



Montgomery County Airpark
Parcel 860 & Parcel 925
P.B. 95, P. 10452

Zoning = L-10/ H-450 and Upper Rock Creek Overlay Zone (Formerly I-4)

Proposed Use = Light Manufacturing/Retail/Office/Warehouse

Total Lot Area	=	6.30 Acres or 274,664 s.f.
Previous Dedication of ROW*	=	0.76 Acres or 32,887 s.f.
Gross Tract Area	=	7.06 Acres, or 307,551 s.f.

*ROW Dedicated per MSHA Plan #224 (L 4934/F.353 and L.904/F. 331)
-NO ROW Dedication Required. Master Plan ROW for Woodfield Road 120'

Office/Retail Uses 0.35 or 107,642 s.f. 0.06 or 17,686 s.f.
-Per Section 3.5.8.B.2.a.ii (Office) and 3.5.11.B.2.a.vii (Retail) a maximum of 35% of the Mapped FAR is permitted for the individual or combined uses.

Building Height:Sect. 4.8.3.A.4 (Mapped Zone)	50 feet	36 feet*
Amenity Open Space:Sect. 4.8.3.A.1	10.0% or 27,466 s.f.	29,000 s.f.

Parking Setback Surface Perimeter: Sect. 6.2.9.C.3.i	10 feet	10 feet (Min.)*
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*The final building and parking setbacks may be less than the distances or heights indicated on the tabulation above, but will NOT be less than the Development Standards as set forth in the Zoning Ordinance and summarized in the tabulation. Only minimum setbacks required as part of Preliminary plan approval.

Warehouse/Storage: 17,765 s.f. x 1.5/1000 s.f. = 26.6 spaces
Office : 14,400 s.f. x 2.8/1,000 s.f. = 40.3 spaces
Retail: 3,286 s.f. x 5.0/1000 s.f. = 16.4 spaces
Light Manufacturing: 5,000 s.f. x 1.5/1000 s.f. = 7.5 spaces

Total Required Parking:	91 spaces
Total Provided Parking:	91 spaces

82 Std. spaces / 4 Accessible spaces / 2 Motor cycle spaces / One Car Share Space / 3 standard spaces

Per Sec. 6.2.3.1.4 A parking facility with 50 to 100 parking spaces must have a minimum of one car-share parking space. One additional car-share parking space is required for each 100 parking space more than 149, or fraction thereof, up to a maximum requirement of 5. A parking facility may provide:

- Per Sec. 6.2.3.1.4 one car-share space located near an entrance is equal to 2 required parking spaces for residential uses or 3 required parking spaces for commercial uses.
- Per Sec. 6.2.3.1.5 Electric Charging Station, no charging spaces are required since the overall parking total does not exceed 100 spaces.

Accessible Spaces Required: 4 spaces
Accessible Spaces Provided: 4 spaces (Includes 1 Van Accessible spaces)

Light Manufacturing: 5,000 s.f. x 0.50/10,000 s.f. = 0.25 spaces (100% LT=.25spaces)
Warehouse/Storage: 17,765 s.f. x 0.50/10,000 s.f. =0.89 spaces
Office : 14,400 s.f. x 0.50/5,000 s.f.=1.44 spaces (85% LT=1.22 spaces)
Retail: 3,286 s.f. x 0.75/10,000 s.f. =0.22 spaces (15% LT=.03 spaces)

Total Bike Spaces Required:	3 Bike Spaces (2 Long Term)
Total Bike Spaces Provided:	3 Bike Spaces (2 Long term)*

*The long term bike spaces to be provided in existing warehouse in conformance with section 59.6.2.6.B.

Motorcycle/Scooter Spaces Required: 2 spaces
Motorcycle/Scooter Spaces Provided: 2 spaces
- Per Sect. 6.2.3.C Provide 2% Motorcycle/Scooter spaces

Loading Spaces Required: 1 spaces
Loading Spaces Provided: 1 spaces


DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO DISCLOSE ALL THE FEATURES OF PRELIMINARY PLAN APPROVAL NO. 10200000 INCLUDING APPLICABLE CONDITIONS, AND CERTIFIED PRELIMINARY PLAN.

DEVELOPER: POTOMAC VALLEY BRICK & SUPPLY CO.

ADDRESS: 15910 INCIANOLA CIRCLE, SUITE 100 ROCKVILLE, MD 20855

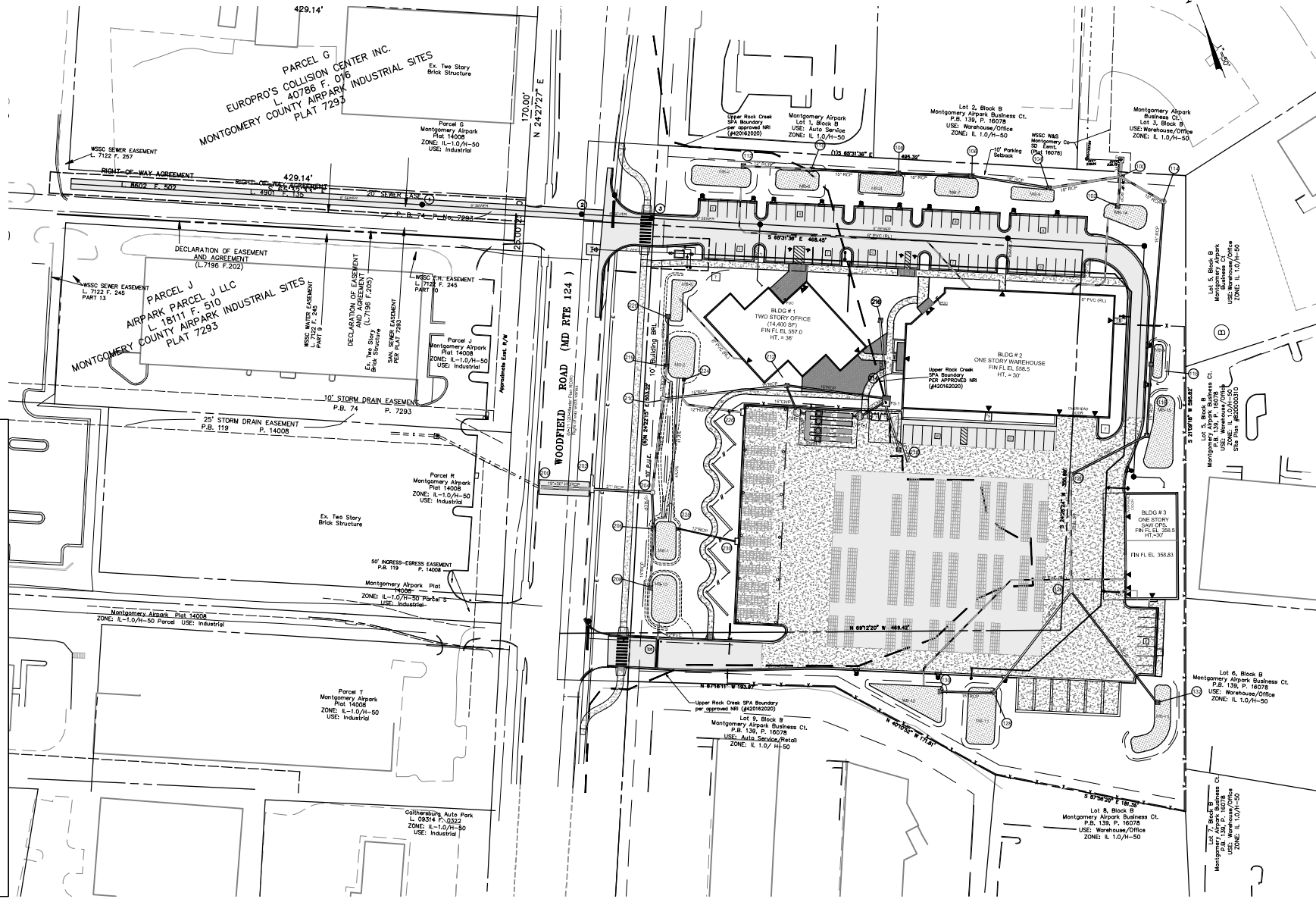
PHONE: 301-309-0029

SIGNATURE:  CFO

NAME: DONALD WAISBRENSKI
TITLE: AN AUTHORIZED MEMBER

I hereby certify that the boundary shown hereon is correct based on existing deeds and plats recorded among the Land Records of Montgomery County, Maryland, subject to change upon completion of a final survey. Topography from sources noted hereon.

Phase	Benchmark	Duration
Phase I	Construction of Site Plan and Landscaping Plan	60 Months
Phase II	Construction of two story office building and accommodation walkways and SWM facility	10 years



LEGEND

<u>BUILDING</u>		<u>PROPOSED</u>
-370-	CONTOUR (1%)	-370-
-374-	CONTOUR (2)	-374-
x 374.0	SPOT ELEVATION	x 74.0
	CURB & GUTTER	
	CONCRETE	
	ASPHALT	
	2" MLLS & OVERLAY	
	BUILDING WALL	
	RETAINING WALL	
8' W / SIDE	LIMIT OF DISTURBANCE	LOD
8' W / SIDE	WATER LINE (GATED)	8' W / SIDE
FN	WATER LINE (FREE)	8' W / SIDE
	FIRE HYDRANT	
	SEWER LINE	8" S
	STORM DRAINAGE	16" RCP
OVERHEAD UTILITY VINES		
GTS LINE		
UNDERGROUND ELECTRIC		
UNWRAPPED COMMUNICATIONS		
FENCING		X
EASEMENT		
PROPERTY BOUNDARY		
LIGHT POLE		
TREE		
IRON		
ORDES WALL & STEERING		
STORM WATER MANAGEMENT FACILITY		

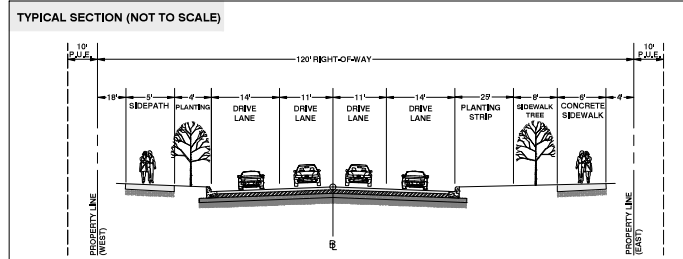
PP 001	Cover Sheet	1 of 4
PP 002	Planning Board Resolution	2 of 4
PP 003	Preliminary Subdivision Plan	3 of 4
PP 011	Agency Approvals	4 of 4
L9.01	Preliminary/Final Forest Conservation	1 of 4
L9.02	Preliminary/Final Forest Conservation	2 of 4
L9.03	Preliminary/Final Forest Conservation	3 of 4
L9.04	Preliminary/Final Forest Conservation	4 of 4

An on-site pre-construction meeting is required to be set up with the MNCPPC inspection staff before any demo, clearing, or grading occurs on-site. The owner or his designee who has signature authority, and the general contractor must attend the pre-construction meeting with the MNCPPC inspector. A copy of the approved Certified Preliminary Plan is required to be on-site at all times. To schedule an inspection with MNCPPC staff, please contact Josh Kaye at 301-495-4722.

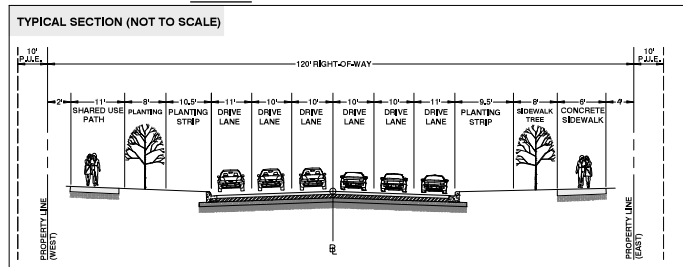


**FOR UTILITY LOCATIONS
CONTACT "ONE CALL" AT 811
AT LEAST 48 HOURS
PRIOR TO CONSTRUCTION**

MNCPPC Preliminary Plan Note
Unless specifically noted on this plan drawing or in the Planning Board conditions of approval, the building footprints, building heights, on-site parking, site circulation, and sidewalks shown on the Preliminary Plan are illustrative. The final locations of buildings, structures and hardscape will be determined at the time of issuance of building permit(s) or site plan approval. Please refer to the zoning data table for development standards such as setbacks, building restriction lines, building height, and lot coverage for each lot.



