- Watering
- Wound repair
- Clean up of retention areas, including trash removal

After the final inspection and completion of all corrective measures the Forest Conservation Inspector will request all temporary tree and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both

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PLANNING DEPARTMENT USE ONLY (E-PLANS)

REFORESTATION PLANTING

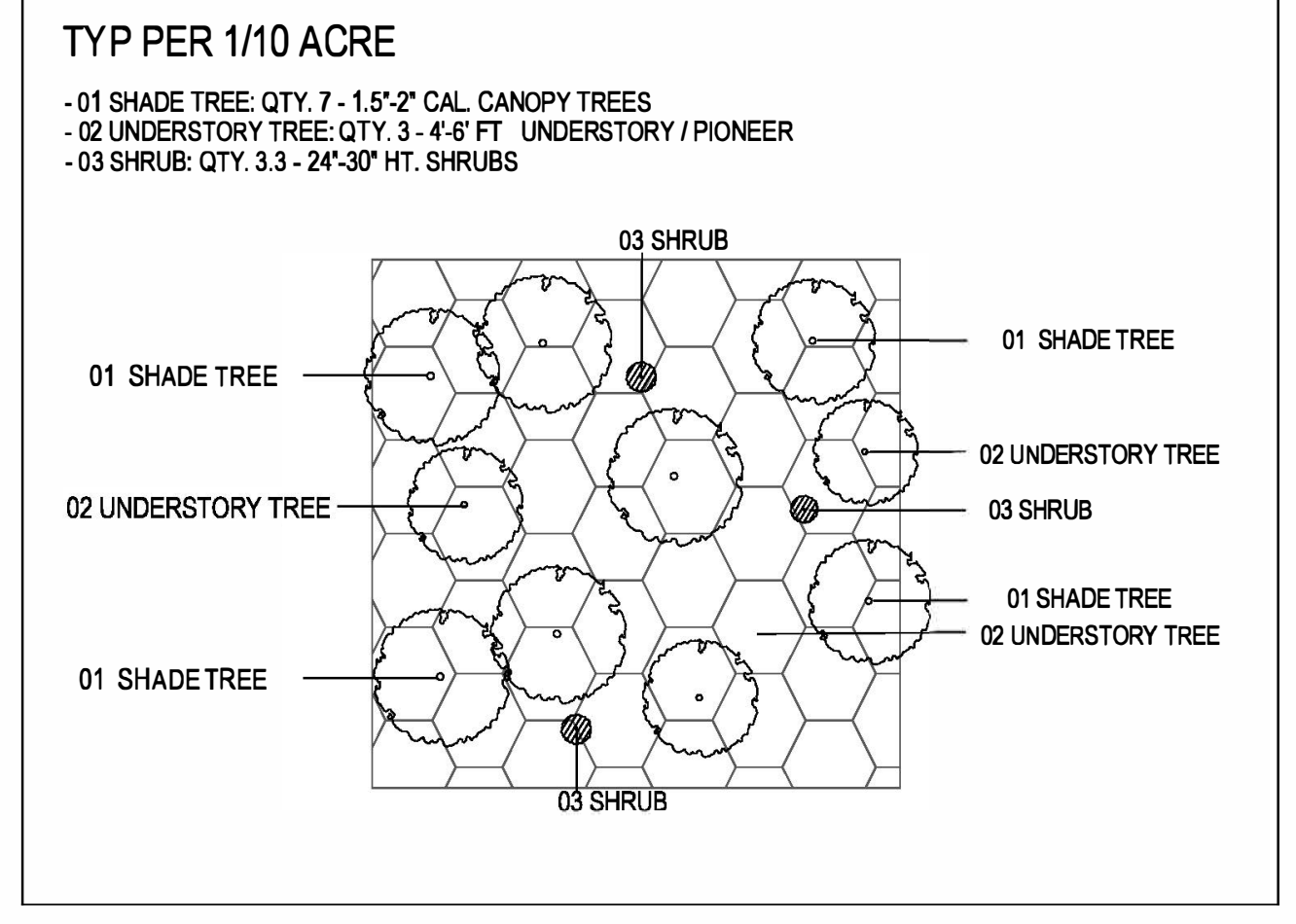
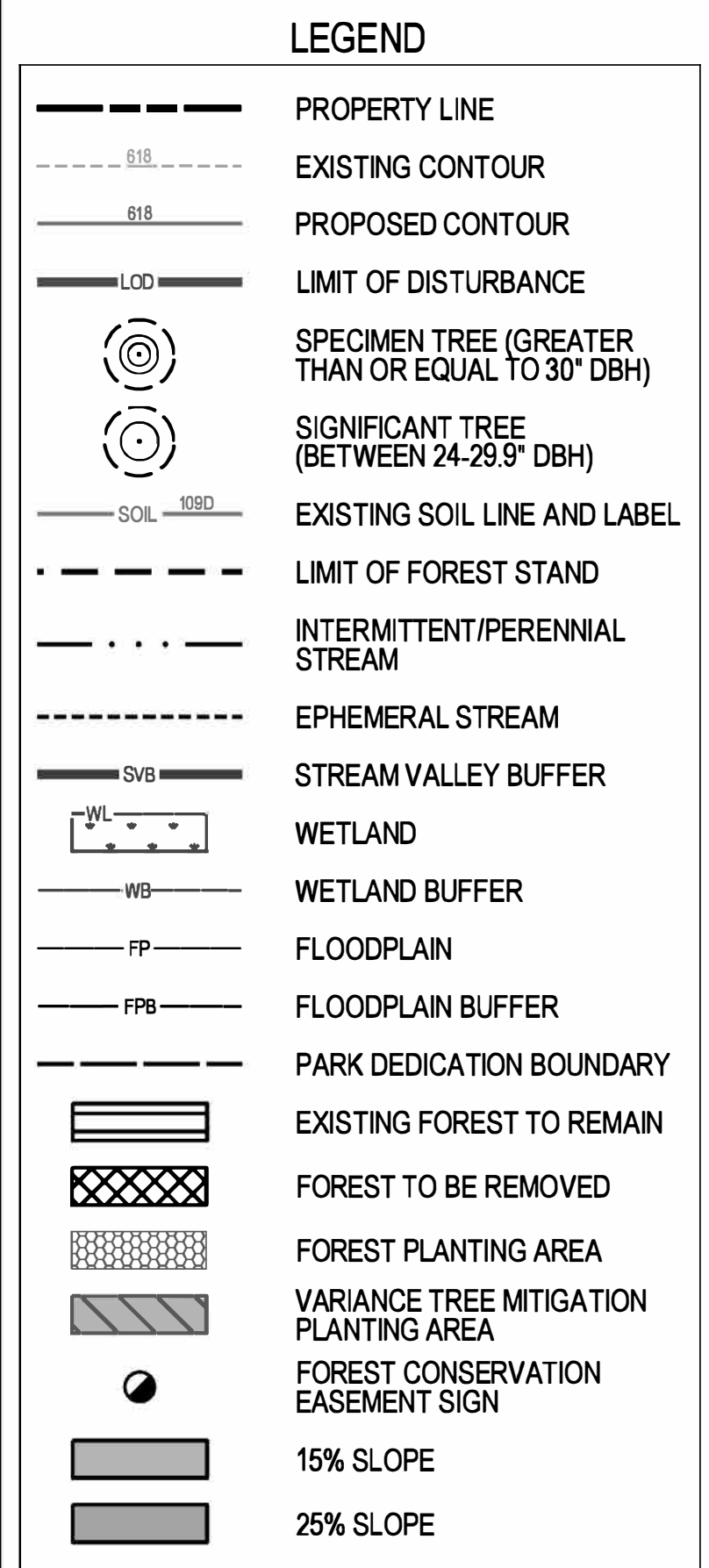


