13741 & 13751 TRAVILAH RD. PRELIMINARY/FINAL FOREST CONSERVATION PLAN F20250360

Attachment A

GENERAL NOTES

L. TOTAL TRACT AREA OF PROPERTIES LISTED BELOW IS 10.75 ACRES.

LOT/PARCEL	BLOCK	TAX ACCT. NO.	LIBER & FOLIO	PLAT. NO.
P709	-	.00399300	L. 5066/ F. 003	-
OWNER:	THOMAS	S. BLACKMAN		
	13741 TR	AVILAH ROAD		
	ROCKVILL	E, MD 20850		
P804	-	.00389265	L. 4031 / F. 327	-
OWNER:	DANNY LE	E HURST		
	5991 LAD	D CT., APT. H		
	FREDERIC	K, MD 21703		
OWNER:	SUE ANN	ENNIS		
	13741 TR	AVILAH ROAD		
	ROCKVILL	E, MD 20850		
N765	-	.00405195	L. 1158/ F. 243	-
OWNER:	MARK A.	IOHNSON		
	13751 TR	AVILAH ROAD		
	ROCKVILL	E, MD 20850		

- THE SUBJECT SITE IS ZONED RE-2 UNDER THE POTOMAC SUBREGION MASTER PLAN AND REGULATIONS OF MONTGOMERY COUNTY, MD.
- 3. THE HORIZONTAL DATA IS BASED ON NAD 83 MARYLAND COORDINATE SYSTEM. THE VERTICAL DATUM IS BASED ON NGVD29 DATUM.
- TOPOGRAPHIC INFORMATION BASED ON AERIAL MAPPING PROVIDED BY NOR EAST MAPPING, INC. DATED JANUARY 16, 2008 AND FIELD VERIFIED BY VIKA MARYLAND LLC.
- THE SUBJECT PROPERTY IS LOCATED IN THE SANDY BRANCH SUBWATERSHED OF THE WATTS BRANCH WATERSHED. SANDY BRANCH IS A MARYLAND STATE-DESIGNATED USE I-P STREAM.
- 5. THIS SITE IS NOT LOCATED WITHIN A SPA OR PMA.
- 7. A TRIBUTARY TO SANDY BRANCH OCCURS IN THE SOUTHERN SECTION OF THE SITE. THE ONSITE STREAM IS A SOUTHWEST-FLOWING, PERENNIAL STREAM. PART OF THE STREAM RUNS THROUGH A FORMER IN-LINE POND WHICH IS NO LONGER IMPOUNDED. THE NORTHERN SIDE OF THE STREAM WAS FLAGGED AND SURVEY-LOCATED AS SHOWN ON THE PLAN. SEE ADDITIONAL DETAILS IN THE SITE DESCRIPTION AND LOCATIONS ON THE PLAN.
- A SMALL WETLAND WAS DELINEATED ON THE NORTH SIDE OF THE STREAM AS SHOWN ON THE PLAN. ADDITIONAL WETLANDS WERE IDENTIFIED ON THE SOUTH SIDE OF THE STREAM, THE ESTIMATED LIMITS OF WHICH ARE SHOWN ON THE PLAN.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 24031C0328D, FOR MONTGOMERY COUNTY, MARYLAND, DATED SEPTEMBER 29, 2006.
- 10. A LETTER FROM DNR DATED MARCH 18, 2022 STATES THAT NO OFFICIAL RECORDS FOR STATE OR FEDERAL LISTED, CANDIDATE, PROPOSED, OR RARE PLANT OR ANIMAL SPECIES WERE FOUND FOR THE PROJECT AREA. NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED DURING FIELD WORK.
- 11. THE SUBJECT PROPERTY IS NOT IDENTIFIED IN THE MONTGOMERY COUNTY HISTORIC PRESERVATION ON-LINE MAPPER (HTTP://WWW.MONTGOMERYPLANNING.ORG /GIS/INTERACTIVE/HISTORIC.SHTM), ACCESSED ON NOVEMBER 11, 2021.
- 12. TWO FOREST STANDS WERE IDENTIFIED AS SHOWN AND DESCRIBED ON THIS PLAN. ADDITIONAL FOREST OCCURS ALONG THE SOUTHERN PROPERTY BOUNDARY THAT EXTENDS OFFSITE. THE FOREST STAND DELINEATION DATA AND SUMMARY DESCRIPTIONS ARE SHOWN ON THIS PLAN.
- 13. THE SIGNIFICANT AND SPECIMEN TREES IDENTIFIED WITHIN THE NRI/FSD STUDY AREA ARE SHOWN ON THE NRI/FSD PLAN AND TREE TABLE.
- 14, NO CHAMPION TREES OR TREES 75% OF THE STATE CHAMPION WERE IDENTIFIED ON THE SUBJECT PROPERTY OR WITHIN THE NRI/FSD STUDY AREA.
- 15. FIELD WORK WAS CONDUCTED BY VIKA MARYLAND, LLC STAFF DNR QUALIFIED PROFESSIONAL MARION BUNDENS AND SHAWN GRIMM ON 2/2/2022, 2/20/2022, AND ON 3/1/2022. A DIAMETER TAPE WAS USED TO MEASURE TREES. TREES SHOWN WERE EITHER SURVEY LOCATED OR ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON VISUAL OBSERVATIONS. EXISTING VEGETATION INFORMATION ASSOCIATED WITH THIS PROPERTY IS AS SHOWN ON THIS PLAN.
- 16. A TREE VARIANCE HAS BEEN REQUESTED WITH THIS PLAN FOR SPECIMEN TREES TO BE IMPACTED OR REMOVED. SEE THE SPECIMEN TREE VARIANCE TABLE THIS SHEET FOR DETAILS. THIS PLAN PROPOSES 149 INCHES OF REPLACEMENT NATIVE SHADE TREES. THEREFORE, TO FURTHER ENHANCE THE SVB, THIS PLAN PROPOSES MEETING THE MITIGATION REQUIREMENT BY PLANTING FOREST ON AN ADDITIONAL 0.28 ACRES OF SVB.

NOT FOR CONSTRUCTION

excavator is responsible for compliance with requirements of Chapter

YOUT: 02-FCP-F20250360-001, Plotted By: mcrowell

36A of the Montgomery County Code.

FCP WORKSHEET-WITHIN SAME PRIORITY WATERSHED, SPA OR PMA

NET TRACT AREA:

- A. Total tract area ..
- B. Additions to tract area (Off-Site Work, etc.; construction required by this plan)...
- C. Land dedication acres (parks, county facility, etc.) .. D. Land dedication for roads or utilities (construction not required by this plan) ...
- E. Area to remain in commercial agricultural production/use ...
- F. Other deductions (specify)
- G. Net Tract Area ...

LAND USE CATEGORY: (from Chapter 22A-3. Definitions) Input the number "1" under the appropriate land use, limit to only one entry.

innit to only	one entry	•				
ARA O	CDR 0	MDR 1	ida 0	HDR 0	MPD 0	CIA 0
station Thresl vation Thresh				20% 35%	x G = x G =	

EXISTING FOREST COVER:

- I. Existing forest cover
- J. Area of forest above afforestation threshold= K. Area of forest above conservation threshold=

BREAK EVEN POINT

- L. Forest retention above threshold with no mitigation= M. Clearing permitted without mitigation
- **PROPOSED FOREST CLEARING:**
- N. Total area of forest to be cleared
- O. Total area of forest to be retained=
- PLANTING REQUIREMENTS:
- P. Reforestation for clearing above conservation threshold=
- Q. Reforestation for clearing below conservation threshold= R. Credit for retention above conservation threshold=
- S. Total reforestation required
- T. Total afforestation required=
- U. Credit for landscaping (may not be used to meet reforestation requirement if project is located outside an Equity Focus Area (EFA). For projects within EFA, may not exceed 20% of "S")=
- V. Total reforestation and afforestation required=

FCP WORKSHEET-OUTSIDE SAME PRIORITY WATERSHED, SPA OR PMA

NET TRACT AREA:

- A. Total tract area ..
- B. Additions to tract area (Off-Site Work, etc.; construction required by this plan)... C. Land dedication acres (parks, county facility, etc.) ..
- D. Land dedication for roads or utilities (construction not required by this plan) ...
- E. Area to remain in commercial agricultural production/use ...
- F. Other deductions (specify)
- G. Net Tract Area

LAND USE CATEGORY: (from Chapter 22A-3. Definitions) Input the number "1" under the appropriate land use,

limit to only	one entry					
ara 0	cdr 0	MDR 1	ida 0	HDR 0	MPD 0	CI
Afforestation Thres Conservation Thres				20% 35%	x G = x G =	

EXISTING FOREST COVER:

- I. Existing forest cover J. Area of forest above afforestation threshold=
- K. Area of forest above conservation threshold=

BREAK EVEN POINT:

- L. Forest retention above threshold with no mitigation=
- M. Clearing permitted without mitigation=
- **PROPOSED FOREST CLEARING** N. Total area of forest to be cleared
- O. Total area of forest to be retained ...

PLANTING REQUIREMENTS:

- P. Reforestation for clearing above conservation threshold=
- Q. Reforestation for clearing below conservation threshold=
- R. Credit for retention above conservation threshold= S. Total reforestation required
- T. Total afforestation required ...
- U. Credit for landscaping (may not be used to meet reforestation requirement if project is located outside an Equity Focus Area (EFA). For projects within EFA, may not exceed 20% of "S")=
- V. Total reforestation and afforestation required= ALL REQUIRED FOREST PLANTING IS PROVIDED ONSITE
- **"FOR LOCATION OF UTILITIES CALL** 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.ne 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with undergroun facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The

SOILS TABLE

10.75

0.25

0.00

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11.00

2.20 3.85

0.48

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1.72

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1.80

10.75

0.25

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11.00

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3.85

0.48

0.00

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0.00

0.04

0.44

0.00

0.09

0.00

0.09

1.72

0.00

1B	GAILA SILT LOAM 3-8% SLOPES	YES				
10				NO	5% MINOR COMPONENT ONLY	В
1C	GAILA SILT LOAM 8-15% SLOPES		YES	NO	5% MINOR COMPONENT ONLY	В
35B	CHROME & CONOWINGO 3-8% SLOPES	NO	NO	NO	NO	C/D
116D C	BLOCKTOWN CHANNERY SILT LOAM 15-25% SLOPES	NO	NO	NO	5% MINOR COMPONENT ONLY	D

AFFORESTATION/RESOURCE DATA TABLE

AFFORESTATION/REFORESTATION REQUIRED	1.80
PROPOSED FOREST PLANTING AREA (CATEGORY I EASEMENT)	2.15
PROPOSED FOREST PLANTING AREA (CATEGORY II EASEMENT)	0.00
PROPOSED TREE PLANTINGS 20 YR. CANOPY CREDIT	0.00
SAVED EXISTING CRITICAL ROOT ZONE CREDIT	0.00
LANDSCAPE AREAS AT FULL CREDIT	0.00
LANDSCAPE AREAS AT 1/4 CREDIT	0.00
TOTAL PROPOSED LANDSCAPE CREDIT	0.00
PROPOSED FEE-IN-LIEU	0.00
TOTAL CREDITS	2.15
REMAINING REQUIREMENT (OR EXCESS PLANTING IF NUMBER IS NEGATIVE)	-0.35

FOREST CONSERVATION DATA TABLE

	Number of Acres		
Tract	10.75		
Remaining in Agricultural Use	-		
Road & Utility ROWs ¹	-		
Total Existing Forest	0.48		
Forest Retention	0.44		
Forest Cleared	0.04		
Land Use & Thresholds ²			
Land Use Category	MDR	ARA, MDR, IDA, HDR, M	/IDP, or CIA.
Conservation Threshold	35%	percent	
Afforestation Threshold	20%	percent	
	Total Channel	Average Buffer	
	Length (ft.)	Width (ft.) ³	
	140	100'-125'	
Stream(s)	448	100-125	
Stream(s) Acres of Forest in	Retained	Cleared	Planted
			Planted
Acres of Forest in	Retained	Cleared	Planted
Acres of Forest in Wetlands	Retained	Cleared -	
Acres of Forest in Wetlands 100-Year Floodplain	Retained 0.31	Cleared - -	
Acres of Forest in Wetlands 100-Year Floodplain Stream Buffers	Retained 0.31 - 0.44	Cleared - - - development applicatio	1.7

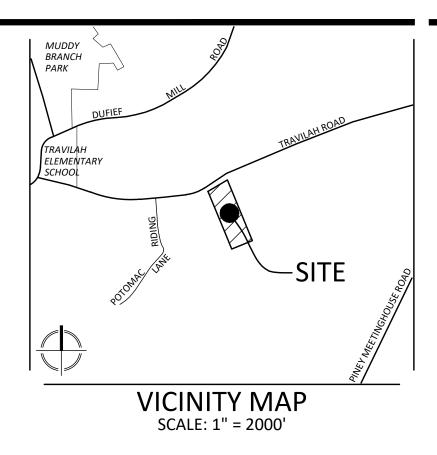
FOREST CONSERVATION SUMMARY

	SF	AC
FOREST RETENTION AREA	19,258	0.44
AFFORESTATION AREA	93,759	2.15
TOTAL CAT. I AFFORESTATION	93,759	2.15
TOTAL OF ALL EASEMENTS	113,017	2.5
NOTE: DISCREPANCIES IN AC. COLUMN	TOTALS ARE DUE TO	C
ROUNDING CONVERSIONS FROM FROI	M SF TO AC.	

RESOURCE DATA TABLE

	ACRES
ACREAGE OF TRACT (GROSS TRACT AREA)	10.75
ACREAGE OF TRACT REMAINING IN AGRICULTURAL USE	0.00
ACREAGE OF TOTAL EXISTING FOREST	0.48
ACREAGE OF 100-YR FLOODPLAINS	0.00
ACREAGE OF FOREST W/IN 100-YR FLOODPLAINS	0.00
ACREAGE OF WETLANDS	0.034
ACREAGE OF FOREST WITHIN WETLANDS	0.034
ACREAGE OF ENVIRONMENTAL BUFFERS	2.17
ACREAGE OF FOREST WITHIN ENVIRONMENTAL BUFFERS	0.42
LINEAR FEET AND AVERAGE WIDTH OF	Linear Feet: 448 lf
ENVIRONMENTAL BUFFER PROVIDED	Average Width:
(EACH SIDE OF STREAM)	100'-125'

0.00 1.81



SIGNIFICANT / SPECIMEN TREE TABLE

TREE NO.	BOTANICAL NAME	COMMON NAME	DBH*	VARIANCE TREE	CONDITION	CRZ** (SF)	CRZ** IMPACT (SF)	CRZ** IMPACT (%)	DISPOSITION
1	Quercus alba	White oak	42.5"		Good	12,768	0	0	SAVE
2	Quercus alba	White oak	30.0''		Fair	6,362	0	0	SAVE
14	Platanus occidentalis	American sycamore	30.1''	X	Good	6,404	6,404	100	REMOVE
15	Platanus occidentalis	American sycamore	33.0''	x	Good	7,698	7,698	100	REMOVE
18	Quercus phellos	Willow oak	33.5"	X	Fair	7,933	7,933	100	REMOVE
19	Acer rubrum	Red maple	25.0"		Poor	4,418	4,418	100	REMOVE
22	Prunus serotina	Black cherry	24.0"		Poor	4,072	4,072	100	REMOVE
23	Morus alba	White mulberry	26.0"est.		Poor	4,778	4,778	100	REMOVE
25	Acer rubrum	Red maple	34.0''	X	Poor	8,171	8,171	100	REMOVE
26	Prunus sp.	Cherry sp.	24.0"		Poor	4,072	4,072	100	REMOVE
27	Acer rubrum	Red maple	28.5"		Poor	5,741	5,741	100	REMOVE
28	Pinus strobus	Eastern white pine	30.5"	X	Good	6,576	6,576	100	REMOVE
29	Acer rubrum	Red maple	35.5"	X	Poor	8,908	8,908	100	REMOVE
30	Acer rubrum	Red maple	28.4"		Poor	5,701	5,701	100	REMOVE
31	Castanea sativa	European chestnut	28.0"		Fair/poor	5,542	5,542	100	REMOVE
32	Castanea sativa	European chestnut	27.7"		Fair	5,424	5,424	100	REMOVE
33	Castanea sativa	European chestnut	32.5"	X	Poor	7,466	7,466	100	REMOVE
35	Acer rubrum	Red maple	27.0"		Poor	5,153	5,153	100	REMOVE
36	Acer rubrum	Red maple	26.0"	v	Fair	4,778	4,778	100	
37	Acer rubrum	Red maple	35.5"	x	Poor	8,908	8,908	100	REMOVE
39	Acer rubrum	Red maple	29.3'' 25.0''		Fair	6,068	6,068	100	REMOVE REMOVE
40 41	Acer rubrum Acer rubrum	Red maple Red maple	25.0		Fair Poor	4,418	4,418	100 100	REMOVE
41 42	Platanus occidentalis	American sycamore	34.0''	x	Good	5,153 8,171	5,153 8,171	100 100	REMOVE
42 43	Acer rubrum	Red maple	28.0"	^	Fair	5,542	5 ,542	100	REMOVE
43 44	Acer rubrum	Red maple	30.5''	x	Fair	6,576	6,576	100 100	REMOVE
45	Acer rubrum	Red maple	29.0"	^	Poor	5,945	5,945	100	REMOVE
46	Acer rubrum	Red maple	33.0''	x	Fair	7,698	7,698	100	REMOVE
47	Acer rubrum	Red maple	25.0"		Fair	4,418	0	0	SAVE
48	Acer rubrum	Red maple	29.0"		Fair	5,945	0	0	SAVE
49	Acer rubrum	Red maple	28.5"		Poor	5,741	0	0	SAVE
50	Acer saccharinum	Silver maple	37.0''	x	Fair	9,677	9,677	100	REMOVE
51	Quercus rubra	Northern red oak	27.0"		Fair	5,153	5,153	100	REMOVE
52	Quercus alba	White oak	23.5"		Fair/Poor	3,904	3,904	100	REMOVE
53	Quercus alba	White oak	29.5"		Good	6,151	6,151	100	REMOVE
54	Quercus alba	White oak	27.5"		Fair	5,346	5,346	100	REMOVE
55	Quercus rubra	Northern red oak	27.0"		Poor	5,153	5,153	100	REMOVE
56	Quercus rubra	Northern red oak	26.0"		Poor	4,778	4,778	100	REMOVE
57	Acer rubrum	Red maple	30.0''	x	Good	6,362	6,362	100	REMOVE
58	Pinus strobus	Eastern white pine	27.0''		Fair	5,153	5,153	100	REMOVE
59	Pinus strobus	Eastern white pine	27.0''		Fair	5,153	5,153	100	REMOVE
60	Pinus strobus	Eastern white pine	27.0''		Good	5,153	5,153	100	REMOVE
61	Acer rubrum	Red maple	25.5"		Poor	4,596	4,596	100	REMOVE
62	Juglans nigra	Black walnut	28.5''		Fair	5,741	5,741	100	REMOVE
63	Juglans nigra	Black walnut	27.5"		Fair	5,346	5,346	100	REMOVE
64	Prunus sp.	Cherry sp.	30.0"est.	x	Poor	6,362	6,362	100	REMOVE
65	Acer rubrum	Red maple	40.0''	x	Fair	11,310	11,310	100	REMOVE
66	Acer rubrum	Red maple	36.5''	X	Fair	9,417	9,417	100	REMOVE
67	Quercus sp.	Oak sp.	24.0"est.		Good	4,072	1,000	25	SAVE
68	Acer rubrum	Red maple	24.0"est.		Poor	4,072	0	0	SAVE
69	Acer rubrum	Red maple	24.0"est.		Fair	4,072	4,072	100	REMOVE
70	Platanus occidentalis	American sycamore	25.0"		Fair	4,418	4,418	100	REMOVE
71	Prunus sp.	Cherry sp.	24.0"		Fair	4,072	4,072	100	REMOVE
72 72	Acer rubrum	Red maple	24.0"est.		Fair	4,072	0	0	SAVE
73 74	Prunus sp. Acer rubrum	Cherry sp.	28.0'' 30.0''est.	v	Fair	5,542	0	0	SAVE
74 75		Red maple		X	Fair	6,362	6,362 6,362	100	REMOVE REMOVE
75 76	Acer rubrum Quercus rubra	Red maple Northern red oak	30.0''est. 24.0''est.	x	Fair Good	6,362 4,072	6,362	100	REMOVE
70				1			1,546	38	
77	Platanus occidentalis	American sycamore	33.0"est.		Good	7,698	0	0	SAVE

*DIAMETER AT BREAST HEIGHT **CRITICAL ROOT ZONE

SPECIMEN MITIGATION TREE TABLE

TREE NO. 🖵	BOTANICAL NAME		DBH 🚽	MITIGATION REQ'D	# OF 3" CALIPER TREES
14	Platanus occide ntalis	American sycamore	30.1"	7.53	2.51
15	Platanus occide ntalis	American sycamore	33.0"	8.25	2.75
18	Quercus phellos	Willow oak	33.5"	8.38	2.79
25	Acer rubrum	Red maple	34.0"	8.50	2.83
28	Pinus strobus	Eastern white pine	30.5"	7.63	2.54
29	Acer rubrum	Red maple	35.5"	8.88	2.96
33	Castanea sativa	European chestnut	32.5"	8.13	2.71
37	Acer rubrum	Red maple	35.5"	8.88	2.96
42	Platanus occide ntalis	American sycamore	34.0"	8.50	2.83
44	Acer rubrum	Red maple	30.5"	7.63	2.54
46	Acer rubrum	Red maple	33.0"	8.25	2.75
50	Acer saccharinum	Silver maple	37.0"	9.25	3.08
57	Acer rubrum	Red maple	30.0"	7.50	2.50
64	Prunus sp.	Cherry sp.	30.0"	7.50	2.50
65	Acer rubrum	Red maple	40.0"	10.00	3.33
66	Acer rubrum	Red maple	36.5"	9.13	3.04
74	Acer rubrum	Red maple	30.0"	7.50	2.50
75	Acer rubrum	Red maple	30.0"	7.50	2.50
		<u>TOTALS:</u>	595.6''	148.90	50.00

MITIGATION PLANTING LIST

SYMBOL	BOTANIICAL NAME	COMMON NAME	QTY	SIZE
СКЕ	CLADRASTIS KENTUKEA	AMERICAN YELLOWWOOD	12	3" CAL
LST	LIQUIDUMBAR STYRACIFLUA	SWEET GUM	11	3" CAL
NSY	NYSSA SYLVATICA	TUPELO	4	3" CAL
POC	PLATANUS OCCIDENTALIS	AMERICAN SYCAMOR	13	3" CAL
TAM	TILIA AMERICANA	AMERICAN LINDEN	10	3" CAL
TOTAL			50	150" CAL

SHEET INDEX

FCP 100 FOREST CONSERVATION COVER FCP 200 APPROVALS FCP 300 COMPOSITE FOREST CONSERVATION PLAN FCP 400 DETAILS FCP 500 NOTES

DEVELOPER'S C	ERTIFICATE
Conservation Plan No.	res to execute all the features of the Approved Final Forest <u>Facesone</u> including, financial bonding, nance, and all other applicable agreements.
Developer's Name:	Printed Company Name
Contact Person or Ow	ner:
	Printed Name
Address:	
Phone and Email:	
Signature:	



CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



F20250360



HERERY CERTIFY THAT THESE DOCUMENTS

WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. JOSHUA SLOAN LICENSE No. <u>3776</u> EXPIRATION DATE: MAY 13, 2026 DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE. IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, L VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED SIGNED AND SEALED PLANS OR DRAWING MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

D 2019 VIKA MARYLAND, LLC DRAWN BY: SG DESIGNED BY: JS DATE ISSUED: <u>07/24/2024</u>

FCP 100

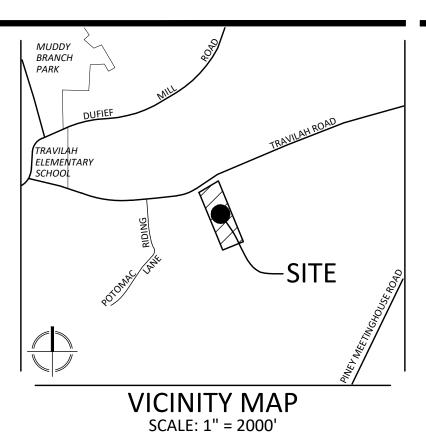
PROJECT DRAWING





FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

LAYOUT: 02-FCP-F20250360-002, Plotted By: Posthuma



DEVELOPER'S CE	ERTIFICATE
Conservation Plan No.	es to execute all the features of the Approved recession including, finar hance, and all other applicable agreements.
Developer's Name:	Printed Company Name
Contact Person or Owr	ner:
	Printed Name
Address:	
Phone and Email:	
Signature:	1



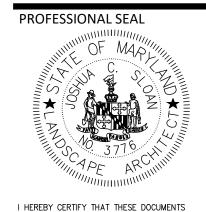
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	DATE

13741 & 13751 TRAVILAH RD.

6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12





I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. JOSHUA SLOAN LICENSE No. <u>3776</u> EXPIRATION DATE: MAY 13, 2026 THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LIC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. © 2019 VIKA MARYLAND, LLC DRAWN BY: <u>SG</u> DESIGNED BY: JS DATE ISSUED: <u>07/24/2024</u>

FCP 200

the Approved Final Forest ncluding, financial bonding, agreements.

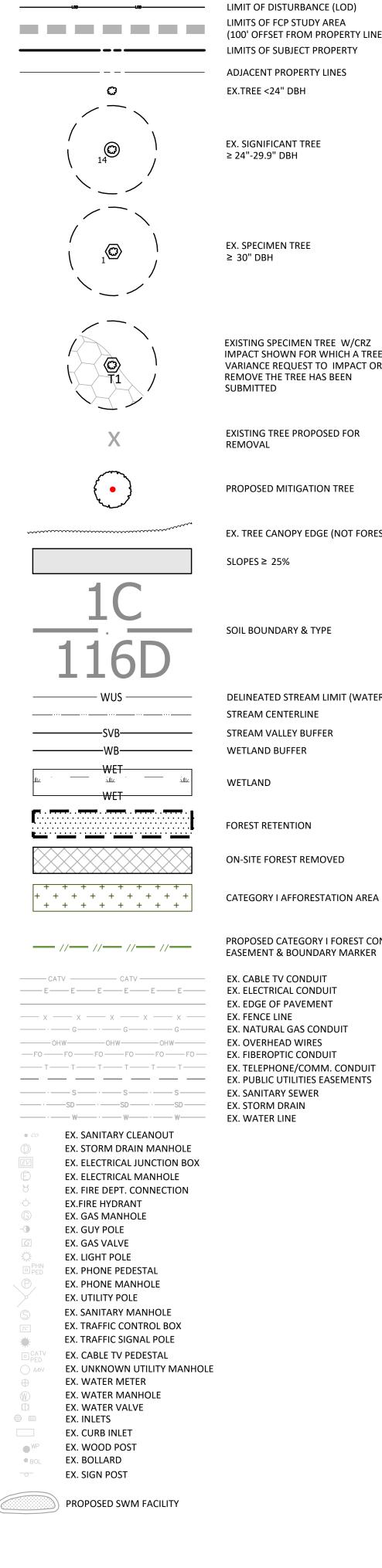
DRAWING NO.

VIKA PROJECT

SHEET NO.

0-1500/1407/cadd/site development/PLOT SHEETS/1407200 P FCP.dwa ~ Mondav. April 14. 2025 3:59:04 PM

LEGEND



LIMIT OF DISTURBANCE (LOD) LIMITS OF FCP STUDY AREA (100' OFFSET FROM PROPERTY LINE) LIMITS OF SUBJECT PROPERTY ADJACENT PROPERTY LINES EX.TREE <24" DBH

EX. SIGNIFICANT TREE ≥ 24"-29.9" DBH

EX. SPECIMEN TREE ≥ 30" DBH

EXISTING SPECIMEN TREE W/CRZ IMPACT SHOWN FOR WHICH A TREE VARIANCE REQUEST TO IMPACT OR REMOVE THE TREE HAS BEEN SUBMITTED

EXISTING TREE PROPOSED FOR REMOVAL

PROPOSED MITIGATION TREE

EX. TREE CANOPY EDGE (NOT FOREST) SLOPES $\geq 25\%$

DELINEATED STREAM LIMIT (WATERS OF THE U.S.) STREAM CENTERLINE STREAM VALLEY BUFFER WETLAND BUFFER

WETLAND

FOREST RETENTION

CATEGORY I AFFORESTATION AREA

ON-SITE FOREST REMOVED

PROPOSED CATEGORY I FOREST CONSERVATION EASEMENT & BOUNDARY MARKER

- EX. EDGE OF PAVEMENT



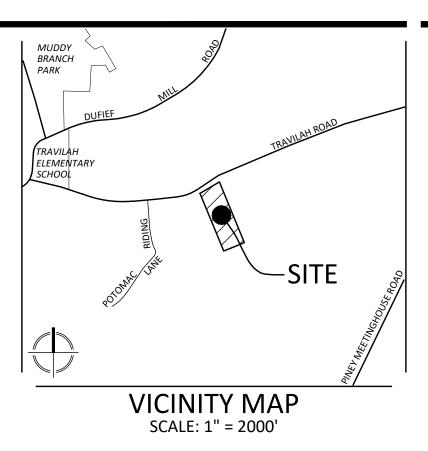
48 HOURS IN ADVANCE OF ANY

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

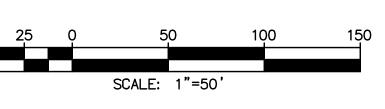
LAYOUT: 02-FCP-F20250360-003, Plotted By: mcrowell

WORK IN THIS VICINITY"





DEVELOPER'S CE	ERTIFICATE
Conservation Plan No.	rance, and all other applicable agreements.
Developer's Name:	Printed Company Name
Contact Person or Owr	ier:
	Printed Name
Address:	
Phone and Email:	
Signature:	<u></u>





CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	

13741 & 13751 TRAVILAH RD.

6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



F20250360

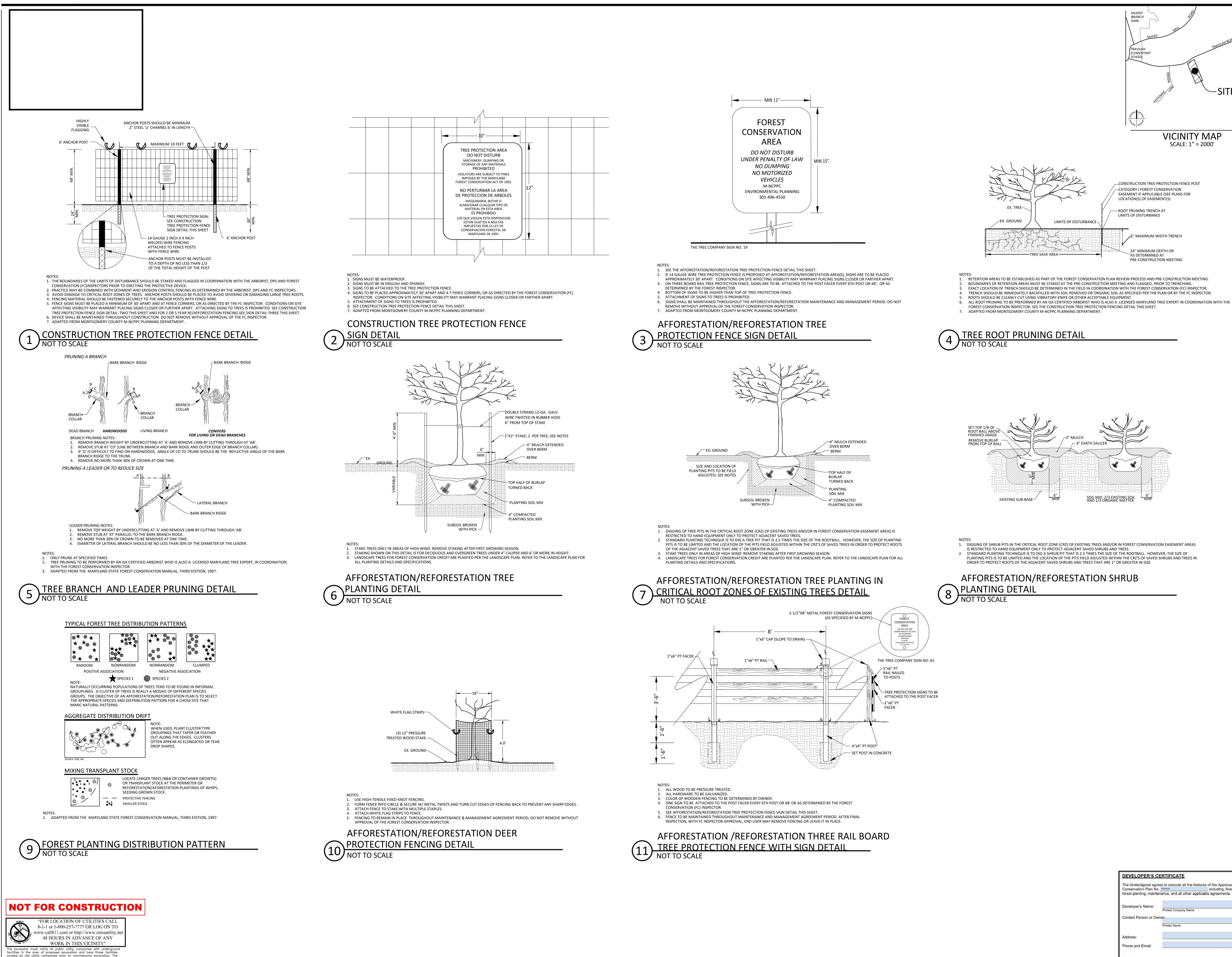


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. JOSHUA SLOAN LICENSE NO. <u>3776</u> EXPIRATION DATE: MAY 13, 2026 THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC VIOLATIONS MAY RESULT IN PROSECUTION. ONLY

APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. © 2019 VIKA MARYLAND, LLC DRAWN BY: SG DESIGNED BY: JS DATE ISSUED: <u>07/24/2024</u>

VIKA PROJECT

DRAWING FCP 300 NO.



excavator is responsible for compliance with requirements of Chapter

AYOUT: 02-FCP-F20250360-004, Plotted By: Posthuma

36A of the Montgomery County Code.

The Undersigned agrees to execute all the features of the Approved Final Forest including, financial bonding, forest planting, maintenance, and all other applicable agreements.





CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

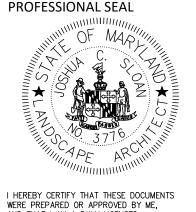
REVISIONS DATE

13741 & 13751 TRAVILAH RD.

6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

DETAILS

F20250360



AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. JOSHUA SLOAN LICENSE No. <u>3776</u> EXPIRATION DATE: MAY 13, 2026 DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE IN ANY FORMAT WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, L

VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWING MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. D 2019 VIKA MARYLAND, LLC DRAWN BY: SG DESIGNED BY: JS

DATE ISSUED: <u>07/24/2024</u> VIKA PROJECT

DRAWING FCP 400 NO.

PLANTING NARRATIVE FOR **AFFORESTATION/REFORESTATION AREAS**

SPECIMEN TREE MITIGATION CREDIT) SEE THE FINAL LANDSCAPE PLAN. 1. PRE-PLANTING CONSIDERATIONS

- PLAN THIS SHEET.
- IF A FRAGIPAN LAYER IS PRESENT. IF FRAGIPAN IS PRESENT, IT SHOULD BE PIERCED BY AUGURING AND PLANTING HOLES
- PREFERRED.
- 2. PLANT AMENDMENT MATERIAL STORAGE
- 3. ON-SITE INSPECTION
- 4. PLANTING SPECIFICATIONS
- THE ROOT BALL. PRIOR TO PLANTING, ROOT BALLS SHOULD BE KEPT MOIST.
- RAKED EVENLY OVER THE PLANTING FIELD AND COVERED WITH 2 TO 4 INCHES OF MULCH.
- 5. POST-PLANTING CONSIDERATIONS
- GROUND COVER OR ENGINEERING FABRIC. B. PROTECTIVE DEVICES: TO PREVENT DAMAGE OF PLANTED AREAS. ALL REFORESTATION AND AFFORESTATION SITES MUST BE POSTED WITH APPROPRIATE SIGNS AND FENCED. CONSTRUCTION EQUIPMENT SHALL BE PROHIBITED IN THESE AREAS.

SEE FINAL FOREST CONSERVATION NOTES 6 AND 7 THIS SHEET.

- MANAGEMENT PLAN
- YEAR 1: B. AREAS ARE PLANTED ACCORDING TO PRE-APPROVED PLAN. D. FERTILIZATION AND WATERING AS NEEDED. CONSERVATION (FC)INSPECTOR. F. ANNUAL INSPECTION BY M-NCPPC FC INSPECTOR. YEAR 2: A. REINFORCEMENT PLANTING IF NEEDED. B. SURVIVAL CHECK ONCE ANNUALLY (MAY-SEPTEMBER).
- C. WATERING AS NEEDED. INSPECTOR. F. ANNUAL INSPECTION BY M-NCPPC FC INSPECTOR. YEARS 3-5:
- INSPECTOR. C. ANNUAL INSPECTION BY M-NCPPC FC INSPECTOR.
- EASEMENT BOUNDARY MARKERS ARE TO REMAIN.