INTERIM CONDITION - WOODFIELD ROAD - TYPICAL SECTION
MODIFIED MCDOT STANDARD NO. MC-218.01



FINAL CONDITION - WOODFIELD ROAD - TYPICAL SECTION
MODIFIED MCDOT STANDARD NO. MC-218.01

1. The topography shown is taken from MNC&P&C 200 sheets and supplemented with field run survey prepared by Morris, Hendricks & Glascock, P.A. dated August 2008. Existing utilities shown on available utility records.
 2. Boundary information is based on recorded plats and deeds, prepared by Morris, Hendricks & Glascock, P.A. Final Boundary determination is required prior to plot recordation.
 3. Water and Sewer categories are W-1 and S-3, respectively.
 4. Existing septic system shall be abandoned in accordance with the Montgomery County Department of Permitting Services requirements. The Department of Permitting Services Well and Septic Review and Inspection staff shall witness and document the abandonment.
 5. Existing water supply wells shall be abandoned and sealed in accordance with the Maryland Department of the Environment requirements. Water supply well shall be abandoned and sealed by a Maryland Licensed Well Driller. Provide a copy of the Water Well Abandonment-Sealing Report to the Department of Permitting Services Well and Septic Review and Inspection Section.
 6. Number of lots proposed by this plan: 1 Lot. Work to be completed in two phases as indicated by the Development Phasing Program below.
 7. A Natural Resources Inventory Map/Forest Stand Delineation Plan (420162020) was approved for this property 06-22-2016.
 8. A Stormwater Management Concept (SM File #282140) for this property was submitted for review, and approved by MCDPS on 02-07-2025.
 9. This site is within the Upper Rock Creek Master Plan Area. The eastern portion of the site is tributary to the Upper Rock Creek Watershed and is considered part of the Upper Rock Special Protection Area (Use III). The western portion of the site is tributary to the Great Seneca Creek watershed. (Use I-P)
 10. This plan is not for construction purposes.
 11. Property lines and areas are subject to adjustment at final plot computations.
 12. Refer to the zoning data table below for development standards.
 13. Applicant is responsible for constructing to the Interim Condition Typical Section for Woodfield Road. The Final Condition Typical Section is for graphical purposes only to show a potential future state of the roadway not associated with this plan.
 14. Servicing utility companies include:
Water & Sewer: Washington Gas
Natural Gas: Washington Gas
Electric: Paco
Telephone: [redacted]
- | |
|---------------------|
| Development Phasing |
| Phase I |
| Phase II |

TAX MAP GU31 WSSC 226 NW 07

1ST ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

RICKMAN PROPERTY
PRELIMINARY PLAN
120250060

PROJ. MGR	TKH
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SCALE	1" = 50'
DATE	03/2025

COVER SHEET

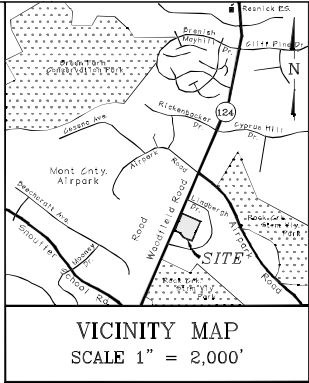
PP 001

PROJECT NO.	08.167.43
SHEET NO.	1 OF 4

RICKMAN PROPERTY

FINAL FOREST CONSERVATION PLAN

F20250160



MHG

CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
LAND PLANNING

9220 Nightman Road, Suite 120
Montgomery Village, MD 20855
Phone: 301.670.0840
www.mhgpa.com

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FRANK C. JOHNSON
09/20/2025
DATE
RESIGNED AS QUALIFIED PROFESSIONAL BY
MD DEPT. OF NATURAL RESOURCES
COMAR 08.15.06.21

Qualified Professional Certification
I hereby certify that the information shown herein is correct and that this plan has been prepared in accordance with the requirements of the existing state and county forest conservation legislation.

OWNER: 305 BRICK LLC
C/O POTOMAC VALLEY BRICK & SUPPLY CO.
MR DONALD WAKSMUNSKI
15810 INDIANOLA DRIVE SUITE 100
ROCKVILLE, MD 20855
DWAKSMUNSKI@PVBRICK.COM

NOTES

- TOTAL SITE AREA = 6.30 ACRES (274,664 S.F.) AND CONSISTS OF PARCEL 860 AND PARCEL 925 AT 15810 INDIANOLA DRIVE SUITE 100, ROCKVILLE, MD 20855. PROPERTY OWNER IS 305 BRICK LLC ADDRESS 15810 INDIANOLA DRIVE SUITE 100 ROCKVILLE, MD 20855. PROPERTY IS ZONED IL-1.0 H-60.
- TOPOGRAPHY FROM 226NW07, SOME CURBS, FENCES AND UTILITIES SURVEY LOCATED BY MHG.
- BOUNDARY INFORMATION FROM ALTA SURVEY BY MHG.
- SOILS ON-SITE ARE MAPPED ACCORDING TO SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, 1995 SOIL SURVEY OF MONTGOMERY COUNTY, MARYLAND, PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, WEB SOIL SURVEY, AVAILABLE ONLINE AT <https://websoilsurvey.sc.egov.usda.gov/>, ACCESSED [07/09/2024].
- NO SLOPES GREATER THAN 25% EXIST ON-SITE. NO SLOPES 15-25% ON HIGHLY ERODIBLE SOILS EXIST ON-SITE.
- THE SITE DRAINS TO UPPER ROCK CREEK AND GREAT SENECA CREEK. THIS PORTION OF THE UPPER ROCK CREEK WATERSHED IS DESIGNATED AS USE CLASS B-P WATERS BY THE STATE OF MARYLAND. THIS PORTION OF THE GREAT SENECA CREEK WATERSHED IS DESIGNATED AS USE CLASS B-P WATERS BY THE STATE OF MARYLAND.
- PART OF THE PROPERTY IS LOCATED WITHIN THE UPPER ROCK CREEK SPECIAL PROTECTION AREA (SPA). THE PROPERTY IS NOT LOCATED IN A PRIMARY MANAGEMENT AREA (PMA). PER SITE VISIT NO WETLANDS, STREAMS, SEEPS OR SPRINGS WERE FOUND TO EXIST ON-SITE. NO STREAM VALLEY BUFFERS EXIST ON-SITE. NO WETLANDS PER MCATLAS.ORG, NO FLOODPLAIN EXISTS PER FEMA PANEL #24031C0185D.
- UTILITIES (I.E. WATER, SEWER, STORM DRAIN, CULVERTS, ELECTRIC, PHONE) ARE SHOWN IN SURVEYED AND APPROXIMATED LOCATIONS.
- THERE IS NO FOREST AREA ON-SITE.
- THE PROPERTY IS NOT LISTED AS A HISTORIC SITE ON MCATLAS.ORG. NO STRUCTURE OR EVIDENCE SUGGESTING HISTORICAL OR ARCHAEOLOGICAL SIGNIFICANCE WAS OBSERVED DURING SITE INVESTIGATIONS.
- INDIVIDUAL TREE LOCATIONS ARE IN APPROXIMATE LOCATIONS. TREE DBH WAS MEASURED USING A DIAMETER TAPE.
- FIELDWORK FOR THE NATURAL RESOURCE INVENTORY WAS CONDUCTED ON 06/28/2024 BY FRANK JOHNSON.
- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON-SITE.
- THERE ARE NO NATIONAL STATE OR COUNTY CHAMPION TREES ON-SITE. NO TREES ON-SITE ARE 75% OR GREATER OF THE CURRENT STATE CHAMPION.
- THIS INVENTORY IN NO WAY CONSTITUTES A HAZARD TREE SURVEY. TREE CONDITIONS ARE GENERALLY ACCURATE BASED ON VISUAL OBSERVATION PER USUAL AND CUSTOMARY PRACTICE IN ACCORD WITH STATE AND COUNTY FOREST CONSERVATION LEGISLATION. THE EXAMINATION DETAIL REQUIRED TO PROVIDE A COMPREHENSIVE ANALYSIS OF BIOLOGICAL AND STRUCTURAL HEALTH IS BEYOND THE SCOPE OF THIS INVESTIGATION. CONDITION RATINGS ARE THE OPINION OF THE UNDERSIGNED PREPARER AND NOT THE APPROVING AGENCY. MHG ASSUMES NO LIABILITY FOR INJURY OR PROPERTY DAMAGE THAT MAY OCCUR AS A RESULT OF TREE FAILURE ON THIS PROPERTY.

FOREST CONSERVATION DATA TABLE			
DESCRIPTION	SE	SE	SE
Property Area	6.30 Acres		
Offsite Disturbance	0.00 Acres		
Net Tract Area	6.30 Acres		
Tract remaining in Ag Use	0.00 Acres		
Road & Utility ROW (Unimproved)	0.00 Acres		
Existing Forest	0.00 Acres		
Total Forest Retention	0.00 Acres		
Total Forest Cleared	0.00 Acres		
Land Use Category	CA		
Afforestation Threshold	15%		
Reforestation Threshold	15%		
Stream(s) Length: NA	Average Buffer Width: NA		
Acres of Forest (L)	Retained	Cleared	Reforested
Wetlands	0.00	0.00	0.00
100yr Floodplain	0.00	0.00	0.00
Stream Buffers	0.00	0.00	0.00
Other Priority Areas	0.00	0.00	0.00

SHEET INDEX

- L9.01 COVERSHEET
- L9.02 APPROVALS SHEET
- L9.03 PLAN VIEW
- L9.04 NOTES & DETAILS

FOREST CONSERVATION WORKSHEET						FOREST CONSERVATION WORKSHEET							
Outside Same Priority Watershed, SPA, or PMA						Within Same Priority Watershed, SPA, or PMA							
NETTRACT AREA:						NETTRACT AREA:							
A. Total tract area					6.30	A. Total tract area					6.30		
B. Addition to tract area (Off-Site Work, etc.; construction required by this plan)					0.68	B. Addition to tract area (Off-Site Work, etc.; construction required by this plan)					0.68		
C. Land dedication acres (parks, county facility, etc.)					0.00	C. Land dedication acres (parks, county facility, etc.)					0.00		
D. Land dedication for roads or utilities (construction not required by this plan)					0.00	D. Land dedication for roads or utilities (construction not required by this plan)					0.00		
E. Area to remain in commercial/agricultural production/use					0.00	E. Area to remain in commercial/agricultural production/use					0.00		
F. Other deductions (specify)					0.00	F. Other deductions (specify)					0.00		
G. Net Tract Area					6.98	G. Net Tract Area					6.98		
LAND USE CATEGORY: (from Chapter 22A-3, Definitions) Insert the number "1" under the appropriate landuse, limit to only one entry.						LAND USE CATEGORY: (from Chapter 22A-3, Definitions) Insert the number "1" under the appropriate land use, limit to only one entry.							
ARA	CDR	MDR	IDA	HCR	MPO	CIA	ARA	CDR	MDR	IDA	HCR	MPO	CIA
0	0	0	0	0	0	1	0	0	0	0	0	0	1
G. Afforestation Threshold					15% x G =	1.05	G. Afforestation Threshold					15% x G =	1.05
H. Conservation Threshold					15% x G =	1.05	H. Conservation Threshold					15% x G =	1.05
EXISTING FOREST COVER:						EXISTING FOREST COVER:							
I. Existing forest cover						0.00	I. Existing forest cover						0.00
J. Area of forest above afforestation threshold						0.00	J. Area of forest above afforestation threshold						0.00
K. Area of forest above conservation threshold						0.00	K. Area of forest above conservation threshold						0.00
BREAK EVEN POINT:						BREAK EVEN POINT:							
L. Forest retention above threshold with no mitigation						0.00	L. Forest retention above threshold with no mitigation						0.00
M. Clearing permitted without mitigation						0.00	M. Clearing permitted without mitigation						0.00
PROPOSED FOREST CLEARING:						PROPOSED FOREST CLEARING:							
N. Total area of forest to be cleared						0.00	N. Total area of forest to be cleared						0.00
O. Total area of forest to be retained						0.00	O. Total area of forest to be retained						0.00
PLANTING REQUIREMENTS:						PLANTING REQUIREMENTS:							
P. Reforestation for clearing above conservation threshold						0.00	P. Reforestation for clearing above conservation threshold						0.00
Q. Reforestation for clearing below conservation threshold						1	Q. Reforestation for clearing below conservation threshold						1
R. Credit for retention above conservation threshold						0.00	R. Credit for retention above conservation threshold						0.00
S. Total reforestation required						1	S. Total reforestation required						1
T. Total afforestation required						1.05	T. Total afforestation required						1.05
U. Credit for landscaping (may not be used to meet reforestation requirement if project is located outside an Equity Focus Area (EFA). For projects within EFA, may not exceed 20% of "S")						0.00	U. Credit for landscaping (may not be used to meet reforestation requirement if project is located outside an Equity Focus Area (EFA). For projects within EFA, may not exceed 20% of "S")						0.00
V. Total reforestation and afforestation required						1.05	V. Total reforestation and afforestation required						1.05
worksheet date						4/9/2023	worksheet date						4/9/2023

FOREST CONSERVATION REQUIREMENT OF 1.05 ACRES TO BE MET VIA FOREST BANK IF AVAILABLE OTHERWISE TO BE MET VIA FEE-IN-LIEU.