Table: Planting Area 1 Schedule. Columns: Qty, Botanical Name, Common Name, Size, Spacing, Type, Remarks. Lists various tree and shrub species with their respective quantities and specifications.

Table: Planting Area 2 Schedule. Columns: Qty, Botanical Name, Common Name, Size, Spacing, Type, Remarks. Lists various tree and shrub species with their respective quantities and specifications.

Table: Planting Area 3 Schedule. Columns: Qty, Botanical Name, Common Name, Size, Spacing, Type, Remarks. Lists various tree and shrub species with their respective quantities and specifications.



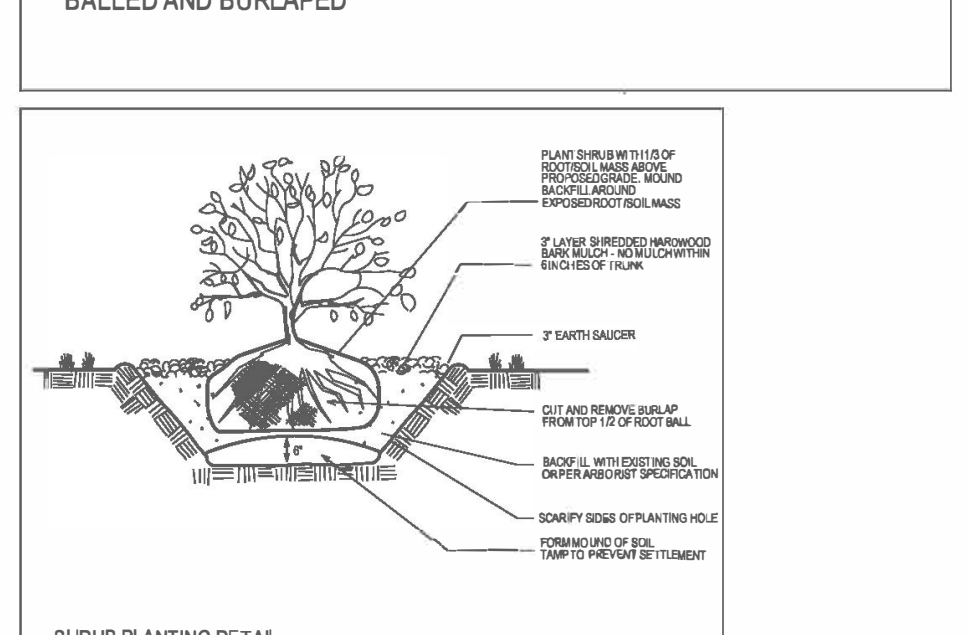