- THIS INVASIVE SPECIES MANAGEMENT PLAN FOR AFFORESTATION AREAS 1 & 2 FOR WHICH THIS FCP IS SUBMITTED. A FIVE YEAR PLAN IS PROPOSED TO ERADICATE INVASIVE AS IDENTIFIED AND MARKED FOR REMOVAL BY THE ISA CERTIFIED ARBORIST LABEL GUIDELINES. YEARS ONE THROUGH FIVE: TARGETED AREAS WHERE THE INVASIVE PLANTS ARE EVIDENT. REMAINING PLANT STEMS WITH GLYPHOSATE REMAINING STEMS WITH GLYPHOSATE.
- REQUIRED TO COMPLETE THE PROGRAM, IF ANY, WILL BE IDENTIFIED.

FINAL FOREST CONSERVATION NOTES

SEQUENCE OF EVENTS FOR PROPERTIES REQUIRED TO COMPLY WITH FOREST CONSERVATION PLANS, EXEMPTIONS FROM SUBMITTING FOREST CONSERVATION PLANS, AND TREE SAVE PLANS (M-NCPPC MC PLANNING DEPARTMENT MARCH, 2017) THE PROPERTY OWNER IS RESPONSIBLE FOR ENSURING ALL TREE PROTECTION MEASURES ARE PERFORMED IN ACCORDANCE WITH THE APPROVED FINAL FOREST CONSERVATION PLAN OR TREE SAVE PLAN, AND AS MODIFIED IN THE FIELD BY A PLANNING DEPARTMENT FOREST CONSERVATION INSPECTOR. THE MEASURES MUST MEET OR EXCEED THE MOST RECENT STANDARDS PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A300).

- 1. AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED AFTER THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED AND BEFORE ANY LAND DISTURBANCE.
- 2. THE PROPERTY OWNER MUST ARRANGE FOR THE MEETING AND THE FOLLOWING PEOPLE MUST PARTICIPATE AT THE PRE-CONSTRUCTION MEETING: THE PROPERTY OWNER OR THEIR REPRESENTATIVE, CONSTRUCTION SUPERINTENDENT, INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST/MARYLAND LICENSED TREE EXPERT (REPRESENTING OWNER) THAT WILL IMPLEMENT THE TREE PROTECTION MEASURES, THE PLANNING DEPARTMENT FOREST CONSERVATION INSPECTOR, AND MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (DPS) SEDIMENT CONTROL INSPECTOR. THE PURPOSE OF THIS MEETING IS TO VERIFY THE LIMITS OF DISTURBANCE AND DISCUSS SPECIFIC TREE PROTECTION AND TREE CARE MEASURES SHOWN ON THE APPROVED PLAN. NO LAND DISTURBANCE SHALL BEGIN BEFORE TREE PROTECTION AND STRESS-REDUCTION MEASURES HAVE BEEN IMPLEMENTED AND
- APPROVED BY THE PLANNING DEPARTMENT'S FOREST CONSERVATION INSPECTOR. a. TYPICAL TREE PROTECTION DEVICES INCLUDE: i. CHAIN LINK FENCE (FOUR FEET HIGH)
- ii. SUPER SILT FENCE WITH WIRE STRUNG BETWEEN THE SUPPORT POLES (MINIMUM 4 FEET HIGH) WITH HIGH VISIBILITY FLAGGING.
- iii. 14 GAUGE, 2 INCH X 4 INCH WELDED WIRE FENCING SUPPORTED BY STEEL T-BAR POSTS (MINIMUM 4 FEET HIGH) WITH HIGH VISIBILITY FLAGGING.
- b. TYPICAL STRESS REDUCTION MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO: i. ROOT PRUNING WITH A ROOT CUTTER OR VIBRATORY PLOW DESIGNED FOR THAT PURPOSE. TRENCHERS ARE NOT ALLOWED,
- UNLESS APPROVED BY THE FOREST CONSERVATION INSPECTOR. ii. CROWN REDUCTION OR PRUNING
- iii. WATERING

PRE-CONSTRUCTION

- iv. FERTILIZING v. VERTICAL MULCHING
- vi. ROOT AERATION SYSTEMS MEASURES NOT SPECIFIED ON THE FOREST CONSERVATION PLAN MAY BE REQUIRED AS DETERMINED BY THE FOREST CONSERVATION INSPECTOR IN COORDINATION WITH THE PROPERTY OWNER'S ARBORIST.
- 3. A MARYLAND LICENSED TREE EXPERT MUST PERFORM, OR DIRECTLY SUPERVISE, THE IMPLEMENTATION OF ALL STRESS REDUCTION MEASURES. DOCUMENTATION OF THE PROCESS (INCLUDING PHOTOGRAPHS) MAY BE REQUIRED BY THE FOREST CONSERVATION
- INSPECTOR, AND WILL BE DETERMINED AT THE PRE-CONSTRUCTION MEETING. 4. TEMPORARY TREE PROTECTION DEVICES MUST BE INSTALLED PER THE APPROVED FOREST CONSERVATION PLAN. EXEMPTION PLAN. OR TREE SAVE PLAN AND PRIOR TO ANY LAND DISTURBANCE. THE FOREST CONSERVATION INSPECTOR, IN COORDINATION WITH THE DPS
- SEDIMENT CONTROL INSPECTOR, MAY MAKE FIELD ADJUSTMENTS TO INCREASE THE SURVIVABILITY OF TREES AND FOREST SHOWN AS SAVED ON THE APPROVED PLAN. 5. TREE PROTECTION FENCING MUST BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER FOR THE DURATION OF CONSTRUCTION
- PROJECT AND MUST NOT BE ALTERED WITHOUT PRIOR APPROVAL FROM THE FOREST CONSERVATION INSPECTOR. ALL CONSTRUCTION ACTIVITY WITHIN PROTECTED TREE AND FOREST AREAS IS PROHIBITED. THIS INCLUDES THE FOLLOWING ACTIVITIES: a. PARKING OR DRIVING OF EQUIPMENT, MACHINERY OR VEHICLES OF ANY TYPE. b. STORAGE OF ANY CONSTRUCTION MATERIALS, EQUIPMENT, STOCKPILING, FILL, DEBRIS, ETC.
- c. DUMPING OF ANY CHEMICALS (I.E., PAINT THINNER), MORTAR OR CONCRETE REMAINDER, TRASH, GARBAGE, OR DEBRIS OF ANY KIND. d. FELLING OF TREES INTO A PROTECTED AREA.
- e. TRENCHING OR GRADING FOR UTILITIES, IRRIGATION, DRAINAGE, ETC.
- 6. FOREST AND TREE PROTECTION SIGNS MUST BE INSTALLED AS REQUIRED BY THE FOREST CONSERVATION INSPECTOR. THE SIGNS MUST BE WATERPROOF AND WORDING PROVIDED IN BOTH ENGLISH AND SPANISH.
- DURING CONSTRUCTION
- 7. PERIODIC INSPECTIONS WILL BE MADE BY THE FOREST CONSERVATION INSPECTOR. CORRECTIONS AND REPAIRS TO TREE PROTECTION DEVICES MUST BE COMPLETED WITHIN THE TIMEFRAME GIVEN BY THE INSPECTOR. 8. THE PROPERTY OWNER MUST IMMEDIATELY NOTIFY THE FOREST CONSERVATION INSPECTOR OF ANY DAMAGE TO TREES, FORESTS,
- UNDERSTORY, GROUND COVER, AND ANY OTHER UNDISTURBED AREAS SHOWN ON THE APPROVED PLAN. REMEDIAL ACTIONS, AND THE RELATIVE TIMEFRAMES TO RESTORE THESE AREAS, WILL BE DETERMINED BY THE FOREST CONSERVATION INSPECTOR. POST-CONSTRUCTION
- 9. AFTER CONSTRUCTION IS COMPLETED, BUT BEFORE TREE PROTECTION DEVICES HAVE BEEN REMOVED. THE PROPERTY OWNER MUST REQUEST A FINAL INSPECTION WITH THE FOREST CONSERVATION INSPECTOR. AT THE FINAL INSPECTION, THE FOREST CONSERVATION
- INSPECTOR MAY REQUIRE ADDITIONAL CORRECTIVE MEASURES, WHICH MAY INCLUDE: a. REMOVAL, AND POSSIBLE REPLACEMENT, OF DEAD, DYING, OR HAZARDOUS TREES
- b. PRUNING OF DEAD OR DECLINING LIMBS c. SOIL AERATION
- d. FERTILIZATION e. WATERING
- f. WOUND REPAIR g. CLEAN UP OF RETENTION AREAS, INCLUDING TRASH REMOVAL
- 10. AFTER THE FINAL INSPECTION AND COMPLETION OF ALL CORRECTIVE MEASURES THE FOREST CONSERVATION INSPECTOR WILL REQUEST. ALL TEMPORARY TREE AND FOREST PROTECTION DEVICES BE REMOVED FROM THE SITE. REMOVAL OF TREE PROTECTION DEVICES THAT ALSO OPERATE FOR FROSION AND SEDIMENT CONTROL MUST BE COORDINATED WITH BOTH DPS AND THE FOREST CONSERVATION INSPECTOR AND CANNOT BE REMOVED WITHOUT PERMISSION OF THE FOREST CONSERVATION INSPECTOR. NO ADDITIONAL GRADING. SODDING. OR BURIAL MAY TAKE PLACE AFTER THE TREE PROTECTION FENCING IS REMOVED.
- 11. LONG-TERM PROTECTION MEASURES, INCLUDING PERMANENT SIGNAGE, MUST BE INSTALLED PER THE APPROVED PLAN. INSTALLATION WILL OCCUR AT THE APPROPRIATE TIME DURING THE CONSTRUCTION PROJECT. REFER TO THE APPROVED PLAN DRAWING FOR THE LONG-TERM PROTECTION MEASURES TO BE INSTALLED.

INSPECTIONS

ALL FIELD INSPECTIONS MUST BE REQUESTED BY THE APPLICANT. FIELD INSPECTIONS MUST BE CONDUCTED AS FOLLOWS:

- TREE SAVE PLANS AND FOREST CONSERVATION PLANS WITHOUT PLANTING REQUIREMENTS
- 1. AFTER THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED, BUT BEFORE ANY CLEARING OR GRADING BEGINS. 2. AFTER NECESSARY STRESS REDUCTION MEASURES HAVE BEEN COMPLETED AND PROTECTION MEASURES HAVE BEEN INSTALLED, BUT BEFORE ANY CLEARING AND GRADING BEGIN AND BEFORE RELEASE OF THE BUILDING PERMIT. 3. AFTER COMPLETION OF ALL CONSTRUCTION ACTIVITIES, BUT BEFORE REMOVAL OF TREE PROTECTION FENCING, TO DETERMINE THE LEVEL OF COMPLIANCE WITH THE PROVISIONS OF THE FOREST CONSERVATION.
- ADDITIONAL REQUIREMENTS FOR PLANS WITH PLANTING REQUIREMENTS
- 4. BEFORE THE START OF ANY REQUIRED REFORESTATION AND AFFORESTATION PLANTING. 5. AFTER THE REQUIRED REFORESTATION AND AFFORESTATION PLANTING HAS BEEN COMPLETED TO VERIFY THAT THE PLANTING IS ACCEPTABLE AND PRIOR TO THE START OF THE MAINTENANCE PERIOD.
- 6. AT THE END OF THE MAINTENANCE PERIOD TO DETERMINE THE LEVEL OF COMPLIANCE WITH THE PROVISIONS OF THE PLANTING PLAN, AND, IF APPROPRIATE, RELEASE OF THE PERFORMANCE BOND.



"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.ne 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with undergroun facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The

excavator is responsible for compliance with requirements of Chapter

YOUT: 02-FCP-F20250360-005, Plotted By: Posthuma

36A of the Montgomery County Code.

THIS PLANTING NARRATIVE IS FOR THE PLANTING OF AFFORESTATION AND/OR REFORESTATION AREAS ONLY. FOR SPECIFICATIONS AND DETAILS FOR THE PLANTING OF LANDSCAPE TREES FOR FOREST CONSERVATION CREDIT (20 YEAR CANOPY LANDSCAPE CREDIT OR

A. FOR PRE-PLANTING MEASURES TO BE TAKEN TO CONTROL INVASIVE SPECIES, SEE THE INVASIVE SPECIES MANAGEMENT B. A SOILS ANALYSIS WILL BE CONDUCTED PRIOR TO COMMENCEMENT OF REFORESTATION. ON LAND WHERE EXTENSIVE AGRICULTURAL USE HAS OCCURRED IN THE PAST, TEST PITS WILL BE DUG IN AREAS OF UNDISTURBED SOIL TO DETERMINE

SHOULD BE DUG TO TWICE THE NORMAL DIAMETER FOR THE MATERIAL PLANTED. C. SOILS SHOULD BE TREATED BY INCORPORATING NATURAL MULCH WITHIN THE TOP 12 INCHES, OR AMENDMENTS AS DETERMINED BY THE SOILS ANALYSIS. NATURAL AMENDMENTS, SUCH AS ORGANIC MULCH OR LEAF MOLD COMPOST ARE

D. IF FILL MATERIAL IS USED AT THE PLANTING SITE, IT SHOULD BE CLEAN FILL WITH 12 INCHES OF NATIVE SOIL. STOCKPILING OF NATIVE TOP SOILS MUST BE DONE IN SUCH A WAY THAT THE HEIGHT OF THE PILE DOES NOT DAMAGE THE SEED BANK.

IT IS RECOMMENDED THAT PLANTING OCCUR WITHIN 24 HOURS OF DELIVERY TO THE SITE. PLANT MATERIALS WHICH ARE LEFT UNPLANTED FOR MORE THAN 24 HOURS SHOULD BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST. NURSERY STOCK SHOULD NOT BE LEFT UNPLANTED FOR MORE THAN TWO (2) WEEKS.

PRIOR TO PLANTING, PLANTING STOCK SHOULD BE INSPECTED. PLANTS NOT CONFORMING TO STANDARD NURSERYMAN SPECIFICATIONS FOR SIZE, FORM, VIGOR, ROOTS, TRUNK WOUNDS, INSECTS, AND DISEASE SHOULD BE REPLACED.

A. CONTAINER GROWN STOCK: SUCCESSFUL PLANTING OF CONTAINER GROWN STOCK REQUIRES CAREFUL SITE PREPARATION AND INSPECTION OF THE PLANT MATERIAL ROOT SYSTEM. CAUTION IS RECOMMENDED WHEN SELECTING PLANTS GROWN IN A SOILS MEDIUM DIFFERING FROM THAT OF THE PLANTING SITE. THE PLANT SHOULD BE REMOVED FROM THE CONTAINER AND THE ROOTS GENTLY LOOSENED FROM THE SOILS. IF THE ROOTS ENCIRCLE THE ROOT BALL, SUBSTITUTION IS STRONGLY RECOMMENDED. J-SHAPED OR KINKED ROOT SYSTEMS SHOULD ALSO BE NOTED, AND SUBSTITUTED IF NECESSARY. ROOTS MAY NOT BE TRIMMED ON-SITE, DUE TO THE INCREASED CHANCES OF SOIL BORNE DISEASES. THE PLANTING FIELD SHOULD BE PREPARED AS SPECIFIED. NATIVE STOCKPILED SOILS SHOULD BE USED TO BACKFILL PLANTING FIELD. RAKE SOILS EVENLY OVER THE PLANTING FIELD AND COVER WITH 2 TO 4 INCHES OF MULCH. B. BALLED AND BURLAPPED TREES: BALLED AND BURLAPPED TREES MUST BE HANDLED WITH CARE WHILE PLANTING. TREES SHOULD NOT BE PICKED UP BY THE TRUNK OR DROPPED. AS BOTH PRACTICES WILL TEND TO SEPARATE THE TRUNK FROM

C. PLANTING FIELDS SHOULD BE CREATED EQUAL TO 2.5 TIMES THE DIAMETER OF THE ROOT BALL, UNLESS WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES. SEE DETAIL FOR PLANTING IN THE CRITICAL ROOT ZONE OF EXISTING TREES ON SHEET FFCP 500, USE WATERING TO SETTLE SOIL BACKFILLED AROUND TREES, STOCKPILED NATIVE TOP SOILS, IF AVAILABLE, SHOULD BE USED TO BACKFILL THE PLANTING FIELD. AMENDMENTS ARE NOT RECOMMENDED IN THE PLANTING FIELD AS STUDIES HAVE SHOWN THAT ROOTS WILL BE ENCOURAGED TO STAY WITHIN THE AMENDED SOILS. SOILS SHOULD BE

D. STAKING OF TREES IS NOT RECOMMENDED EXCEPT IN AREAS OF HIGH WINDS. MOVEMENT IS NECESSARY TO STRENGTHEN THE TRUNK OF THE PLANTED TREE. IF STAKES ARE USED, THEY SHOULD BE REMOVED AFTER THE FIRST GROWING SEASON. WRAPPING IS ALSO NOT RECOMMENDED DUE TO THE INCREASED OPPORTUNITIES FOR INSECT INFESTATION AND DISEASE.

A. SOIL STABILIZATION: FOR AREAS OF LARGE-SCALE DISTURBANCE, SOILS MUST BE STABILIZED USING A NON-TURF-BUILDING

FIVE YEAR AFFORESTATION/ REFORESTATION

A. INITIAL INVASIVE SPECIES MANAGEMENT ACTIVITIES SHOULD BE IMPLEMENTED PRIOR TO PREPARING AREAS FOR PLANTING AS PER THE INVASIVE SPECIES MANAGEMENT PLAN THIS SHEET.

C. SURVIVAL CHECK 3 TIMES (MARCH-APRIL), (JULY-AUGUST), (OCTOBER-NOVEMBER). E. CONTROL OF UNDESIRABLE VEGETATION AS PER THE INVASIVE SPECIES MANAGEMENT PLAN.

E. DOCUMENTATION OF EACH MAINTENANCE VISIT IS TO BE PROVIDED TO THE CLIENT AND THE FOREST

D. CONTROL OF UNDESIRABLE VEGETATION AS PER THE INVASIVE SPECIES MANAGEMENT PLAN. E. DOCUMENTATION OF EACH MAINTENANCE VISIT IS TO BE PROVIDED TO THE CLIENT AND THE FC

A. CONTROL OF UNDESIRABLE VEGETATION AS PER THE INVASIVE SPECIES MANAGEMENT PLAN. B. DOCUMENTATION OF EACH MAINTENANCE VISIT IS TO BE PROVIDED TO THE CLIENT AND THE FC

FERTILIZATION OR WATERING DURING YEAR 1 WILL BE DONE ON AN AS NEEDED BASIS. DOCUMENTATION OF MAINTENANCE VISITS AND CONDITION CHECK SHEETS SHOULD BE PROVIDED TO THE CLIENT AND THE FC INSPECTOR AFTER EACH VISIT. A SURVIVAL RATE OF 75% IS REQUIRED AFTER 5 (FIVE) YEARS. IF ADEQUATE NATURAL REGENERATION HAS OCCURRED, IT MAY BE INCLUDED IN THE FINAL SURVIVAL TALLY. SPECIAL RETURN OPERATIONS OR RECOMMENDATIONS WILL BE CONDUCTED ON AN AS NEEDED BASIS. PERIMETER FENCING AND SIGNAGE MAY BE REMOVED AFTER YEAR 5 WITH FORMAL ACCEPTANCE OF THE PLANT MATERIAL BY THE FC INSPECTOR AND APPROVAL TO REMOVE THE FENCING. PERMANENT FOREST CONSERVATION

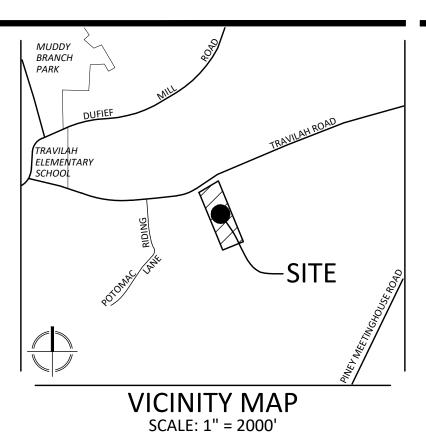
AT THE END OF THE FIVE-YEAR MANAGEMENT PLAN, A FINAL INSPECTION MEETING WILL BE HELD TO INCLUDE THE CONTRACT ARBORIST, M-NCPPC INSPECTOR, AND OWNER'S REPRESENTATIVE AND ANY FINAL WORK REQUIRED TO COMPLETE THE PROGRAM, IF ANY, WILL BE IDENTIFIED AND MUST BE COMPLETED WITHIN THE TIMEFRAME REQUIRED BY THE FC INSPECTOR.

FIVE YEAR INVASIVE SPECIES MANAGEMENT PLAN

IDENTIFICATION AND PROTECTION OF EXISTING NATIVE PLANTS IS A KEY COMPONENT OF ANY INVASIVE SPECIES MANAGEMENT PROGRAM. CARE MUST BE TAKEN TO AVOID CONTACT OF HERBICIDES WITH FOLIAGE OF DESIRABLE TREES, SHRUBS, TURF GRASSES OR OTHER DESIRABLE VEGETATION SINCE DAMAGE CAN RESULT FROM THEIR USE. ALL WORK SHALL BE PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST WHO IDENTIFIES AND MARKS INVASIVE PLANTS. WORK BOUNDARIES SHOULD BE ESTABLISHED WHERE ADJOINING FIELDS OR WOODLAND NOT TARGETED FOR INVASIVE SPECIES CONTROL ARE LOCATED. APPLICATION OF ANY HERBICIDES CAN ONLY BE PERFORMED BY A LICENSED PESTICIDE APPLICATOR. APPLICATOR'S LICENSE NUMBER MUST BE INCLUDED IN ANY REPORTS DOCUMENTING THEIR USE. PERSONAL PROTECTION EQUIPMENT USED BY THE APPLICATOR(S) MUST FOLLOW STATE AND

GENERAL INVASIVE MANAGEMENT ACTIVITIES WILL OCCUR A MINIMUM OF TWO TIMES DURING THE GROWING SEASON IN THE 1. IN THE SPRING, CUT THE STEMS OF THE INVASIVE PLANTS, AS IDENTIFIED BY THE ARBORIST, LOW TO THE GROUND AND TREAT 2. IN THE FALL, CUT THE STEMS OF THE INVASIVE PLANTS, AS IDENTIFIED BY THE ARBORIST, LOW TO THE GROUND AND TREAT 3. AFTER EACH APPLICATION/ TREATMENT A BRIEF REPORT DOCUMENTING THE SPECIES TREATED, AREA OF TREATMENT, MATERIAL AND/OR METHOD USED AND DATES OF APPLICATION WILL BE SUBMITTED TO THE M-NCPPC INSPECTOR. AN ANNUAL REPORT WILL BE SUBMITTED TO THE M-NCPPC FOREST INSPECTOR AT THE END OF EACH YEAR OF THE PROGRAM, WITH A

SUMMARY OF INVASIVE TREATMENT MEASURES. AT THE END OF THE FIVE-YEAR MANAGEMENT PLAN, A FINAL INSPECTION MEETING WILL BE HELD TO INCLUDE THE CONTRACT ARBORIST, M-NCPPC INSPECTOR, AND OWNER'S REPRESENTATIVE AND ANY FINAL WORK



DEVELOPER'S CE	ERTIFICATE
The Undersigned agree	es to execute all the features of the Approved Final Forest
Conservation Plan No.	
forest planting, mainter	nance, and all other applicable agreements.
	512 01311 - 1924
Developede Norres	
Developer's Name:	Printed Company Name
Contact Person or Owr	her:
	Printed Name
	Finted Name
Address:	
Phone and Email:	
Signature:	
oignataro.	



CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

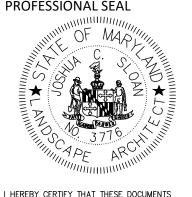
REVISIONS	DATE

13741 & 13751 **TRAVILAH RD**

6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

NOTES



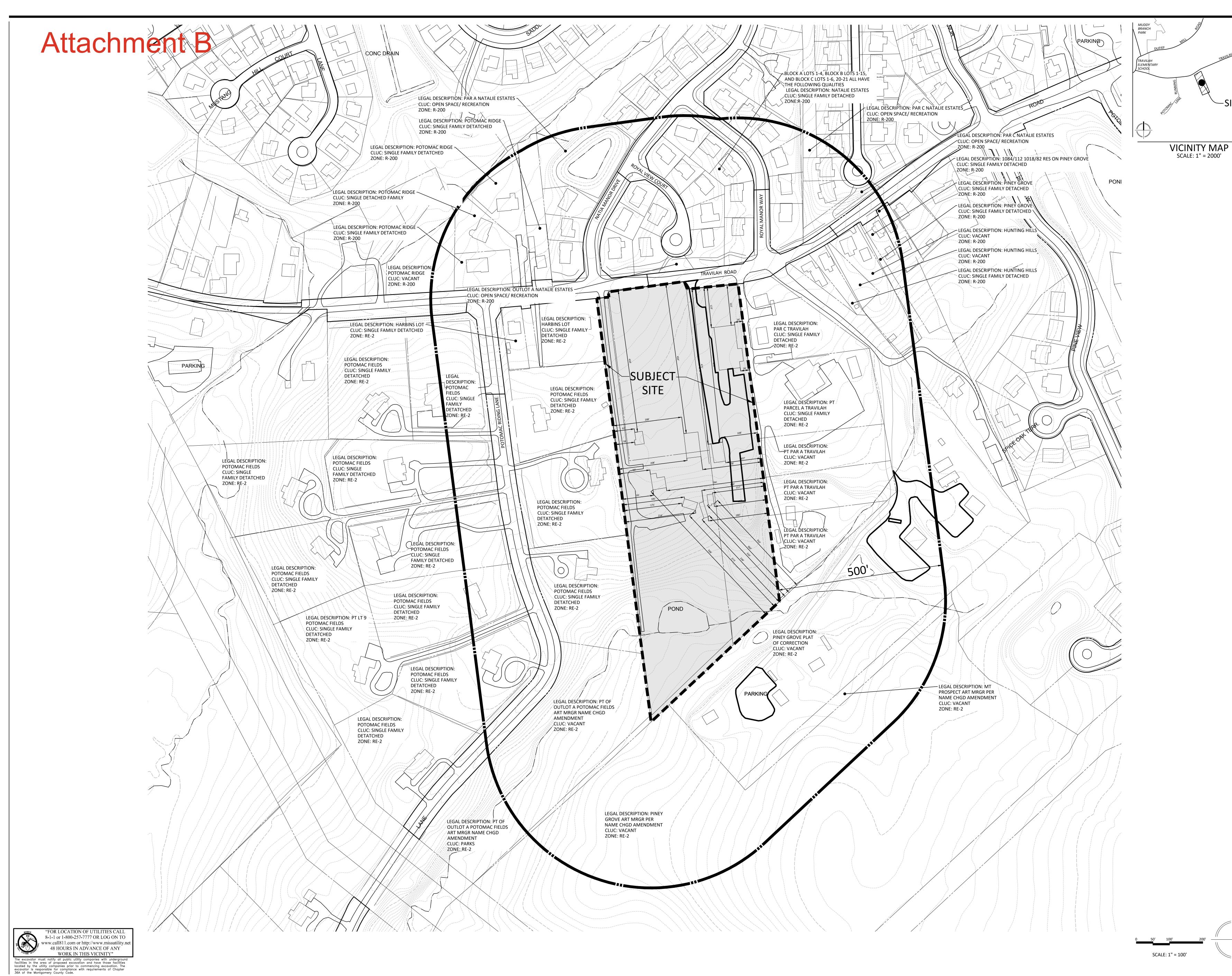


WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. JOSHUA SLOAN LICENSE No. <u>3776</u> EXPIRATION DATE: MAY 13, 2026 DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE. IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LL VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWING MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. D 2019 VIKA MARYLAND, LLC DRAWN BY: SG

DESIGNED BY: JS DATE ISSUED: <u>07/24/2024</u>

FCP 500

PROJECT DRAWING NO



LAYOUT: VICINITY-1, Plotted By: Posthuma





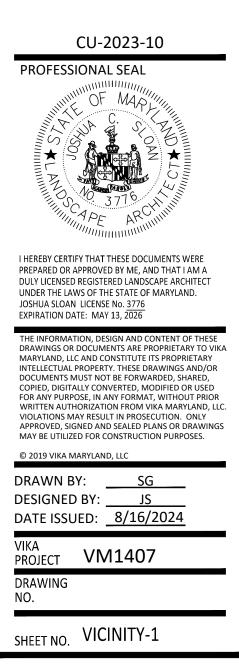
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12







PROJECT DATA TABLES

Section 3.3.2.C.2.c. Independent Living for Seniors as a Conditional Use.

. The site has adequate accessibility to public transportation, medical services, shopping areas, recreation, and other community services, as shown on the attached vicinity map and described in the statement of justification

ii. No ancillary or retail facilities are proposed.

iii. Per Chapter 25A, Section 25A-5.(I), the affordable housing requirement will be met through an automatic alternative payment to the Housing Initiative Fund for for-sale, age-restricted units by

agreement with the DHCA. iv. The maximum building height is met per the table below. The maximum density is established by

the Hearing Examiner per the table below. v. Height density, coverage, and parking are compatible with surrounding uses as shown in the

Conditional Use Plan application. vi. There are no units abutting a property not included in the application; the front setback is met per the table below.

vii. The minimum side and rear setback is 25 feet to abutting lots not included in this application, although there are no abutting lots because of an HOA parcel between proposed lots and the abutting lots. In addition to this HOA parcel, principal buildings are setback on

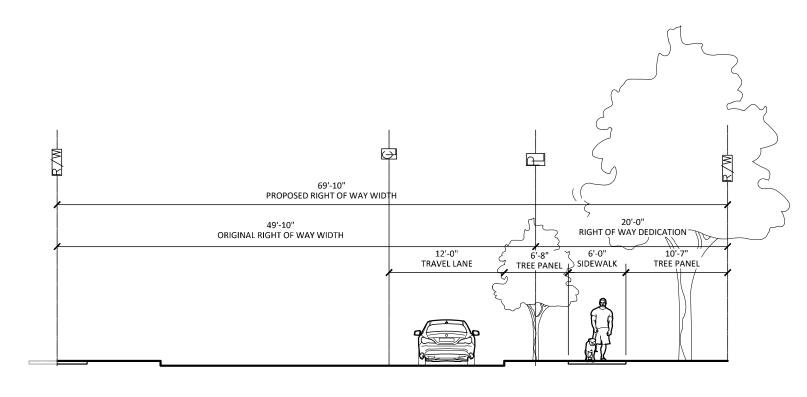
the internal lots 20 feet. viii. The minimum green area is 50%.

ix. Principal building setbacks (not modified above) meet the minimum required for the subject building type in the R-30 zone, as shown below.

STANDARD	REQUIRED/ALL	OWED	Р	ROPOSED)	
Lot Area (min) (Section 4.4.4.B.1)	2.00 AC		1	0.63 AC		
Tract (Gross Tract) Area Dedication Area on Travilah Road Site (Net Lot) Area			468,223 5,348 462,875	SF	10.75 0.12 10.63	AC
Lot Width at Front Building Line (min) (Section 4.4.4.B.1)	150 feet			417 feet		
Lot width at front lot line (min) (Section 4.4.4.B.1)	25 feet			417 feet		
Density (Section 3.3.2.C.2.c.iv/v) Max Units	n/a u	units	60	Tow	nhous	ses
Lot Coverage (max)	25%			20%		
(Section 4.4.4.B.1)	115,719 SF	2.66 AC	92,575	SF	2.66	5 AC
Principal Building Setbacks (min) [1]	Front (Private Street)	4 feet	10	feet		
(Section 3.3.2.C.2.c.vi/vii)	Side (Street)	5 feet	5	feet		
(Section 4.4.14.B.3)	Side (End Unit)	3 feet	3	feet		
	Side (B/W Lot & Site Boundary)	5 feet	5	feet		
	Rear	20 feet	20	feet		
	Rear (B/W Lot & Site Boundary)	10 feet	10	feet		
Height (max) (Section 3.3.2.C.2.c.iv/v)	50 feet			50 feet		
Green Area (min)	50%			60%		
(Section 3.3.2.C.2.c.viii)	231,438 SF	5.31 AC	277,725	SF	6.38	AC

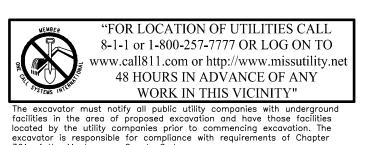
GENERAL REQUIREMENTS					
STANDARD	REQUIRED/ALLOWED		PRC	PROPOSED	
59-6.2.4. Parking (min)					
On Street/Visitor		0		34	
Per Townhouse	2.00 =	120		120	
Total		120		154	
HC Spaces (Including Van)		0		2	
Standard Spaces		120		152	
59-6.4.3.C. Fences and Walls					
3.c.i. Fence Height (max)		6.5 feet	6.5	feet	
59-6.4.4.E. Conditional Use Lighting					
Footcandles at Site Boundary (max)		0.1 FC	0	FC	
59-6.5.3.C.7. Screening [2]	Option A		Ор	ition A	
Depth (min)	-	8 feet	10	feet	
Canopy Trees (min/100')		2	2	trees	
Understory/Evergreen Trees (min/100')		2	2	trees	
Large Shrubs (min/100')		6	6	shrubs	
Medium Shrubs (min/100')		8	8	shrubs	
Small Shrubs (min/100')		8	8	shrubs	
Fence Height (min)		4 feet	6	feet	
NOTES					

[1] Accessory structures are permitted within setbacks, as defined in the Zoning Ordinance. [2] Applicable to western boundary abutting detached residential uses; not applicable to eastern boundary or rear developed with institutional and commercial uses.



36A of the Montgomery County Code.

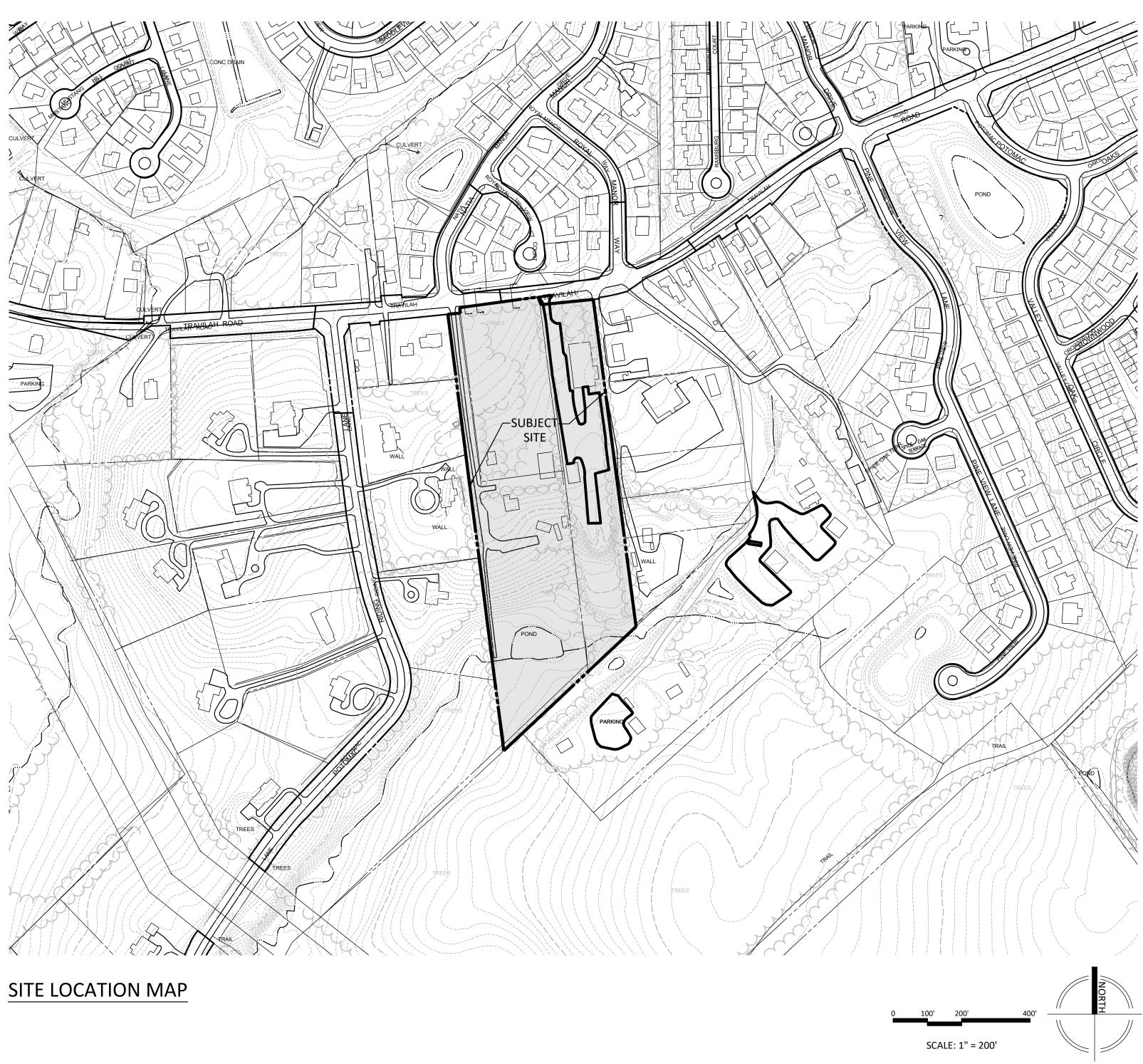
AYOUT: C-1, Plotted By: grimm



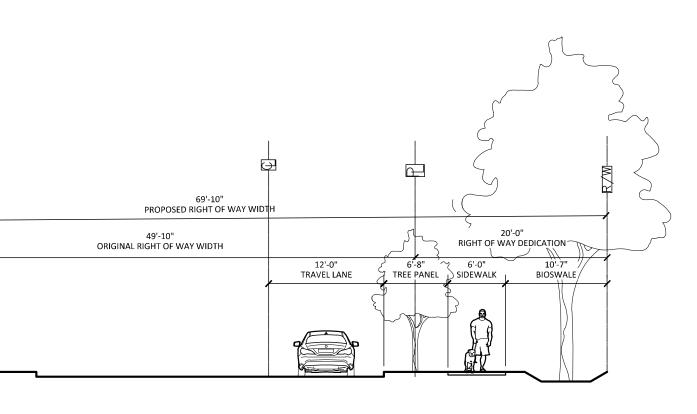


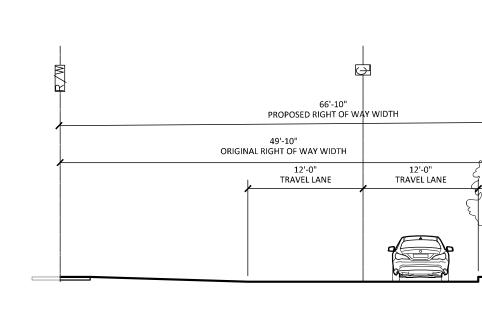
P-1407-SEC-01

TRAVILAH ROAD CONDITIONAL USE SITE PLAN CU-2023-10



PARKING

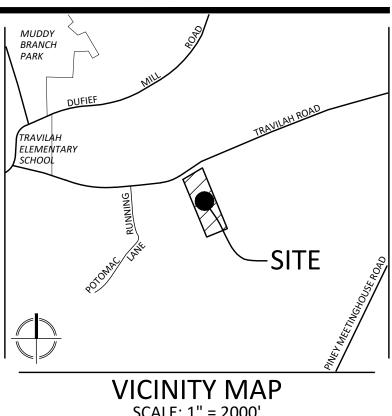




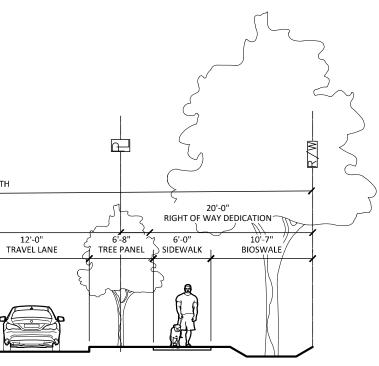
TRAVILAH ROAD - SECTION 'B'

P-1407-SEC-02

TRAVILAH ROAD - SECTION 'C'







REFERENCE NOTES PARCEL: P709; P804; N765 TAX ACCOUNT REFERENCE: CURRENT ZONING: **PROPOSED ZONING:** APPROVED NRI NO: WATERSHED: WATER SERVICE CATEGORY: W-1 SEWER SERVICE CATEGORY: S-1 SOIL DESIGNATION: FLOODPLAIN ZONE:

06-00399300.06-00389265:06-00405195 RE-2 RE-2 4-20222000 SANDY BRANCH / WATTS BRANCH 1B; 1C; 35B; 116D 'X'

FIRM COMMUNITY PANEL NO.:24031C0328D, FOR MONTGOMERY COUNTY, MARYLAND, DATED SEPTEMBER 29,

GENERAL NOTES

2006.