811
Know what's below,
Call before you dig.

FOR UTILITY LOCATIONS
CONTACT "ONE CALL" AT 811
AT LEAST 48 HOURS
PRIOR TO CONSTRUCTION

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP GL041 W55C 226NW07
L 46647 F 255
1ST ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

**PARCELS 860 & 925
DUBLIN
RICKMAN PROPERTY**

PROJ. MGR TH
DRAWN BY FCJ
SCALE NTS
DATE 06.09.2024

**FINAL FOREST
CONSERVATION PLAN
COVERSHEET
#F20250160**

L9.01
PROJECT NO. 08,167,43
SHEET NO. 1 OF 4


MHG

 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 LAND PLANNING

 9220 WIGHTMAN ROAD, SUITE 120
 MONTGOMERY VILLAGE, MD 20886
 301.670.0840
 MHGPA.COM

Statement of Justification
Rickman Property
Montgomery Airpark Business Center –Parcels 860 and 925
MNCPPC #-120250060

Potomac Valley Brick & Supply Company (the "Applicant") hereby submits this request to the Montgomery County Planning Board for approval of a Preliminary Plan of Subdivision for an approximate 6.30 acre lot to be located within the Montgomery Airpark Business Center. The Preliminary Plan will allow for the potential future development of the proposed lot with up to 40,451 square feet of building floor area for warehouse, office, retail brick showroom, and light manufacturing (the "Project"). The Project is consistent with all applicable recommendations of the Upper Rock Creek Area Master Plan, approved & adopted in April 2004 (the "Master Plan"), and will conform to all applicable requirements of the Zoning Ordinance for light industrial development for the IL Zone.

It is important to note on this subject property, Preliminary Plan (120170020) was approved by MNCPPC in July 16, 2018. Since then, the property has changed owners. The previous Preliminary Plan proposed a greater density and diversity of uses with a FAR of 0.32 or 97,700 s.f. which included 69,000 s.f. of warehouse, 22,000 s.f. of Office, and 6,400 s.f. of restaurant/retail. The previous approved uses provide more density and required a greater number of parking spaces, vehicle trips, and new water and sewer demand. The current Preliminary Plan Application (120250060) is proposing to reduce the overall intensity of uses on the property from the previously approved Preliminary Plan along with reducing the FAR to a lower 0.13 or 40,451 s.f.

I. Property Description

A. Site Location, Characteristics, and Existing Conditions

The 6.30 acre site is located along the east side of Woodfield Road (MD Route 124) between the intersections with Lindbergh Drive and is comprised of two unrecorded Parcels 860 & 925. The current site contains several one and two story frame and block buildings, equipment storage, and trailers with gravel parking and two asphalt entrance drives constructed by the Maryland State Highway Administration. There are no stream valleys, wetlands, or FEMA mapped 100-year floodplains on site. A Natural Resources Inventory was updated and approved on June

2, 2016 (MNCPPC# 420162020). The site is part of the Upper Rock Creek Watershed and is within the Upper Rock Creek Special Protection Area.

The proposed development is for a large warehouse and showroom building, an office building and a saw operations building. This Preliminary Plan proposes to create one lot for the construction of the three mix use buildings containing 14,400 sf of office, 3,286 sf of retail (brick showroom), 17,765 sf of warehouse/storage and 5,000 sf of light manufacturing. The applicant intends to utilize the two existing driveway for site access onto Woodfield Road, one at the north and one at the south end of the site.

The property is located within the Upper Rock Creek Master Plan and references the light industrial businesses found east of the Montgomery County Airpark along Warfield Road and recommends retaining the existing industrial zoning classification. According to the zoning ordinance, the IL1.0/H-50 zone is intended for low-intensity light industrial uses and as a transitional industrial zone between residentially zoned areas and land classified in the I-M and I-H zones. The Preliminary Plan proposes light industrial warehouse use and office space and is in conformance with the Master Plan.

B. Zoning and Permitted Uses

The Property is located in the Montgomery Airpark Business Center, with a specific mapped zoning of IL-1.0/ H-50. The Montgomery County Zoning Ordinance ("Zoning Ordinance") allows a variety of office and professional uses in the IL Zone. More specifically, light industrial, Vehicle repair, light vehicle sales, light manufacturing, transportation, and warehouse uses are allowed by right. The proposed uses of Office and Retail are also allowed as limited uses in the IL Zone. The project could be developed as one hundred percent industrial use since the uses are less intense and generate nominal adequate public facilities.

C. Surrounding Land Uses

The Properties surrounding the property are all zoned IL and are currently primarily light industrial, warehouse and small retail uses. Other notable land uses in the immediate vicinity include the following:

- (i) To the south is a two story brick and block building containing a printing company, pool supply, flooring, and a cabinet center (Zoned IM-2.5/H-50).
- (ii) To the north is a service station and convenience store and warehouse and office buildings (Zoned IL-1.0/H-50).
- (iii) To the west is Woodfield Road with a four lane roadway with multiple commercial driveways accessing the public right of way. Across Woodfield Road are warehouse and light industrial properties consisting of a packaging facility, automobile repair, medical supply, self-storage, and small retail facilities (Zoned IL-1.0/H-50).

- (iv) To the east is a series of story brick and block buildings containing multiply tenant light industrial and warehouse uses (Zoned IL-1.0/H-50).

II. Proposed Preliminary Subdivision

The Preliminary subdivision Plan proposes to create a single recorded lot for potential development of warehouse, office and retail uses within the Montgomery Airpark Business Center. As shown on the Preliminary Plan, the proposed lot will contain approximately 274,664 square feet of net site area. Including approximately 32,887 square feet of land that was previously dedicated to MSHA for Woodfield Road (MD Route 124), the gross tract area of the Property will be approximately 307,551 square feet (\pm 7.05 acres).

The Preliminary Plan has been designed to accommodate development under the standard method for the IL Zone, which allows a maximum floor area ratio ("FAR") of 1.0. As such, a maximum of 307,551 square feet of gross building floor area (\pm 0.35 FAR) is proposed for the Property with surface parking and related improvements (the "Project"). Parking will be provided in accordance with Article 59-4, Division 6.2 (Parking, Queuing, and Loading) in accordance with Zoning Ordinance requirements for minimum and maximum parking in the IL Zone. Vehicular access for the Project will be provided from the two existing driveways onto Woodfield Road (MD Route 124).

III. Master Plan Conformance

The property is located within the Upper Rock Creek Master Plan. The Master Plan references the light industrial businesses found east of the Montgomery County Airpark along Warfield Road and recommends retaining the existing industrial zoning classification. According to the zoning ordinance, the IL1.0/H-50 zone is intended for low-intensity light industrial uses and as a transitional industrial zone between residentially zoned areas and land classified in the I-M and I-H zones. The Preliminary Plan proposes light industrial warehouse use and office space and is in conformance with the Master Plan. The Master plan identifies Woodfield Road as a major highway (M-21) with a master plan width of 120 feet. The County acquired the 0.75 acre strip of right of way in 1977 to create the ultimate Right of Way width and future improvements in accordance with the Master plan.

This site is tributary to both the Upper Rock Creek Watershed to the east, which is classified as Use III waters, and the Great Seneca Creek Watershed, which is classified as Use I-P waters. The majority of the site drains to the Great Seneca Creek Watershed to the west toward MD Route 124. The remaining site area is draining to the east the Upper Rock Creek Watershed and is within the Upper Rock Creek Special Protection Area. Although this overlay zone restricts impervious surface to a maximum of 8 percent, any use in an industrial or commercial zone is exempt from the impervious cap provision (Sec.4.9.19(B)(1)(f)). A pre-application meeting was held with MNCPPC, MC-DPS, and MC-DEP prior to submission of the Water Quality Plan. Stormwater

management systems are planned such that full Environmental Site Design volumes will be treated onsite through micro-scale practices including the use of micro-bioretenion facilities and bio-swale facilities. A Stormwater management concept with drainage area map has been filed and approved with Montgomery County Department of Permitting Services.

The Project promotes compact development and minimizes the amount of disturbed land by restricting the floor plate of the proposed building to the area within the site that is outside the limits of the Special Protection Area and limiting building heights to a maximum of 42 feet. The proposed building placement and site design will also facilitate efficient utilization of the site to provide new pedestrian connections to Woodfield Road.

The Subject property is in sewer service category S-3. These are areas where improvements to or construction of new community systems will be given immediate priority and service will generally be provided within two years or as development and requests for community service are planned and scheduled. Our investigation has revealed that the property is currently being served by a private on-site septic system, however public sewer is available to the site on the west side of Woodfield Road. A sewer easement from the property owner on the west side of Woodfield Road will be obtained prior to approval by WSSC for service. The Sewer Extension Plan is in the final stages of approval with WSSC. The subject property is in water category W-1. These are areas served by community (public) systems which are either existing or under construction. This may include properties or areas for which community system mains are not immediately available or which have not yet been connected to existing community service. There is an existing 16" WSSC waterline within Woodfield Road and appears to be adequate to meet fire and domestic demands for the proposed development.

IV. Zoning Ordinance Conformance

A. Purposes

As stated in Section 4.8.1 of the Zoning Ordinance, the Industrial Zones are intended to provide land for industrial activities where major transportation links are not typically necessary and noise, dust, vibration, glare, odors, and other adverse environmental impacts are usually minimal. The IL zone is appropriate as a transitional Industrial zone between a Residentially zoned area and land classified in the IM and IH zones. The intended uses will primarily be light industrial and warehouses with a small office and retail component to serve as the Potomac Valley Brick Headquarters.

The Preliminary Plan directly facilitates the above-stated intents and objectives by providing a new development opportunity in the Montgomery County Airpark region for the private sector.

B. Development Standards

The Sector plan mapped zoning of to the Property as IL-1.0 / H-50 allowing for a maximum density of 1.0 FAR and a maximum height of 50 feet as part of the standard development method.

Other applicable development standards for the standard method of development in the II Zone are set forth in Section 4.8.3 of the Zoning Ordinance. The Project will comply with these standards as follows:

Total Lot Area = 6.30 Acres or 274,664 s.f.
 Previous Dedication of ROW* = 0.76 Acres or 32,887 s.f.
 Gross Tract Area = 7.06 Acres, or 307,551 s.f.
 *ROW Dedicated per MSHA Plat #224 (L. 4934/F.353 and L.904/F. 331)
 -No ROW Dedication Required. Master Plan ROW for Woodfield Road 120'

	PERMITTED	PROPOSED
Density/Floor Area Ratio (Total):Sect. 4.8.2.A.1	1.00 or 307,551 s.f.	0.13 or 40,451 s.f.
Office/Retail Uses	0.35 or 107,642 s.f.	0.06 or 17,686 s.f.
-Per Section 3.5.8.B.2.a.ii (Office) and 3.5.11.B.2.a.vii (Retail) a maximum of 35% of the Mapped FAR is permitted for the individual or combined uses.		
Building Height:Sect. 4.8.3.A.4 (Mapped Zone)	50 feet	36 feet*
Amenity Open Space:Sect. 4.8.3.A.1	10.0% or 27,466 s.f.	
Placement Principal Bldg-Front:Sect. 4.8.3.A.3	10 feet(Min.)	52 feet
Placement Principal Bldg-Side:Sect. 4.8.3.A.3	0 feet	+/-122 feet*
Placement Principal Bldg-Rear:Sect. 4.8.3.A.3	0 feet	>300 feet*
Parking Setback Surface Perimeter:Sect. 6.2.9.C.3.i	10 feet	10 feet (Min.)*

*The final building and parking setbacks may be less than the distances or heights indicated on the tabulation above, but will NOT be less than the Development Standards as set forth in the Zoning Ordinance and summarized in the tabulation.Only minimum setbacks required as part of Preliminary plan approval.

VEHICLE PARKING (Baseline minimum):

Warehouse/Storage: 17,765 s.f. x 1.5/1000 s.f. = 26.6 spaces
 Office : 14,400 s.f. x 2.8/1,000 s.f. = 40.3 spaces
 Retail: 3,286 s.f. x 5.0/1000 s.f. = 16.4 spaces
 Light Manufacturing: 5,000 s.f. x 1.5/1000 s.f. = 7.5 spaces

Total Required Parking: 91 spaces
 Total Provided Parking 91 spaces

82 Std. spaces/ 4 Accessible spaces/ 2 Motor cycle spaces/ One Car Share Space= 3 standard spaces

- Per Sect. 6.2.3.D.1 A parking facility with 50 to 149 parking spaces must have a minimum of one

car-share parking space. One additional car-share parking space is required for each 100 parking spaces

more than 149, or fraction thereof, up to a maximum requirement of 5. A parking facility may provide

more car-share parking spaces than required.