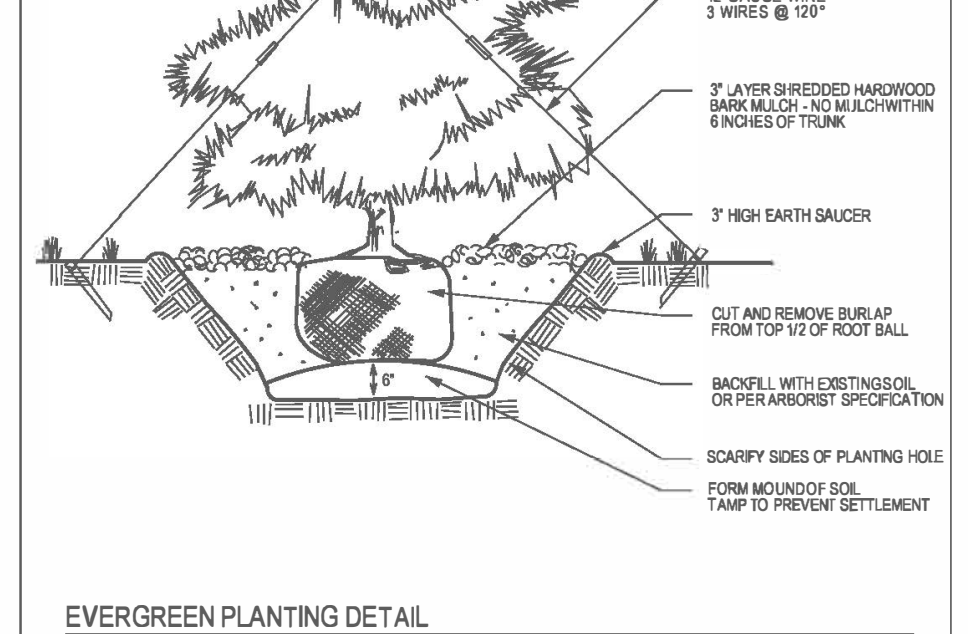
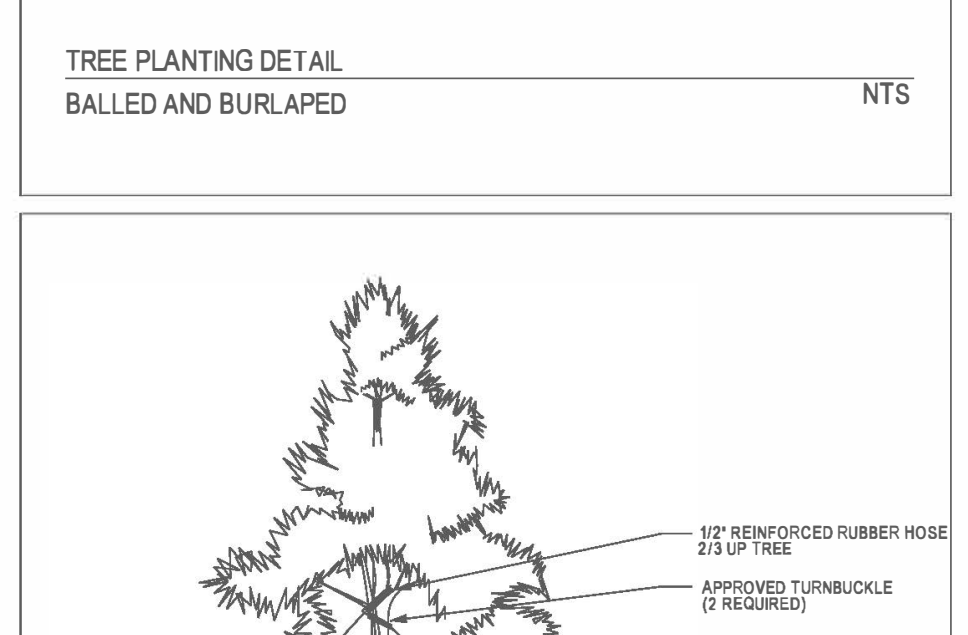
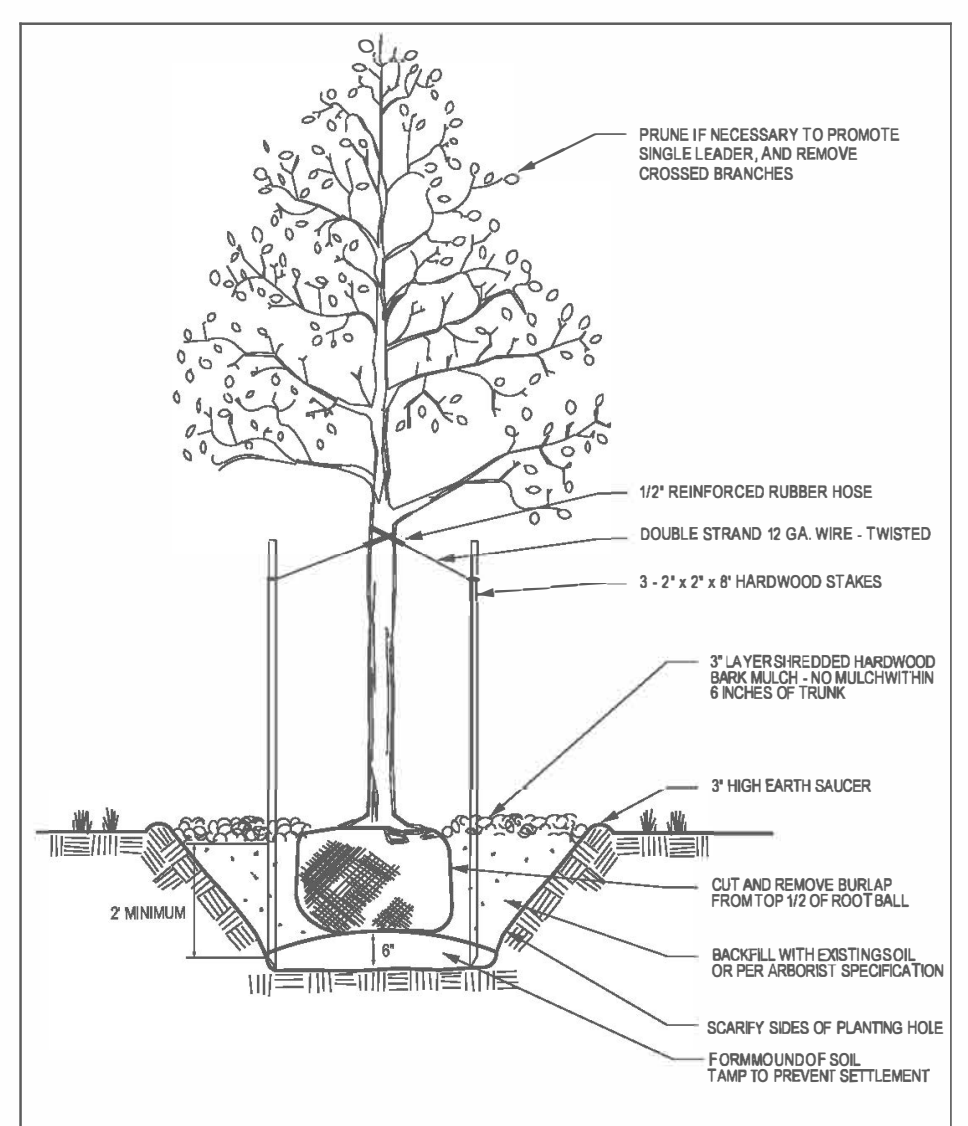
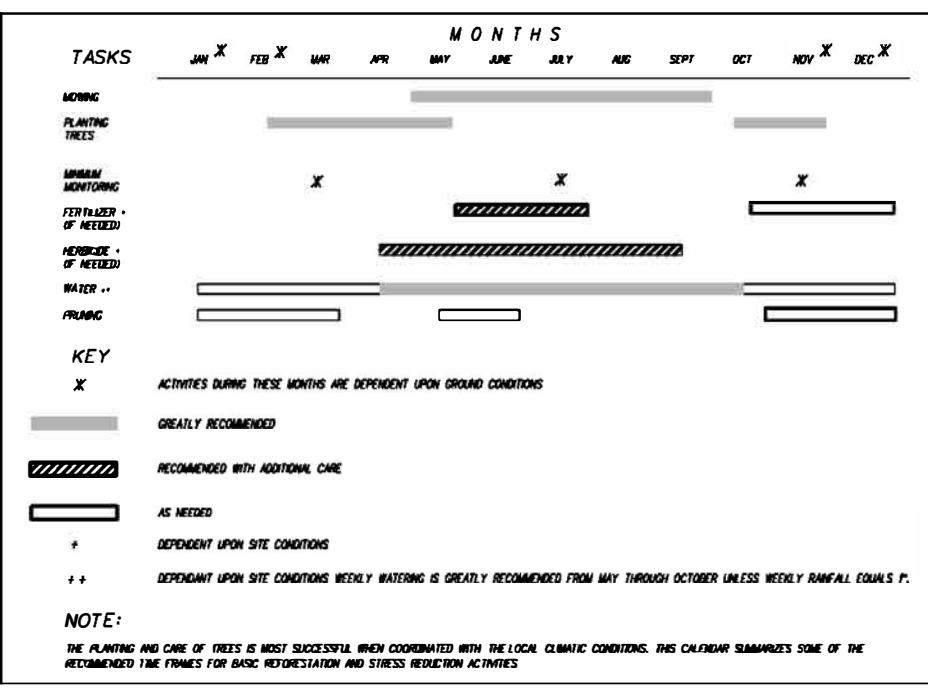
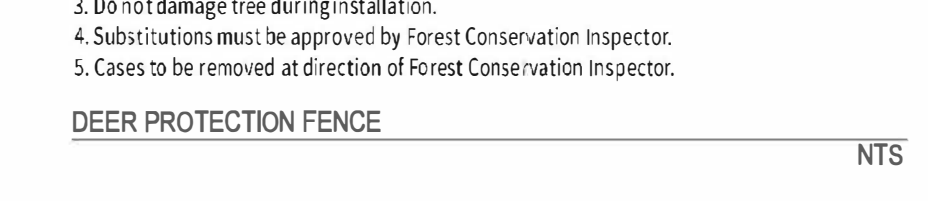