1. THE HORIZONTAL DATUM IS MARYLAND STATE GRID NORTH (NAD83) AND THE VERTICAL DATUM IS NVGD29.

- 2. THERE IS A SMALL WETLAND DELINEATED ON THE NORTH SIDE OF THE STREAM AS SHOWN ON THE NRI PLAN. ADDITIONAL WETLANDS WERE IDENTIFIED ON THE SOUTH SIDE OF THE STREAM, THE ESTIMATED LIMITS OF WHICH ARE SHOWN ON THE PLAN. THERE ARE WATERS OF THE UNITED STATES IDENTIFIED ON THE PLANS. THERE ARE NO 100 YEAR FLOOD PLAINS LOCATED ON THE SUBJECT PROPERTY, AS IDENTIFIED ON APPROVED NRI 420222000.
- 3. THERE ARE TWO SMALL FORESTED AREAS LOCATED ON THE SUBJECT PROPERTY AS DEFINED BY MONTGOMERY COUNTY FOREST LEGISLATION, AS IDENTIFIED ON APPROVED NRI 420222000.
- 4. THERE ARE NO RARE, THREATENED OR ENDANGERED PLANTS, ANIMALS, OR CRITICAL HABITATS ON THIS PROPERTY, PER APPROVED NRI 420222000.
- 5. THE SUBJECT PROPERTY IS NOT IDENTIFIED IN THE MONTGOMERY COUNTY HISTORICAL ATLAS AND IS NOT **RECOMMENDED FOR HISTORIC PRESERVATION.**
- 6. THIS CONDITIONAL USE SITE PLAN IS SUBMITTED CONCURRENTLY WITH PFCP APPLICATION F20250030.

DEVELOPMENT PROGRAM:

- 1. THE PROJECT WILL BE DEVELOPED IN ONE PHASE.
- 2. AMENITIES WILL BE INSTALLED BEFORE USE AND OCCUPANCY FOR THE FIRST/ TOWNHOUSE.
- 3. PLANTINGS WILL BE INSTALLED WITHIN SIX (6) MONTHS, OR THE NEXT GROWING SEASON THEREAFTER, OF USE AND OCCUPANCY FOR THE FIRST SUITE / TOWNHOUSE.
- 4. RIGHT-OF-WAY IMPROVEMENTS, SEDIMENT CONTROL MEASURES, AND FOREST CONSERVATION IMPLEMENTATION WILL BE DETERMINED BY RESPECTIVE SUBSEQUENT APPROVALS.

SHEET INDEX

- C-1 COVER SHEET
- COMPOSITE CONDITIONAL USE SITE PLAN C-2
- C-3 DETAILED CONDITIONAL USE SITE PLAN DETAILED CONDITIONAL USE SITE PLAN C-4
- C-5 GREEN AREA PLAN
- CIRCULATION PLAN C-6
- C-7 ROUGH GRADING PLAN
- C-8 BUILDING COVERAGE PLAN

LANDSCAPE & LIGHTING PLAN

L-000 COMPOSITE LANDSCAPE & LIGHTING PLAN

- L-100 DETAILED LANDSCAPE & LIGHTING PLAN L-101 DETAILED LANDSCAPE & LIGHTING PLAN
- L-102 LANDSCAPE & LIGHTING DETAILS
- L-103 LANDSCAPE & LIGHTING DETAILS
- L-104 PHOTOMETRIC LIGHTING PLAN

SUPPORTING DRAWINGS SHEET INDEX VICINITY MAPS

COLOR UTILITY PLAN CONCEPT STORMWATER MANAGEMENT PLAN

APPROVED NRI/FSD SURROUNDING NEIGHBORHOOD PLAN

SUPPLEMENTAL DRAWINGS SHEET INDEX FIRE ACCESS PLAN

LOTTING PLAN

P-1407-SEC-03



(703) 556-9569 pbyrne@chidc.org CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100

lapides@vika.com

REVISIONS DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

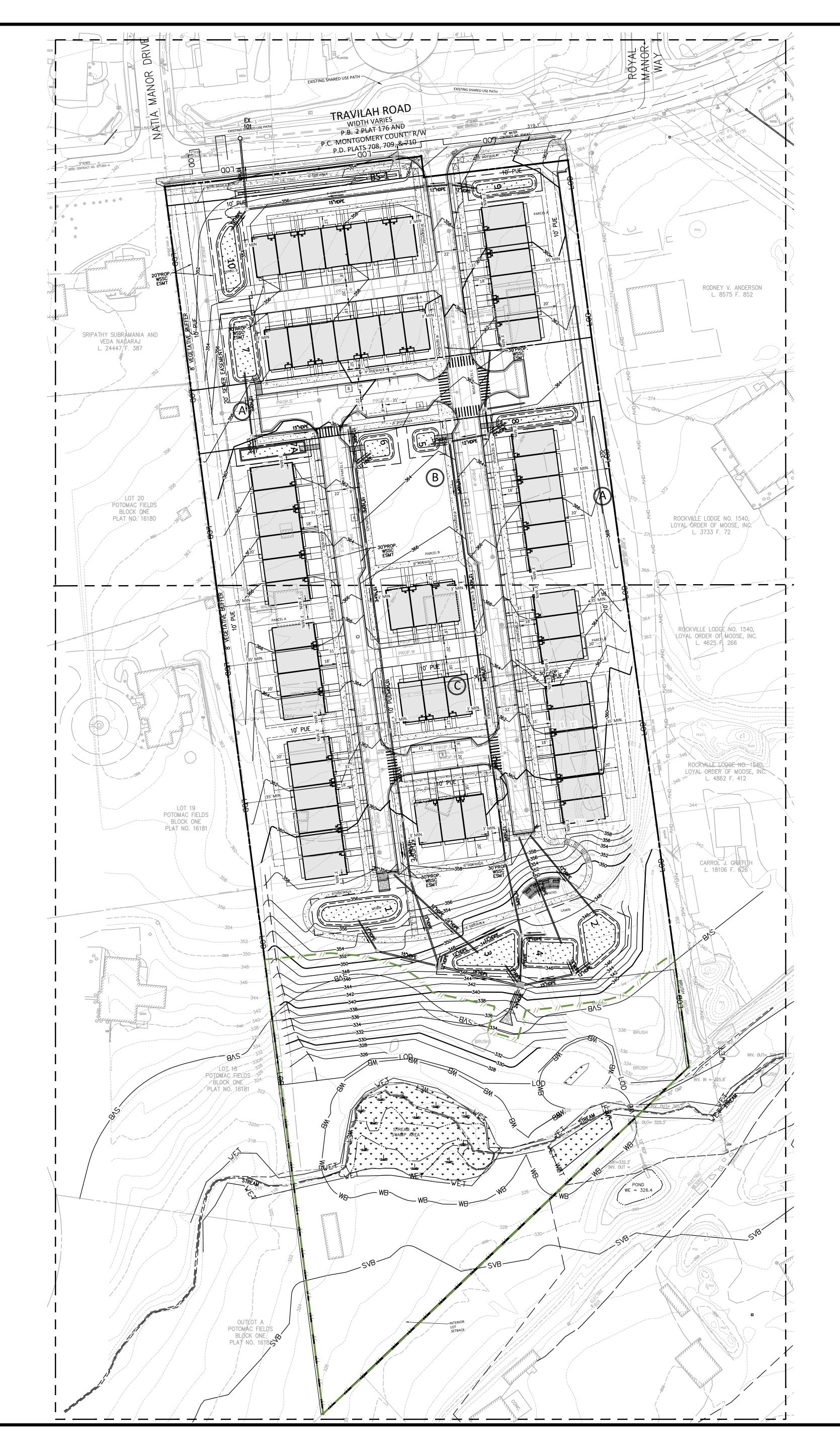


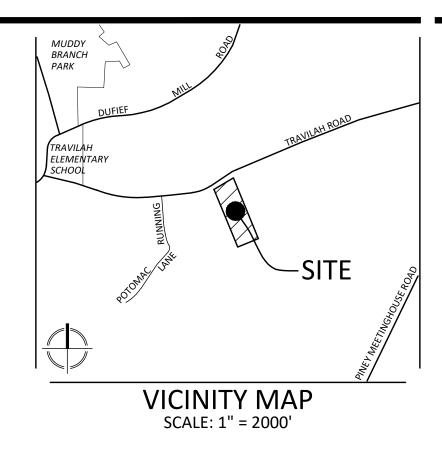
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"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

LAYOUT: C-2, Plotted By: grimm

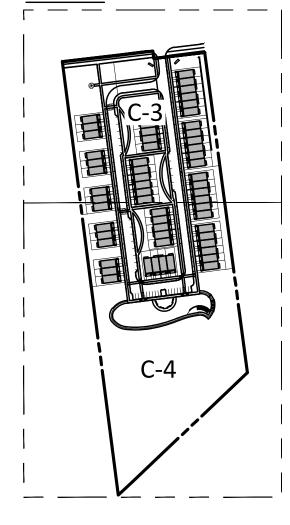




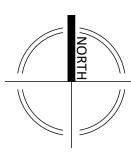


	PROPERTY LINES
	EXISTING CABLE TELEVISION CONDUIT
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G G G	
OHW_OHW	EXISTING OVERHEAD WIRES
TTTTTT	EXISTING TELEPHONE CONDUIT
	EXISTING PUBLIC UTILITIES EASEMENTS
	EXISTING SANITARY SEWER CONDUIT
	EXISTING STORM DRAIN CONDUIT
W W W	EXISTING WATER CONDUIT
	STREAM VALLEY BUFFER
	EXISTING ZONE LIMITS
	PROPOSED 10' CONTOUR
524	PROPOSED 2' CONTOUR
	PROPOSED FOREST CONSERVATION EASEMENT
	The ose forest conservation easilier
8"W	PROPOSED WATER LINE
$\overrightarrow{\Phi}$ 8"S	PROPOSED SANITARY SEWER
	WITH STRUCTURE
	PROPOSED STORM DRAIN
	PROPOSED LIMITS OF DISTURBANCE
<u>_</u>	PROPOSED STORM WATER EASEMENT
16	EXISTING PARKING LABEL
•	EXISTING SANITARY CLEANOUT
\square	EXISTING STORM DRAIN MANHOLE
EV	EXISTING ELECTRICAL JUNCTION BOX
Ð	EXISTING ELECTRICAL MANHOLE
Х	EXISTING FIRE DEPARTMENT CONNECTION
-0-	EXISTING FIRE HYDRANT
G	EXISTING GAS MANHOLE
-0	EXISTING GUY POLE
G	EXISTING GAS VALVE
	EXISTING LIGHT POLE
● PHN PED	EXISTING PHONE PEDESTAL
\mathbb{P}	EXISTING PHONE MANHOLE
X	EXISTING UTILITY POLE
´S	EXISTING SANITARY MANHOLE
	EXISTING TRAFFIC CONTROL BOX
*	EXISTING TRAFFIC SIGNAL POLE
E CATV	EXISTING TREE
	EXISTING CABLE TELEVISION PEDESTAL
O MH ⊕	EXISTING UNKNOWN UTILITY MANHOLE
\oplus	EXISTING WATER METER
Ŵ	EXISTING WATER MANHOLE EXISTING WATER VALVE
BOL	EXISTING BOLLARD
WP	EXISTING SIGN POST EXISTING WOOD POST
	EXISTING INLETS EXISTING CURB INLET
CONC. C&G	EXISTING CONCRETE EXISTING CURB AND GUTTER
BLDG.	EXISTING BUILDING
STY.	EXISTING STORY
TRV	EXISTING ELECTRICAL TRANSFORMER
ASPH.	EXISTING ASPHALT
ESMT.	EXISTING EASEMENT
RCP	EXISTING REINFORCED CONCRETE PIPE EXISTING CORRUGATED METAL PIPE
CMP BRL	EXISTING CORROGATED METAL FIFE
R/W	EXISTING RIGHT-OF-WAY
	BUILDING HEIGHT MEASURING POINT
	PROPOSED LIGHTS
*	PEDESTRIAN LIGHTS
4	PROPOSED PARKING LABELS
 من المراجع الم	
	PROPOSED HARDSCAPE
	PROPOSED FIRE HYDRANT
	DOOR LOCATION PROPOSED SWM FACILITY
	PROPOSED SWM FACILITY WITH CHEEK WALL AND CURB CUT

KEYMAP



SCALE: 1" = 50'





CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



CU-2023-10 PROFESSIONAL SEAL

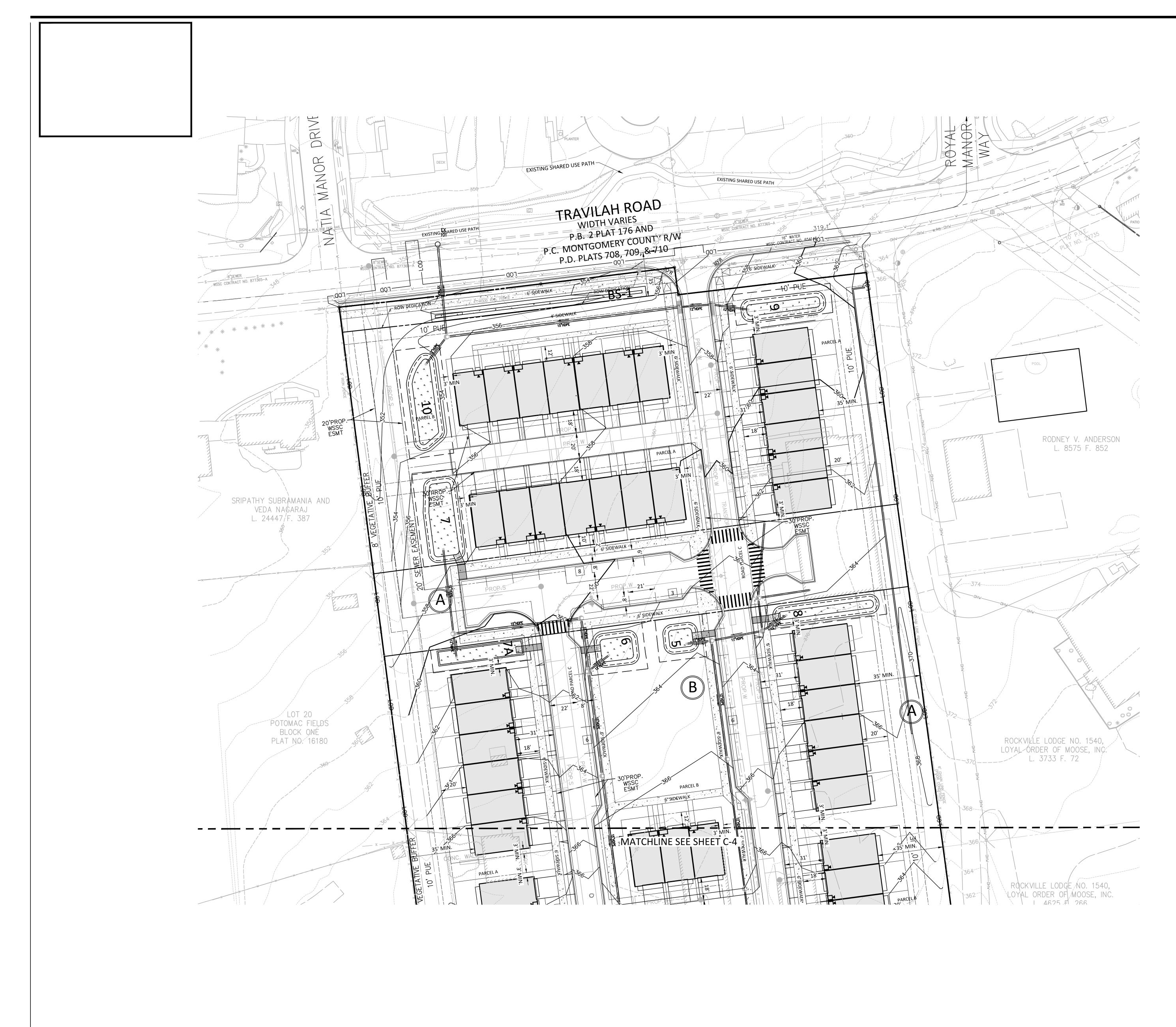


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DESIGNED BY: JS DATE ISSUED: 08/16/2024 VIKA PROJECT VM1407

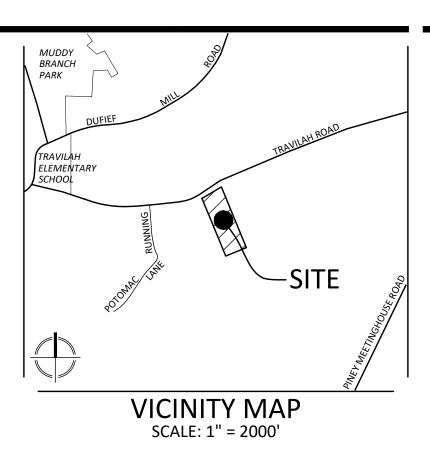
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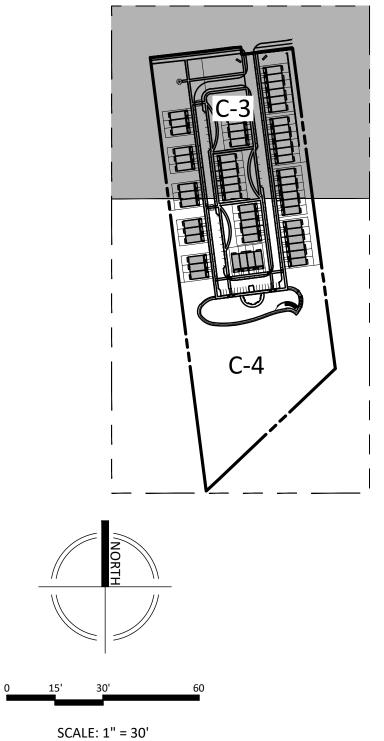
LAYOUT: C-3, Plotted By: grimm



PLAN LEGEND

<u>PLAN LEGEND</u>	
	PROPERTY LINES
	EXISTING CABLE TELEVISION CONDUIT
EEEEE	EXISTING ELECTRICAL CONDUIT
	EXISTING EDGE OF PAVEMENT
— x — x — x — x — x —	
	EXISTING NATURAL GAS CONDUIT
TTTTT	
	EXISTING PUBLIC UTILITIES EASEMENTS
SSSSSS	EXISTING SANITARY SEWER CONDUIT EXISTING STORM DRAIN CONDUIT
	STREAM VALLEY BUFFER
	EXISTING ZONE LIMITS
520	PROPOSED 10' CONTOUR
524	PROPOSED 2' CONTOUR
	PROPOSED FOREST CONSERVATION EASEMENT
8"W	PROPOSED WATER LINE
→ 8"S	PROPOSED SANITARY SEWER
	WITH STRUCTURE
	PROPOSED STORM DRAIN
LOD	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED STORM WATER EASEMENT
	EXISTING PARKING LABEL
	EXISTING PARKING LABEL
0 ^{co}	EXISTING STORM DRAIN MANHOLE
EV	EXISTING ELECTRICAL JUNCTION BOX
Ē	EXISTING ELECTRICAL MANHOLE
ď	EXISTING FIRE DEPARTMENT CONNECTION
-0-	EXISTING FIRE HYDRANT
G	EXISTING GAS MANHOLE
-0	EXISTING GUY POLE
G	EXISTING GAS VALVE
	EXISTING LIGHT POLE
PED	EXISTING PHONE PEDESTAL
P	
X	
S TC	EXISTING SANITARY MANHOLE EXISTING TRAFFIC CONTROL BOX
	EXISTING TRAFFIC CONTROL BOX
	EXISTING TREE
© CATV PED	EXISTING CABLE TELEVISION PEDESTAL
	EXISTING UNKNOWN UTILITY MANHOLE
\oplus	EXISTING WATER METER
\otimes	EXISTING WATER MANHOLE
	EXISTING WATER VALVE
• BOL	EXISTING BOLLARD
WP	EXISTING SIGN POST
	EXISTING INLETS EXISTING CURB INLET
	EXISTING CORBINEET
CONC. C&G	EXISTING CONCRETE EXISTING CURB AND GUTTER
BLDG.	EXISTING BUILDING
STY.	EXISTING STORY
TRV	EXISTING ELECTRICAL TRANSFORMER
ASPH. ESMT.	EXISTING ASPHALT EXISTING EASEMENT
RCP	EXISTING REINFORCED CONCRETE PIPE
CMP	EXISTING CORRUGATED METAL PIPE
BRL	EXISTING BUILDING RESTRICTION LINE
R/W	EXISTING RIGHT-OF-WAY
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V	DOOR LOCATION
	PROPOSED SWM FACILITY
	PROPOSED SWM
	FACILITY WITH CHEEK WALL AND CURB CUT

KEYMAP





CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 . lapides@vika.com

REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



CU-2023-10 PROFESSIONAL SEAL



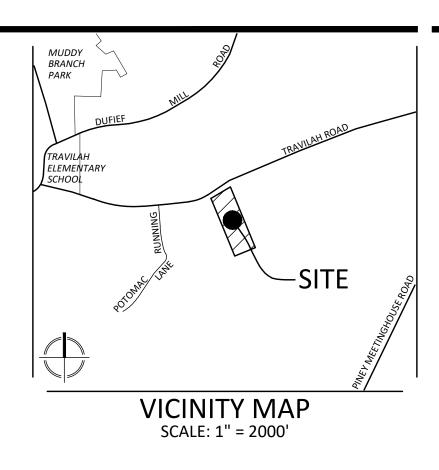
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DESIGNED BY: _____JS____ DATE ISSUED: <u>08/16/2024</u> VIKA PROJECT VM1407

DRAWING NO.

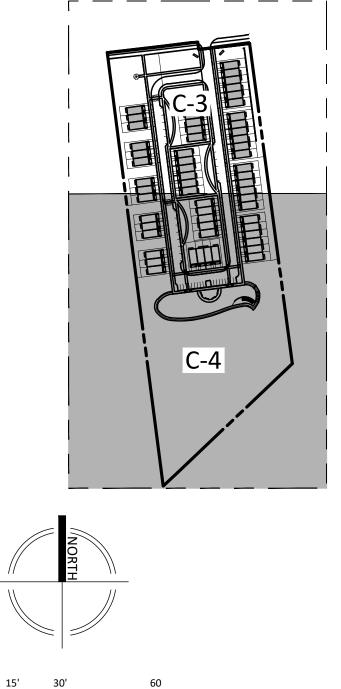




PLAN LEGEND

PLAN LEGEND	
	PROPERTY LINES
CTV-CTV-CTV-CTV-	EXISTING CABLE TELEVISION CONDUIT
ЕЕЕЕЕЕ	EXISTING ELECTRICAL CONDUIT
	EXISTING EDGE OF PAVEMENT
XXXXX GGGG	EXISTING NATURAL GAS CONDUIT
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TTTTTT	EXISTING TELEPHONE CONDUIT
	EXISTING PUBLIC UTILITIES EASEMENTS
S S S S S S S S S S S S S S S S S S S	EXISTING SANITARY SEWER CONDUIT EXISTING STORM DRAIN CONDUIT
	EXISTING WATER CONDUIT
	STREAM VALLEY BUFFER
	EXISTING ZONE LIMITS
020	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED FOREST CONSERVATION EASEMENT
│8"₩	PROPOSED WATER LINE
₫ <u>8</u> "S	PROPOSED SANITARY SEWER
	WITH STRUCTURE
	PROPOSED STORM DRAIN
LOD	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED STORM WATER EASEMENT
16	
© <i>⊂○</i>	EXISTING SANITARY CLEANOUT EXISTING STORM DRAIN MANHOLE
	EXISTING ELECTRICAL JUNCTION BOX
Ē	EXISTING ELECTRICAL MANHOLE
S	EXISTING FIRE DEPARTMENT CONNECTION
-0-	EXISTING FIRE HYDRANT
© -0	EXISTING GAS MANHOLE EXISTING GUY POLE
G	EXISTING GAS VALVE
	EXISTING LIGHT POLE
PHN PED	EXISTING PHONE PEDESTAL _
P	EXISTING PHONE MANHOLE
×	EXISTING UTILITY POLE
	EXISTING SANITARY MANHOLE EXISTING TRAFFIC CONTROL BOX
*	EXISTING TRAFFIC SIGNAL POLE
÷	EXISTING TREE
© CATV PED	EXISTING CABLE TELEVISION PEDESTAL
⊖ MH ⊕	EXISTING UNKNOWN UTILITY MANHOLE EXISTING WATER METER
$\widehat{\mathbb{W}}$	EXISTING WATER MANHOLE
) IDI	EXISTING WATER VALVE
● BOL	EXISTING BOLLARD
WP	EXISTING SIGN POST EXISTING WOOD POST
	EXISTING WOOD POST EXISTING INLETS
	EXISTING CURB INLET
CONC.	EXISTING CONCRETE
C&G	EXISTING CURB AND GUTTER
BLDG. STY.	EXISTING BUILDING EXISTING STORY
TRV	EXISTING ELECTRICAL TRANSFORMER
ASPH.	EXISTING ASPHALT EXISTING EASEMENT
ESMT. RCP	EXISTING LASEMENT EXISTING REINFORCED CONCRETE PIPE
CMP	EXISTING CORRUGATED METAL PIPE
BRL R/W	EXISTING BUILDING RESTRICTION LINE EXISTING RIGHT-OF-WAY
•	BUILDING HEIGHT MEASURING POINT
Ŧ	PROPOSED LIGHTS
*	PEDESTRIAN LIGHTS
4	PROPOSED PARKING LABELS
	PROPOSED HARDSCAPE
発	PROPOSED FIRE HYDRANT
▼	DOOR LOCATION
	PROPOSED SWM FACILITY
	PROPOSED SWM
	FACILITY WITH CHEEK WALL AND CURB CUT

KEYMAP



SCALE: 1" = 30'



CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



CU-2023-10 PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. JOSHUA SLOAN LICENSE No. <u>3776</u> EXPIRATION DATE: MAY 13, 2026

THE INFORMATION, DATE: MAY 15, 2020 THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. © 2019 VIKA MARYLAND, LLC DRAWN BY: <u>SG</u>

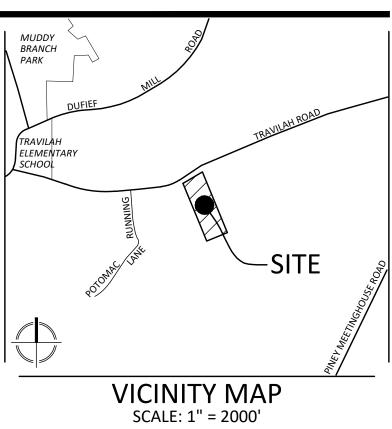
DESIGNED BY: JS DATE ISSUED: 08/16/2024 VIKA PROJECT VM1407

DRAWING NO. SHEET NO. C-4



LAYOUT: GREEN SPACE C-5, Plotted By: grimm



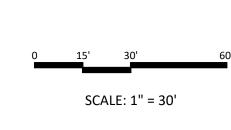


LEGEND



Green Area

468,857.32 SF 10.7634 AC 281,314.00 SF 6.45805 AC 60.00% Proposed Green Area Minimum Required Green Area 234,428.66 SF 5.38172 AC 50.00%





	DEVELOPER'S CERTIFICATE grees to execute all the features of the Site luding Approval Conditions, Development
Developer's Name:	Name of Developer
Contact Person:	Name of Contact
Address:	Address
Phone:	000.000.0000
Signature:	Date



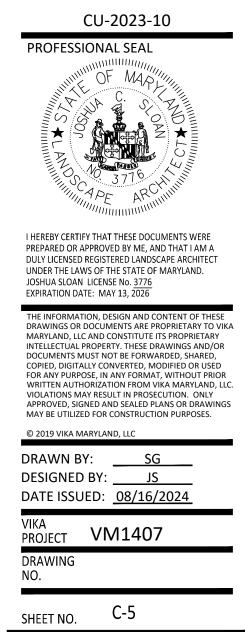
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REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

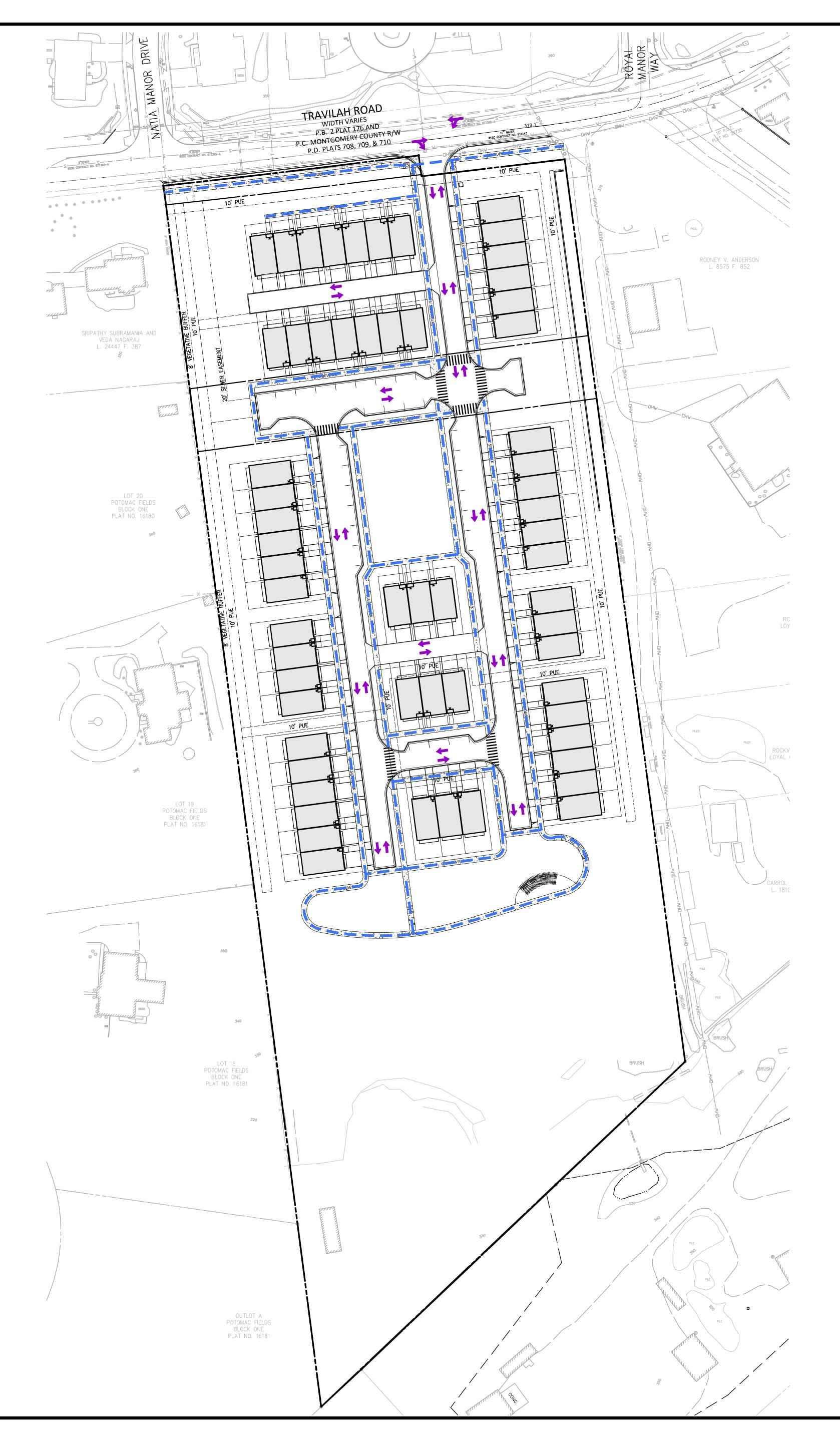




C
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ment Program and

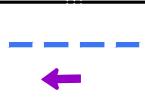


LAYOUT: CIRC C-6, Plotted By: cheng



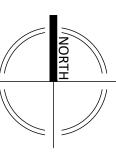
MUDDY BRANCH PARK ELEMENTARY VICINITY MAP SCALE: 1" = 2000'

LEGEND



Subject Property Limits
 Pedestrian Movement
 Vehicle Circulation

0 25' 50' SCALE: 1" = 50'







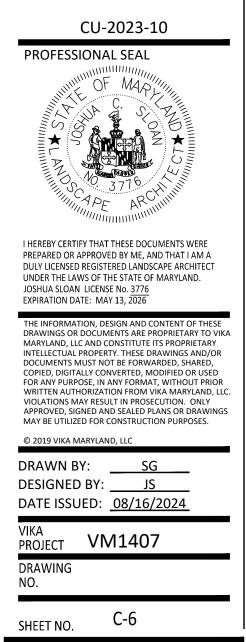
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REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