- Per Sect. 6.2.3.I.4 One car-share space located near an entrance is equal to 2 required parking spaces

for residential uses or 3 required parking spaces for commercial uses.

- Per Sect. 6.2.3.E Electric Charging Station. no charging spaces are required since the overall parking total does not exceed 100 spaces

Accessible Spaces Required: 4 spaces

Accessible Spaces Provided: 4 spaces (Includes 1 Van Accessible spaces)

BICYCLE SPACES (Sect.6.2.6)

Light Manufacturing: 5,000 s.f. x 0.50/10,000 s.f. = 0.25 spaces (100% LT=.25spaces)

Warehouse/Storage: 17,765 s.f. x 0.50/10,000 s.f. =0.89 spaces

Office : 14,400 s.f. x 0.50/5,000 s.f. =1.44 spaces (85% LT=1.22 spaces)

Retail: 3,286 s.f. x 0.75/10,000 s.f. =0.22 spaces (15% LT=.03 spaces)

Total Bike Spaces Required: 3 Bike Spaces (2 Long Term)

Total Bike Spaces Provided: 3 Bike Spaces (2 Long term)

MOTORCYCLE/SCOOTER SPACES (Sect. 6.2.3C)

Motorcycle/Scooter Spaces Required: 2 spaces

Motorcycle/Scooter Spaces Provided: 2 spaces

- Per Sect. 6.2.3.C Provide 2% Motorcycle/Scooter spaces

LOADING SPACES (Sect. 6.2.8.B2)

Loading Spaces Required: 1 spaces

Loading Spaces Provided: 1 spaces

V. Phasing Plan

A. Development Phasing Description

Due to the cost of constructing the office building, the site will be developed in two phases. These phases are shown in the Phasing Plan submitted with the Preliminary Plan Application. Phase I will include all site improvements except for the Office Building, entrance walkway for the Office Building and SWM facility to service impervious area added by Office Building. The footprint of the Office building and SWM Facility will be grassed and ready for future development. Phase II will include the construction of the Office Building and its accommodation walkway and SWM Facility.

A. Development Phasing Program

<u>Phase</u>	<u>Benchmark</u>	<u>Duration</u>
Phase I	Construction of Site Plan and Landscaping Plan	60 Months
Phase II	Construction of two story office building and accommodation walkways and SWM facility.	10 years

VI. Findings for Approval

A. Subdivision Regulation Compliance

The Preliminary Plan indicates that the size, width, shape and orientation of the proposed lot will be appropriate for the location of the proposed subdivision. The Preliminary Plan will meet all requirements set forth in the development standards.

B. Sediment Control/Water Quality

Applicable requirements under Chapter 19 are addressed in a Concept Stormwater Management Plan submitted to the Montgomery County Department of Permitting Services ("DPS") for review. This site is tributary to both the Upper Rock Creek Watershed to the east, which is classified as Use III waters, and the Great Seneca Creek Watershed, which is classified as Use I-P waters. The majority of the site drains to the Great Seneca Creek Watershed to the west toward MD Route 124. The remaining site area is draining to the east the Upper Rock Creek Watershed and is within the Upper Rock Creek Special Protection Area. Although this overlay zone restricts impervious surface to a maximum of 8 percent, any use in an industrial or commercial zone is exempt from the impervious cap provision (Sec.4.9.19(B)(1)(f)). A pre-application meeting was held with MNCPPC, MC-DPS, and MC-DEP prior to submission of the Water Quality Plan. Stormwater management systems are planned such that full Environmental Site Design volumes will be treated onsite through micro-scale practices including the use of micro-bioretenention facilities and bio-swale facilities. A Stormwater management concept with drainage area map has been filed and approved with Montgomery County Department of Permitting Service A Sediment and Erosion Control Plan will be submitted to DPS for their approval prior to commencement of construction. .

In the current design, fifteen new standard micro-bioretenction facilities provide 27,916 cubic feet of ESDv volume and an Average Treatment Pe of 2.00", therefore the project stormwater management requirements are met and exceeded.

The disturbed area associated with the west divide of the new development is 2.44 acres, including 1.52 acres of impervious surface (post development). The required Environmental Site Design volume (ESDv) for this portion of the project is 10,793 cubic feet, with a Target Pe of 2.00". Four new standard micro-bioretenction facilities provide 7,645 cubic feet of ESDv volume and an Average Treatment Pe of 1.42". However, because the full ESDv cannot be provided on site, stormwater management must be provided for the remaining Channel Protection Volume (CPv) per MCDPS Water Resources Technical Policy WRTP-6 and the MDE Stormwater Design Manual. Based on analysis of the Western Drainage Area, 2,927 CF of remaining CPv management must be provided. One underground 54" CMP detention facility (SWM-1) has been designed in conjunction with one Stormfilter structure (SF-1) to provide the required CPv management.

The disturbed area associated with the east divide of the new development is 4.01 acres, including 2.37 acres of impervious surface (post development). The required Environmental Site Design volume (ESDv) for this portion of the project is 16,933 cubic feet, with a Target Pe of 2.00". Eleven new standard micro-bioretenction facilities provide 20,271 cubic feet of ESDv volume and an Average Treatment Pe of 2.41", therefore the project stormwater management requirements are met and exceeded.

C. Adequate Public Facilities

A traffic study was completed by The Traffice Group for the project in September 29, 2023. The Traffic Study has been included as part of the Preliminary Plan submission and appears to meet all requirements setforth in applicable Local Area Transportation Review ("LATR") or Transportation Policy Area Review ("TPAR") Guidelines .The results of the traffic study indicate that the study intersections will continue to operate within the established standards after the build-out of the proposed site. Additionally, based on the proposed use and the immediate surrounding land use pattern, a significant change in the existing minor pedestrian/bicycle activity is not expected. Pedestrian connections to the public right of way have been provided in addition to bike racks. Public facilities are more than adequate to support and service the area of the proposed resubdivision. The increase in vehicle trips resulting from the Project is not anticipated to cause any of the intersections studied in the Applicant's Traffic Study to become deficient under applicable Local Area Transportation Review ("LATR). The existing use (Potomac Valley Brick) on the property current generates more than 30 peak hour trips.

The Project will be served by public water and sewer systems, and electric, gas and telecommunications services will also be available. The Project is entirely nonresidential and, thus,

will have no impact on public school capacity. Other public facilities and services – including police stations, firehouses and health care facilities – are currently operating in accordance with the Annual Growth Policy and will continue to be sufficient following construction of the Project. The nearest police station serving the Property is the Gaithersburg Police Station located at 14 Fulks Corner Avenue in Gaithersburg approximately 3.9 miles from the site. The nearest firehouse is Station 28, located at 7272 Muncaster Mill Road, approximately 2.0 miles from the site.

The infrastructure for the Project is anticipated to be developed in a single phase with anticipation to the Phase II connections necessary for the construction of the Office Building.

D. Relation to Master Plan

The Project substantially conforms with the Upper Rock Creek Master Plan, as addressed in Section III above.

E. Forest Conservation

The Applicant has submitted a Preliminary Forest Conservation plan has been submitted to be reviewed concurrently with the Preliminary plan to address Chapter 22 of the Montgomery County Code. Approximately 0.98 acres of off-site forest banking or fee in lieu payment will be made to satisfy the requirements of the site. On-site landscape credits may be used to reduce the overall off-site forest.

A Tree variance for planting of three trees for the remediation of the removal of one tree and the impact of two others has been submitted as part of the Forest Conservation plan as required by the Maryland Natural Resources Article, Title 5, Subtitle 16, Forest Conservation, Section 5-1611, and in accordance with Chapter 22A-21(b) of the Montgomery County Code. In accordance with Chapter 22A-21(b) of the Montgomery County Code, the proposed impact of one tree would satisfy the variance requirements.

VII. Community Outreach

The Applicant held the required pre-submission public meeting on Tuesday, August 27th, 2024. Notice was provided for the pre-submission community meeting in accordance with the standards set forth in the Development Review Procedures Manual.

VIII. Conclusions

As demonstrated herein, the proposed subdivision complies with all applicable requirements of the Subdivision Ordinance and of the Zoning Ordinance for development in the IL Zone. Furthermore, the Project substantially complies with the recommendations of the Master Plan, as discussed above. The Project will enhance Montgomery County Airpark and for all of

these reasons, we respectfully require that the Planning Board approve the Preliminary Plan as proposed.



DEPARTMENT OF TRANSPORTATION

Marc Elrich
County Executive

Christopher R. Conklin
Director

April 4, 2025

Mr. Jeffrey Server, Planner III
Upcounty Planning Division
The Maryland-National Capital
Park & Planning Commission (M-NCPPC)
2425 Reedie Drive,
Wheaton, MD 20902

RE: Preliminary Plan No. 120250060
Rickman Property - Potomac Valley Brick HQ

Dear Mr. Server:

We have completed our review of the Administrative Plan uploaded to eplans on March 26, 2025. A previous version of this plan was reviewed by the Development Review Committee (DRC) at its meeting on November 19, 2024. We recommend approval of the plan subject to the following comments:

The subject property is fronting the public street maintained by the Maryland State Highway Administration (MDSHA). Therefore, MCDOT does not have any jurisdiction other than the maintenance of the shared use path. Per Montgomery County Code Chapter 50 Section 4.2, MCDOT shall provide the following recommendations about the subject property per the review of the administrative plan for the attention of the concerned agencies.

Administrative Plan Comments

1. We defer to MDSHA for a final decision on the improvements along Woodfield Road (MD-124) but have the following comment:
 - a. We recommend that the applicant remove the existing, 4' concrete sidewalk and construct a 6' concrete sidewalk, as shown on the plans.

Office of the Director

101 Monroe Street 10th Floor · Rockville Maryland 20850 · 240-777-7170 · 240-777-7178 FAX

www.montgomerycountymd.gov

Located one block west of the Rockville Metro Station

2. **Sight Distance:** We defer to MDSHA for the sight distance at the proposed site entrances.
3. **Storm Drain Analysis:** The storm drain analysis was reviewed and is acceptable to MCDOT. No improvements are needed to any downstream, MCDOT-maintained storm drain system.

Standard Plan Review Comments

1. All Planning Board Opinions relating to this plan or any subsequent revision, project plans, or site plans should be submitted to the Montgomery County Department of Permitting Services (MCDPS) in the package for record plats, storm drain, grading, paving plans, or application for access permit. Include this letter and all other correspondence from this department.

Thank you for the opportunity to review this preliminary plan. If you have any questions or comments regarding this letter, please contact Mr. William Whelan, our Development Review Engineer for this project at william.whelan@montgomerycountymd.gov or at (240) 777-2173.

Sincerely,

William Whelan

William Whelan, Engineer III
Development Review Team
Office to Transportation Policy

Sharepoint/transportation/director's office/development review/WhelanW/120250060 Rickman Property-PVB HQ-MCDOT review letter 040425.docx

cc: Sharepoint Correspondence Folder FY'25

cc-e:	Trevor Hughes	MHG
	Nicholas Peavy	MNCP&PC
	Kwesi Woodroffe	MDSHA District 3

March 19, 2025

Mr. Jeffrey Server, Planner III
Upcounty Planning Division
The Maryland-National Capital
Park & Planning Commission (M-NCPPC)
2425 Reddie Drive, Wheaton, MD 20902

Dear Mr. Server:

Thank you for the opportunity to review **Preliminary Plan 120250060** for the **Rickman Property – Potomac Valley Brick HQ development** located on Woodfield Rd (MD 124). The State Highway Administration (SHA) has reviewed the application and is pleased to respond.

Based on preliminary review of the application, SHA recommends approval of the Preliminary Plan. An Access Permit will be required for the reconstruction of the two (2) existing access points, relocation/ reconstruction of the proposed sidewalk and for the proposed storm drain connection in MD 124. A District Office (DO) Permit will be required for the water connection in MD 124.

The Applicant will be required to formally submit detailed engineering plans and supporting documentation to SHA, as part of the Access Permit process, so a comprehensive review can be performed.

If you have any questions or require additional information, please contact Mr. Kwesi Woodroffe at 301-513-7347, by using our toll free number (in Maryland only) at 1-800-749-0737 (x7347), or via email at kwoodroffe@mdot.maryland.gov.

Sincerely,



for Derek Gunn, P.E.
District Engineer, District 3, SHA

DG/kw

Cc: Trevor Hughes, MHG
Dylan Macro, MHG
Sandra Pereira, Montgomery County Planning Department
Deepak Somarajan, MCDOT



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

MEMORANDUM

March 27, 2025

TO: Jeffrey Server, Lead Reviewer
Development Review
Maryland National Capital Park and Planning Commission

FROM: Heidi Benham, Manager *HB*
Well and Septic Section
Department of Permitting Services

SUBJECT: Preliminary Plan – Rickman Property – Potomac Valley Brick HQ
120250060

This is to notify you that the Well & Septic Section of MCDPS recommends conditional approval of the subject Preliminary Plan. Approved with the following reservations:

- Any existing wells on the property must be properly sealed and abandoned by a licensed well driller. A Well Abandonment Report must be submitted to DPS prior to record plat approval.
- Any existing septic systems on the property must be properly abandoned. Documentation detailing the septic abandonment must be submitted to DPS prior to record plat approval.