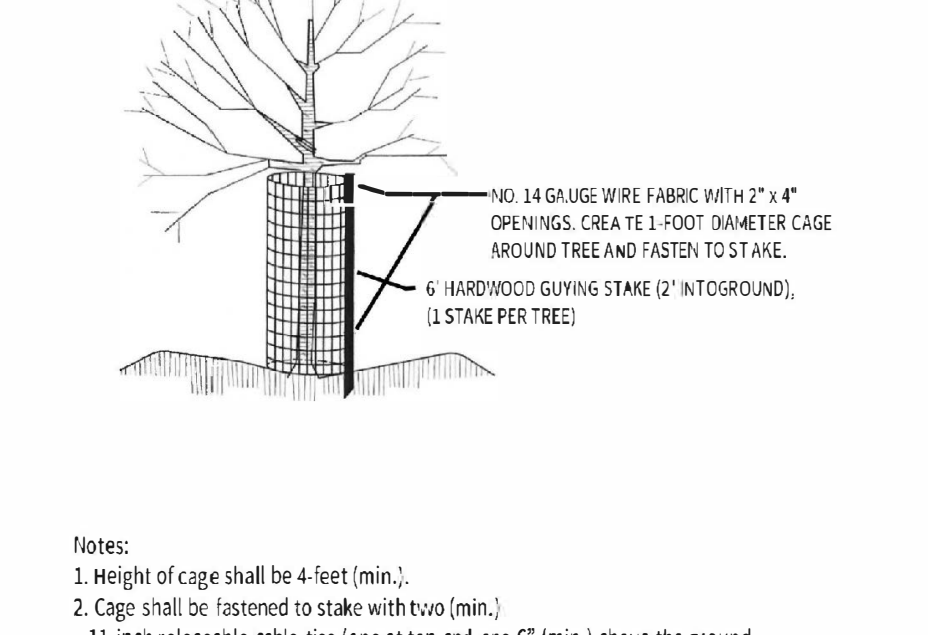
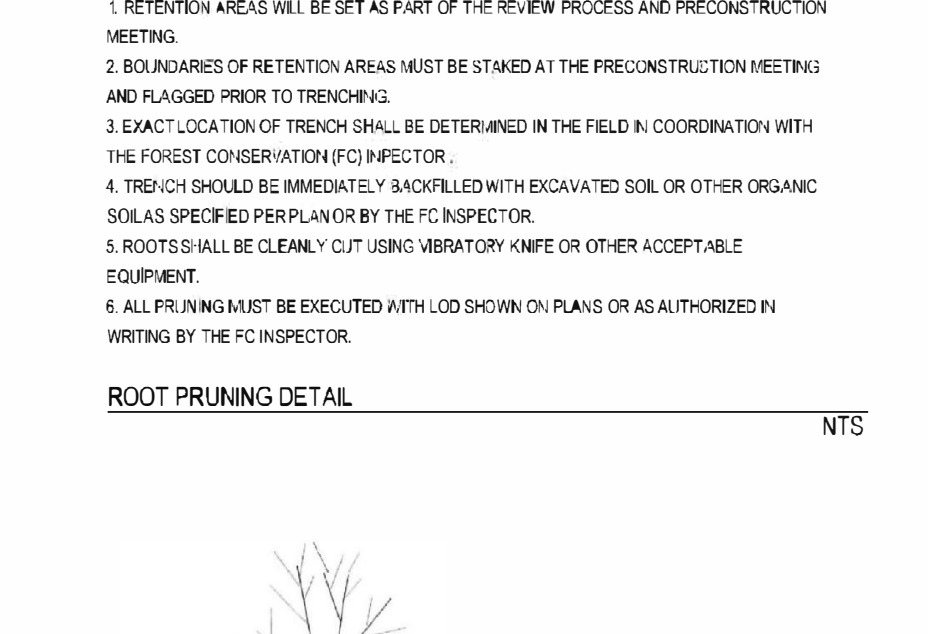
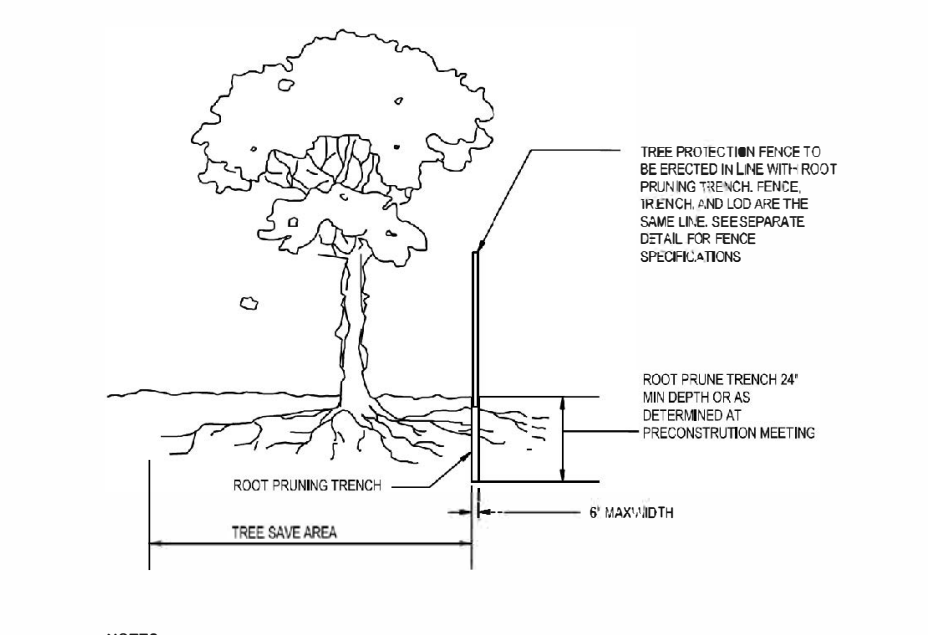
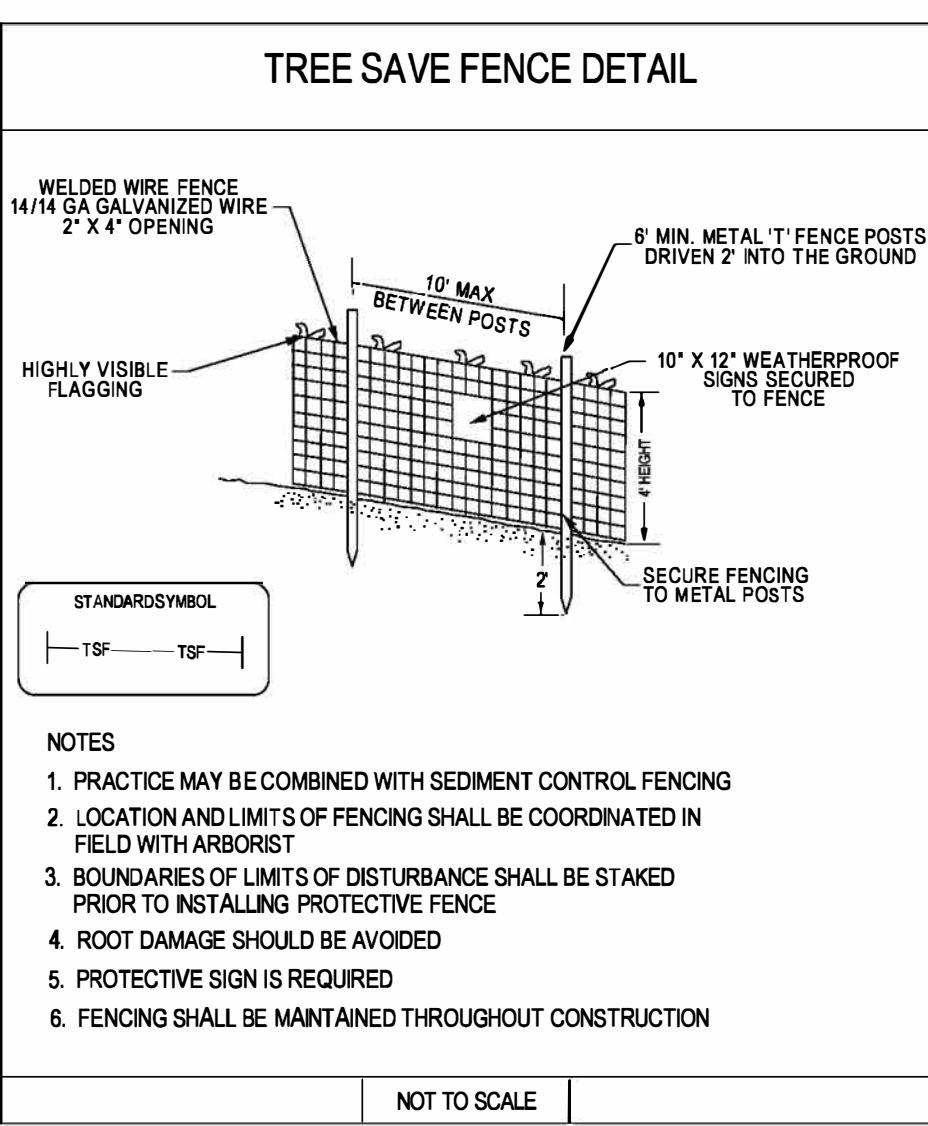
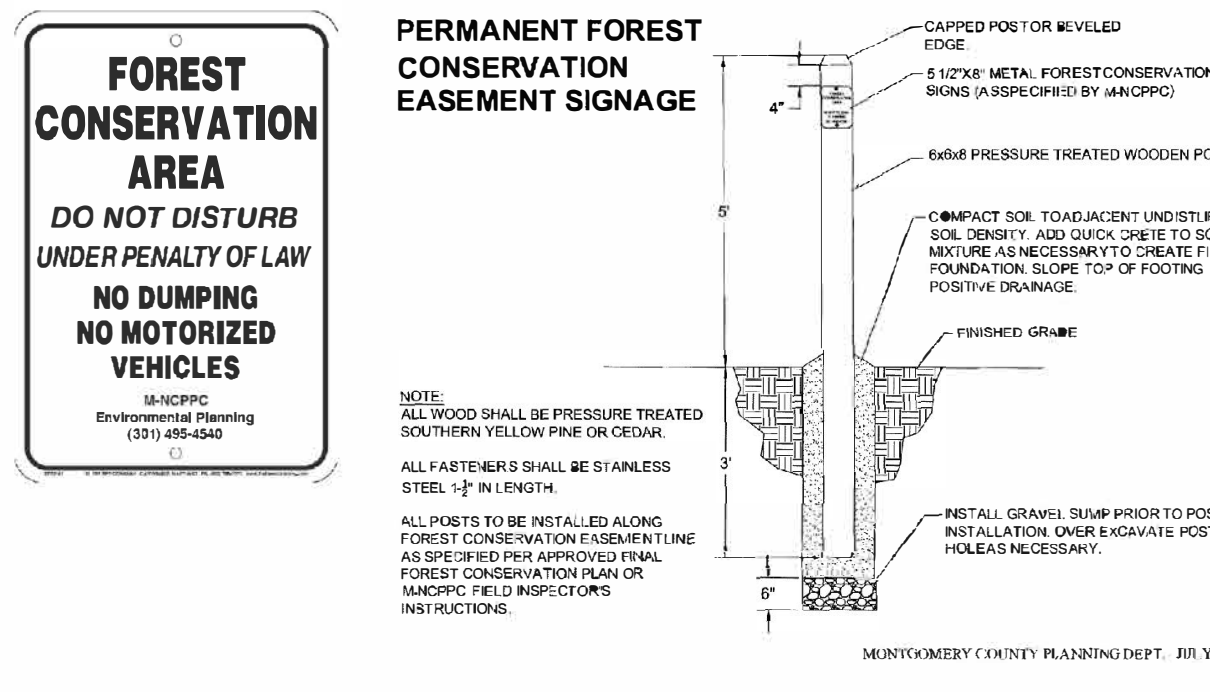
DEVELOPER'S CERTIFICATE: The undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20240180, including, financial bonding, forest planting, maintenance, and all other applicable agreements.