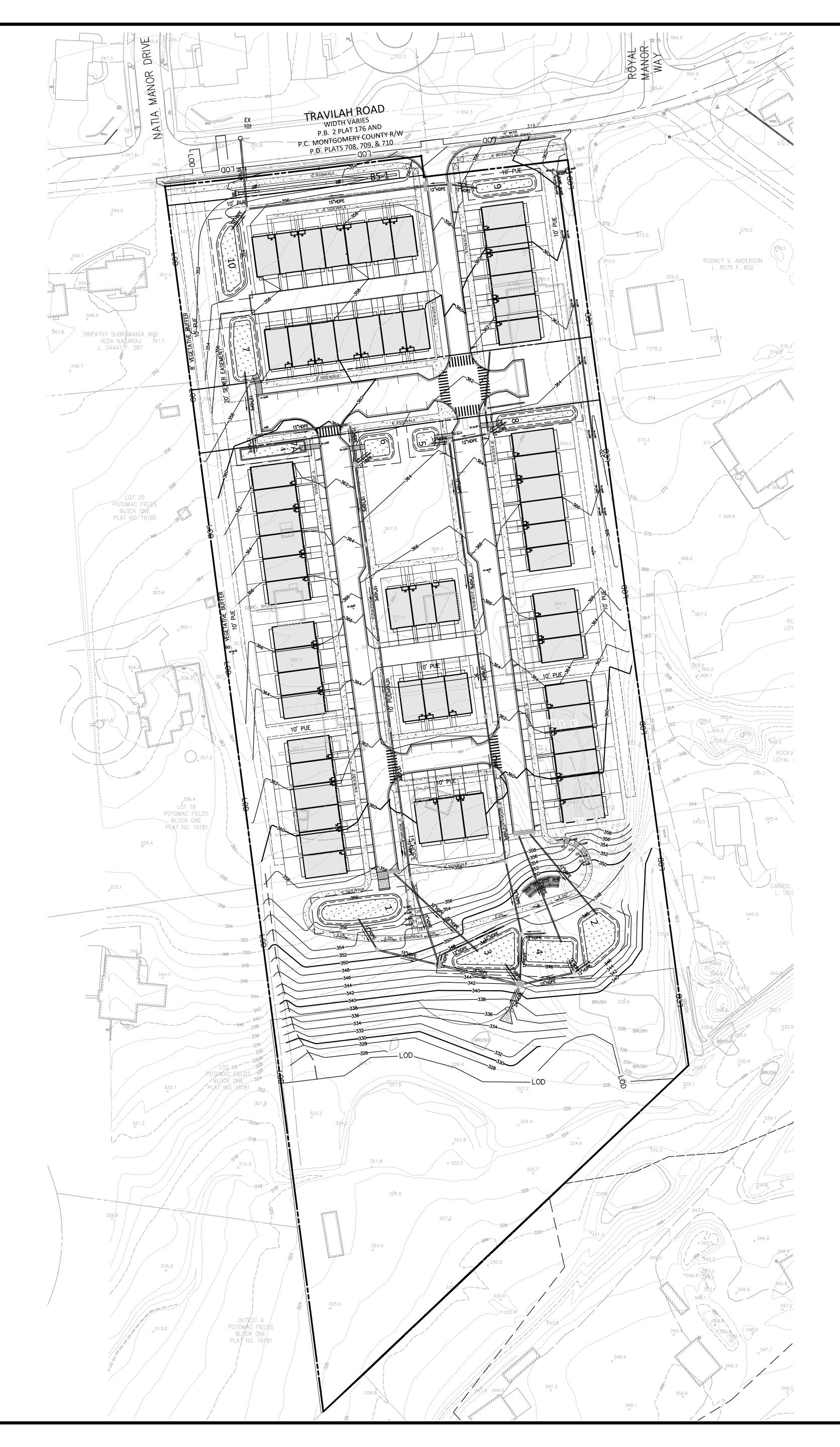


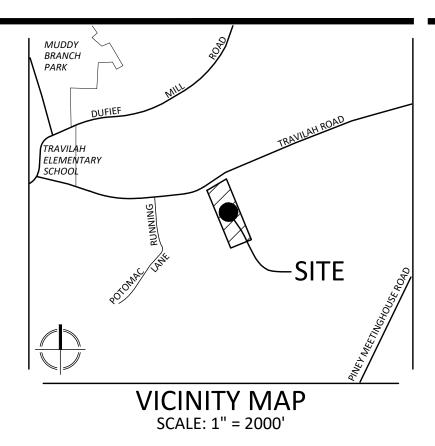


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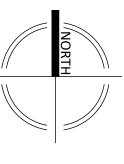


LAYOUT: C-7, Plotted By: grimm





SCALE: 1" = 50'





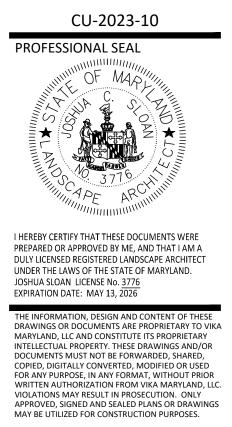
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

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6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

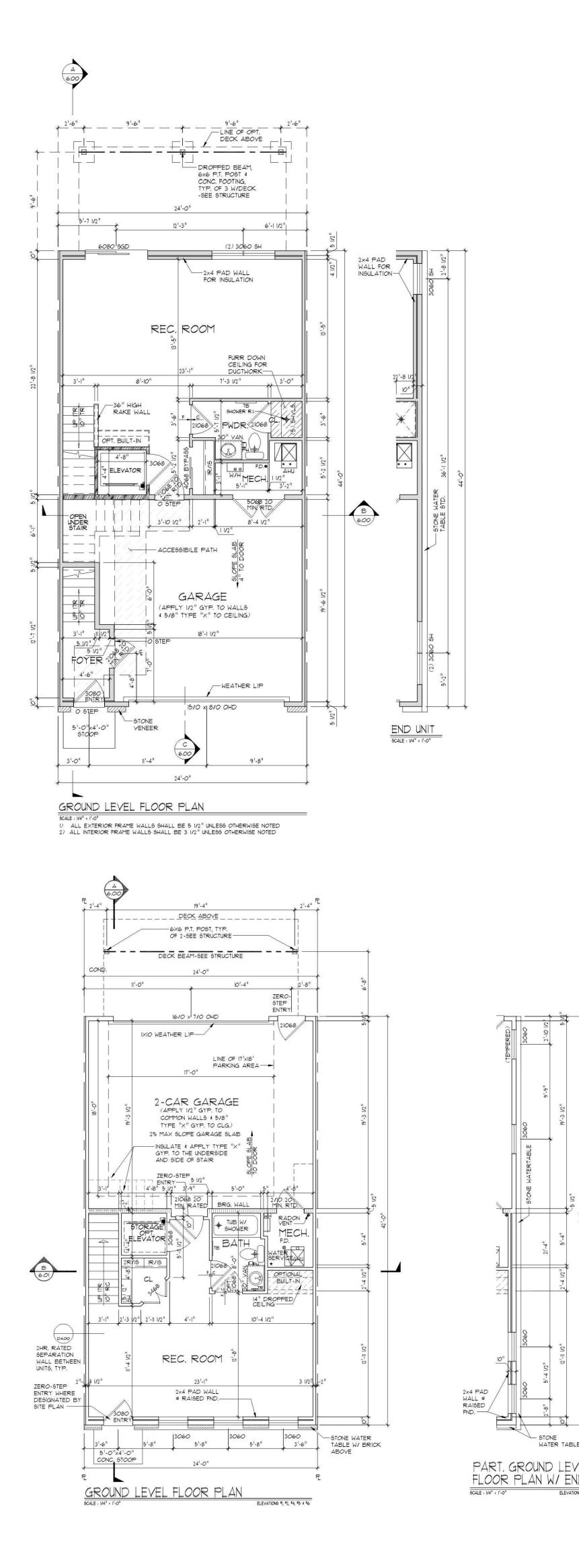




© 2019 VIKA MARYLAND, LLC DRAWN BY: SG

DESIGNED BY: JS DATE ISSUED: 08/16/2024 VIKA VIKA PROJECT VM1407

DRAWING NO.

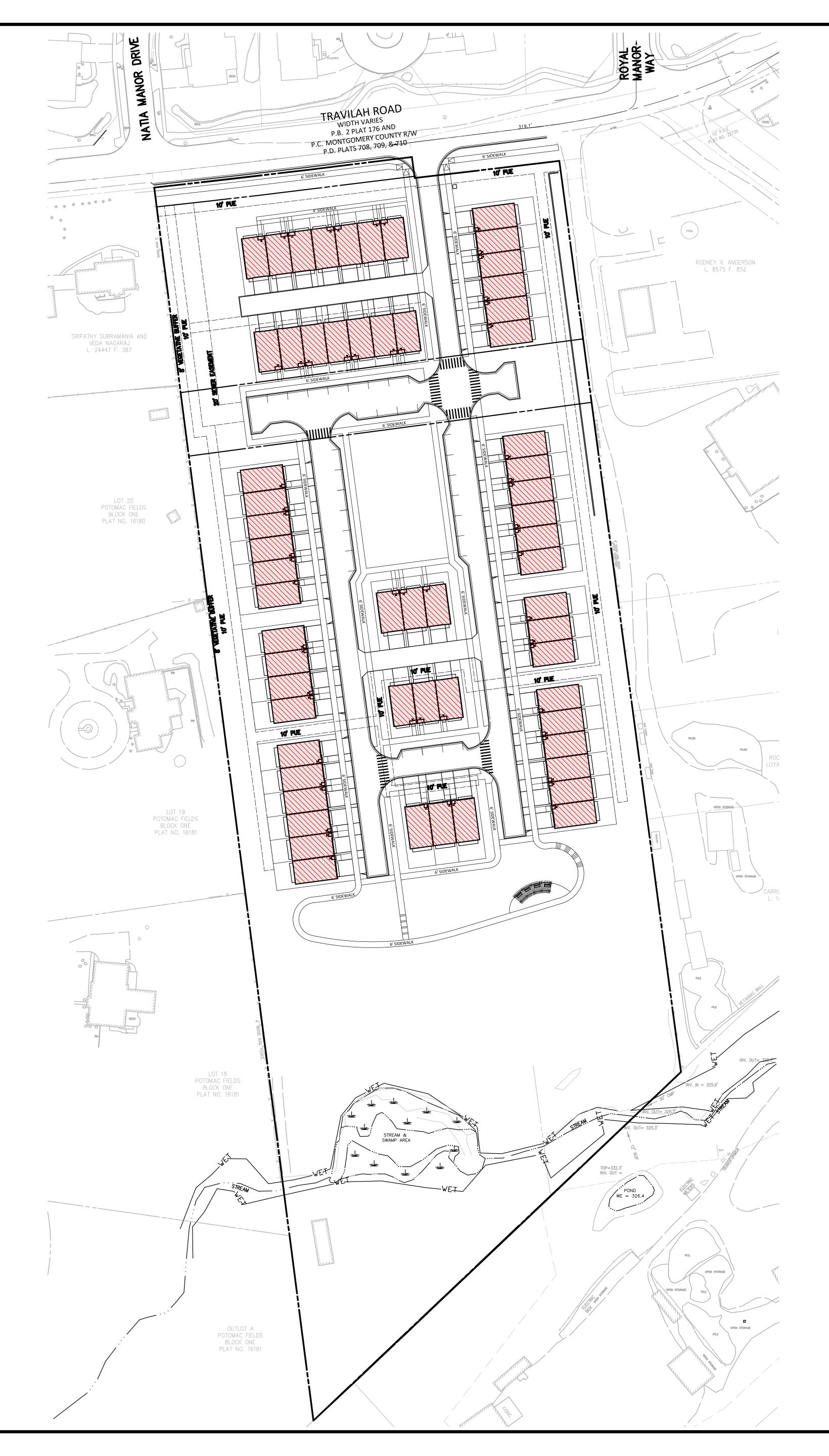


STONE WATER TABLE PART, GROUND LEVEL FLOOR PLAN W/ END UNIT SCALE : 1/4" : 1'-0" ELEVATIONS 91, 92, 94, 95 (96)

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

OR STITUS INTEN

LAYOUT: C-8, Plotted By: grimm



MUDDY BRANCH PARK ELEMENTAR VICINITY MAP

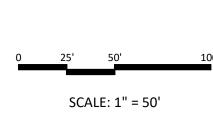
SCALE: 1" = 2000'

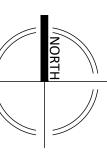
LEGEND

BUILDING COVERAGE

Net Lot Area	468857.32 SF	10.76 AC	
Proposed Building Coverage	61700.00 SF	1.42 AC	13%
Allowed Building Coverage	115718.00 SF	2.66 AC	25%

Note: 13% shown, per Data Table, up to 15% approved.









CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

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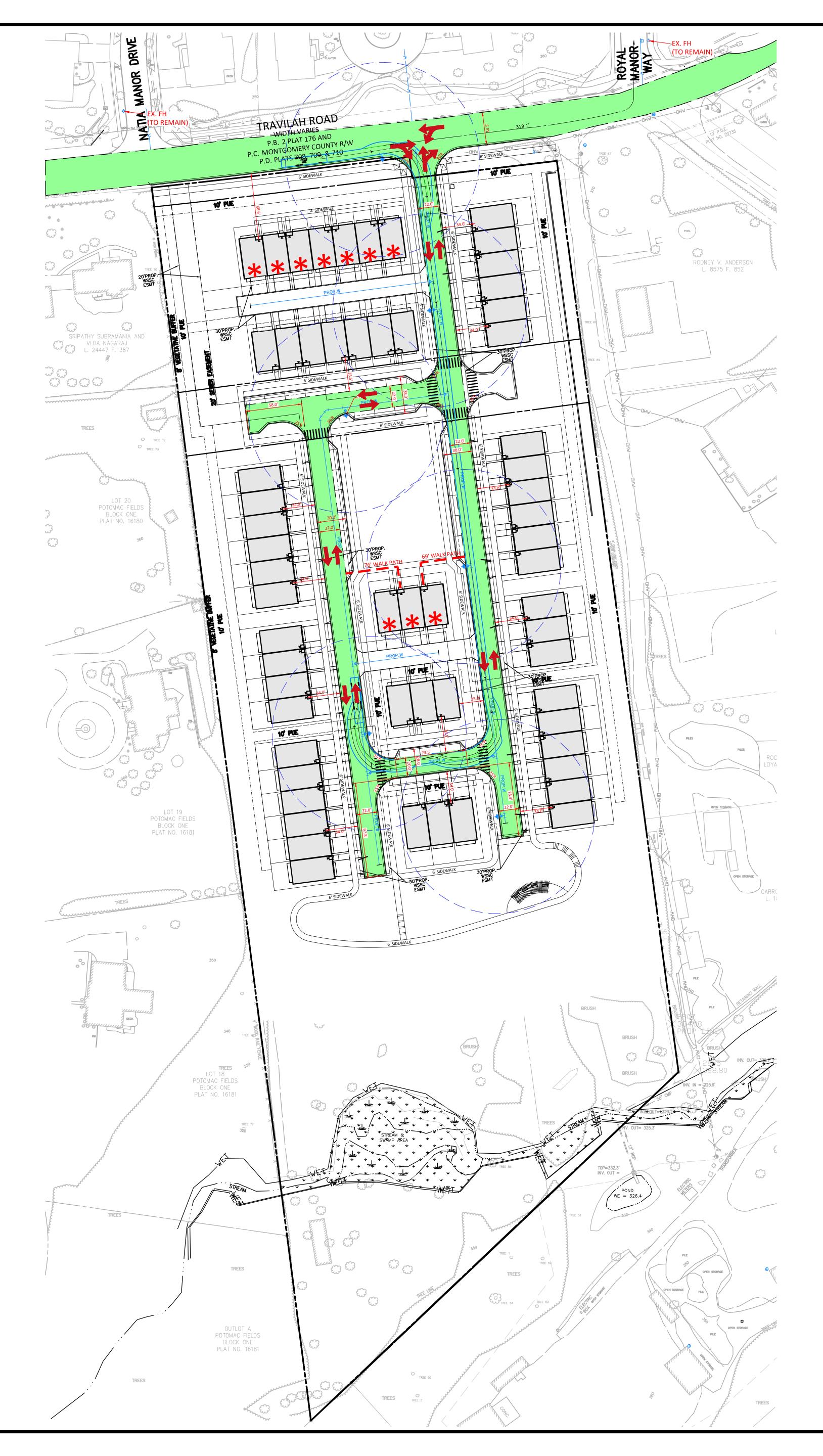
6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

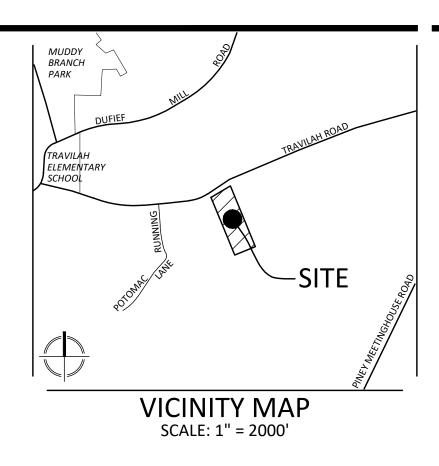






LAYOUT: FIRE ACCESS, Plotted By: grimm





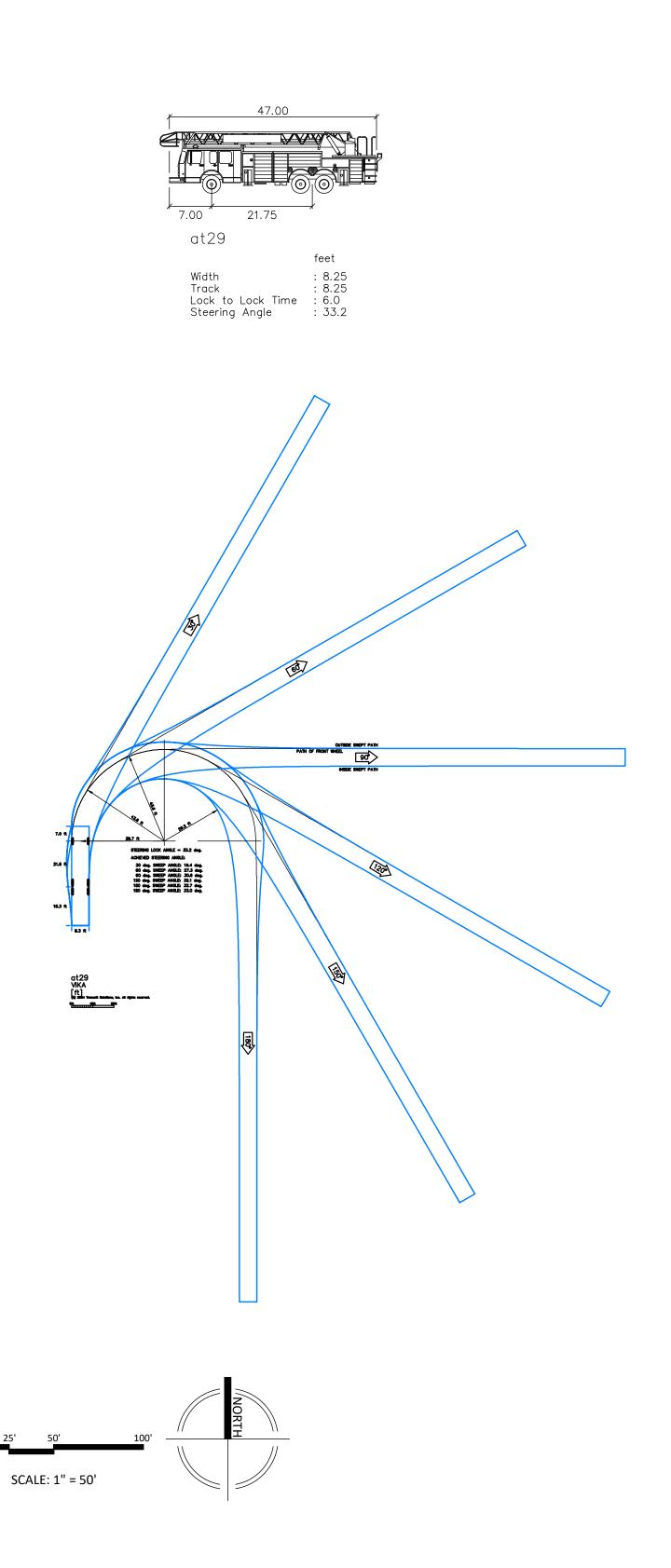
LEGEND

10"W

- WATER LINE AND FITTING
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- BUILDING ENTRY
- FIRE TRUCK MOVEMENT (AT 729 TRUCK)
- FIRE ACCESS PATH

HEIGHT-RESTRICTED UNIT (3 STORY MAX)

NOTE: ALL UNITS ARE 3 -TO 4-STORY TOWNHOMES AND MAY HAVE ROOFTOP TERRACE, UNLESS NOTED AS * HEIGHT -RESTRICTED UNIT ON PLAN.





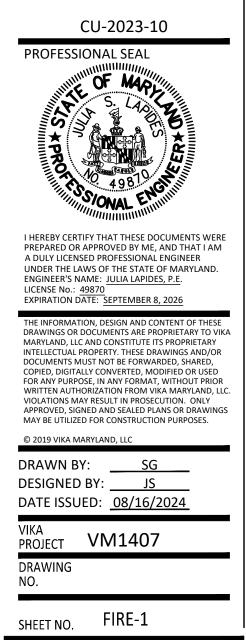
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

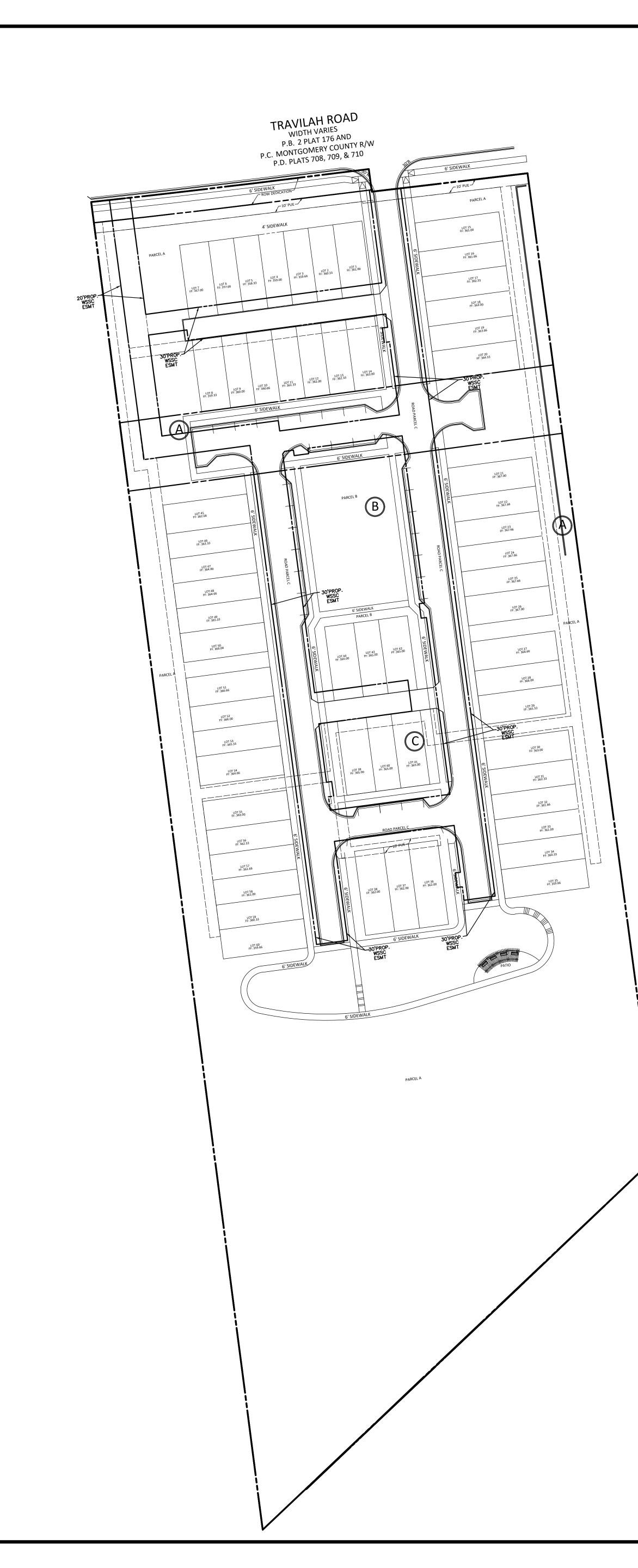


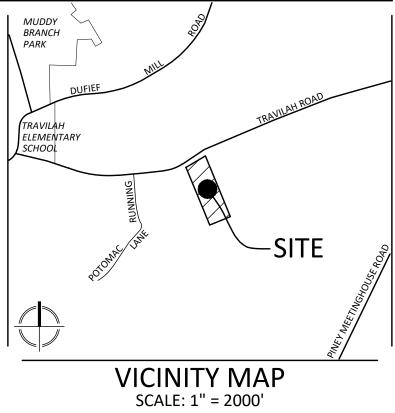


500/1407/cadd/site development/PL0T SHEETS/1407200_P_FIRE.dwg ~ Wednesday, February 26, 2025 11:57:43 AM

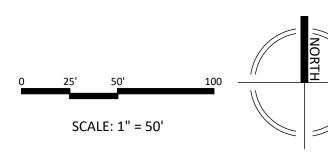


LAYOUT: LOTTING, Plotted By: grimm





NOTE: FINAL LOT AND PARCEL NUMBERS AND AREAS ESTABLISHED BY PLAT.





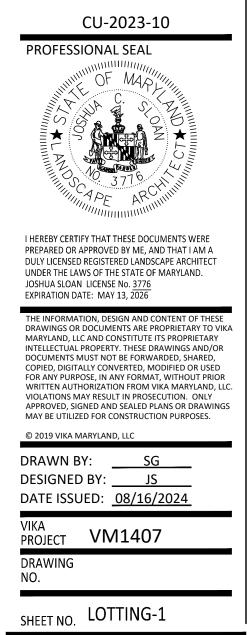
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

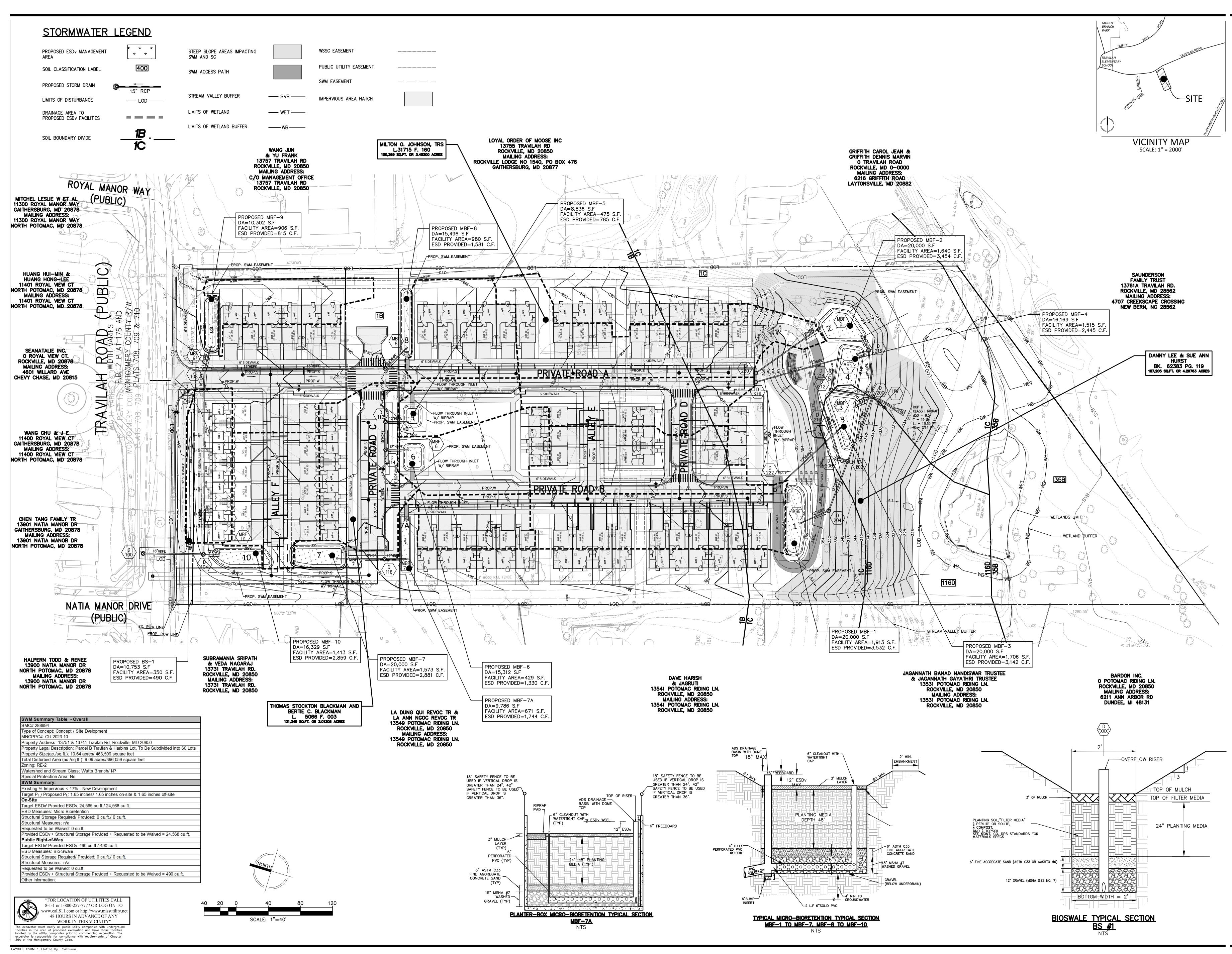
REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12







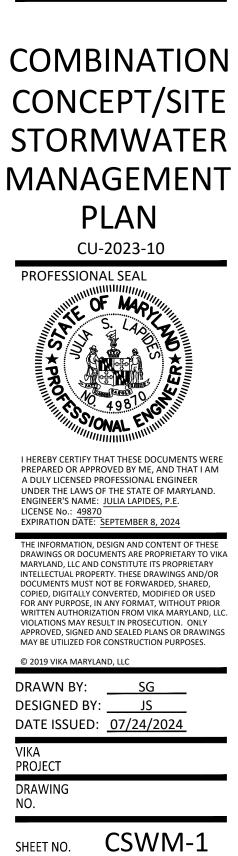


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REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



1−1500/1407/cadd/site development/PLOT SHEETS/1407200_P_CSWM.dwg ~ Friday, August 16, 2024 4:30:48 PM

E-FILE STAMP

NTGOMERY PLANNING DEPARTMENT IARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION APPROVED - 420222000 oug Johnsei

IMITS OF SUBJECT PROPERTY

ADJACENT PROPERTY LINES

EX.TREE <24" DBH

EX. SIGNIFICANT TREE

≥ 24"-29.9" DBH

EX. SPECIMEN TREE

EX. TREE CANOPY

SLOPES ≥ 25%

STREAM LIMIT

FREAM CENTERI IN

WETLAND BUFFER

EX. FOREST STAND

FIELD DATA SAMPLE POINT

EX. CABLE TV CONDUIT

EX. ELECTRICAL CONDUIT

EX. EDGE OF PAVEMENT

EX. FIBEROPTIC CONDUIT

EX. NATURAL GAS CONDUIT EX. OVERHEAD WIRES

WETLAND

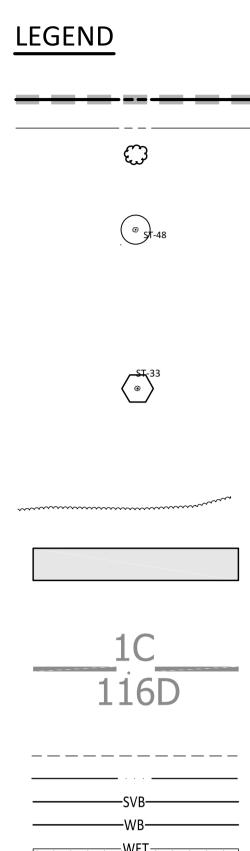
STREAM VALLEY BUFFEF

EDGE (NOT FOREST)

SOIL BOUNDARY & TYPE

≥ 30" DBH

06/28/22



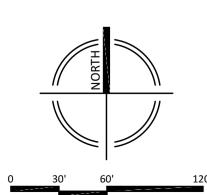
<u>* * * * *</u>WET<u>* * * * *</u> FS-1 FSD-SP1

(#1) _____ CATV _____ CATV _____ ——— Е ——— Е ——— Е ——— Е ——— Е ———

 — x -	— x -	— ×	. —	х —	- x —	EX. FENCE LINE
 	G		— G —		- G	EX. NATURAL GAS CON
 0	HW		W	OH	N	EX. OVERHEAD WIRES
 F0 —	— F0 ——	— F0 —	— F0 —	— F0 —	—— F0 ——	EX. FIBEROPTIC COND
 — T —	— T —	— T —	— T —	— T —	— T ———	EX. TELEPHONE/COMM
 						EX. PUBLIC UTILITIES E
 	— s —		— s —		- S ———	EX. SANITARY SEWER
 ·	—SD —	·	—SD —		-SD	EX. STORM DRAIN
 ·	W	·	— W—		- W	EX. WATER LINE

• *co* EX. SANITARY CLEANOUT EX. STORM DRAIN MANHOLE \bigcirc EV EX. ELECTRICAL JUNCTION BOX EX. ELECTRICAL MANHOLE EX. FIRE DEPT. CONNECTION -0-**EX.FIRE HYDRANT** G EX. GAS MANHOLE EX. GUY POLE -0 G EX. GAS VALVE EX. LIGHT POLE \diamond EX. PHONE PEDESTA EX. PHONE MANHOLE P/ EX. UTILITY POLE **EX. SANITARY MANHOLE** S EX. TRAFFIC CONTROL BOX TC EX. TRAFFIC SIGNAL POLE * CATV
 EX. CABLE TV PEDESTAL EX. UNKNOWN UTILITY MANHOLE 🔾 мн EX. WATER METER \oplus EX. WATER MANHOLE \bigotimes EX. WATER VALVE \square • BOL EX. BOLLARD -0-EX. SIGN POST ●^{WP} EX. WOOD POST 🖨 🎟 🛛 EX. INLETS EX. CURB INLET EX..... EXISTING CONC..... EX. CONCRETE C&GEX. CURB AND GUTTER BLDG...... EX. BUILDING STY. EX. STORY TRV EX. ELEC. TRANSFORMER ASPH. EX. ASPHALT ESMT. EX. EASEMENT RCP EX. REINFORCED CONC. PIPE CMP EX. CORRUGATED METAL PIPE

BRL EX. BLDG. RESTRICTION LINE R/W..... EX. RIGHT-OF-WAY FF. EX. FINISHED FLOOR ELEVATION



located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

AYOUT: NRI COMP, Plotted By: Kuzmick

SCALE: 1" = 60' **"FOR LOCATION OF UTILITIES CALL** 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.ne 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities



TRAVILAH ROAD NATURAL RESOURCES INVENTORY/FOREST STAND DELINEATION

GENERAL NOTES

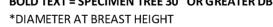
	INLIAL NOTES						
	THE SUBJECT PROPERTY PARCELS ARE LISTED BELOW AND TOGETHER COMPRIE APPROXIMATELY 11.09 ACRES LOCATED ALONG TRAVILAH ROAD IN ROCKVILLE, MD.	TREE NO.	BOTANICAL NAME	COMMON NAME	D.B.H. (in.)*	SPECIMEN	CONDITION
	LOT/PARCEL BLOCK TAX ACCT NO. LIBER & FOLIO PLAT NO.	1	Quercus alba	White oak	42.5	~	Good
	P709 - 06-00399300 5066/003 -	2	Quercus alba	White oak	30	✓	Fair
	P804 - 06-00389265 4031/327 -	14	-	American sycamore	30.1	✓ ✓	Good
	N765 - 06-00405195 1158/243 -	14		American sycamore	33	· ·	Good
				American sycamore			
2.	THE SUBJECT SITE IS ZONED RE-2 UNDER THE POTOMAC SUBREGION MASTER PLAN AND REGULATIONS OF MONTGOMERY COUNTY, MD.	18	Quercus phellos	Willow oak	33.5	~	Fair
		19		Red maple	25		Poor
	THE HORIZONTAL DATA IS BASED ON NAD 83 MARYLAND COORDINATE SYSTEM. THE VERTICAL DATUM IS BASED ON NGVD29	22		Black cherry	24		Poor
	DATUM.	23	Morus alba	White mulberry	Est. 26		Poor
		25		Red maple	34	✓	Poor
	TOPOGRAPHIC INFORMATION BASED ON AERIAL MAPPING PROVIDED	26		Cherry sp.	24		Poor
	BY NOR EAST MAPPING, INC. DATED JANUARY 16, 2008 AND FIELD	27	Acer rubrum	Red maple	28.5	✓	Poor
	VERIFIED BY VIKA MARYLAND LLC.	28	Pinus strobus	Eastern white pine	30.5	✓ ✓	Good
		29 30		Red maple Red maple	35.5	•	Poor
	THE SUBJECT PROPERTY IS LOCATED IN THE SANDY BRANCH	30	Castanea sativa	European chestnut	28.4 28		Poor Fair/poor
	SUBWATERSHED OF THE WATTS BRANCH WATERSHED. SANDY BRANCH IS A MARYLAND STATE-DESIGNATED USE I-P STREAM.	31	Castanea sativa	European chestnut	28		Fair
	BRANCH IS A MARTLAND STATE-DESIGNATED USE I-P STREAM.	32 33	Castanea sativa	European chestnut	32.5	✓	Poor
		35		Red maple	27	•	Poor
•	THIS SITE IS NOT LOCATED WITHIN A SPA OR PMA.	36		Red maple	26		Fair
	A TRIBUTARY TO SANDY BRANCH OCCURS IN THE SOUTHERN SECTION	30	Acer rubrum	Red maple	35.5	✓	Poor
•	OF THE SITE. THE ONSITE STREAM IS A SOUTHWEST-FLOWING,	39	Acer rubrum	Red maple	29.3		Fair
	PERENNIAL STREAM. PART OF THE STREAM RUNS THROUGH A	40		Red maple	25		Fair
	FORMER IN-LINE POND WHICH IS NO LONGER IMPOUNDED. THE	41		Red maple	27		Poor
	NORTHERN SIDE OF THE STREAM WAS FLAGGED AND SURVEY-LOCATED AS SHOWN ON THE PLAN. SEE ADDITIONAL	42	Platanus occidentalis		34	~	Good
	DETAILS IN THE SITE DESCRIPTION AND LOCATIONS ON THE PLAN.	43		Red maple	28		Fair
		44	Acer rubrum	Red maple	30.5	✓	Fair
•	A SMALL WETLAND WAS DELINEATED ON THE NORTH SIDE OF THE	45	Acer rubrum	Red maple	29		Poor
	STREAM AS SHOWN ON THE PLAN. ADDITIONAL WETLANDS WERE	46	Acer rubrum	Red maple	33	✓	Fair
	IDENTIFIED ON THE SOUTH SIDE OF THE STREAM, THE ESTIMATED LIMITS OF WHICH ARE SHOWN ON THE PLAN.	47	Acer rubrum	Red maple	25		Fair
	LINITS OF WHICH ARE SHOWN ON THE FLAN.	48	Acer rubrum	Red maple	29		Fair
	THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREA OF MINIMAL	49	Acer rubrum	Red maple	28.5		Poor
•	FLOOD HAZARD) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM)	50	Acer saccharinum	Silver maple	37	✓	Fair
	COMMUNITY PANEL NO. 24031C0328D, FOR MONTGOMERY COUNTY, MARYLAND, DATED SEPTEMBER 29, 2006.	51	Quercus rubra	Northern red oak	27		Fair
		52	Quercus alba	White oak	23.5		Fair/Poor
0.	A LETTER FROM DNR DATED MARCH 18, 2022 STATES THAT NO OFFICIAL RECORDS FOR STATE OR FEDERAL LISTED, CANDIDATE,	53 54	Quercus alba Quercus alba	White oak White oak	29.5		Good Fair
	PROPOSED, OR RARE PLANT OR ANIMAL SPECIES WERE FOUND FOR THE PROJECT AREA. NO RARE, THREATENED OR ENDANGERED	55	Quercus rubra	Northern red oak	27.5		Poor
	SPECIES WERE OBSERVED DURING FIELD WORK.	56		Northern red oak	26		Poor
	SI ECIES WERE OBSERVED DORING HEED WORK.	50	-	Red maple	30	✓	Good
1	THE SUBJECT PROPERTY IS NOT IDENTIFIED IN THE MONTGOMERY	58	Pinus strobus	Eastern white pine	27		Fair
1.	COUNTY HISTORIC PRESERVATION ON-LINE MAPPER	59	Pinus strobus	Eastern white pine	27		Fair
	(HTTP://WWW.MONTGOMERYPLANNING.ORG	60	Pinus strobus	Eastern white pine	27		Good
	/GIS/INTERACTIVE/HISTORIC.SHTM), ACCESSED ON NOVEMBER 11,	61		Red maple	25.5		Poor
	2021.	62		Black walnut	28.5		Fair
_		63		Black walnut	27.5		Fair
2.	TWO FOREST STANDS WERE IDENTIFIED AS SHOWN AND DESCRIBED	64		Cherry sp.	Est. 30	✓	Poor
	ON THIS PLAN. ADDITIONAL FOREST OCCURS ALONG THE SOUTHERN PROPERTY BOUNDARY THAT EXTENDS OFFSITE. THE FOREST STAND	65	Acer rubrum	Red maple	40	✓	Fair
	DELINEATION DATA AND SUMMARY DESCRIPTIONS ARE SHOWN ON	66		Red maple	36.5	✓	Fair
	THIS PLAN.	67	Quercus sp.	Oak sp.	Est. 24		Good
3.	THE SIGNIFICANT AND SPECIMEN TREES IDENTIFIED WITHIN THE NRI/FSD STUDY AREA ARE SHOWN ON THE NRI/FSD PLAN AND TREE	68		Red maple	Est. 24		Poor
	TABLE.	69		Red maple	Est. 24		Fair
		70	Platanus occidentalis	· · · · · · · · · · · · · · · · · · ·	25		Fair
4,	NO CHAMPION TREES OR TREES 75% OF THE STATE CHAMPION WERE	71		Cherry sp.	24		Fair
-	IDENTIFIED ON THE SUBJECT PROPERTY OR WITHIN THE NRI/FSD	72 73	Acer rubrum Prunus sp.	Red maple Cherry sp.	Est. 24 Est. 28		Fair Fair
5	STUDY AREA.	74		Red maple	Est. 30	~	
э.	FIELD WORK WAS CONDUCTED BY VIKA MARYLAND, LLC STAFF DNR QUALIFIED PROFESSIONAL MARION BUNDENS AND SHAWN GRIMM ON 2/2/2022, 2/20/2022, AND ON 3/1/2022. A DIAMETER TAPE WAS	74		Red maple	Est. 30	✓ ✓	Fair Fair
	USED TO MEASURE TREES. TREES SHOWN WERE EITHER SURVEY	76		Northern red oak	Est. 30 Est. 24	· ·	Good
	LOCATED OR ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED	78 77	Platanus occidentalis				
			Platanus occinamane	American sycamore	Est. 33	✓	Good

- ASSOCIATED WITH THIS PROPERTY IS AS SHOWN ON THIS PLAN.