If you have any questions, please contact Heidi Benham at (240) 777-6318.

Cc: Stephen Crum, MHG



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

February 7, 2025

Mr. Stephen Crum, P.E.
Macris, Hendricks, & Glasscock, P.A.
9220 Wightman Road, Suite 120
Montgomery Village, MD 20886

Re: **REVISED COMBINED PRELIMINARY AND
FINAL WATER QUALITY PLAN/SITE
DEVELOPMENT STORMWATER
MANAGEMENT PLAN** for
Montgomery Airpark Business Center
Preliminary Plan #: 120250060
SM File #: 282140
Tract Size/Zone: 2.3 Acres
Total Concept Area: 2.44 Acres
Lots/Block: N/A
Parcel(s): 860 and 925
Watershed: Great Seneca Creek. Upper Rock
Creek Special Protection Area

Dear Mr. Crum:

Based on a review by the Department of Permitting Services Review Staff, the Preliminary/Final Water Quality Plan/Inventory for the for the above-mentioned site **REVISION** is **acceptable**. The Preliminary/Final Water Quality Plan proposes to meet required stormwater management goals via Environmental Site Design and one Structural Device (CMP). This approval is for the elements of the Water Quality Plan of Which DPS has the lead agency and does not include limits on the imperviousness or buffer encroachments.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
2. This revision is approved to update the proposed site layout to agree to a new Preliminary Plan application (120250060) and supersedes the previous approval dated February 28, 2024.
3. An engineered sediment control plan must be submitted for this development.
4. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.
5. This approval supersedes the previous approval letters dated April 8, 2021 and February 28, 2024.

This list may not be all-inclusive and may change based on available information at the time.



2425 Reedie Drive, 7th Floor, Wheaton, Maryland 20902 | 240-777-0311
www.montgomerycountymd.gov/permittingervices

Mr. Crum
February 7, 2025
Page 2 of 2

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 **is not required**.

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Andrew Kohler at 240-777-6275.

Sincerely,

Mark Etheridge

Mark C. Etheridge, Manager
Water Resources Section
Division of Land Development Services

MCE: 282140

cc: N. Braunstein
SM File # 282140

ESD: Required/Provided 27,862 cf / 27,916 cf
PE: Target/Achieved: 2.00"/2.00"
STRUCTURAL: 2942 cf
WAIVED: N/A cf.



**Department of Permitting Services
Fire Department Access and Water Supply Comments**

DATE: 20-Mar-25
TO: Stephen Crum - scrum@mhgpa.com
Macris, Hendricks & Glascock
FROM: Marie LaBaw
RE: Rickman Property - Potomac Valley Brick HQ
120250060

PLAN APPROVED

1. Review based only upon information contained on the plan submitted **20-Mar-25**. Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

Macris, Hendricks and Glascock, P.A.
Engineers • Planners • Surveyors • Landscape Architects

9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279
Phone 301.670.0840
Fax 301.948.0693
www.mhgpa.com



Friday August 09, 2024 by *First Class Mail*

RE: Potomac Valley Brick Headquarter Project
18849 Woodfield Road Gaithersburg, MD 20879
Preliminary Plan Application Pre-Submission Community Meeting

Dear Neighbor:

On behalf of Potomac Valley Brick & Supply Co., the owner of the property and applicant (the “Applicant”), we cordially invite you to attend a virtual community outreach meeting to review development plans for the Potomac Valley Brick Headquarters. The site is located at 18849 Woodfield Road Gaithersburg, MD 20879. The property is zoned IL IL 1.0, H-50 and is approximately 6.30 acres. The Applicant proposes to construct three mix use buildings containing 14,400 SF of office, 3,286 SF of retail, 17,765 SF of warehouse/storage and 5,000 SF of light manufacturing. Total density is approximately 40,500 SF. The proposed development will improve the landscaping, parking, storm water management, and lighting on the site.

Date/Time of Virtual Meeting: Tuesday, August 27, 2024 at 7:00 PM¹.

Virtual Location: <https://meet.goto.com/MHGPAOffices/pvb>

Call in Number: 877 309 2073 **Conference ID:** 157-860-357

Presentation Available: on August 22 at
<https://spaces.hightail.com/space/ftt8KGwIMS/files>

Please note that if your computer does not have a microphone and you would like to provide comments during the meeting, you will need to use the call-in number provided above or through the GoTo Meeting comment box.

In compliance with the County’s Zoning Ordinance, a pre-submission community outreach meeting will be held to share our plans with you and give you an opportunity to provide input. At this meeting, the Applicant will discuss the proposal and answer any questions. The Applicant will be filing the Application with the Maryland-National Capital Park and Planning Commission (“M-NCPPC”) after the meeting. Once filed, the Application will be assigned an application number. For more information about the development review process, please contact M-NCPPC at 301-495-4610 or visit their website at www.montgomeryplanning.org. Because this meeting will be held virtually, we are asking you to provide your name and contact information to sgondal@mhgpa.com for the inclusion on the meeting attendee list.

If you would like to be added to the mailing list for future project updates, please note that when emailing your information to sgondal@mhgpa.com. Please provide your contact information by August 27th at 5:00 pm. You may also contact me at thughes@mhgpa.com.

We look forward to meeting with you (virtually) on August 27th. Thank you very much.

Sincerely,
Trevor Hughes
Project Manager

¹ You can join the meeting from your computer, tablet or smartphone. You can dial in using just your phone.



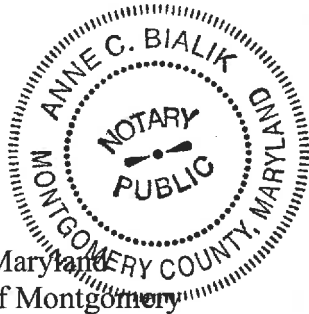
AFFIDAVIT OF PRE-SUBMISSION COMMUNITY MEETING

8/29/2024
Date

I hereby certify that a community meeting was held virtually on GoTo Meeting on Tuesday August 27th, 2024, 7pm-7:30pm in advance of the filing of the Preliminary Plan.

I solemnly affirm that the said community meeting was held in accordance with the Zoning Ordinance and that all community meeting guidelines, as set forth in the M-NCCPC's Development Review Manual, were followed.

Signed and dated this 29th day of August 2024.



[Signature]
Name: Trevor Hughes

Macris, Hendricks, & Glascock, P.A.
Company

State of Maryland
County of Montgomery

Subscribed and sworn to before me this 29th day of August, 2016.

My Commission Expires: 9-26-2025

[Signature]
Notary Public



MHG

CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
LAND PLANNING

9220 WIGHTMAN ROAD, SUITE 120
MONTGOMERY VILLAGE, MD 20886
301.670.0840
MHGPA.COM

**Rickman Property (Potomac Valley Brick)
18849 Woodfield Road, Gaithersburg
Preliminary Plan of Subdivision Application
Pre-Submission Community Meeting – Meeting Minutes**

August 27, 2024

Attachments:

- Affidavit of Pre-Submission Community Meeting
- Notice List for Pre-submission Community Meeting
- Invitation Letter for Pre-Submission Community Meeting
- List of Attendees (sign-in sheet) – No community members attended the meeting

A Pre-submission Community Outreach Meeting with neighbors and community representatives was held virtually on Tuesday, August 27, 2024 at 7:00 pm by Go To Meeting. The purpose of the meeting was to explain the proposed project, address questions and concerns about its impact on the community (if any) and notify those attending of their right to participate in the review process. The applicant invited all individuals on the Notice List by sending the Invitation Letter (see attached) and posted the required signs on the property.

A total of six (6) representatives of the Applicant Team attended. Various presentation materials were made available prior to the meeting on the project webpage and during the meeting (see attached). No members of the community attended the meeting.

The Applicant Team remained on the virtual meeting until approximately 7:30 pm

[Minutes prepared by Dylan Macro, MHG, P.A. for applicant]

Potomac Valley Brick Headquarter Project

18849 Woodfield Road Gaithersburg, MD 20879

Preliminary Plan Application

Pre-Submission Community Outreach Meeting Presentation

7PM, August 27, 2024



Architects:

Banta Campbell Architects, Inc.
10221 Wincopin Circle, Suite 210
Columbia, MD 21044
Contact: Mark D. Banta, AIA
Email: mbanta@bantacampbell.com
Phone: 410-290-9006



Civil Engineers/Planners/Landscape
Macris, Hendricks & Glascock, P.A. (MHG)
9220 Wightman Road
Montgomery Village, MD 20886
Contact: Trevor Hughes
Email: thughes@mhgmpa.com
Phone: 301-670-0840

General Background Information

- The subject property is approximately 6.30 acres located at 18849 Woodfield Road Gaithersburg, MD 20879 (Southeast quadrant of Airpark Road and Woodfield Road)
- The property is Zoned Warehouse IL 1.0, H-50 and is located within the Montgomery Village Overlay Zone.
- Applicant proposes to construct three mix use buildings containing 14,400 SF of office, 3,286 SF of retail (brick showroom for wholesale purposes), 17,765 SF of warehouse/storage and 5,000 SF of light manufacturing. The proposed development will improve the landscaping, parking, storm water management, and lighting on the site.
- Vehicular entrances to the site will remain as provided by the current two points of existing access along Woodfield Road.
- The applicant is Potomac Valley Brick & Supply Co.