MITIGATION PLANTING

Table: VARIANCE TREE MITIGATION PLANTING REQUIREMENTS. Columns: Tree #, Common Name, Botanical Name, DBH (inch). Lists specific trees and their diameters.

Table: Clarksburg Chase - Mitigation Planting Schedule. Columns: Qty, Botanical Name, Common Name, Size, Spacing, Type, Remarks. Lists mitigation planting species and quantities.

FOREST CONSERVATION SIGNAGE DETAIL



AT EDGE OF CONSERVATION EASEMENT AREA (MIN. 100' O.C.)

SOLTESZ, Inc. ROCKVILLE OFFICE 2 Research Place, Suite 100 Rockville, MD 20850 P. 301.948.2750 F. 301.948.9067 www.solteszco.com

Engineering Surveying Planning Environmental Sciences

Table: REVISIONS. Columns: NO., REVISIONS, BY, DATE.

MSS UTILITY NOTE: INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND...

OWNER / DEVELOPER / APPLICANT: US HOME, LLC 7035 ALBERT EINSTEIN DRIVE SUITE 200 COLUMBIA, MD 21046 (410) 206-5737 MARK ANDERSON

NOTES AND DETAILS PRELIMINARY / FINAL FOREST CONSERVATION PLAN F20240180 CLARKSBURG CHASE CLARKSBURG (001) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

Table: Project Information. Columns: TAX MAP, ZONING CATEGORY, WBSG 200' SHEET, OVERLAY ZONE, SITE DATUM, WATER / SEWER CAT., HORIZONTAL, VERTICAL, DATE, DESIGNED, TECHNICIAN, CHECKED, CAD STYLE VERSION, SHEET, PROJECT NO.