FOREST STAND SUMMARY

Stand Variable	Stand A	Stand B		
1. Dominant Species/ Co-dominant species	Red Maple	Virginia Pine		
2. Forest Association	Bottomlands Red Maple	Upland Pine/Black Locust		
3. Successional Stage	Early Successional	Early Sucessional		
4. Basal Area in s.f. per acre	277	103		
5. Size class of dominant species	6"-11.9" and 12" - 19.9"	12" - 19.9"		
6. Percent of canopy coverage	75% - 100%	65%		
7. Number of tree species	7	3		
8. Common understory species	Red Maple, American Holly, Multiflora Rose	Virginia Pine, Black Locust		
9. Percent of understory cover 3' to 20' tall	20%	20%		
10. Number of understory species 3' to 20' tall	3	2		
11. Common Herbaceous species (* indicates invasive species)	*Microstegium, Cinna arundinacea, *Greenbrier, Juncus effusus, *Japanese Honeysuckle vine, *Poison Ivy,*Large Vitis sp., *Wineberry	*Microstegium, Christmas Fern, *Garlic Mustard, Wild grasses *Multiflora Rose, *Wineberry, *Poison lw		
12. Percent of herbaceous & woody plant cover 0' to 3' tall	90%	90%		
13. List of major invasive plant species and percent of cover	90% mostly Microstegium	90% mostly Microstegium		
14. Number of standing dead trees 6" dbh or greater	160 per acre	30 per acre		
15. Comments	This is an early successional bottomland red maple and pine forest adjacent to a stream. Some incoming late-successional species such as white oaks and red oaks and a few American holly saplings are present. The forest has poor structure with dead and dying trees and a sparse mid-story shrub layer. This forest stand is rated for High Priority Retention in the portion within the stream valley buffer, but Low Priority Retention outside of the stream buffer.	This forest stand is characterized as an earlier successional stage forest than the adjacent red maple/pine forest. Many trees are in poor health and the forest has overall poor structure. The mid-story and shrub layer are sparse, and the herbaceous layer contains mostly Microgestium (sampling occurred during the winter season) The portion of the forest within the stream valley buffer is rated as High Priority Retention rating and Low Priority Retention outside of the stream buffer.		

SIGNIFICANT & SPECIMEN TREE TABLE



SOILS TABLE

SYMBOL	SOIL*			CHARACTERISTIC	CS	
			FARMLAND OF			
		PRIME	STATEWIDE	HIGHLY		HYDROLOGIC
		FARMLAND	IMPORTANCE	ERODIBLE	HYDRIC SOIL	GROUP
1B	GAILA SILT LOAM 3-8% SLOPES	YES		NO	5% MINOR COMPONENT ONLY	В
1C	GAILA SILT LOAM 8-15% SLOPES		YES	NO	5% MINOR COMPONENT ONLY	В
35B	CHROME & CONOWINGO 3-8% SLOPES	NO	NO	NO	NO	C/D
116D	BLOCKTOWN CHANNERY SILT LOAM 15-25% SLOPES	NO	NO	NO	5% MINOR COMPONENT ONLY	D

SOURCES: USDA NRCS WEB SOIL SURVEY (http://websoilsurvey.sc.egov.usda.gov) HIGHLY ERODIBLE SOILS STATUS FROM MONTGOMERY COUNTY ENVIRONMENTAL GUIDELINES

MUDDY BRANCH PARK FMENTAR VICINITY MAP SCALE: 1" = 2000'

RESOURCE DATA TABLE

ACREAGE OF TRACT (GROSS TRACT AREA)	
ACREAGE OF TRACT REMAINING IN AGRICULTURAL USE	
ACREAGE OF TOTAL EXISTING FOREST	
ACREAGE OF 100-YR FLOODPLAINS	
ACREAGE OF FOREST W/IN 100-YR FLOODPLAINS	
ACREAGE OF WETLANDS	
ACREAGE OF FOREST WITHIN WETLANDS	
ACREAGE OF ENVIRONMENTAL BUFFERS	
ACREAGE OF FOREST WITHIN ENVIRONMENTAL BUFFERS	
LINEAR FEET AND AVERAGE WIDTH OF	
ENVIRONMENTAL BUFFER PROVIDED	
(EACH SIDE OF STREAM)	

SITE DESCRIPTION

THE ±11.09 ACRES SUBJECT SITE IS LOCATED SOUTH AND ADJACENT TO TRAVILAH ROAD AND IS COMPRISED OF THREE PROPERTIES WITH A HYDRO SEED BUSINESS, AND **RESIDENTIAL PROPERTIES. THE TWO RESIDENTIAL** PROPERTIES TO THE WEST CONSIST OF SINGLE-FAMILY HOMES, DRIVEWAYS AND PARKING, LAWNS AND ANDSCAPED AREAS, FALLOW PASTURE, AND OUTBUILDINGS. A TRIBUTARY TO SANDY BRANCH AND ASSOCIATED BENCH WETLANDS OCCUR AT THE FAR SOUTHERN END OF THE SITE, ALONG WITH TWO FOREST STANDS AS DESCRIBED IN THE SUMMARY TABLES ON THIS PLAN. SOME LARGE TREES OCCUR ONSITE AS SHOWN ON THE NRI/FSD PLAN AND SIGNIFICANT/SPECIMEN TREE

THE SITE IS BORDERED TO THE NORTH BY TRAVILAH ROAD. TO THE EAST BY RESIDENTIAL PROPERTY, PRIVATE CLUB, AND INDUSTRIAL PROPERTY. TO THE SOUTH BY INDUSTRIAL AND FORESTED PROPERTY, AND TO THE WEST BY SINGLE FAMILY RESIDENTIAL PROPERTY.

A PERENNIAL TRIBUTARY TO SANDY BRANCH OCCURS AT THE SOUTHERN END OF THE SIDE, WHICH RUNS PARTIALLY THROUGH A FORMER IN-LINE POND. THE FORMER POND FORMS THE LIMITS OF A BRAIDED STREAM CHANNEL. BENCH WETLANDS ASSOCIATED WITH THE STREAM ARE SHOWN ON THE PLAN.

ONE SMALL PALUSTRINE FORESTED WETLAND (PFO) WAS DELINEATED, FLAGGED, AND SURVEY-LOCATED IN FOREST STAND 'A' ON THE NORTH SIDE OF THE STREAM. A SECOND PFO WETLAND OCCURS ON THE SOUTH SIDE OF THE STREAM; THE LIMITS OF THIS WETLAND ARE APPROXIMATED AS SHOWN ON THE PLAN. BOTH ARE WETLANDS ASSOCIATED WITH THE ONSITE STREAM.

THE STREAM AND WETLAND DELINEATIONS WERE COMPLETED IN ACCORDANCE WITH USACE GUIDELINES.

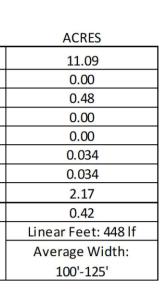
NO MAPPED FEMA 100-YEAR FLOODPLAIN OCCURS FOR THE SITE.

FOREST STAND SAMPLING DATA SUMMARY

FOI	REST STAI	ND DATA	SUMMAR	RY			
FOREST STAND:	Α			BA	SAL AREA:	277	SF
FOREST TYPE:	Early Succe	essional Bo	ttomland	# OF SAMP	LE POINTS	IN	
FOREST TYPE:	Red Maple	Forest		STAND	(SP 1)		
Tree Species	# of Trees 2-5.9" dbh	# of Trees 6-11.9" dbh	# of Trees 12-19.9" dbh	# of Trees 20-29.9" dbh	# of Trees >30" dbh	Total	Tre
Acer rubrum	11	15	5			31	
Fraxinus sp.	2					2	
Liriodendron tulipifera	1		1			2	
Pinus sp.		5	5			10	
Platanus occidentalis	1		1			2	
Quercus alba		1				1	
Quercus rubra			1			1	
Total trees tallied per Size Class	15	21	13	0	0	49	
Total # of trees per acre in Size Class	150	210	130	0	0		
Basal area per acre in size class	13	83	181	0	0	277	
Number/Size of Standing Dead Trees >6"	9	5	2			160	

FOREST STAND DATA SUMMAADY								
FOREST STAND DATA SUMMARY								
FOREST STAND:	В			B	ASAL AREA:	103	SF	
FOREST TYPE.	Famly Sugar		- Ferent	# OF SAMP	LE POINTS I	N		
FOREST TYPE:	Earry Succe	essional Pir	ie Forest	STAND (SP 2)				
Tree Species	# of Trees 2-5.9" dbh	# of Trees 6-11.9" dbh	# of Trees 12-19.9" dbh	# of Trees 20-29.9" dbh	# of Trees >30" dbh	Total	Tre	
Pinus sp	21					21		
Platanus occidentalis	5	1	2			8		
Robinia pseudoacacia	5	4	2			11		
Total trees tallied per Size Class	31	5	4	0	0	40		
Total # of trees per acre in Size Class	310	50	40	0	0			
Basal area per acre in size class	27	20	56	0	0	103		
Number/Size of Standing Dead Trees >6"	3					30		



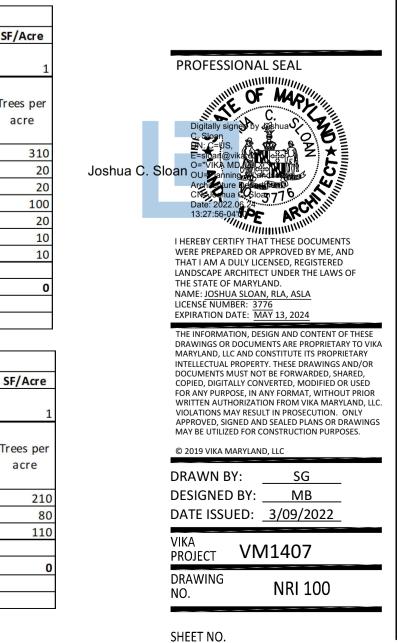




REVISIONS	DATE









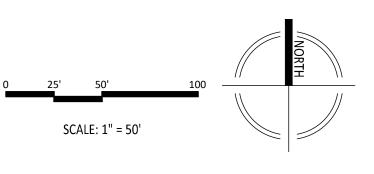
"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

OR STITUTE

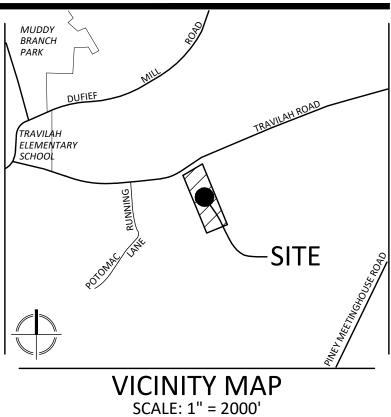
LAYOUT: L-000, Plotted By: cheng

Screening Landscape Require ection 6.5.3.C.7 Conditiona

Dimensions (min.) Depth Planting and Screening Requireme *Trees (minimum per 100 ft.):* Canopy (2 Trees/100 ft.) Understory or Evergreen (2 Trees, Shrubs (minimum per 100'): Large (6 shrubs/100 ft.) Medium (8 shrubs/100 ft.) Small (8 shrubs/100 ft.) Wall, fence or Berm (min. height): PER MONTGOMERY COUNTY CODE UPDATE CONTAINS LEGISLATION EFFECTIVE THROUGH MARCH 24, 2024. | ZONING UPDATED EFFECTIVE: MARCH 25, 2024



LEGEND \odot EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING PROPOSED CANOPY TREE • PROPOSED ORNAMENTAL TREE PROPOSED EVERGREEN TREE PROPOSED SHRUBS \odot BIORETENTION (SEE SWM PLAN FOR DETAILS) · · · · · PROPOSED CONCRETE PAVING-PEDESTRIAN — — — PUBLIC UTILITY EASEMENT — — — STORMWATER MANAGEMENT EASEMENT — — — WSSC EASEMENT PROPOSED STORM DRAIN PROPOSED SITE STORM PROPOSED SITE WATER PROPOSED SITE SEWER LIMIT OF DISTURBANCE PROPOSED STREET LIGHT PROPOSED BOLLARD LIGHT Õ



nents						
se In Residential Detached Zones - Option 'A'						
	Linear Feet of Buffer:	777 ft.				
	Required	Provided				
	8 ft.	8 ft.				
nts						
	16	16				
/100 ft.)	16	16				
	47	47				
	63	63				
	63	63				
	4 ft. high fence or wall	4 ft. high fence				

https://codelibrary.amlegal.com/codes/montgomerycounty/latest/montgomeryco_md_zone2014/0-0-0-4858



CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JOSH SLOAN (301) 916-4100 sloan@vika.com

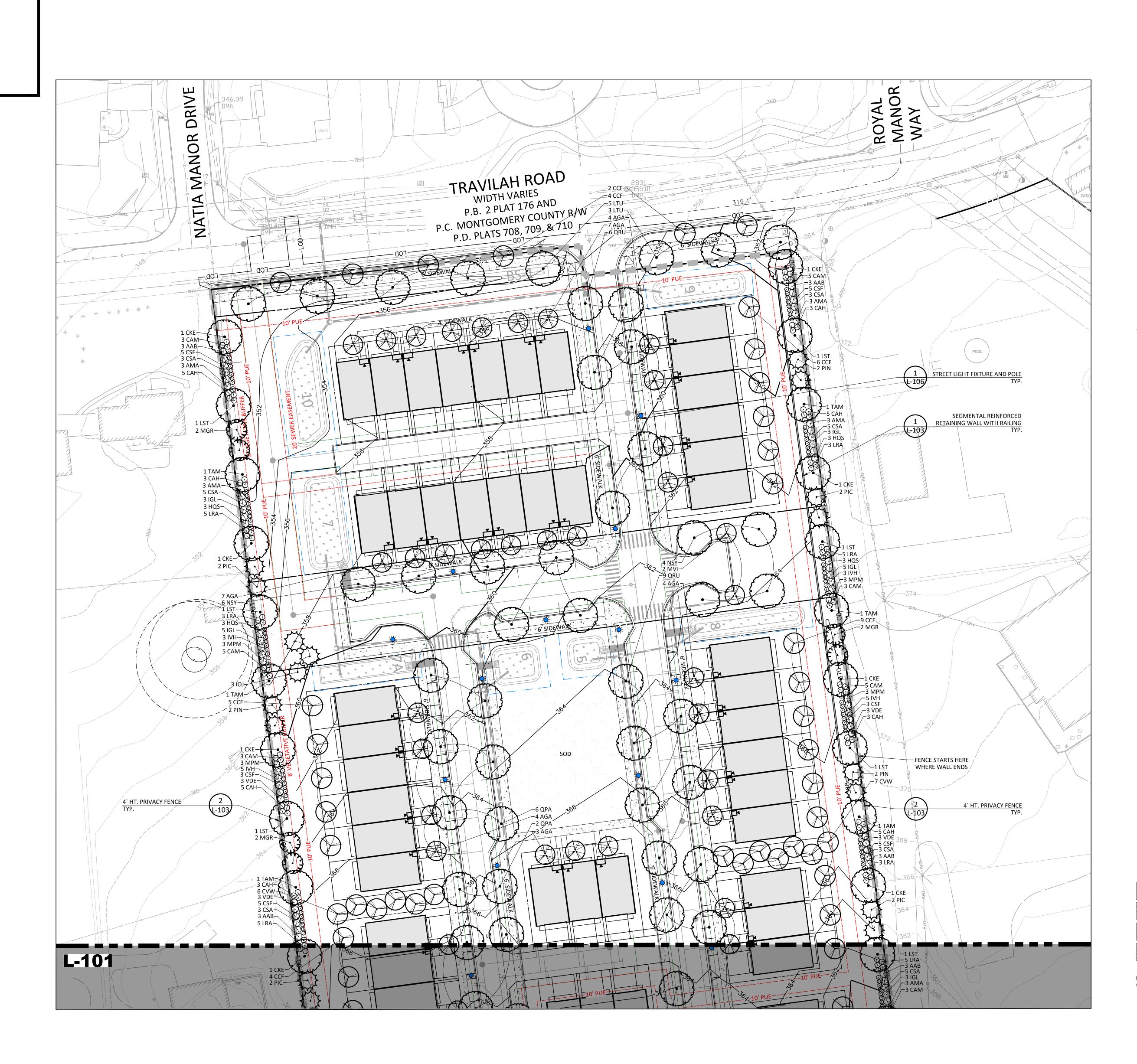
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6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12







"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

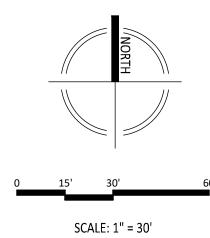
OR STITUTE

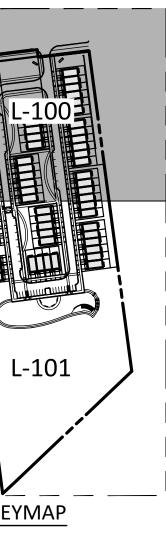
LAYOUT: L-100, Plotted By: cheng

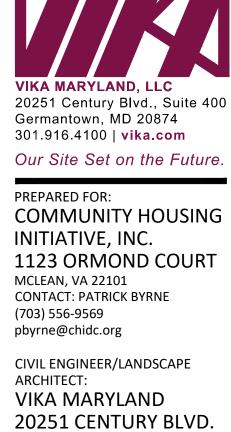


LEGEND

PROPOSED SHADE TREES ARE PER THE DEPARTMENT OF PERMITTING SERVICES APPROVED SHADE TREE LIST; CHAPTER 55-6, TREE CANOPY CONSERVATION- FEBRUARY 5, 2014







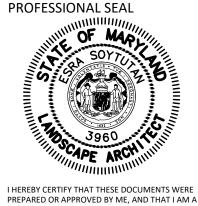
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REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12





PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED, REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LA NAME: ESRA SOYTUTAN, RLA, LEED AP ND LICENSE NUMBER: <u>3960</u> EXPIRATION DATE: 03/09/2025

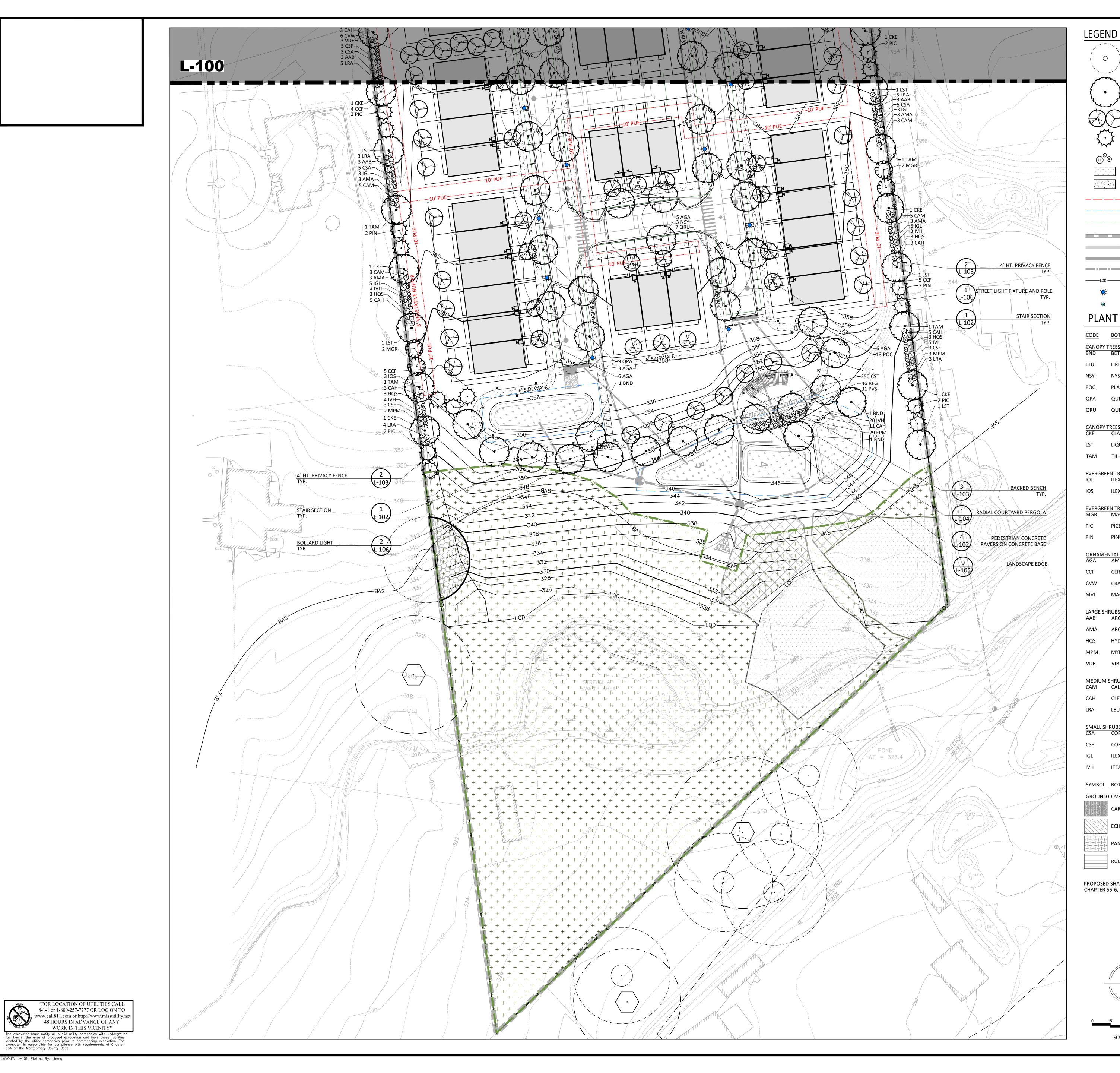
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DESIGNED BY: _____ES____ DATE ISSUED: <u>07/19/2024</u> VIKA PROJECT VM1407

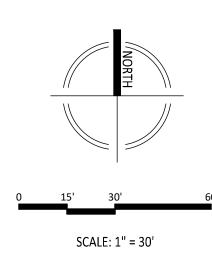
DRAWING

SHEET NO. L-100

NO.



\odot EXISTING SIGNIFICANT TREE TO REMAIN WITH CRZN SHOWING E PROPOSED CANOPY TREE • E PROPOSED ORNAMENTAL TREE PROPOSED EVERGREEN TREE 2 • PROPOSED SHRUBS (\circ) BIORETENTION (SEE SWM PLAN FOR DETAILS) PROPOSED CONCRETE PAVING-PEDESTRIAN — — — PUBLIC UTILITY EASEMENT — — — STORMWATER MANAGEMENT EASEMENT — — — WSSC EASEMENT PROPOSED STORM DRAIN PROPOSED SITE STORM PROPOSED SITE WATER PROPOSED SITE SEWER LIMIT OF DISTURBANCE PROPOSED STREET LIGHT -**O**-PROPOSED BOLLARD LIGHT $\mathbf{\tilde{o}}$ PLANT SCHEDULE <u>CODE</u> <u>BOTANICAL NAME</u> COMMON NAME CANOPY TREES BETULA NIGRA 'DURA-HEAT' DURA HEAT[®] RIVER BIRCH BND LTU LIRIODENDRON TULIPIFERA TULIP POPLAR TUPELO NSY NYSSA SYLVATICA POC PLATANUS OCCIDENTALIS AMERICAN SYCAMORE QPA QUERCUS PALUSTRIS PIN OAK QRU QUERCUS RUBRA NORTHERN RED OAK CANOPY TREES - BUFFER CLADRASTIS KENTUKEA AMERICAN YELLOWWOOD CKE LST LIQUIDAMBAR STYRACIFLUA SWEET GUM TAM TILIA AMERICANA AMERICAN LINDEN EVERGREEN TREES ILEX OPACA 'JERSEY KNIGHT' JERSEY KNIGHT AMERICAN HOLLY IOJ IOS ILEX OPACA 'SATYR HILL' SATYR HILL AMERICAN HOLLY EVERGREEN TREES - BUFFER MGR MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA PIC PICEA ABIES NORWAY SPRUCE PIN PINUS STROBUS WHITE PINE ORNAMENTAL TREE AGA AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERR) CCF CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD CVW CRATAEGUS VIRIDIS 'WINTER KING' WINTER KING HAWTHORN MVI MAGNOLIA VIRGINIANA SWEETBAY MAGNOLIA LARGE SHRUBS AAB ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA' BRILLIANT RED CHOKEBERRY AMA ARONIA MELANOCARPA 'AUTUMN MAGIC' AUTUMN MAGIC BLACK CHOKEBERRY HQS HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' SNOW QUEEN OAKLEAF HYDRANGEA MPM MYRICA PENSYLVANICA 'MORTON' SILVER SPRITE BAYBERRY VDE VIBURNUM DENTATUM VIBURNUM MEDIUM SHRUBS CAM CALLICARPA AMERICANA AMERICAN BEAUTYBERRY CAH CLETHRA ALNIFOLIA 'HUMMINGBIRD' HUMMINGBIRD SUMMERSWEET LRA LEUCOTHOE AXILLARIS DOG-HOBBLE SMALL SHRUBS CSA CORNUS SERICEA 'ARCTIC FIRE' ARCTIC FIRE® RED TWIG DOGWOOD CSF CORNUS SERICEA 'FLAVIRAMEA' IGL ILEX GLABRA IVH ITEA VIRGINICA 'HENRY'S GARNET' SYMBOL BOTANICAL NAME **GROUND COVERS** CAREX STRICTA ECHINACEA PURPUREA `MAGNUS` PANICUM VIRGATUM 'SQUAW' RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' PROPOSED SHADE TREES ARE PER THE DEPARTMENT OF PERMITTING SERVICES APPROVED SHADE TREE LIST; CHAPTER 55-6, TREE CANOPY CONSERVATION- FEBRUARY 5, 2014

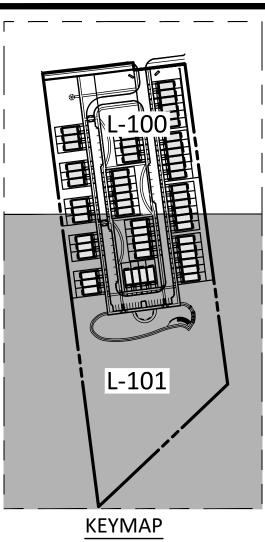


GOLDEN BLOODTWIG DOGWOOD INKBERRY HOLLY HENRY'S GARNET SWEETSPIRE COMMON NAME TUSSOCK SEDGE

SQUAW SWITCH GRASS

GOLDSTURM CONEFLOWER

MAGNUS PURPLE CONEFLOWER



VIKA MARYLAND, LLC 20251 Century Blvd., Suite 400 Germantown, MD 20874 301.916.4100 | **vika.com** Our Site Set on the Future. PREPARED FOR: **COMMUNITY HOUSING** INITIATIVE, INC. 1123 ORMOND COURT MCLEAN, VA 22101 CONTACT: PATRICK BYRNE (703) 556-9569 pbyrne@chidc.org

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<u>REVISIONS</u>	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12





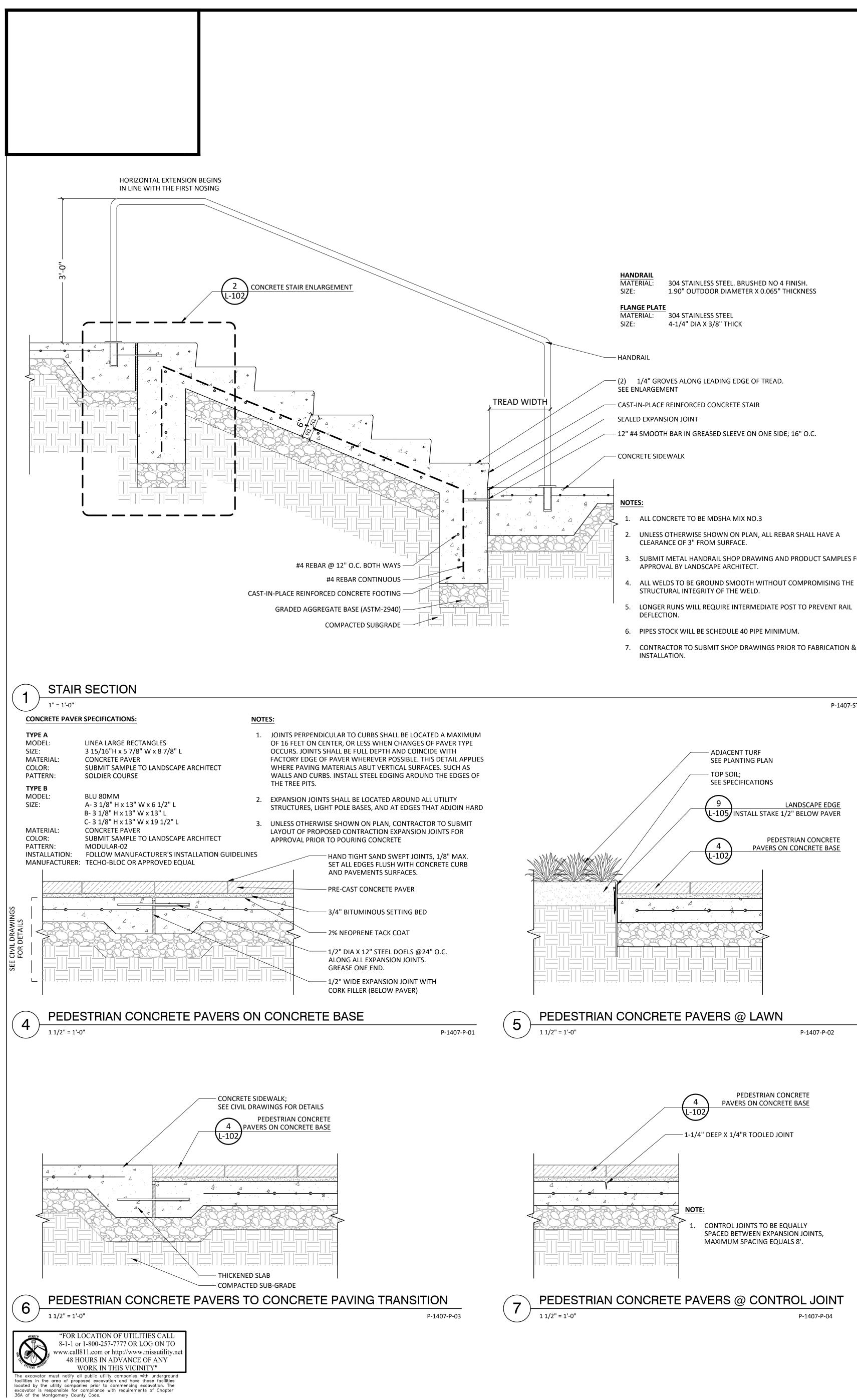
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DESIGNED BY: ES DATE ISSUED: <u>07/19/2024</u> VIKA PROJECT VM1407

SHEET NO. L-101

DRAWING

NO.