Existing Conditions



South Entrance



North Entrance



Existing Conditions

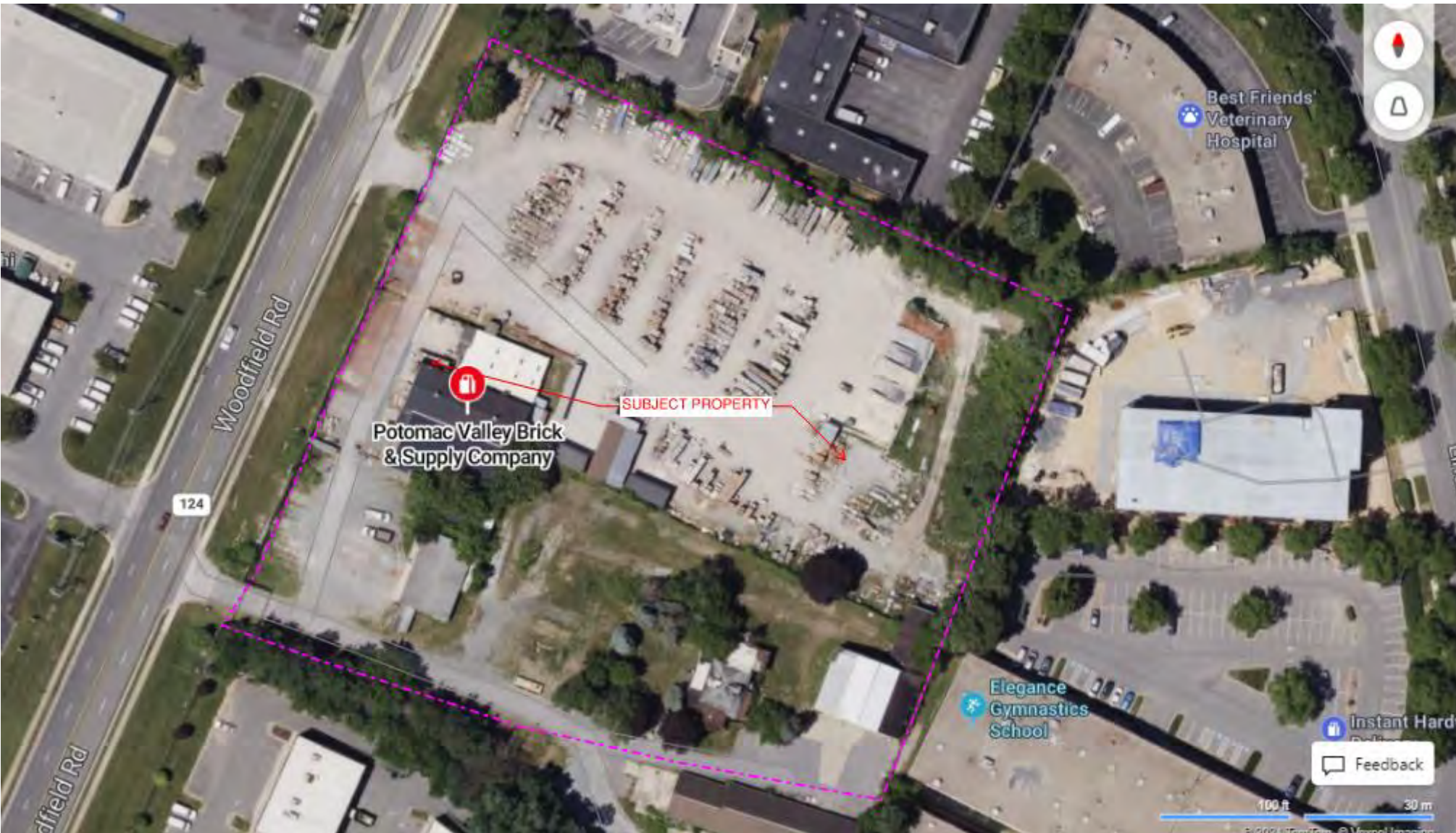


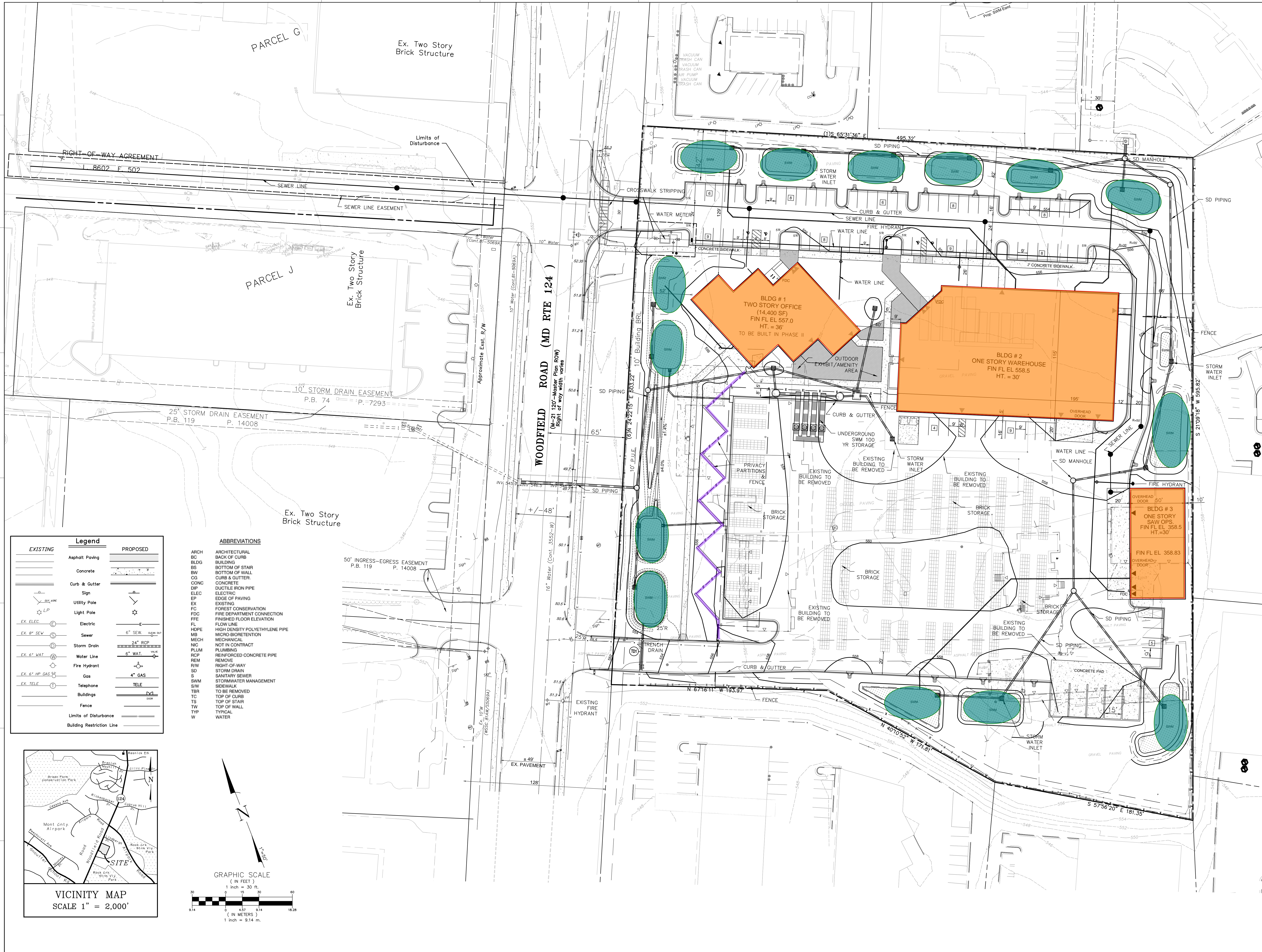
Existing Conditions

PV B
POTOMAC VALLEY BRICK

 **MHG**

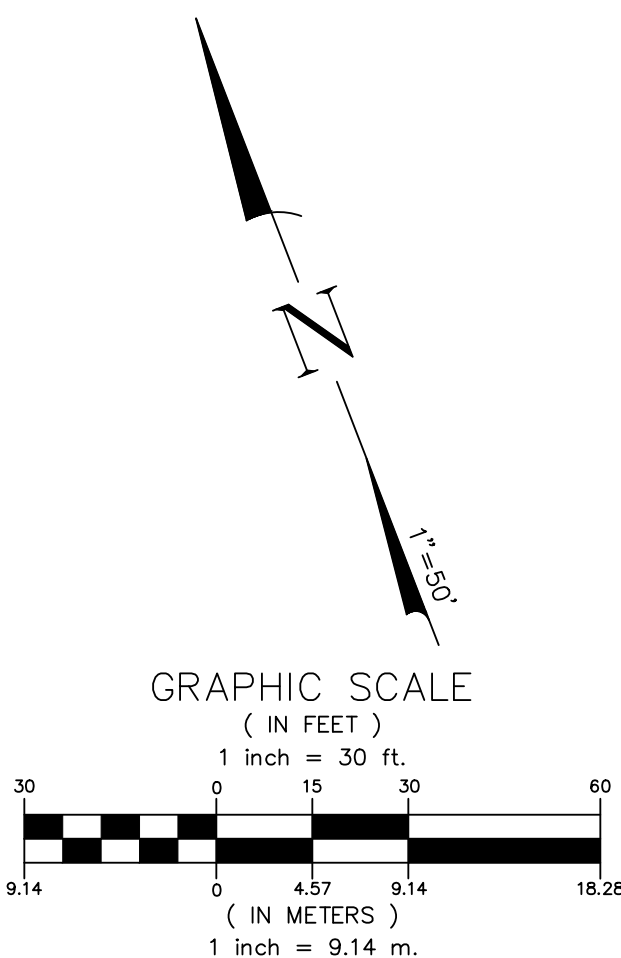
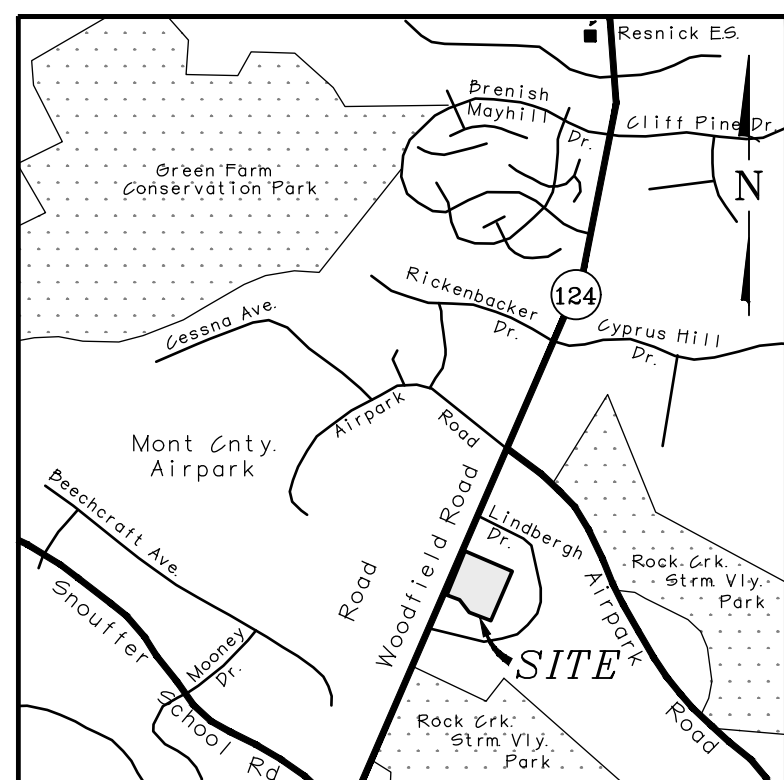
BCA
Banta Campbell
ARCHITECTS, INC.





Legend		
EXISTING		PROPOSED
	Asphalt Paving	
	Concrete	
	Curb & Gutter	
	Sign	
	Utility Pole	
	Light Pole	
	Electric	
	Sewer	
	Storm Drain	
	Water Line	
	Fire Hydrant	
	Gas	
	Telephone	
	Buildings	
	Fence	
	Limits of Disturbance	
	Building Restriction Line	

ABBREVIATIONS	
ARCH	ARCHITECTURAL
BC	BACK OF CURB
BLDG	BUILDING
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
CG	CURB & GUTTER
CONC	CONCRETE
DIP	DUCTILE IRON PIPE
ELEC	ELECTRIC
EP	EDGE OF PAVING
EX	EXISTING
FC	FOREST CONSERVATION
FDC	FIRE DEPARTMENT CONNECTION
FFE	FINISHED FLOOR ELEVATION
FL	FLOW LINE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
MB	MICRO-BIORETENTION
MECH	MECHANICAL
NIC	NOT IN CONTRACT
PLUM	PLUMBING
RCP	REINFORCED CONCRETE PIPE
REM	REMOVE
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
SS	SANITARY SEWER
SWM	STORMWATER MANAGEMENT
SW	TO BE REMOVED
TBR	TOP OF STAIR
TC	TOP OF WALL
TW	TYPICAL
W	WATER





POTOMAC VALLEY BRICK - SITE AERIAL NORTHWEST

Gaithersburg, Maryland

08/20/24





POTOMAC VALLEY BRICK - SITE AERIAL NORTH

Gaithersburg, Maryland

08/20/24





POTOMAC VALLEY BRICK - SITE AERIAL SOUTH

Gaithersburg, Maryland

08/20/24





POTOMAC VALLEY BRICK - SHOWROOM/WAREHOUSE

Gaithersburg, Maryland

08/20/24





POTOMAC VALLEY BRICK - OFFICE HEADQUARTERS BUILDING

Gaithersburg, Maryland

08/20/24



Anticipated Project Timeline

- | | |
|---------------------------------------|----------------------|
| •Initial Preliminary Plan Application | Early September 2024 |
| •Development Review Committee | October 2024 |
| •Planning Board Hearing | February 2025 |
| •Certified Preliminary Plan Approval | March 2025 |
| •Building Permit Issued | September 2025 |



Questions



Thank You For Participating

Thank you for participating

To be included in the “sign-in sheet” for the meeting, please e-mail Saadia Gondal at sgondal@mhgpa.com with “Potomac Valley Brick Headquarters” in the subject line. Please include the following information in your email:

Name: _____

Address: _____

Do you wish to receive future notices associated with this matter:
Yes or No



Rickman Property (Potomac Valley Brick) Pre Submission Community Meeting - August 27, 2024

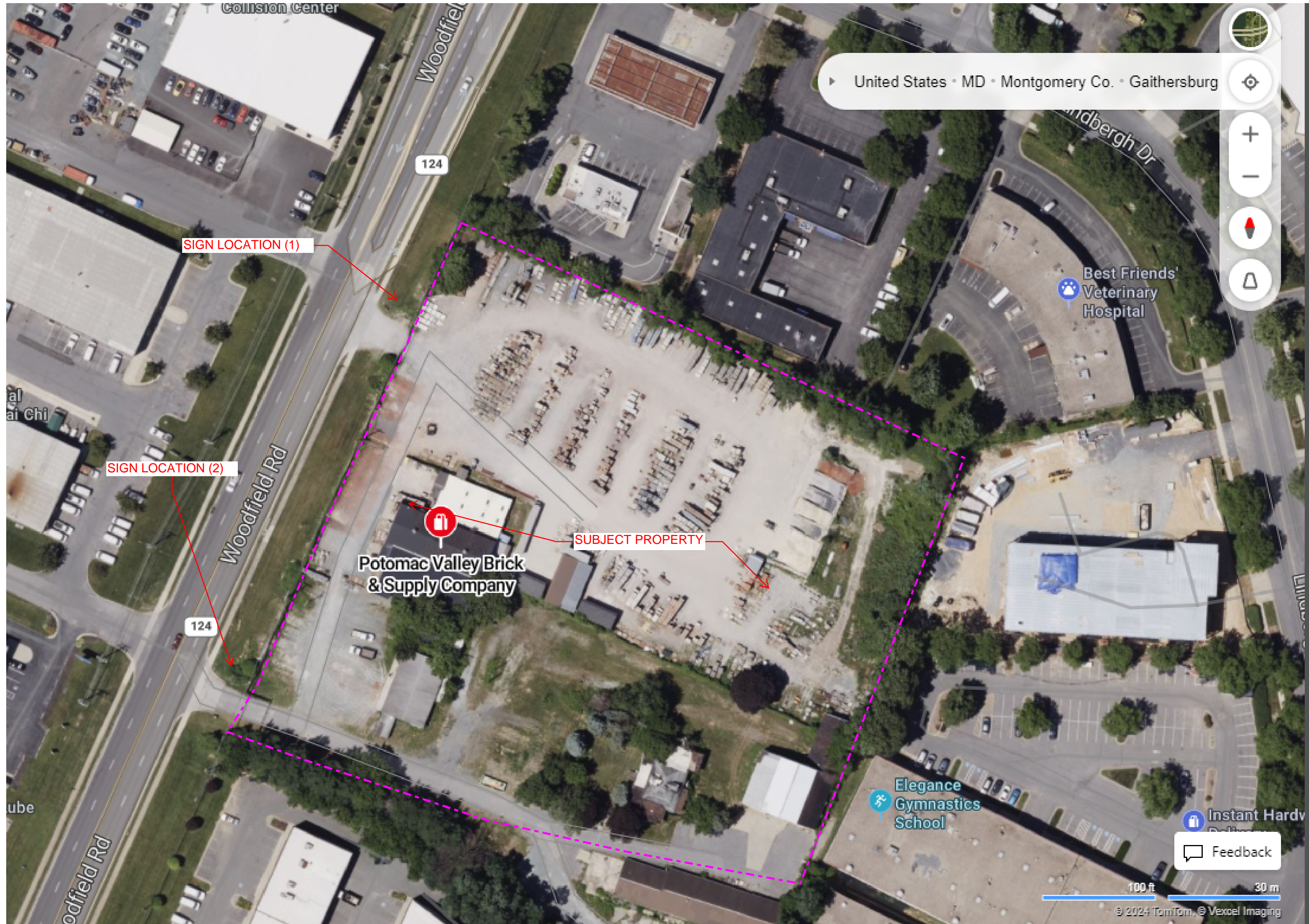
[illegible]

Jurisdiction Code	Parcel Account Number	Owner Name 1	Owner Name 2	Owner Address 1	Owner Address 2	Owner City	Owner State	Owner Zip
MONT	160100000192	AIRPARK PARCEL J LIMITED	LIABILITY COMPANY	4405 E WEST HWY STE 211		BETHESDA	MD	20814
MONT	160100002932	355 BRICK LLC		15810 INDIANOLA DR #100		ROCKVILLE	MD	20855
MONT	160100008335	RSW PROPERTIES LLC		3025 FRIENDS RD		ANNAPOLIS	MD	21401
MONT	160100004942	EUROPRO'S COLLISION CENTER INC		18930 WOODFIELD RD		GAITHERSBURG	MD	20879
MONT	160101762786	355 BRICK LLC		15810 INDIANOLA DR		ROCKVILLE	MD	20855
MONT	160102253345	AIRPARK PARCEL R LIMITED	LIABILITY COMPANY	4405 E WEST HWY STE 211		BETHESDA	MD	20814
MONT	160102915332	LHR INDUSTRIES LLC		7895 WALTON PKWY		NEW ALBANY	OH	43054
MONT	160101885136	RSW PROPERTIES LLC		3025 FRIENDS RD		ANNAPOLIS	MD	21401
MONT	160102796525	RSW PROPERTIES LLC		3025 FRIENDS RD		ANNAPOLIS	MD	21401
MONT	160100006941	TRIPLE D MANAGEMENT LLC		18940 WOODFIELD RD		GAITHERSBURG	MD	20879
MONT	160100000022	CASSIS JOHN D ET AL TR		701 HERITAGE OAKS BND		GEORGETOWN	TX	78633
MONT	160100009408	PAT DIAMONDIDIS L L C		C/O CHRIS DIAMONDIDIS	116 SEVERN RIVER RD	SEVERN PARK	MD	21146
MONT	160100006655	MONTGOMERY COUNTY REVENUE AUTHORIT		101 MONROE ST STE 410		ROCKVILLE	MD	20850
MONT	160101885342	RSW PROPERTIES LLC		3025 FRIENDS RD		ANNAPOLIS	MD	21401
MONT	160102253378	6K GSS LLC		PO BOX 71780		SALT LAKE CITY	UT	84171
MONT	160102253367	DAVEY TREE EXPERT COMPANY		1500 NORTH MANTUA ST		KENT	OH	44240

Association Name	Position	Name	Address 1	City	State	Zip
Carriage Walk Homeowners Association	Primary Contact - Owner	Contact Primary	18621 Carriage Walk Circle	Gaithersburg	MD	20878
Courts of Flower Hill Homeowners	Secretary	Agi Seaton	18609 Blue Violet Lane	Gaithersburg	MD	20879
Courts of Flower Hill Homeowners	Primary Contact - Owner	Almira A. Ryden	18625 Blue Violet	Gaithersburg	MD	20879
Courts of Flower Hill Homeowners	Vice-President	Amy Whittaker	8512 Calypso Lane	Gaithersburg	MD	20879
Courts of Flower Hill Homeowners	Treasurer	Catherine Boshart	18741 Blue Violet Lane	Gaithersburg	MD	20879
Courts of Flower Hill Homeowners Assn	Administrative Agent	Courts of Flower Hill	8100 Mt. Laurel Lane	Gaithersburg	MD	20879
Cypress Run Homeowner Association	Primary Contact - Owner	Paula Eardley	19324 Cypress Hill Way	Gaithersburg	MD	20879
Cypress Run Homeowners Association	Administrative Agent	Heidi Oliver	18401 Woodfield Road	Gaithersburg	MD	20879
Cypress Run Homeowners Association	Management Contact	Kimberly Hanger	18401 Woodfield Road	Gaithersburg	MD	20879
East County Citizens Advisory Board	Chair	Rachel Evans	3300 Briggs Chaney Road	Silver Spring	MD	20904
Edinburgh Village Homeowners Association	Management Contact	Heidi Oliver	18401 Woodfield Road	Gaithersburg	MD	20879
Edinburgh Village Homeowners Association	Primary Contact - Owner	Robert Mower	3707 Martin's Dairy Circle	Olney	MD	20832
Estates at Pope Farm HOA Inc	Administrative Agent	Haura Marafie	3833 Farragut Avenue	Kensington	MD	20895
Estates at Pope Farm HOA Inc	Primary Contact - Owner	John Randall	7106 Intrepid Lane	Gaithersburg	MD	20879
Estates at Pope Farm Homeowners Assn Inc	Property Manager	Tim Pearson	1375 Piccard Drive, Suite 210	Rockville	MD	20850
Flower Hill Central Corporation	President	Andrew Oxendine	8100 Mountain Laurel Lane	Gaithersburg	MD	20879
Greater Shady Grove Civic Alliance	President	Carol Kosary	7416 Needwood Road	Derwood	MD	20855
Hadley Farms Community Association	Management Contact - Aba	Alena Proctor	7811 Montrose Road	Potomac	MD	20854
Hadley Farms Community Association Inc	Treasurer	Sheila Vicenzi	19710 Boxberry Drive	Gaithersburg	MD	20879
Hallmark Homeowners Association	Primary Contact - Owner	Sherry Goines	8140 Hallmark Place	Gaithersburg	MD	20879
Kimberleigh I at Flower Hill HOA		Barbie Zumbraw	8220 Hedge Apple Way	Gaithersburg	MD	20879
Kimberleigh II At Flower Hill	President	Scott Sherman	18565 Mountain Laurel Terrace	Gaithersburg	MD	20879
Laytonia Homeowners Association	Management Contact	April Steward	18401 Woodfield Road	Gaithersburg	MD	20879
Laytonia Homeowners Association	Owner	Bonnie Dean	7539 Laytonia Dr.	Gaithersburg	MD	20877
Laytonia Homeowners Association	Administrative Agent	Gilma Marquinez	18401 Woodfield Road	Gaithersburg	MD	20879
Laytonia Homeowners Association	Primary Contact - Owner	Michael Granston	2908 McComas Avenue	Kensington	MD	20895
Mill Creek Forest Community Association	Primary Contact / Admin Ag	Lori Bryan	P.O. Box 2111	Gaithersburg	MD	20886
Montgomery County Civic Federation	Co-President	Alan Bowser	alan.bowser@gmail.com			
Montgomery County Renters Alliance Inc.	Executive Director	Matt Losak	matlosak@rentersalliance.org			
Montgomery County Taxpayers League	President	Edward Amatetti	info@mctaxpayersleague.org			
Montgomery Manor Homeowners Association	President	Christine Seebold	Box 7056	Gaithersburg	MD	20898
Montgomery Manor Homeowners Association	Association Manager Tidew	Kathrina Nguyen	12200 Tech Road #325	Silver Spring	MD	20904
Northern Montgomery County Alliance	Chair	Julius Cinque	22300 Slidell Road	Boyd's	MD	20841
Oakwood HOA Inc [Flower Hill]	Treasurer	Ankur Ponda	8024 Sugarberry Court	Gaithersburg	MD	20879
Oakwood HOA Inc [Flower Hill]	Primary Contact - Owner	Paul Rohwe	12327 Cherry Branch Drive	Clarksburg	MD	20871
Oakwood HOA Inc [Flower Hill]	Administrative Agent	Trisha Boekhoudt	8010 Sugarberry Court	Gaithersburg	MD	20879
Overbrook at Flower Hill HOA	President	Michael Grainger	8100 Mountain Laurel Lane	Gaithersburg	MD	20879
Park Terrace Homeowners Association	President	Ron Moore	18319 Honeylocust Circle	Gaithersburg	MD	20879
Parkside at Flower Hill HOA	Administrative Agent	Primary Contact	8100 Mountain Laurel Lane	Gaithersburg	MD	20879
Parkside At Flower Hill HOA	President	Simon Rodriguez	23 Mountain Laurel Court	Gaithersburg	MD	20879
Rosewood Residences at Flower Hill: a Co	Primary Contact - Owner	Rosewood Residences	18334 Streamside Drive	Gaithersburg	MD	20879
Rosewood Residences Flower Hill Condo	Primary Contact - Owner	Raya Mahabir	18330 Streamside Drive, Apt 301	Gaithersburg	MD	20879
Rosewood Residences Flower Hill Condo	Administrative Agent TMC	Steve Leskowitz	The Management Group Associates	Germantown	MD	

Sierra Club - Montgomery County Group	ExCom Member	Al Carr	alfred.carr@gmail.com			
Sierra Club - Montgomery County Group	Treasurer	Jennifer Rossmere	P O Box 4024	Rockville	MD	20849
Summer Ridge Condominium	Administrative Agent	Delphine Matthews	3414 Morningwood Drive	Olney	MD	20832
Summer Ridge Condominium	Second Owner	Ilene Movshin	7906 Pearlbrush Drive #201	Gaithersburg	MD	20879
Summer Ridge Condominium	Primary Contact - Owner	William Moser	18405 Guildberry Drive, #202	Gaithersburg	MD	20879
Summit Management	Management Contact	Evelyn Diaz	3833 Farragut Avenue	Kensington	MD	20895
Westwind Homeowners Association	President	Chakalis Lynda	18440 Gardenia Way	Gaithersburg	MD	20879
Willow Wood Condominium	Primary Contact - Owner	Mary Sokolowski	7919 Coriander Drive, #303	Gaithersburg	MD	20879
Willow Wood Condominium	Management Contact	Scott Wertlieb	12041 Bournefield Way	Silver Spring	MD	20904
Willow Wood Condominium	Administrative Agent	Administrator	7911 Coriander Drive	Gaithersburg	MD	20879
MNCPPC - Intake			2425 Reedie Drive	Wheaton	MD	20902
MHG	Trevor Hughes	9220 Wightman Road	Suite 120	Montgomery Village	MD	20886

NOTICE SIGN LOCATION PLAN
POTOMAC VALLEY BRICK
18849 Woodfield Rd, Gaithersburg, MD 20879



graphcom

1219 Chambersburg Rd Gettysburg, PA 17325

Montgomery County

Application for Development Sign

Affidavit of Sign Posting

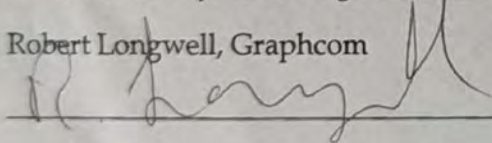
Applicant: Macris, Hendricks & Glascock, P.A.