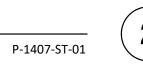


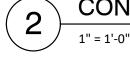




- SUBMIT METAL HANDRAIL SHOP DRAWING AND PRODUCT SAMPLES FOR

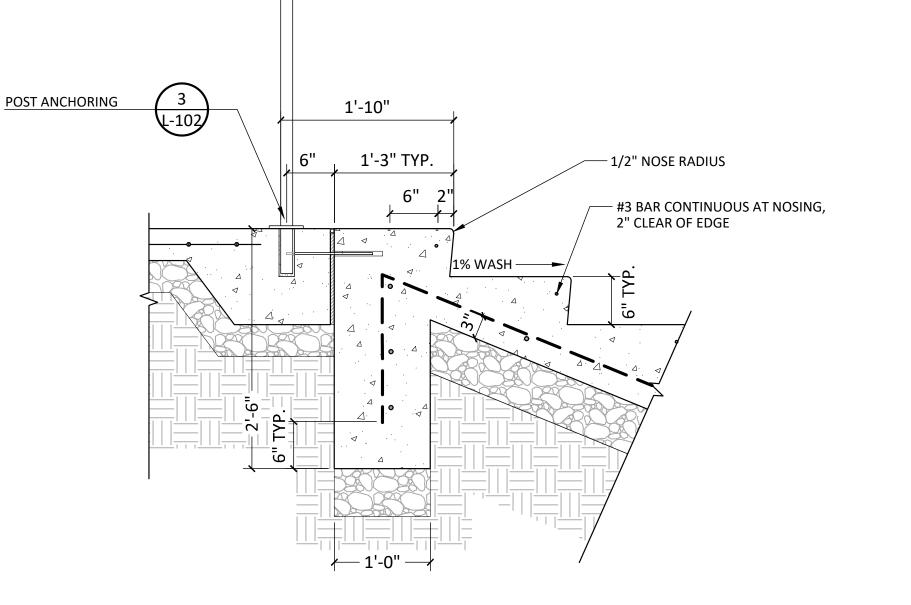
- 7. CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION &

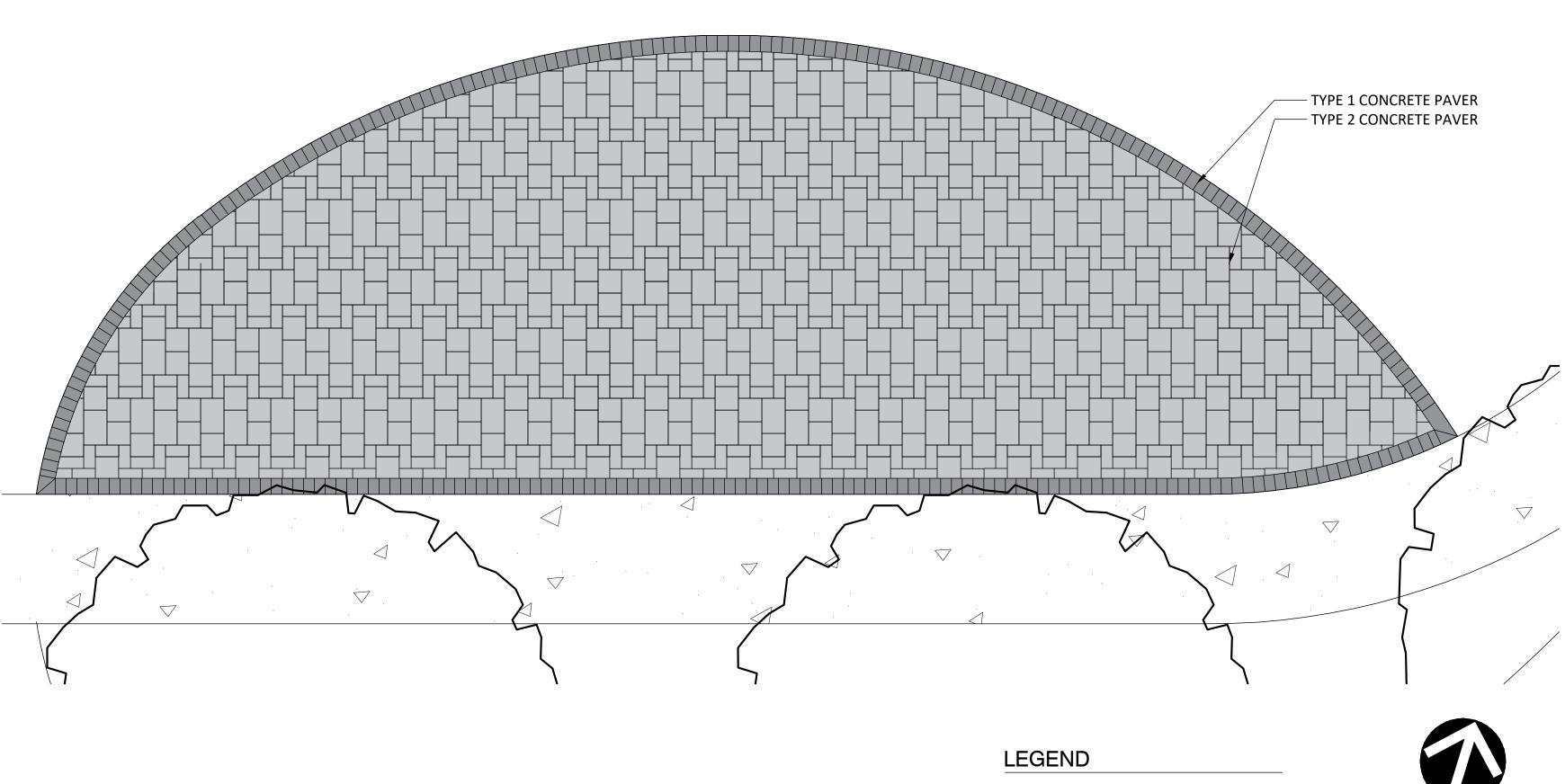




CONCRETE STAIR ENLARGEMENT

 $-\wedge$



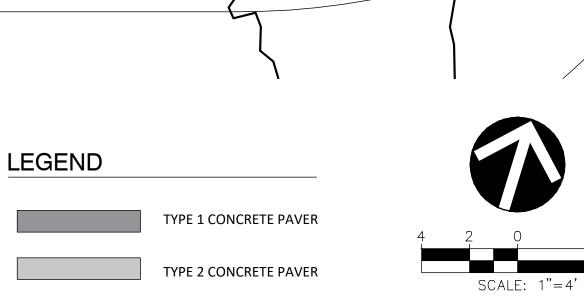


P-1407-ST-02

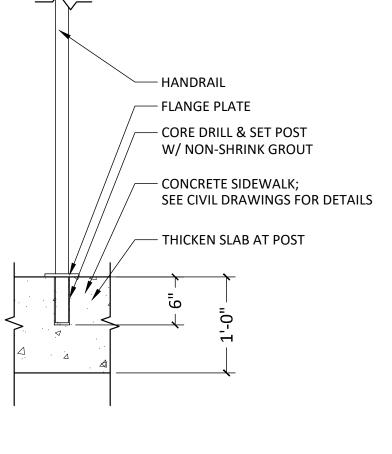
✓ PAVING ENLARGEMENT PLAN 8

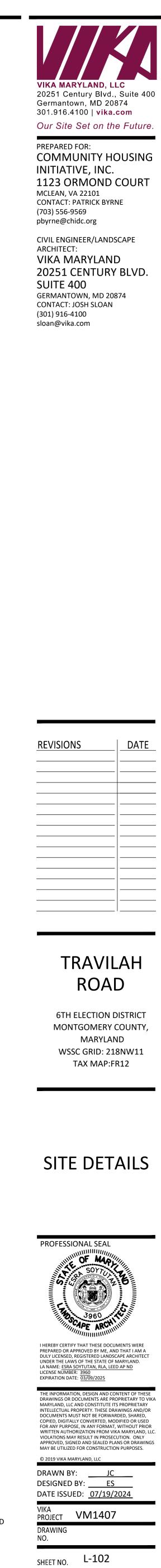
NOTE: 1. ALL FINAL PAVEMENT SECTIONS TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED ON IN-SITU SOILS TESTING AT THE TIME OF CONSTRUCTION.

P-1407-ST-03

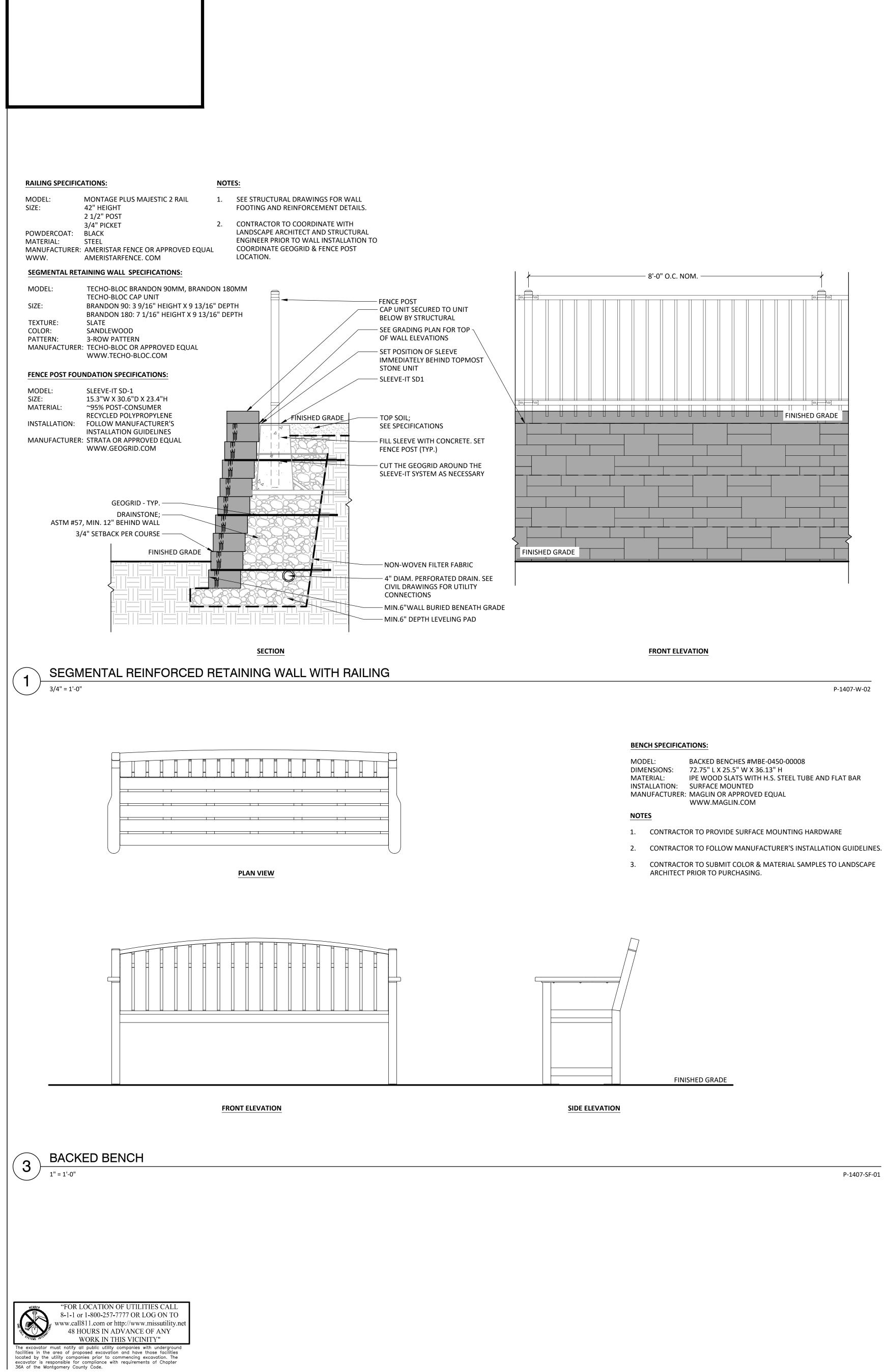




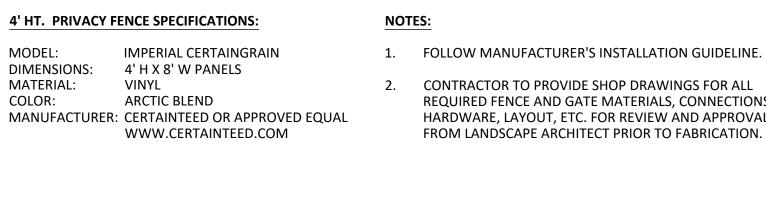


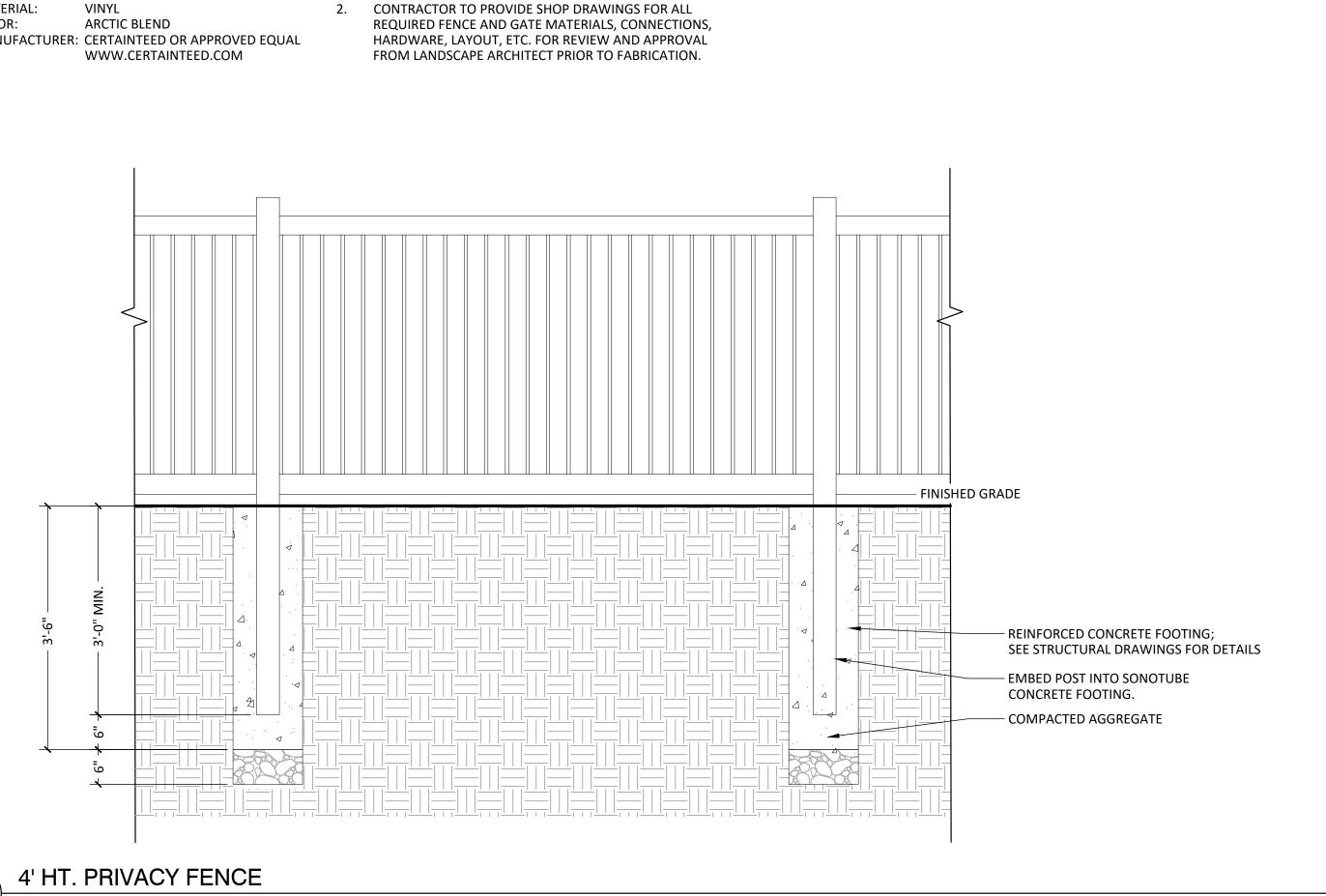






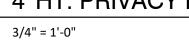
LAYOUT: L-103, Plotted By: cheng





P-1407-W-02

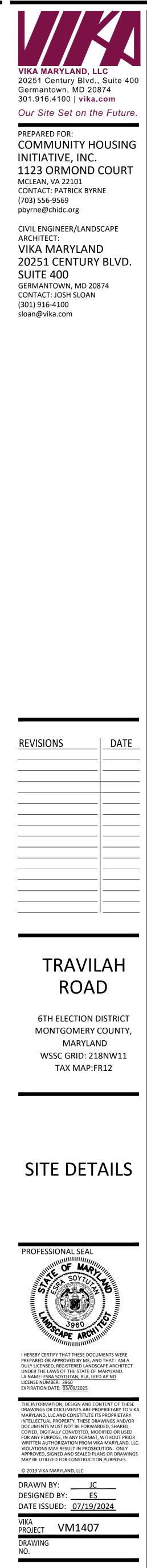
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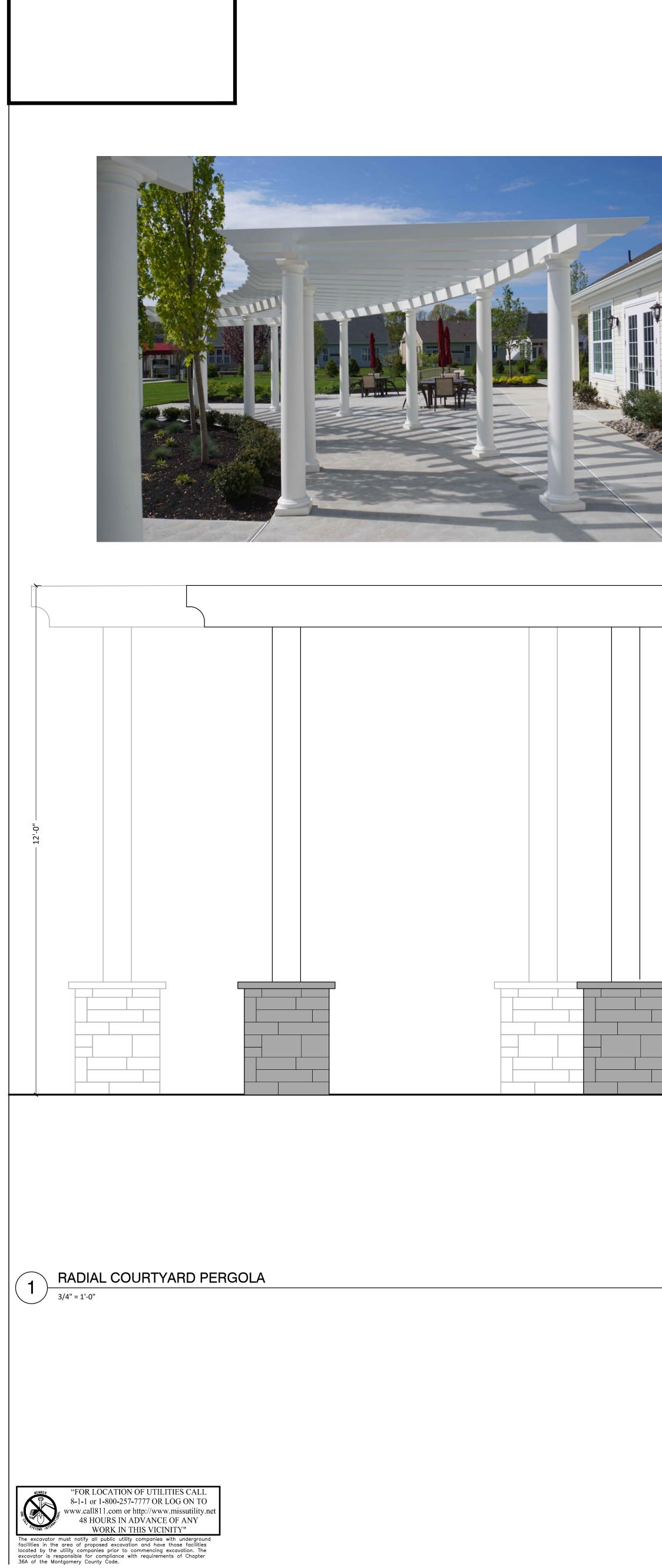


MODEL:	BAC
DIMENSIONS:	72.7
ΜΑΤΕΡΙΔΙ·	IPF

P-1407-SF-01

P-1407-W-01





LAYOUT: L-104, Plotted By: cheng



RADIAL COURTYARD PERGOLA SPECIFICATIONS:

POSTS:

5" DIA. X12' HT. COLOR:

INNER LENGTH: 35', RADIUS 32' OUTER LENGTH 45', RADIUS 40.5' SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FIBERGLASS BEAMS MANUFACTURER: STRUCTURAL PERGOLA SYSTEMS OR APPROVED EQUAL

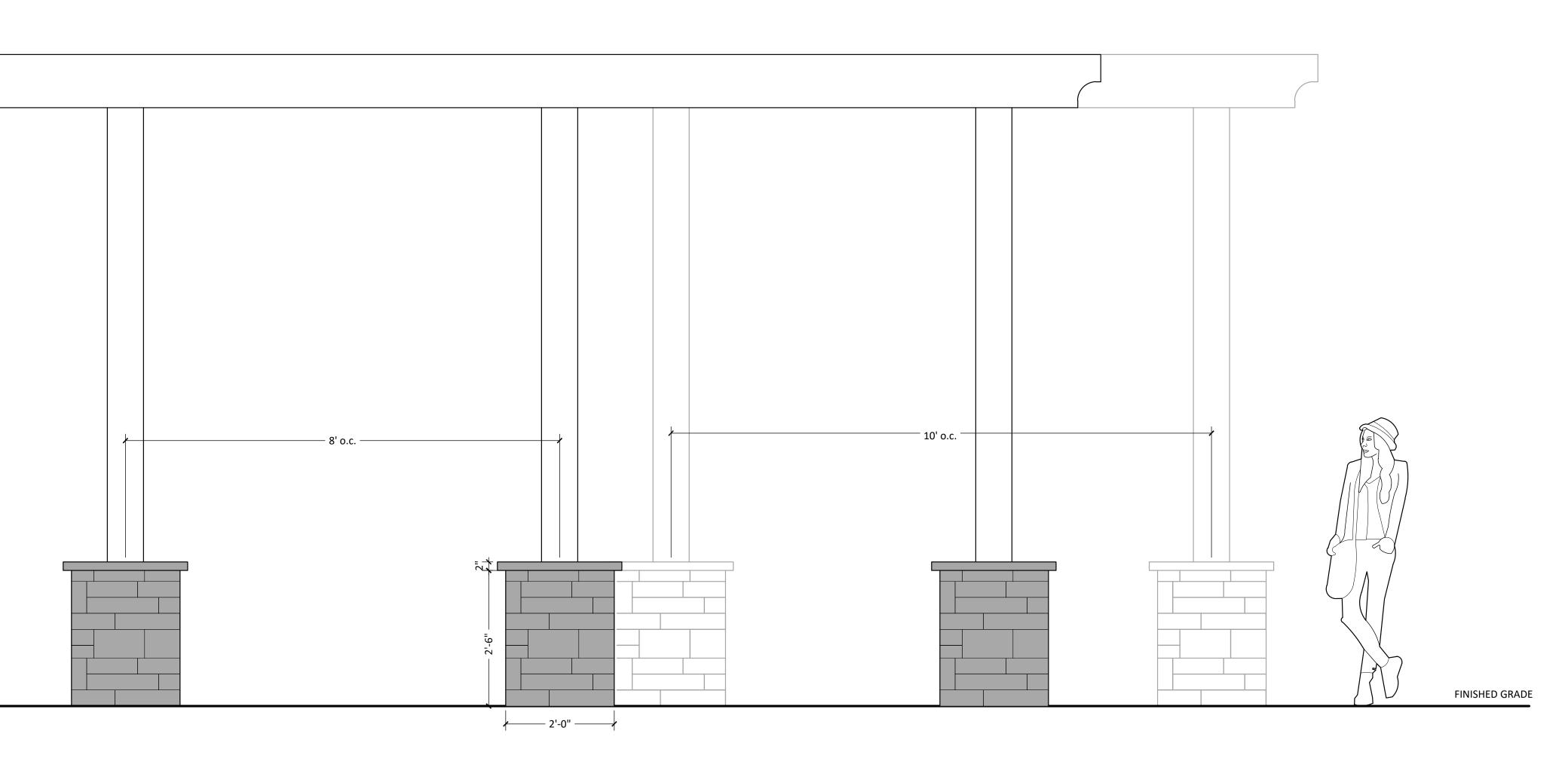
NOTES:

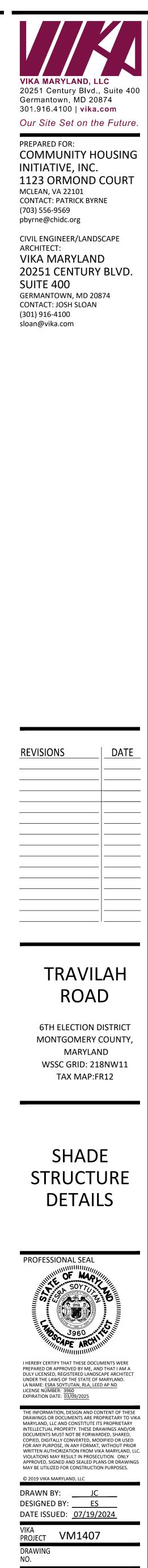
MATERIAL:

1. SUBMIT SHOP DRAWINGS AND SAMPLES PRIOR TO FABRICATION FOR LANDSCAPE ARCHITECT'S APPROVAL.

WWW.STRUCTURALPERGOLASYSTEMS.COM

- 2. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
- 3. SEE STRUCTURAL DRAWINGS FOR FOOTING AND REINFORCEMENT DETAILS.





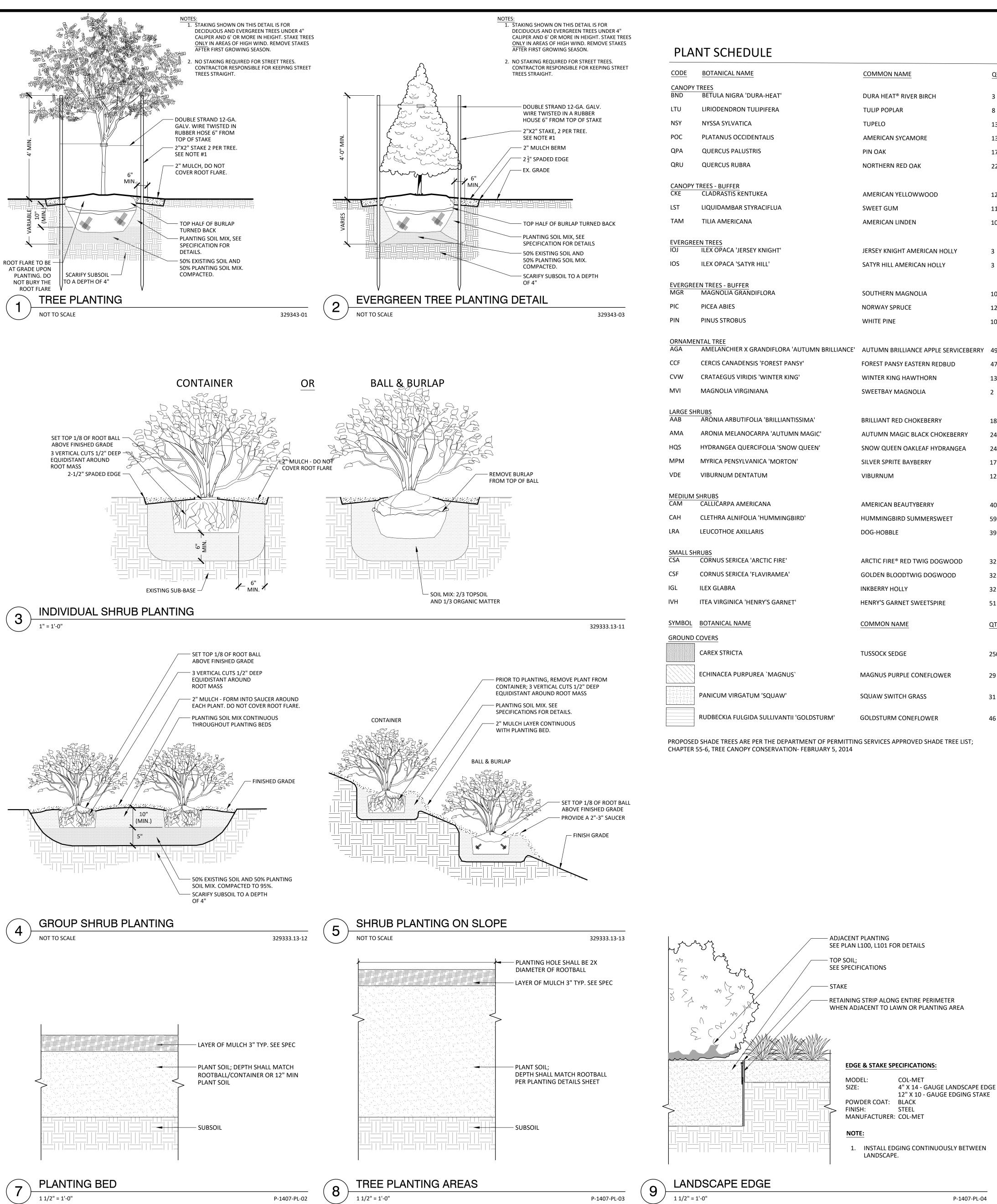
P-1407-SS-01

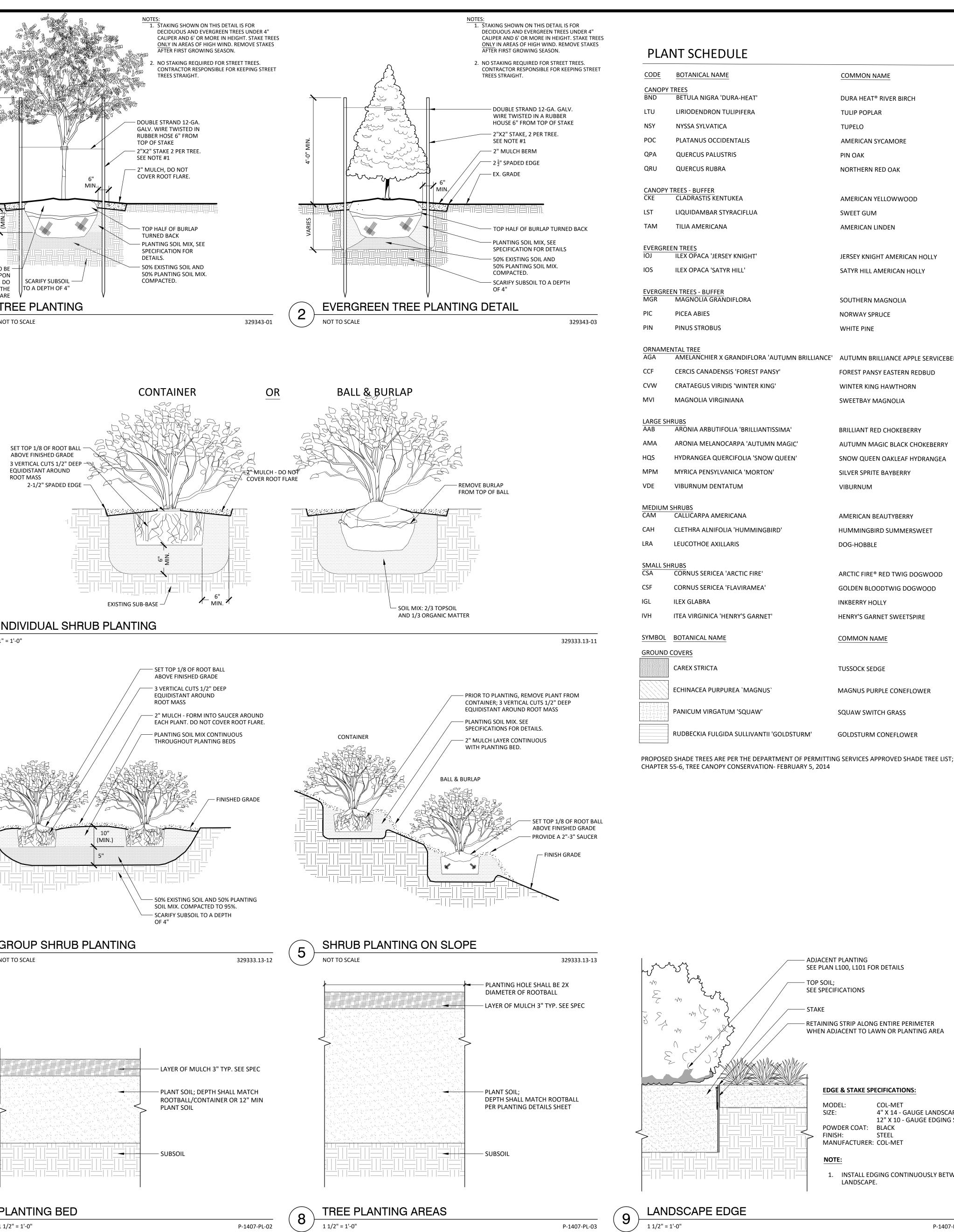
LANTING NOTES

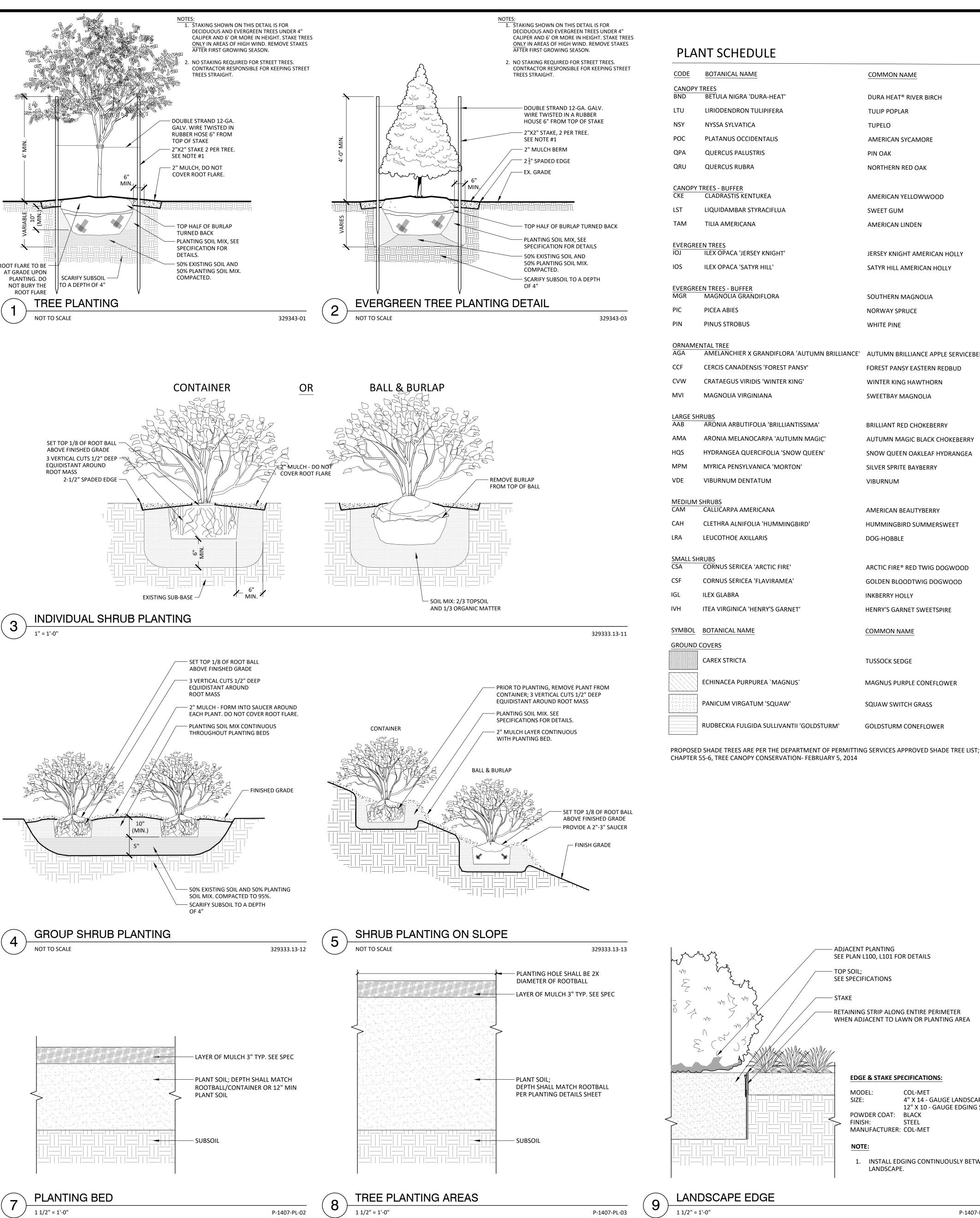
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. DRAWING SYMBOLS SHALL OVERRULE PLANT LISTS SHOULD THERE BE ANY DISCREPANCIES. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING PLANT MATERIAL.
- CONTRACTOR TO MAKE ALL REASONABLE ATTEMPTS IN ACQUIRING THE SPECIFIED PLANTS LISTED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDERING AND INSTALLATION. CONTRACTOR SHALL GIVE A MINIMUM 72 HOUR NOTICE (EXCLUDING WEEKENDS) FOR ANY SUBSTITUTIONS PRIOR TO DESIRED ORDERING DATE/TIME.
- PLANTS ARE TO BE PURCHASED BY SCIENTIFIC NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL STREET TREES FALLING WITHIN THE SIGHT TRIANGLES SHOWN ON PLAN SHALL BE LIMBED UP TO 8 FEET IN HEIGHT ABOVE THE CLOSEST CURB LINE ELEVATION.
- ESTABLISH AND MAINTAIN FINISHED GRADE OF BEDS 2" OR 3" BELOW ADJACENT CURBS, WALKWAYS, AND OTHER HARDSCAPED AREAS TO ALLOW FOR THE INSTALLATION OF SOD OR MULCH RESPECTIVELY.
- ALL SLOPES 3:1 OR HIGHER WILL BE COVERED WITH BIODEGRADEABLE EROSION CONTROL STABILIZATION FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEERS' ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- MASS PLANTINGS SHALL BE TRIANGULARLY SPACED AT A DISTANCE ON CENTER OF EACH PLANT AS INDICATED ON THE PLANS UNLESS NOTED OTHERWISE.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL OR WORK AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE WHICH FAILS TO MEET SPECIFICATION REQUIREMENTS. CONTRACTOR SHALL CONSULT WRITTEN SPECIFICATIONS FOR PLANTING, AS APPLICABLE, IN ADDITION
- TO THE NOTES BELOW. D. CONTRACTOR SHALL REFER TO EXISTING CONDITIONS PLAN OR DEMOLITION PLAN FOR ALL TREES AND SHRUBS TO BE REMOVED OR TO REMAIN UNDISTURBED AS NEEDED.
- 1. CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THE PLANS.
- 12. ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM 6'-0" VERTICAL CLEARANCE TO FIRST BRANCH. CONTRACTOR SHALL PRUNE ANY BRANCHES TO LATEST NURSERYMAN STANDARDS.
- 13. ALL LANDSCAPE BED EDGES TO BE SMOOTH FLOWING ARCS UNLESS OTHERWISE NOTED. EDGES SHALL BE SMOOTH, CONSISTENT, HAND-TRENCHED, 4" DEEP, AND "V" SHAPED.
- 14. THE LOCATION OF PROPOSED SITE LANDSCAPE AND SITE FURNISHINGS MAY BE MODIFIED AT THE TIME OF FINAL SITE PLAN AND PER SITE CONDITIONS, AS WARRANTED, DURING CONSTRUCTION.