Subject Property Address: 18849 Woodfield Rd, Gaithersburg, MD 20879

I have posted the Development Application signs on the above named property in accordance with the required Zoning Ordinance, which has been provided to me. The signs were posted on 8/12/24 and photographs are attached with this form.

I solemnly affirm under penalty of perjury that the contents of this affidavit are true and correct to the best of my knowledge and belief.

Robert Longwell, Graphcom



Date:

Aug 13, 2024

(Signature)

Witnesses before me on this date:

8/13/24

Notary for the State of: Maryland County of: Frederick

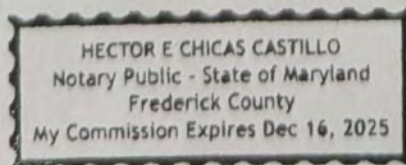
My commission expires on:

12/16/2025

Date

8/13/24

(Signature)





Aug 12, 2024 11:45:57 AM
18930 Woodfield Road
Gaithersburg
Montgomery County
Maryland

**NOTICE OF PRE-SUBMITTAL COMMUNITY
MEETING FOR:**

Potomac Valley Brick Headquarter Project

To Discuss a Preliminary Plan application for development of three mix use buildings containing 14,400 SF of office, 3,286 SF of retail, 17,765 SF of warehouse/storage and 5,000 SF of light manufacturing. Total density is approximately 40,500 SF. Property is zoned IL 1.0, H-50 with a site area of 6.30 acres.

Date/Time: Tuesday, August 27, 2024 at 7:00 PM

Virtual Location: <https://meet.goto.com/MHGP2024/gvb>

Dial In: 877 309 2073 Meeting ID: 157-860-357

Presentation slides available: on August 22 at

<https://spaces.hightail.com/space/ftt8KGwIM5/files>

Applicant: Potomac Valley Brick & Supply Co.

For Comments / Questions Contact: Trevor Hughes with MHG
thughes@mhga.com or 301.670.0840

Aug 12, 2024 11:33:13 AM
18830 Woodfield Road
Gaithersburg
Montgomery County
Maryland



CONDITION

Adequate Public Facilities and Outside Agencies

1. The Adequate Public Facility ("APF") review for the Preliminary Plan will remain valid for eighty-four (84) months from the date of mailing of this Planning Board Resolution, according to the following development schedule as shown on the Certified Preliminary Plan:

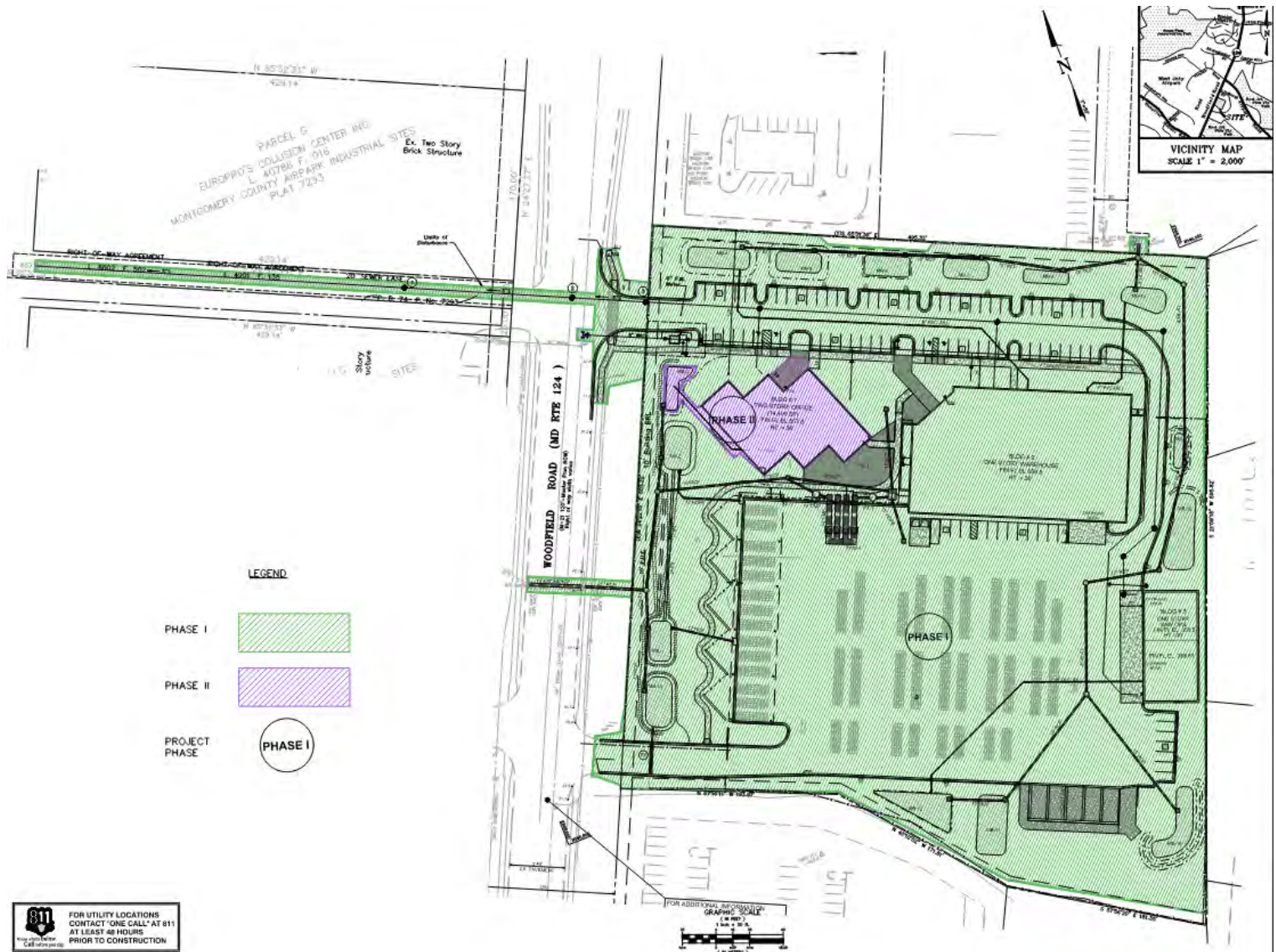
Phase I – Within 60 months.

Construction of Site Plan and Landscaping Plan.

Phase II – Within 120 months

Construction of a two-story office building and accommodation walkways and Storm Water Management Facility.

The Phasing Plan graphically shows Phase I development, shaded in green below, and Phase II development in purple.



FINDING

1. Adequate Public Facility Validity Extension Request

The Applicant is requesting an extended Adequate Public Facilities Validity period for 10 years (120 months) instead of the typical 5 years (60 months).

Under Section 50.4.3.J.5.iv, an Adequate Public Facilities determination shall be valid “for no less than 5 and no more than 10 years after the preliminary plan is approved, as determined by the Board when it approved the plan, for any plan approved after July 31, 2007, and before April 1, 2009, or after March 31, 2017.” As such, the Applicant’s request is within the allowable validity time period under the Subdivision Regulations.

The Subdivision Regulation continues under Section 50.4.3.5.b:

“If an applicant requests a longer validity period than the minimum specified in 5.a, the applicant must submit a development schedule or phasing plan for completion of the project in the Board for its approval.

- i. At a minimum, the proposed development schedule or phasing plan must show the minimum percentage of the project that the applicant expects to complete in the first 5 or 7 years, where is the applicable minimum, after the preliminary plan is approved.*

The phasing plan indicates that Phase I will be completed within the first 5 years, which includes the construction of the warehouse and showroom building, saw operations building, landscaping, and site plan work. The two-story office building and its corresponding walkways and storm water management facilities will be constructed within the next phases as specified below in Table 5.

Table 5 – Adequate Public Facilities Phasing

Phase	Benchmark (See Conditions of Approval for triggers)	Duration
Phase I	Construction of Landscape and Site Plan <ul style="list-style-type: none">• Construction of Sewer Extension Plan.• Frontage sidewalk and entrance improvements.• Warehouse & Saw Cut Operations building• Storm water management facilities• Parking lot and brickyard• Landscaping	60 months (5 years)
Phase II	Construction of a two-story office building and accommodation walkways and Storm Water Management Facility.	120 month

- ii. *To allow a validity period longer than the specified minimum, the Board must find that the size or complexity of the subdivision warrant the extended validity period and would not be adverse to the public interest. The Board must condition a validity period longer than the specified minimum on adherence to the proposed development schedule or phasing plan, and may impose other improvements or mitigation conditions if those conditions are needed to assure adequate levels of transportation or school service during the validity period.*

Staff is recommending approval of the Applicant's request for five additional years of APF validity to complete the construction of the proposed development. Due to the nature of the Applicant, a small business, the complexity of constructing Phase I will take up the Applicant's maximum attention and financial ability. The Applicant seeks an additional 5 years to thoughtfully finalize the interior space design, gather financial capability, and to construct the 2-story office building.

September 10, 2024

Maryland National Capital Park & Planning Commission
2425 Reedie Drive
Wheaton, MD 20902

Re: Rickman Property
MHG Project No. 08.167.43
F20250160

To Whom It May Concern:

On behalf of the applicant of the above referenced Forest Conservation Plan, we hereby request a variance from Section 22A-12.b(3)(C) of the Montgomery County Code, Chapter 22A for the impact of two and removal of one specimen trees, as required by the Maryland Natural Resources Article, Title 5, Subtitle 16, Forest Conservation, Section 5-1611, and in accordance with Chapter 22A-21(b) of the Montgomery County Code. The proposed removal/impacts of three trees thirty inches satisfies the variance application requirements.

1. *Describe the special conditions peculiar to the property which would cause the unwarranted hardship;*

The total property area subject to the associated forest conservation plan includes 6.15 acres and is a developed property and is being used for brick and paver sales. The property is proposed to be completely redeveloped and proposes removing the one specimen tree on-site (#5) and impacting two specimen trees (#1 and #6) that are just off-site. One specimen tree (#5) is on the edge of the existing developed area with its roots within the materials storage area. The proposed relocation of the entrance to the property aligns with an adjacent access road on the other side of Woodfield Road making it ideal for ingress/egress safety. In addition, a new sewer connection is necessary and must exit the site at this location to go down the off-site sewer easement across Woodfield Road. For both of these reasons impacts to tree #5 cannot be avoided and it must be removed. Trees #1 and #6 are both just off-site and are impacted by the construction for stormwater management facilities and grading. Stormwater inherently flows outward from a site from the proposed impervious areas. Tree #1 has on-site existing paved areas within its critical root zone that run along the property line that must be removed to make room for a stormwater facility and remove unnecessary paved areas that are in disrepair. Impacts to both trees #1 and #6 have been minimized and will be mitigated with stress reduction measures.

For all of the above reasons, not allowing the proposed removals and impacts would be a hardship that is not warranted.

2. *Describe how enforcement of these rules will deprive the landowner of rights commonly enjoyed by others in similar areas;*

The landowner's rights to develop their property as is done by others in similar areas would be deprived by not allowing the removal and impacts to the subject trees. As detailed above, the removal and impacts are unavoidable in order to develop the property to meet the needs of the redevelopment. The inability to remove and impact the subject trees would limit the development of the property. This creates a significant disadvantage for the applicant and deprives the applicant of the rights enjoyed by the neighboring and/or similar properties not subject to this approval process.

3. *Verify that State water quality standards will not be violated or that a measurable degradation in water quality will not occur as a result of the granting of the variance;*

A Stormwater Management Concept has been prepared for the proposed improvements. Stormwater treatment is provided by multiple micro-bioretenement facilities. Currently there is no stormwater treatment on-site therefore the redevelopment offers an improvement in water quality leaving the site. The required ESD volume treatment is proposed to be met over the requirement. The stormwater management concept plan confirms that the goals and objectives of the current state water quality standards are being met.

4. *Provide any other information appropriate to support the request.*

Mitigation will be provided for all specimen trees to be removed and stress reduction measures for the impacted trees. A copy of the Forest Conservation Plan and a variance tree spreadsheet has been provided as part of this variance request. Please let us know if any other information is necessary to support this request.

Please contact me via email, at fjohnson@mhgpa.com, or by phone, at (301) 670-0840 should you have any additional comments or concerns.

Thank you,

Frank Johnson

Frank Johnson

VARIANCE TREE IMPACT TABLE

Tree ID#	DBH	Botanical Name	Common Name	% Impacted	Condition	Mitigation
1	34	Platanus occidentalis	Sycamore	31	Good	stress reduction measures
6	30	Prunus serotina	Black Cherry	29	Fair/Poor	stress reduction measures

VARIANCE TREE REMOVAL TABLE

Tree ID#	DBH	Botanical Name	Common Name	% Impacted	Condition	Mitigation
5	30	Quercus rubra	Red Oak	100	Fair/Good	30"

30" removed/4 = 7.5" to be met via 3 trees at 3"dbh