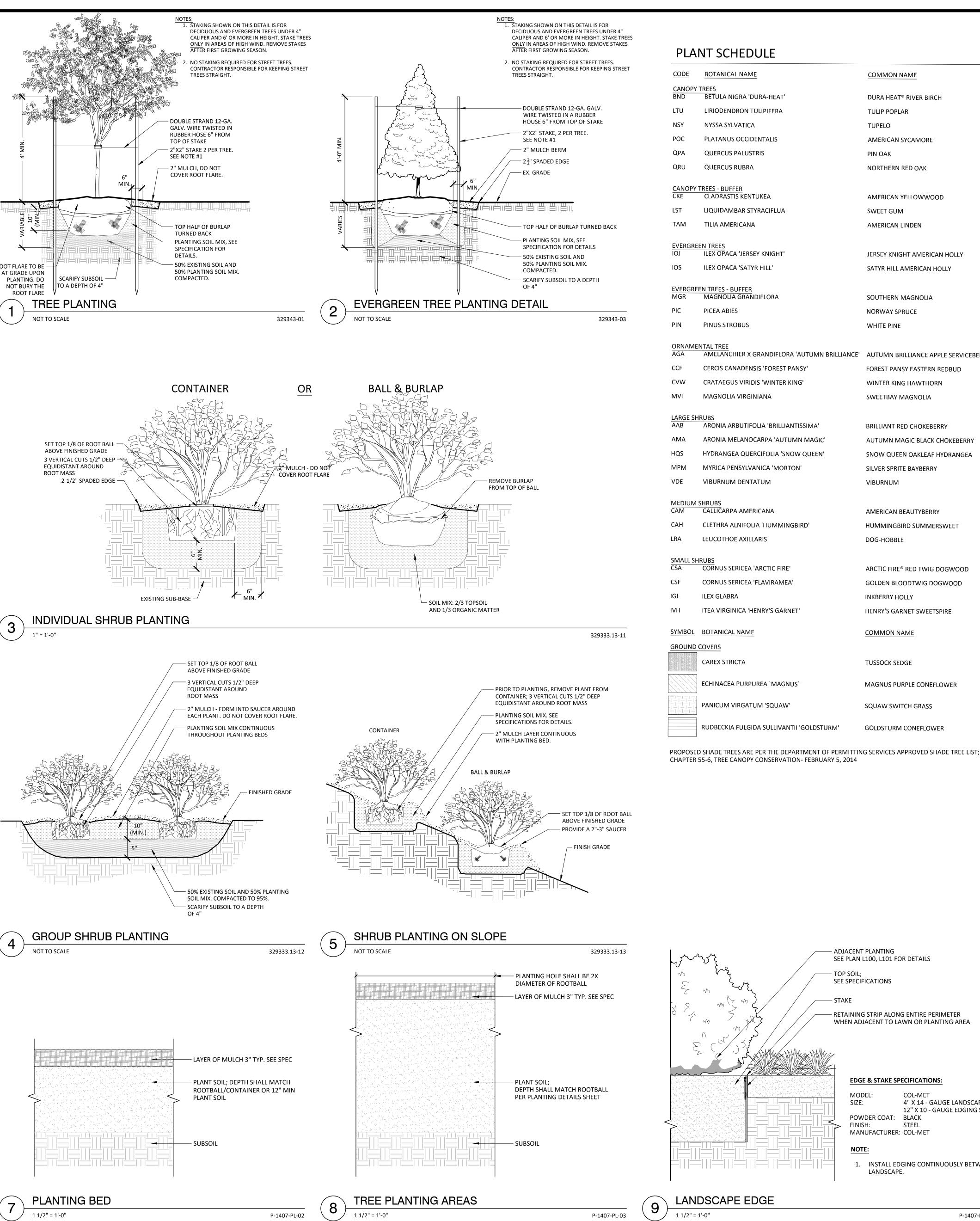
MAINTENANCE

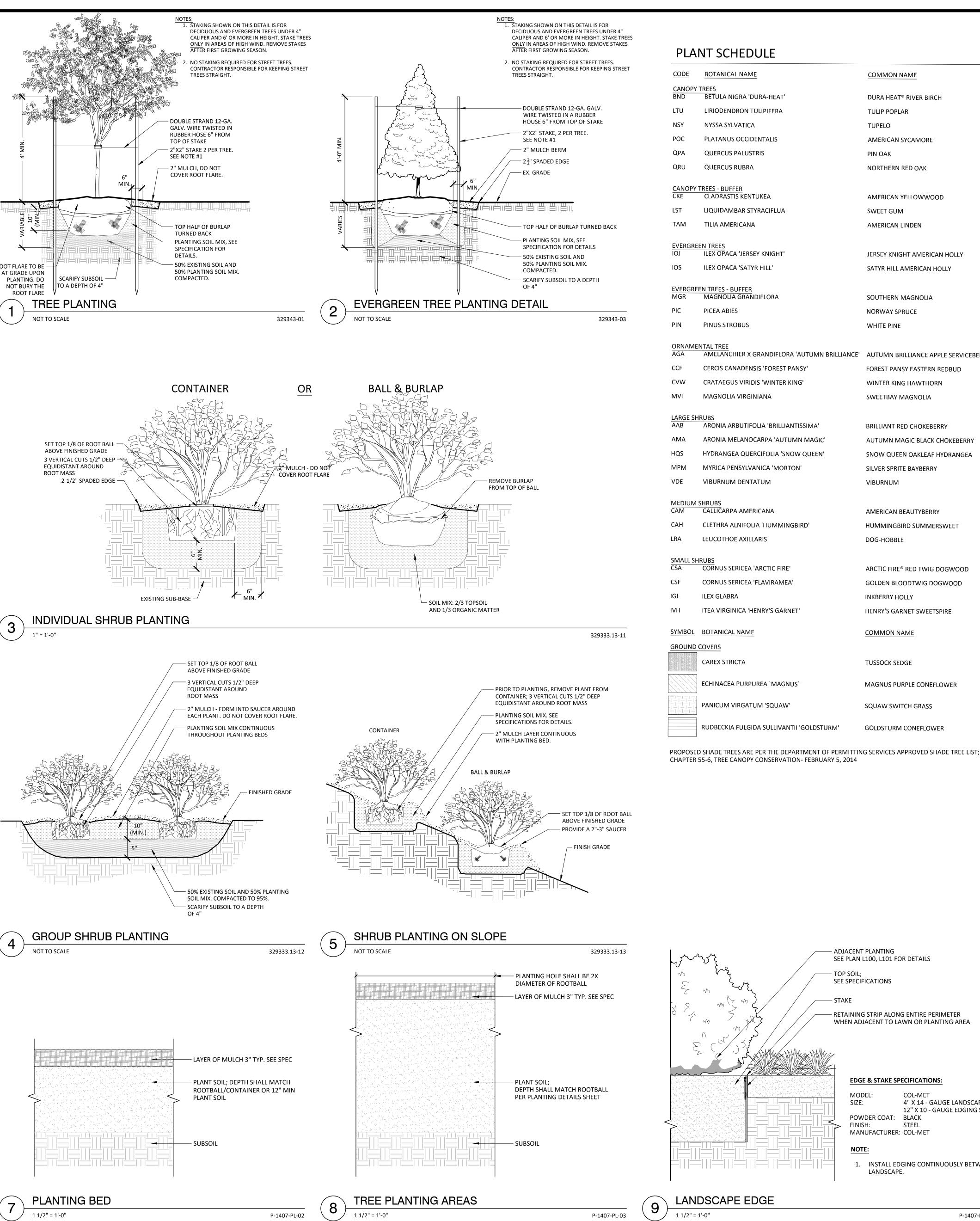
- CONTRACTOR SHALL WATER PLANTS THE SAME DAY AS INSTALLATION. CONTRACTOR SHALL WATER SEED OR SOD WITHIN 1 HOUR OF INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR KEEPING AREAS ADEQUATELY IRRIGATED EITHER BY HAND OR IRRIGATION SYSTEM
- CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPLACEMENT OF ANY PLANT MATERIAL DEAD OR DAMAGED UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT OR AS THE WARRANTY PERIOD DICTATES.
- NO SEEDED/SODDED AREAS SHALL BE INSTALLED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING, HAVE OCCURRED AND LANDSCAPE ARCHITECT HAS REVIEWED/ACCEPTED THE FINAL GRADING AND SOIL CONDITIONS.
- LAWN AREAS SHALL BE MOWED TO A HEIGHT OF 2 TO 3 INCHES AND NOT ALLOWED TO REACH A HEIGHT OF 4 INCHES BEFORE MOWING.
- ALL CURBS AND WALKS SHALL BE EDGED AS NEEDED.
- ALL LAWN AREAS ADJACENT TO BUILDING FACES OR STRUCTURES SHALL BE TRIMMED.
- RESEED BARE AREAS OF LAWN AS NECESSARY. YEARLY AERATION IS RECOMMENDED.
- ALL TRASH, LITTER, AND DEBRIS SHALL BE REMOVED FROM LAWN AREAS, PARKING LOTS, AND SHRUB BEDS AS NEEDED.
- . MULCH ALL SHRUB AND GROUNDCOVER BEDS YEARLY WITH 3 INCHES OF SHREDDED HARDWOOD BARK. SOD INSTALLATION
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS ON SITE AND HAVE STAGGERED JOINTS. SOD SHALL BE STAKED ON SLOPES GREATER THAN 3:1 OR IN DRAINAGE SWALES.

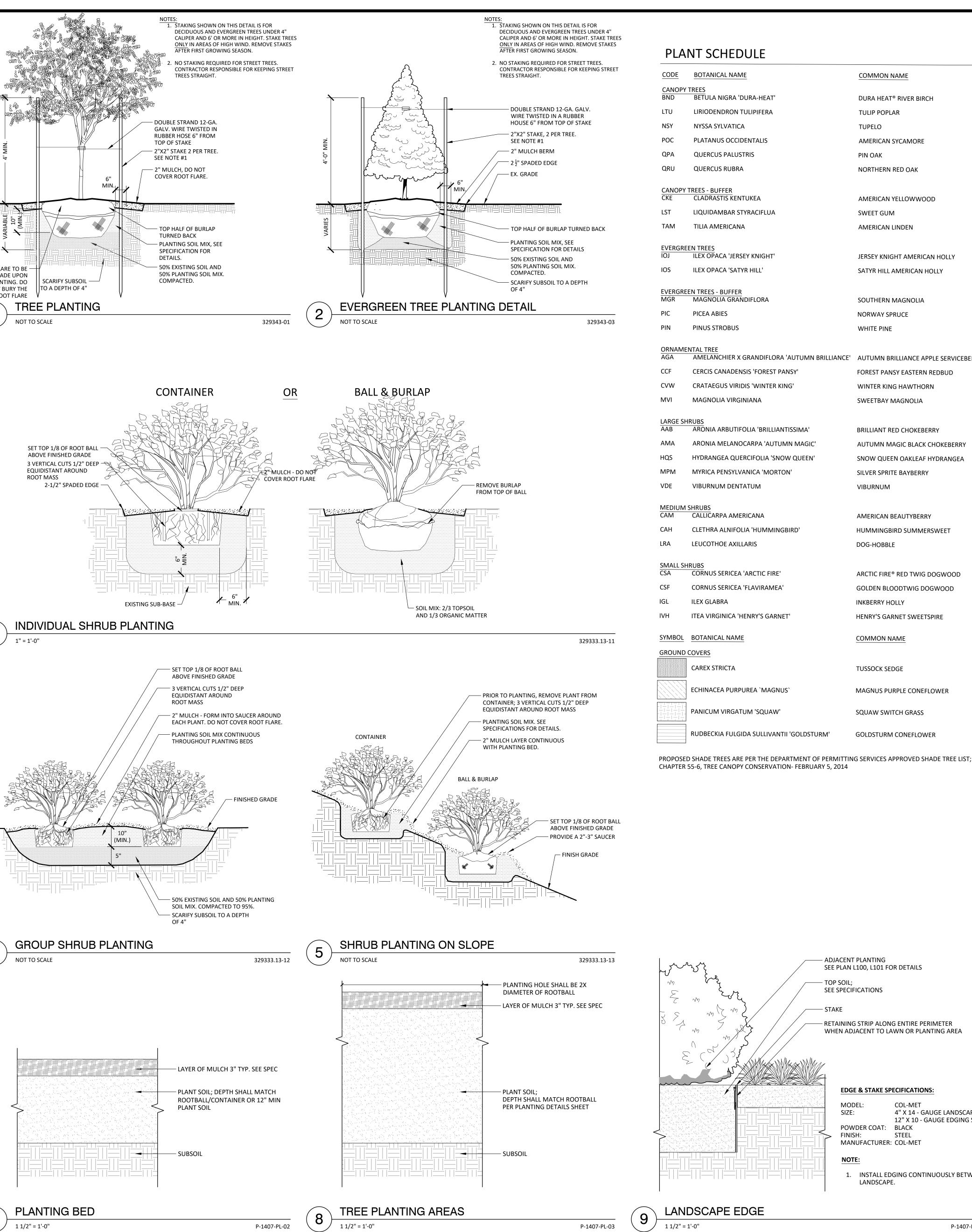


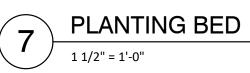


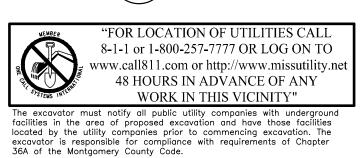












6

STATUS IN

AYOUT: L—105, Plotted By: cheng

TOPSOIL DETAIL FOR SOD 1 1/2" = 1'-0"

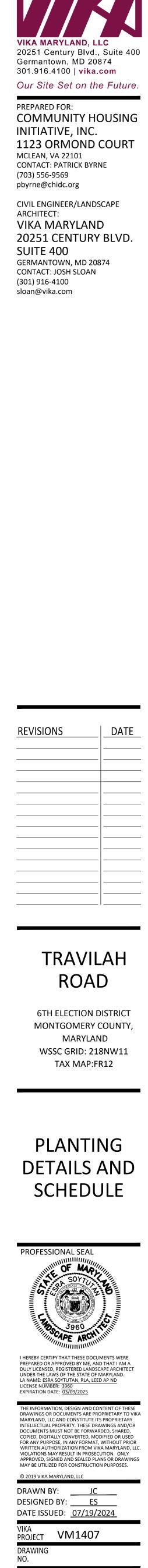
SEE SPECIFICATIONS FOR DETAILS

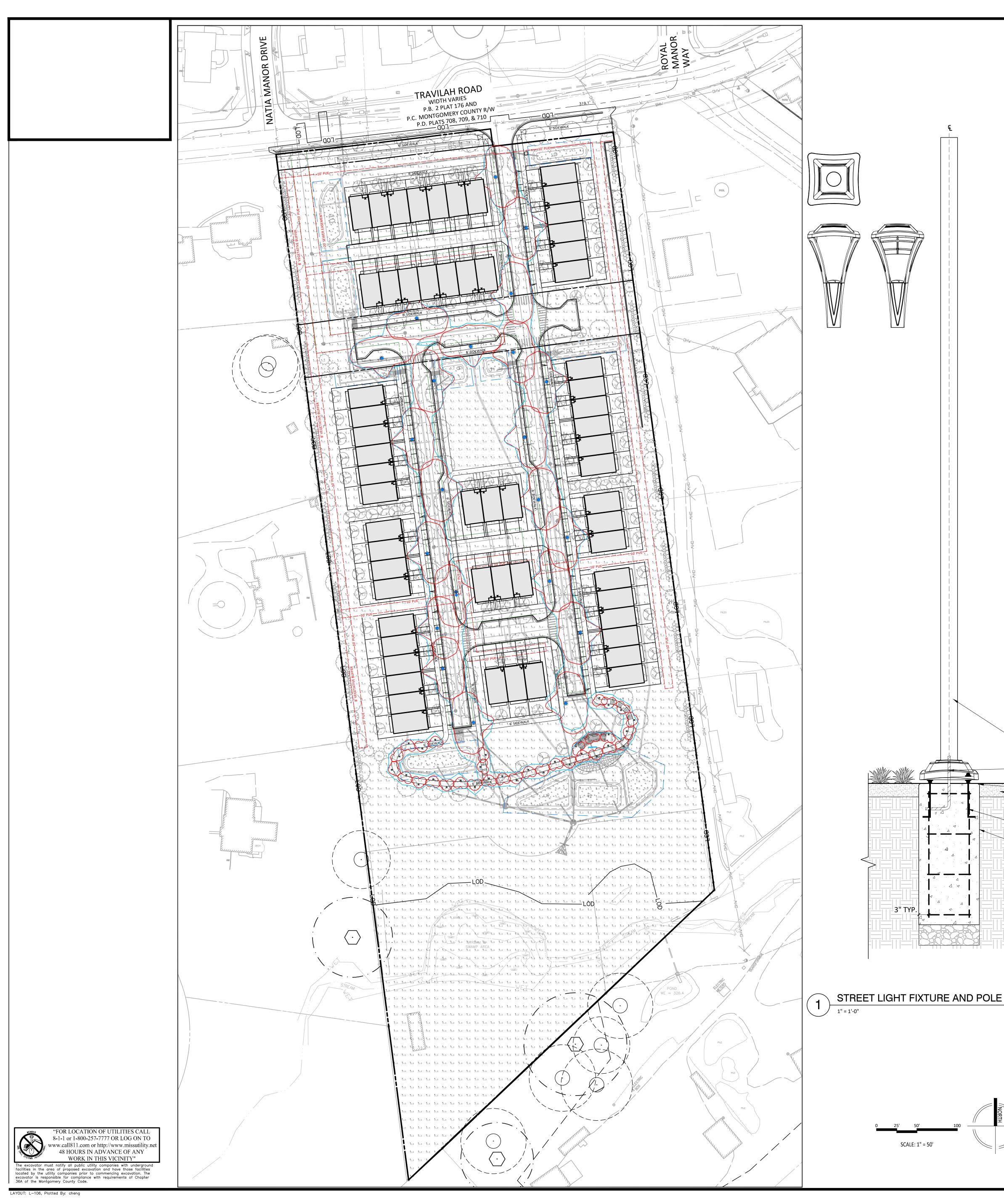
4" PLANTING SOIL,

P-1407-PL-01

LA	NTSCHEDULE				
<u>)</u> E	BOTANICAL NAME	COMMON NAME	<u>QTY</u>	SIZE	REMARKS
OPY	TREES BETULA NIGRA 'DURA-HEAT'	DURA HEAT [®] RIVER BIRCH	3	12-14` HEAVY	MULTISTEMMED SPECIMEN, 3 STEM MINIMUM
	LIRIODENDRON TULIPIFERA	TULIP POPLAR	8	3-3.5" CAL.	STRONG SINGLE LEADER/SPECIMEN
	NYSSA SYLVATICA	TUPELO	13	3-3.5" CAL.	STRONG SINGLE LEADER/SPECIMEN
	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	13	3-3.5" CAL.	STRONG SINGLE LEADER/SPECIMEN
	QUERCUS PALUSTRIS	PIN OAK	17	3-3.5" CAL.	STRONG SINGLE LEADER/SPECIMEN
	QUERCUS RUBRA	NORTHERN RED OAK	22	3-3.5" CAL.	STRONG SINGLE LEADER/SPECIMEN
ΟΡΥ	TREES - BUFFER CLADRASTIS KENTUKEA	AMERICAN YELLOWWOOD	12	3-3.5" CAL.	
	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	11		STRONG SINGLE LEADER/SPECIMEN
	TILIA AMERICANA	AMERICAN LINDEN	10	3-3.5" CAL. 3-3.5" CAL.	STRONG SINGLE LEADER/SPECIMEN STRONG SINGLE LEADER/SPECIMEN
GRE	EN TREES				
	ILEX OPACA 'JERSEY KNIGHT'	JERSEY KNIGHT AMERICAN HOLLY	3	12-14` HEAVY	MALE CULTIVAR, STRONG SINGLE LEADER/SPECIME
	ILEX OPACA 'SATYR HILL'	SATYR HILL AMERICAN HOLLY	3	12-14` HEAVY	FEMALE CULTIVAR, STRONG SINGLE LEADER/SPECIN
GRE	EN TREES - BUFFER MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	10	12-14` HEAVY	STRONG SINGLE LEADER/SPECIMEN
	PICEA ABIES	NORWAY SPRUCE	12	12-14` HEAVY	STRONG SINGLE LEADER/SPECIMEN
	PINUS STROBUS	WHITE PINE	10	12-14` HEAVY	
AME	NTAL TREE				
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'		49	12-14` HEAVY	MULTISTEMMED SPECIMEN, 3 STEM MINIMUM
	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY EASTERN REDBUD	47	12-14` HEAVY	STRONG SINGLE LEADER/SPECIMEN
	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	13	12-14` HEAVY	STRONG SINGLE LEADER/SPECIMEN
	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2	12-14` HEAVY	MULTISTEMMED SPECIMEN, 3 STEM MINIMUM
E SH	IRUBS ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	18	48-60" OC.	FULLY BRANCHED; 5 CANE MINIMUM
	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC BLACK CHOKEBERRY	24	48-60" OC.	FULLY BRANCHES; 5 CANE MINIMUM
	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24	48-60" OC.	FULLY BRANCHED; 5 CANE MINIMUM
	MYRICA PENSYLVANICA 'MORTON'	SILVER SPRITE BAYBERRY	17	48-60" OC.	FULLY BRANCHED, 5 CANE MINIMUM
	VIBURNUM DENTATUM	VIBURNUM	12	48-60" OC.	FULLY BRANCHED, 5 CANE MINIMUM
UM	SHRUBS CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	40		
	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	40 59	36-48" OC.	FULLY BRANCHED; 5 CANE MINIMUM
	LEUCOTHOE AXILLARIS	DOG-HOBBLE	39	36-48" OC. 36-48" OC.	FULLY BRANCHED; 5 CANE MINIMUM FULLY BRANCHED, 5 CANE MINIMUM
_L SF	IRUBS				
	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE [®] RED TWIG DOGWOOD	32	24-36" OC.	FULLY BRANCHED; 5 CANE MINIMUM
	CORNUS SERICEA 'FLAVIRAMEA'	GOLDEN BLOODTWIG DOGWOOD	32	24-36" OC.	FULLY BRANCHED; 5 CANE MINIMUM
	ILEX GLABRA	INKBERRY HOLLY	32	24-36" OC.	MALE CULTIVAR, FULLY BRANCHED, 5 CANE MINIMU
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	51	24-36" OC.	FULLY BRANCHED, 5 CANE MINIMUM
	BOTANICAL NAME	COMMON NAME	<u>QTY</u>	SIZE	REMARKS
JND	COVERS				
	CAREX STRICTA	TUSSOCK SEDGE	250	1 GAL	FULLY ROOTED CONTAINER
	ECHINACEA PURPUREA `MAGNUS`	MAGNUS PURPLE CONEFLOWER	29	1 GAL	FULLY ROOTED CONTAINER
	PANICUM VIRGATUM 'SQUAW'	SQUAW SWITCH GRASS	31	1 GAL	FULLY ROOTED CONTAINER
	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'	GOLDSTURM CONEFLOWER	46	1 GAL	FULLY ROOTED CONTAINER

P-1407-PL-04







P-1407-L-01

BOLLARD LIGHT

MULCH LAYER TO BE FLUSH WITH THE TOP OF CONCRETE FOOTING - (4) STAINLESS STEEL ANCHOR BOLTS W/ 10" EMBEDMENT - REINFORCED CONCRETE FOOTING; SEE STRUCTURAL DRAWINGS FOR DETAILS

- SEE SPECIFICATIONS

POST TOP SPECIFICATIONS

POLE SPECIFICATIONS

ELECTRICAL NOTES:

2. NO EXPOSED CONDUITS.

MODEL: ML900-16FT-.188-PCC-BKT

1. ALL ELECTRICAL CONDUIT FOR EXTERIOR LIGHTING SHALL BE CONCEALED INSIDE METAL STRUCTURE POSTS AND BEAMS

3. COORDINATE LOCATION OF OPENINGS FOR CONDUIT IN BEAMS AND POSTS WITH FINAL LOCATION OF OUTLETS, LIGHT FIXTURES ETC.

SPECIFICATIONS FOR MORE INFORMATION.

STRUCTURES, SHOWING ALL MATERIALS AND FINISHES, CONNECTIONS AND HARDWARE.

4. REFER TO ELECTRICAL DRAWINGS AND

1. PROVIDE SHOP DRAWINGS FOR ALL

2. STEEL COMPONENTS SHALL RECEIVE HIGH PERFORMANCE COATING PER

3. FASTENERS SHALL BE STAINLESS PAINT HEADS

4. PROVIDE NEOPRENE WASHERS BETWEEN

5. PROVIDE WELDED CAPS FOR ENDS OF ALL

6. SEE STRUCTURAL DRAWING FOR FOOTING

7. CONTRACTOR TO PROVIDE ALL REQUIRED HARDWARE RECOMMENDED BY THE MANUFACTURE FOR INSTALLATION

METAL POST MATERIALS NOTES:

SPECIFICATIONS.

COMPONENTS.

TO MATCH STEEL COLOR.

INCOMPATIBLE MATERIALS.

AND REINFORCEMENT.

MODEL:

ML660 MEDIUM MILLENIA POST TOP

WWW.STERNBERGLIGHTING.COM

ML660-16L40T3-MDL018-CA

MANUFACTURER: STERNBERG LIGHTING OR APPROVED EQUAL

- ELECTRICAL CONDUIT, SEE MEP DRAWINGS FOR DETAIL - 1/2" CHAMFER – TOP SOIL;

- 16' HT ALUMINUM POLE

- MODEL:

NOTES:

- ASHBERY PATH LIGHT DIMENSIONS: 7"W X 37"H X 43 7"L INSTALLATION: SURFACE MOUNTED
- AP-006L4-035F-30K-UV1-SM

MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL

1. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

2. CONTRACTOR TO COORDINATE WITH MEP ON

3. SUBMIT FINISH SAMPLES TO LANDSCAPE ARCHITECT

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CONDUIT LOCATIONS.

FOR APPROVAL.

WWW.LANDSCAPEFORMS.COM

- **BOLLARD SPECIFICATIONS:**

STREET LIGHT

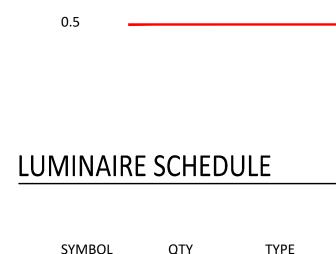
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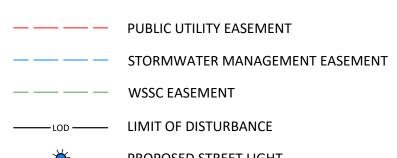
32

FINISHED GRADE

- TOP SOIL;

SINGLE LIGHT FOOT-CANDLE LEVELS





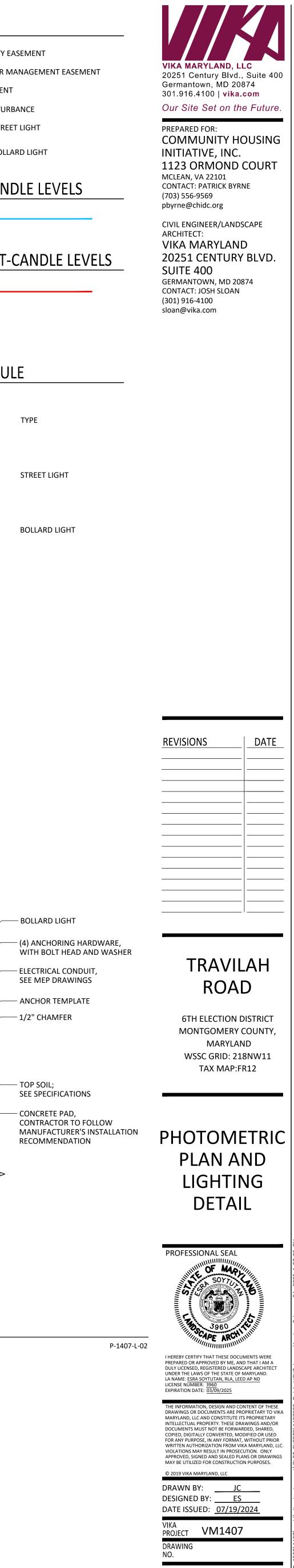
LEGEND

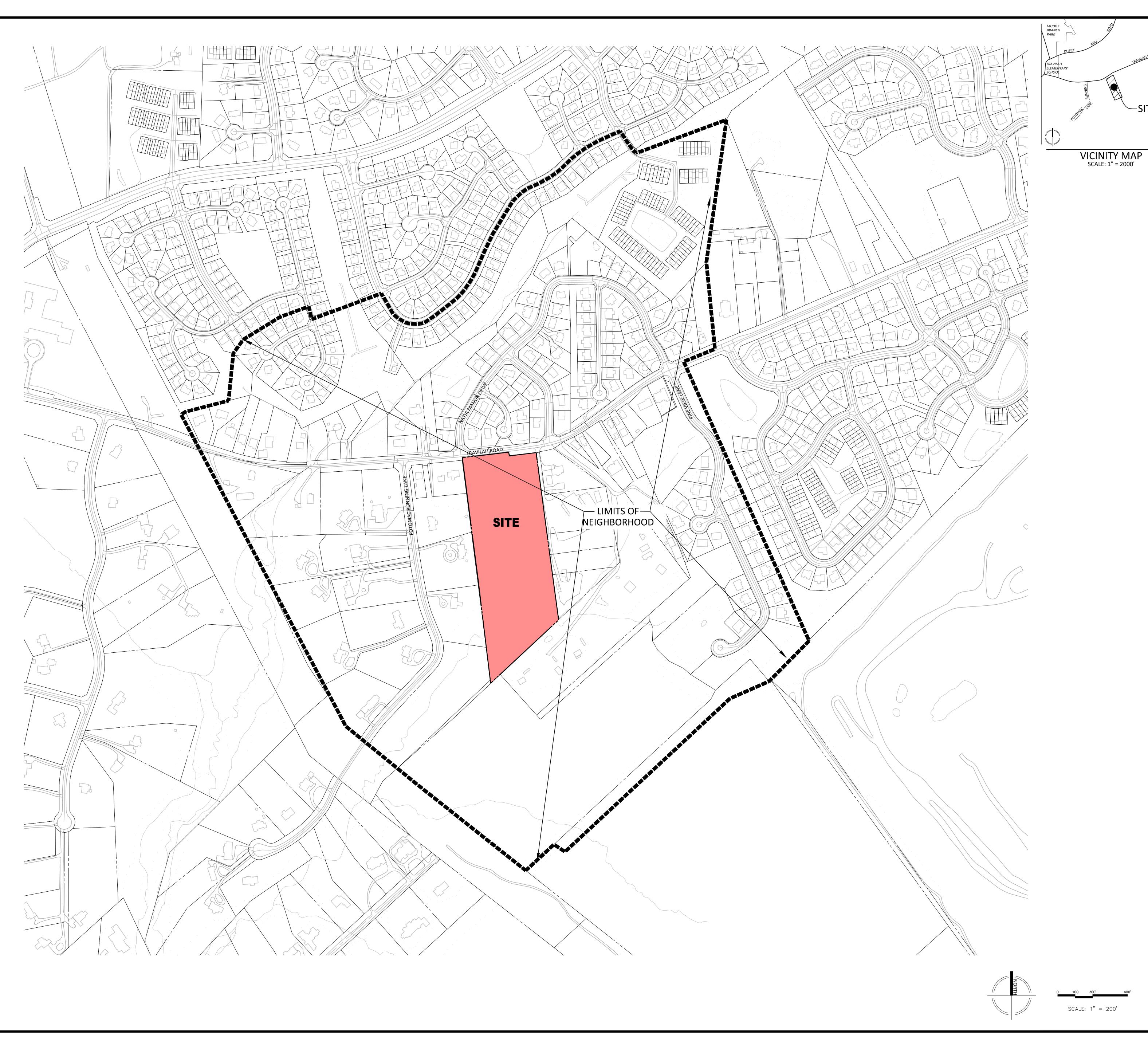
— — — WSSC EASEMENT LOD LOD LIMIT OF DISTURBANCE PROPOSED STREET LIGHT PROPOSED BOLLARD LIGHT Õ



0.5







"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

LAYOUT: LAM, Plotted By: Posthuma





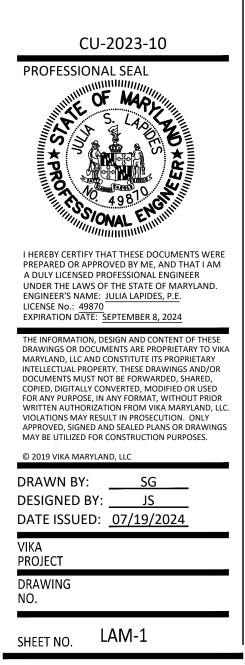
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12





E-FILE STAMP

Attachment C

PROJECT DATA TABLES

Section 3.3.2.C.2.c. Independent Living for Seniors as a Conditional Use.

i. The site has adequate accessibility to public transportation, medical services, shopping areas, recreation, and other community services, as shown on the attached vicinity map and descriibed in the statement of justification

ii. No ancillary or retail facilities are proposed.

iii. Per Chapter 25A, Section 25A-5.(I), the affordable housing requirement will be met through an automatic alternative payment to the Housing Initiative Fund for for-sale, age-restricted units by agreement with the DHCA.

iv. The maximum building height is met per the table below. The maximum density is established by the Hearing Examiner per the table below.

v. Height density, coverage, and parking are compatible with surrounding uses as shown in the Conditional Use Plan application.

vi. There are no units abutting a property not included in the application; the front setback is met per the table below.

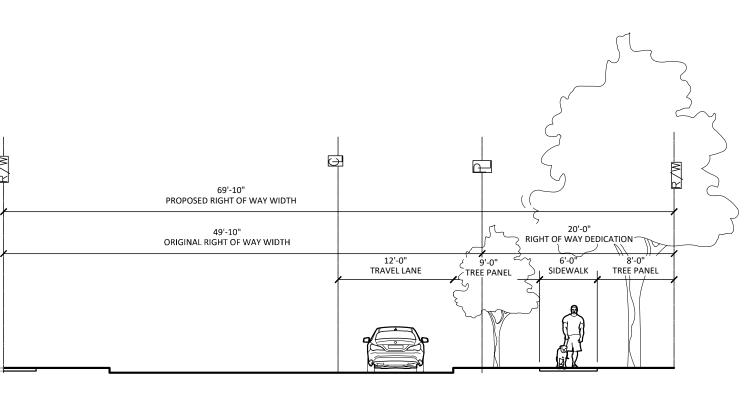
vii. The minimum side and rear setback is 25 feet to abutting lots not included in this application, although there are no abutting lots because of an HOA parcel between proposed lots and the abutting lots. In addition to this HOA parcel, principal buildings are setback on

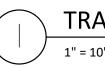
the internal lots 20 feet. viii. The minimum green area is 50%.

ix. Principal building setbacks (not modified above) meet the minimum required for the subject building type in the R-30 zone, as shown below.

STANDARD	REQUIRED/ALI	OWED	P	ROPOSED)
Lot Area (min)	2.00 AC	2.00 AC		10.63 AC	
^(Section 4.4.4.B.1) Tract (Gross Tract) Area Dedication Area on Travilah Road Site (Net Lot) Area			468,223 5,348 462,875	SF	10.75 AC 0.12 AC 10.63 AC
Lot Width at Front Building Line (min) (Section 4.4.4.B.1)	150 feet	t		417 feet	
Lot width at front lot line (min) (Section 4.4.4.B.1)	25 feet			417 feet	
Density (Section 3.3.2.C.2.c.iv/v) Max Units	n/a	units	60	Tow	nhouses
Lot Coverage (max)	25%			20%	
(Section 4.4.4.B.1)	115,719 SF	2.66 AC	92,575	SF	2.66 AC
Principal Building Setbacks (min) [1]	Front (Private Street)	4 feet	10	feet	
(Section 3.3.2.C.2.c.vi/vii)	Side (Street)	5 feet	5	feet	
(Section 4.4.14.B.3)	Side (End Unit) Side (B/W Lot & Site Boundary)	3 feet 5 feet	3 5	feet feet	
	Rear	20 feet	20	feet	
	Rear (B/W Lot & Site Boundary)	10 feet	10	feet	
Height (max) (Section 3.3.2.C.2.c.iv/v)	50 feet			50 feet	
Green Area (min)	50%			60%	
(Section 3.3.2.C.2.c.viii)	231,438 SF	5.31 AC	277,725	SF	6.38 AC

NOTE: PARKING MINIMUM ESTABLISHED BY CONDITIONAL USE PLAN CU-2023-10.

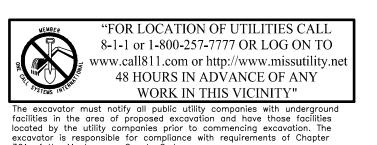


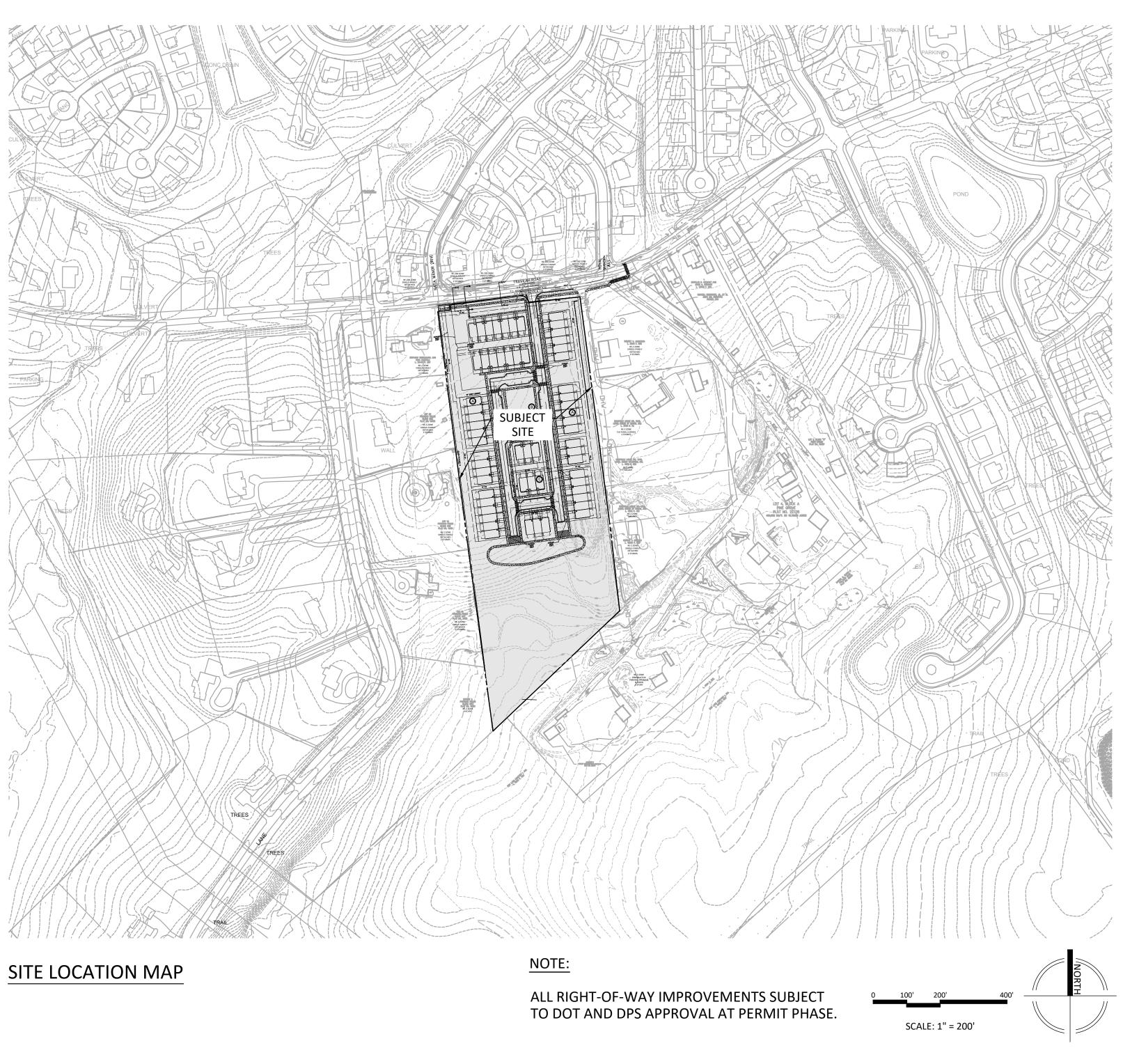


36A of the Montgomery County Code.

AYOUT: P-1, Plotted By: mcrowell

TRAVILAH ROAD - SECTION 'A'

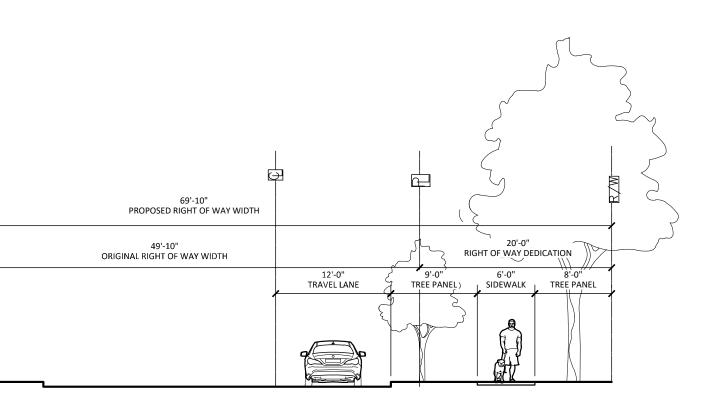




P-1407-SEC-01

TRAVILAH ROAD PRELIMINARY PLAN 120250100





TRAVILAH ROAD - SECTION 'B'

P-1407-SEC-02

69'-10"

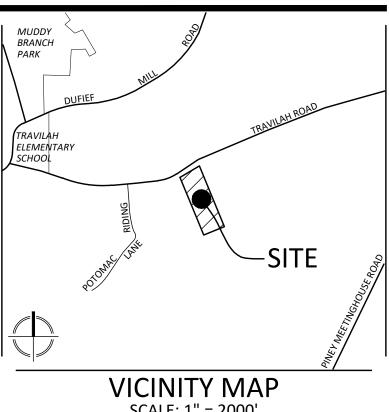
PROPOSED RIGHT OF WAY WIDTH

49'-10"

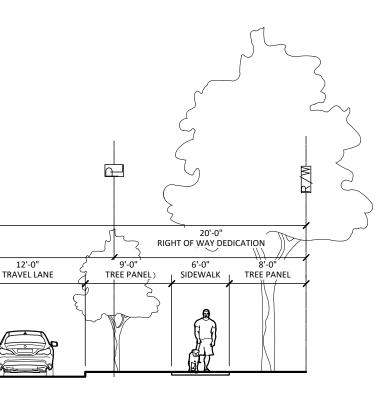
ORIGINAL RIGHT OF WAY WIDTH

TRAVEL LANE

TRAVILAH ROAD - SECTION 'C'







P-1407-SEC-03

REFERENCE NOTES TRACT AREA: 10.75 ACRES PARCEL: P709; P804; N765 TAX ACCOUNT REFERENCE: 06-00399300, 06-00389265; 06-00405195 **CURRENT ZONING:** RE-2 RE-2 **PROPOSED ZONING:** APPROVED NRI NO: 4-20222000 WATERSHED: SANDY BRANCH / WATTS BRANCH WATER SERVICE CATEGORY: W-1 SEWER SERVICE CATEGORY: S-1 1B; 1C; 35B; 116D SOIL DESIGNATION: FLOODPLAIN ZONE: FIRM COMMUNITY PANEL NO.: 24031C0328D, FOR MONTGOMERY COUNTY, MARYLAND, DATED SEPTEMBER 29, 2006.

- 1. THE HORIZONTAL DATUM IS MARYLAND STATE GRID NORTH (NAD83) AND THE VERTICAL DATUM IS NVGD29.
- 2. THERE IS A SMALL WETLAND DELINEATED ON THE NORTH SIDE OF THE STREAM AS SHOWN ON THE NRI PLAN. ADDITIONAL WETLANDS WERE IDENTIFIED ON THE SOUTH SIDE OF THE STREAM, THE ESTIMATED LIMITS OF WHICH ARE SHOWN ON THE PLAN. THERE ARE WATERS OF THE UNITED STATES IDENTIFIED ON THE PLANS. THERE ARE NO 100 YEAR FLOOD PLAINS LOCATED ON THE SUBJECT PROPERTY, AS IDENTIFIED ON APPROVED NRI 420222000.
- 3. THERE ARE TWO SMALL FORESTED AREAS LOCATED ON THE SUBJECT PROPERTY AS DEFINED BY MONTGOMERY COUNTY FOREST LEGISLATION, AS IDENTIFIED ON APPROVED NRI 420222000.
- 4. THERE ARE NO RARE, THREATENED OR ENDANGERED PLANTS, ANIMALS, OR CRITICAL HABITATS ON THIS PROPERTY, PER APPROVED NRI 420222000.
- 5. THE SUBJECT PROPERTY IS NOT IDENTIFIED IN THE MONTGOMERY COUNTY HISTORICAL ATLAS AND IS NOT **RECOMMENDED FOR HISTORIC PRESERVATION.**
- 6. THIS PRELIMINARY PLAN IS SUBMITTED CONCURRENTLY WITH CONDITIONAL USE PLAN CU-2023-10 & P/FCP F20250360.

DEVELOPMENT PROGRAM:

GENERAL NOTES

- 1. THE PROJECT WILL BE DEVELOPED IN ONE PHASE.
- 2. AMENITIES WILL BE INSTALLED BEFORE USE AND OCCUPANCY FOR THE FIRST/ TOWNHOUSE.
- 3. PLANTINGS WILL BE INSTALLED WITHIN SIX (6) MONTHS, OR THE NEXT GROWING SEASON THEREAFTER, OF USE AND OCCUPANCY FOR THE FIRST SUITE / TOWNHOUSE.
- 4. RIGHT-OF-WAY IMPROVEMENTS, SEDIMENT CONTROL MEASURES, AND FOREST CONSERVATION IMPLEMENTATION WILL BE DETERMINED BY RESPECTIVE SUBSEQUENT APPROVALS.
- 5. LANDSCAPING, LIGHTING, GREEN AREA, AND BUILDING COVERAGE WILL BE GOVERNED BY CONDITIONAL USE PLAN CU-2023-10.
- 6. AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED TO BE SET UP WITH THE MNCPPC INSPECTION STAFF BEFORE ANY DEMOLITION, CLEARING, OR GRADING OCCURS ON SITE. THE OWNER OR HIS DESIGNEE WHO HAS SIGNATURE AUTHORITY, AND THE GENERAL CONTRACTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING WITH THE MNCPPC INSPECTOR. A COPY OF THE APPROVED CERTIFIED PRELIMINARY PLAN IS REQUIRED TO BE ON-SITE AT ALL TIMES. TO SCHEDULE AN INSPECTION WITH MNCPPC STAFF, CONTACT JOSH KAYE AT 301-495-47222.

SHEET INDEX

- P-1 COVER SHEET
- P-1A PLAN APPROVALS
- P-2 PRELIMINARY PLAN
- P-3 PRIVATE ROAD SECTIONS P-4 ROUGH GRADING PLAN

SUPPORTING DRAWINGS SHEET INDEX

LOCAL AREA MAP CIRCULATION PLAN COLOR UTILITY PLAN

CONCEPT STORMWATER MANAGEMENT PLAN

APPROVED NRI/FSD PRELIMINARY GEP

AUTOTURN EXHIBIT **RECREATION EXHIBIT**

SUPPLEMENTAL DRAWINGS SHEET INDEX FIRE ACCESS PLAN LOTTING PLAN

Developer's Certificate The Undersigned agrees to execute all the features of the Preliminary Pla 120250100 including Approval Conditions and Certified Preliminary Plan. Developer: Contact Person Company

Address:

Phone

Signature



CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

pbyrne@chidc.org

REVISIONS	DATE
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6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



120250100 PROFESSIONAL SEAL I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: JULIA LAPIDES, P.E. LICENSE No.: <u>49870</u> EXPIRATION DATE: SEPTEMBER 8, 2026 DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE IN ANY FORMAT WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, L VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. © 2019 VIKA MARYLAND, LLC DRAWN BY: SG DESIGNED BY: JS DATE ISSUED: <u>04/23/2025</u> PROJECT VM1407 DRAWING NO. SHEET NO. P-1

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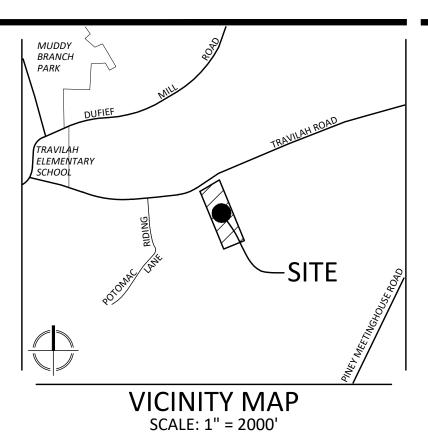
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PLAN APPROVALS

"FOR LOCATION OF UTILITIES CALL OR STEWS WITH 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY" The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

LAYOUT: P-1A, Plotted By: mcrowell



Developer's The Undersigned 120250100 inclu		atures of the Preliminary Plan Approval No. d Certified Preliminary Plan.	
Developer:	Company	Contact Person	
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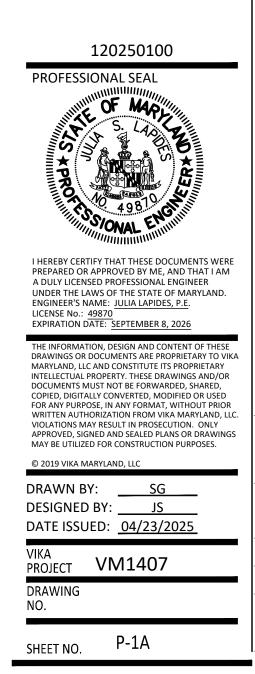
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12

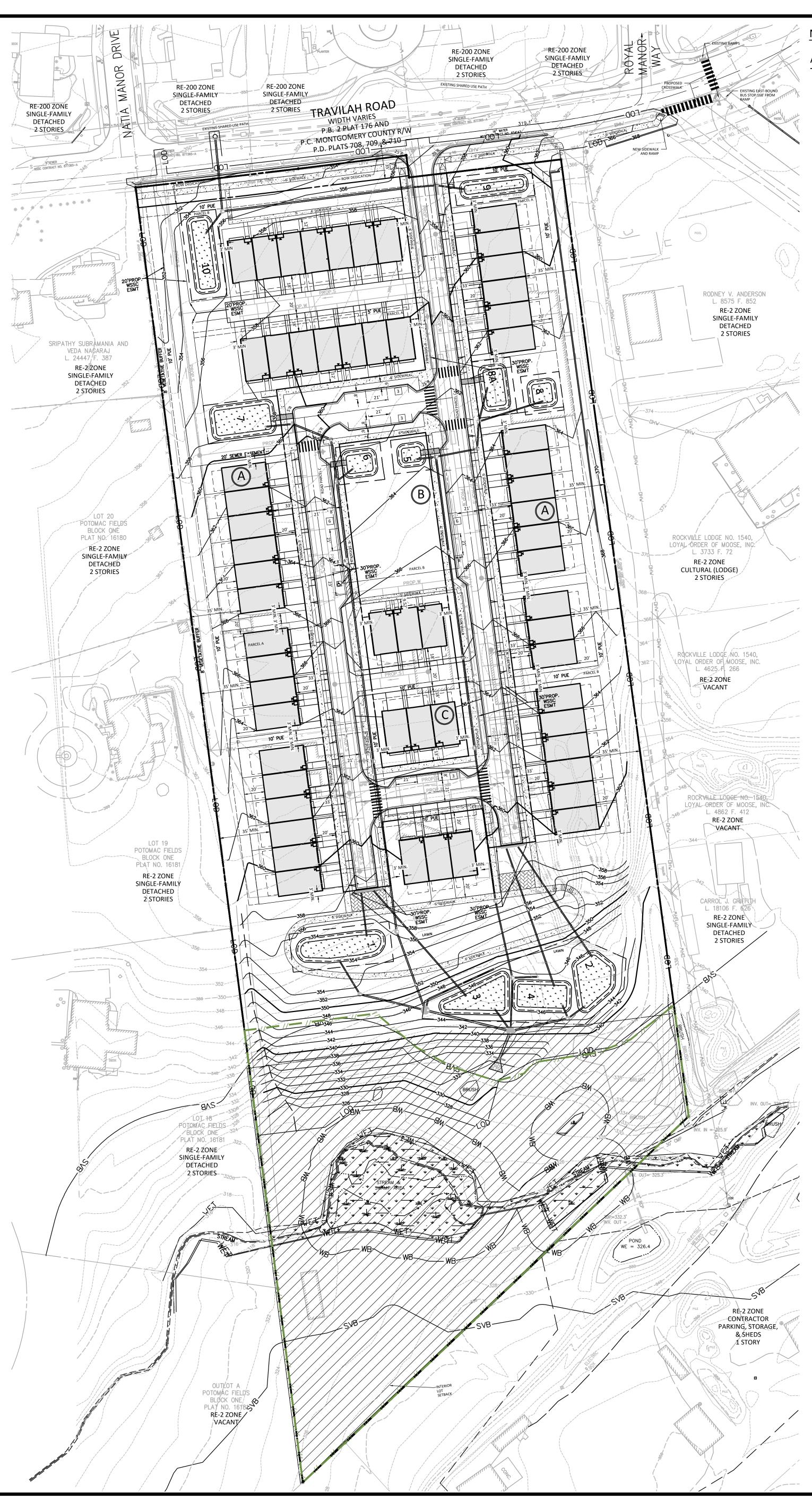






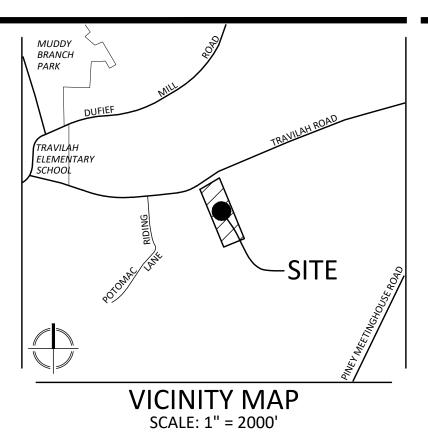
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LAYOUT: P-2, Plotted By: mcrowell



NOTE:

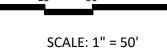
ALL RIGHT-OF-WAY IMPROVEMENTS SUBJECT TO DOT AND DPS APPROVAL AT PERMIT PHASE.

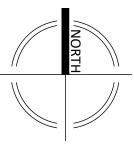


PLAN LEGEND

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ESMT.	EXISTING EASEMENT
RCP	EXISTING REINFORCED CONCRETE PIPE
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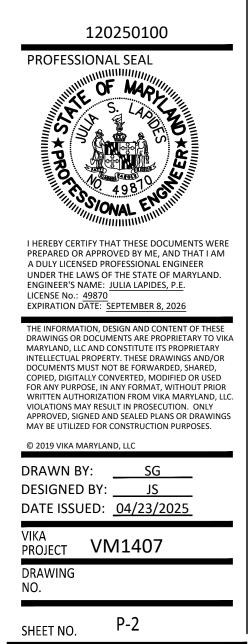
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REVISIONS	DATE



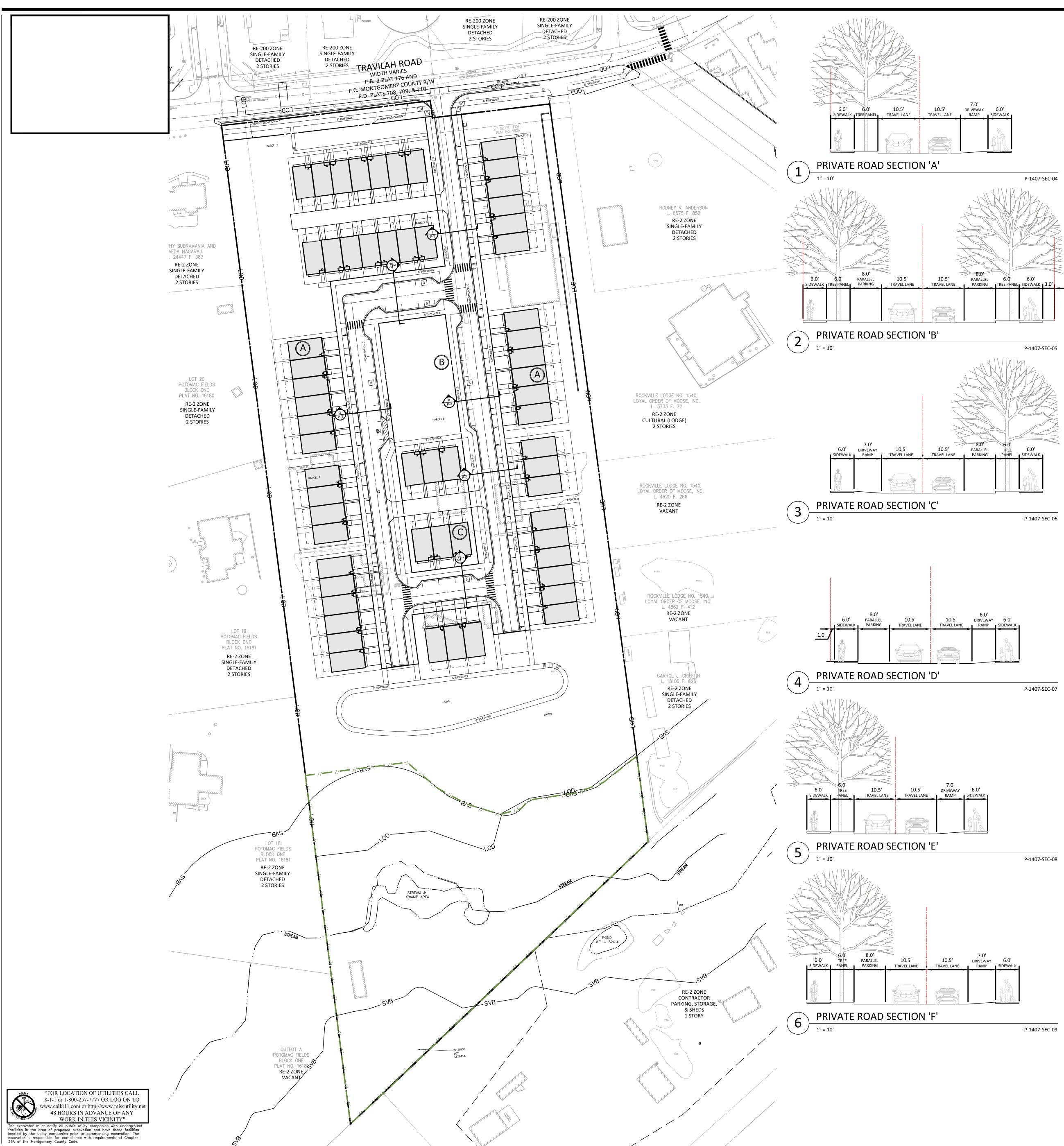
6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12





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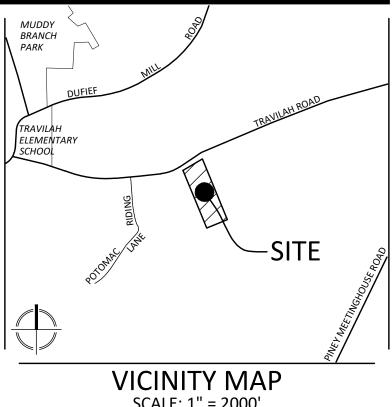
0-1500/1407/cadd/preliminary/PLOT SHETS/1407100_P_PRELIM.dwg ~ Wednesday, April 23, 2025 4: 35:14

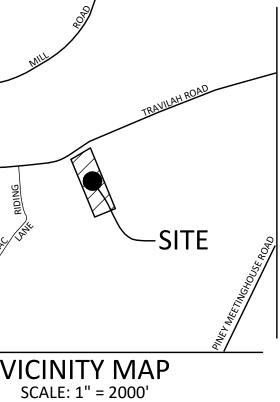


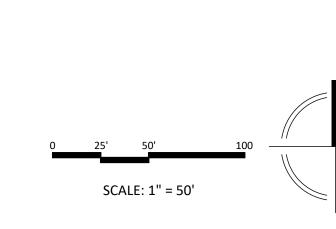
LAYOUT: P-3, Plotted By: mcrowell

NOTE:

ALL RIGHT-OF-WAY IMPROVEMENTS SUBJECT TO DOT AND DPS APPROVAL AT PERMIT PHASE.







Developer's Certificate The Undersigned agrees to execute all the features of the Preliminary Plan 120250100 including Approval Conditions and Certified Preliminary Plan. Developer: _ Contact Person Company

Signature: _____

Address: _ Phone:



CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



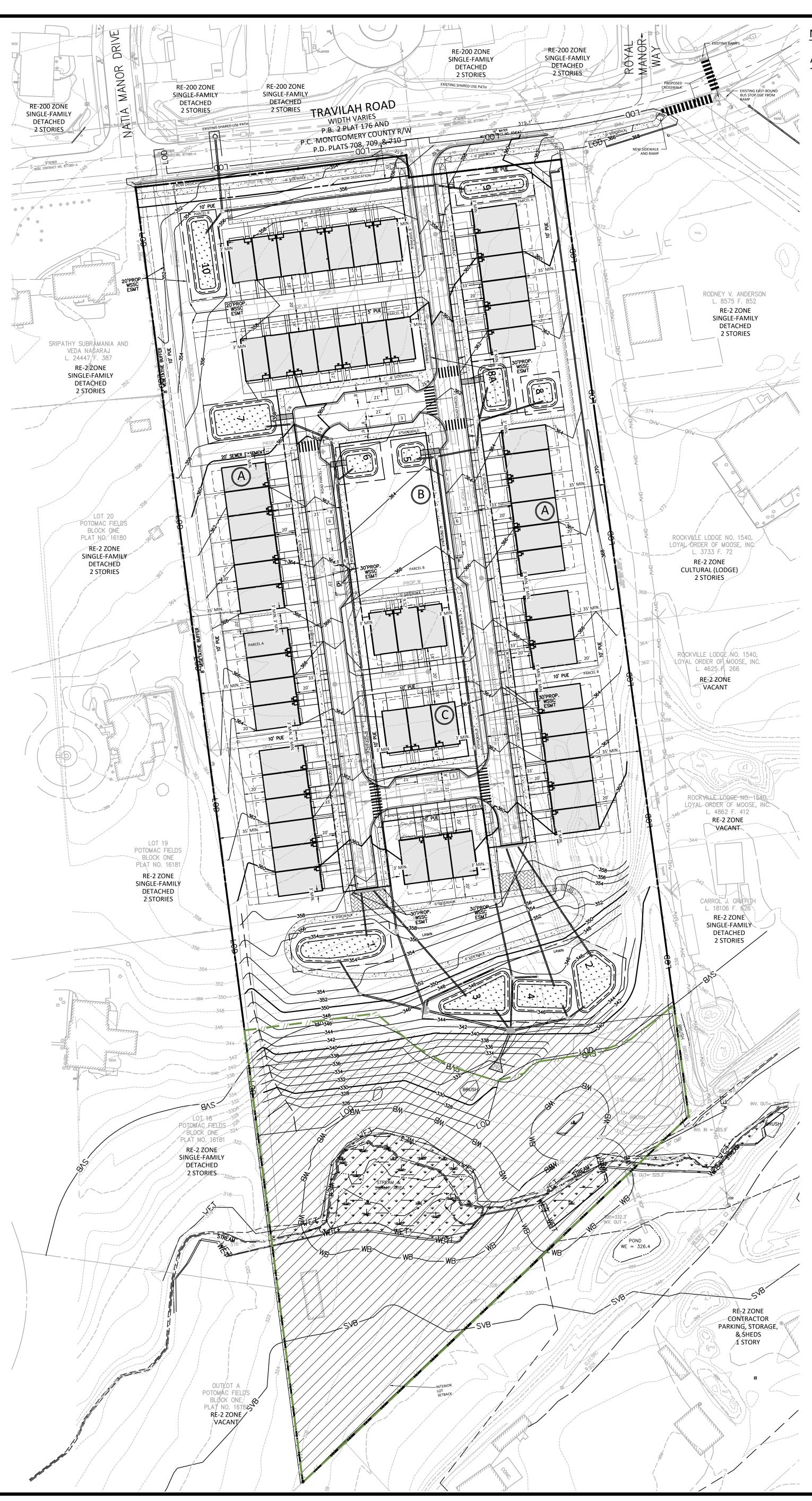
120250100 PROFESSIONAL SEAL I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: JULIA LAPIDES, P.E. LICENSE No.: <u>49870</u> EXPIRATION DATE: <u>SEPTEMBER 8, 2026</u> THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. © 2019 VIKA MARYLAND, LLC DRAWN BY: SG DESIGNED BY: JS DATE ISSUED: <u>04/23/2025</u> VIKA PROJECT VM1407 DRAWING NO. SHEET NO. P-3

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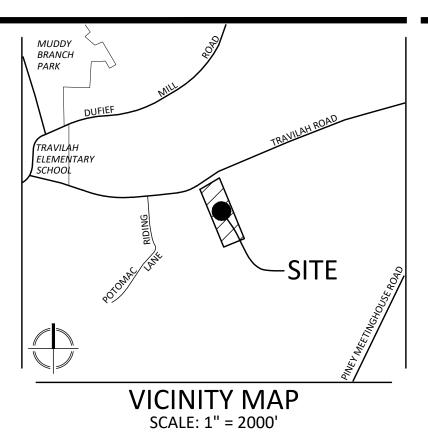
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LAYOUT: P-2, Plotted By: mcrowell



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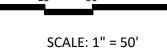
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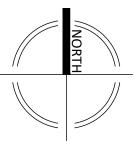


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	EXISTING STORM DRAIN CONDUIT
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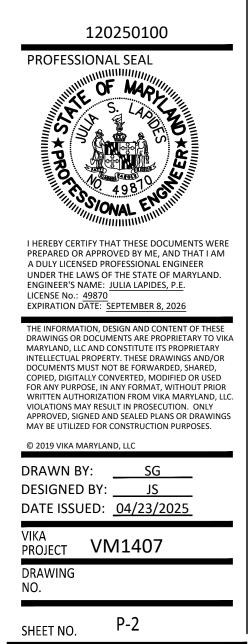
CIVIL ENGINEER/LANDSCAPE ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	DATE



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12





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Attachment D



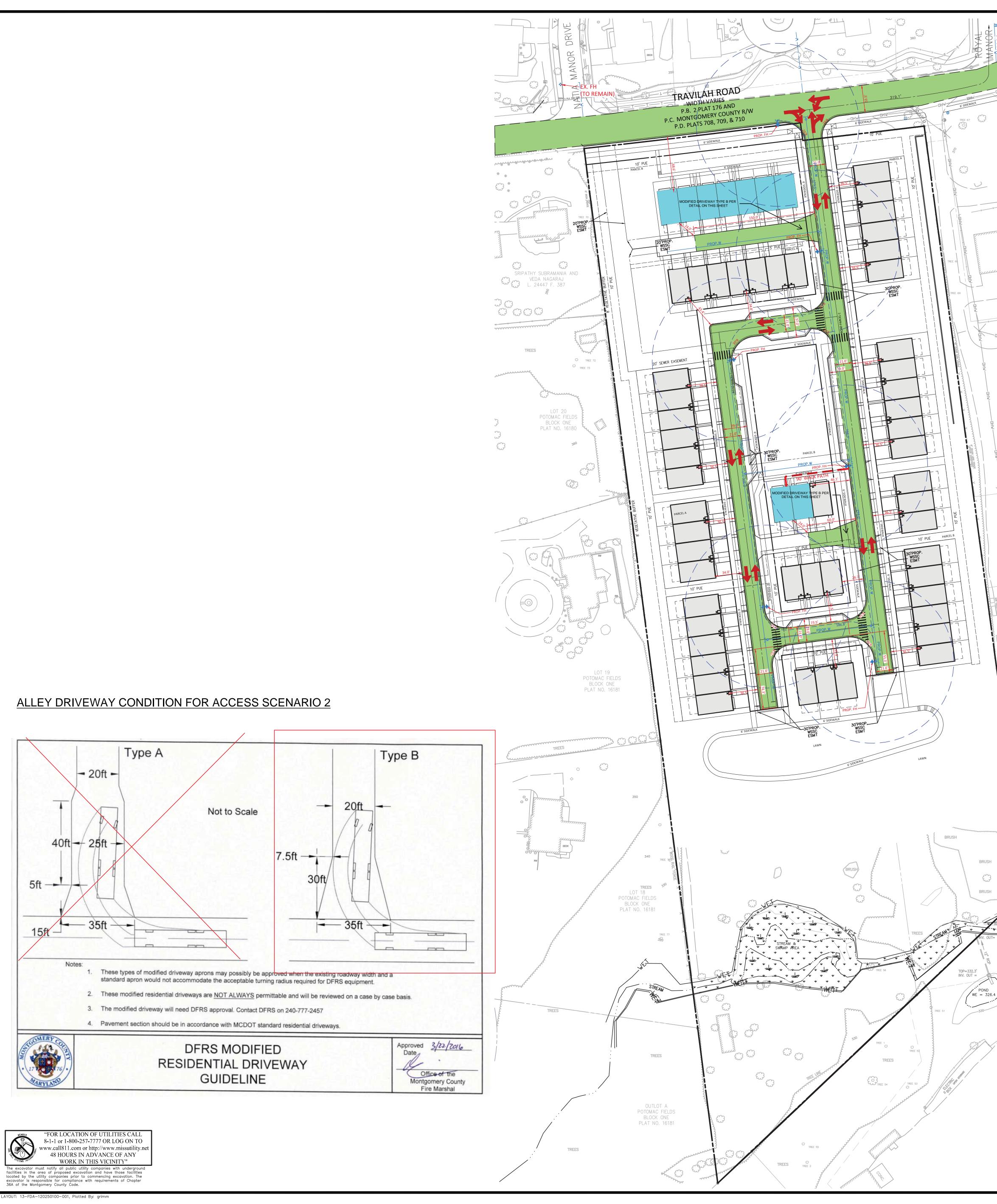
Department of Permitting Services Fire Department Access and Water Supply Comments

DATE:	13-Jun-25
TO:	Josh Sloan VIKA, Inc
FROM:	Marie LaBaw
RE:	Travilah Road 120250100

PLAN APPROVED

- 1. Review based only upon information contained on the plan submitted **13-Jun-25** .Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
- 2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

*** Plan will come back for a FD access amendment if/when FDCs are required ***



NOTE:

EX. FH

(TO REMAI

POOL)

RODNEY V. ANDERSON

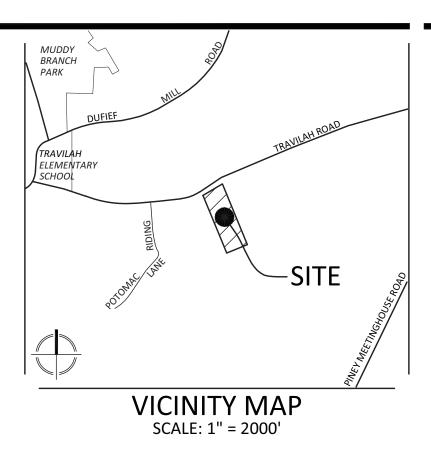
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OPEN STORAGE

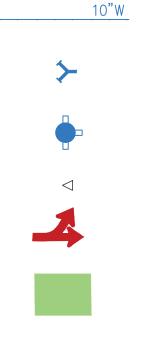
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OPEN STORAGE

ALL RIGHT-OF-WAY IMPROVEMENTS SUBJECT TO DOT AND DPS APPROVAL AT PERMIT PHASE.



LEGEND



WATER LINE AND FITTING

FIRE DEPARTMENT CONNECTION

FIRE HYDRANT

BUILDING ENTRY

FIRE TRUCK MOVEMENT (AT 729 TRUCK)

FIRE ACCESS PATH

NOTES:

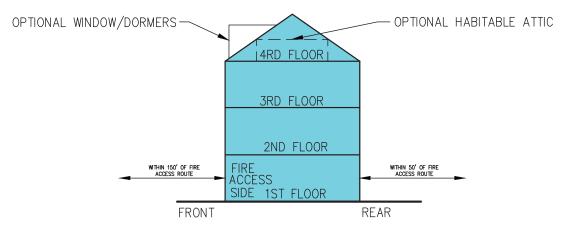
- 1. ALL UNITS LIMITED TO 3 STORIES WITH HABITABLE ATTIC: IRC BUILDING CODE WILL USE 13D FIRE SPRINKLER PERMIT. NO FDC CONNECTION REQUIRED.
- 2. FIRE ACCESS PLAN MUST BE AMENDED IF SYSTEM TYPE CHANGES TO 13 OR 13R AND FDC IS REQUIRED.

ACCESS SCENARIO 1: TOWNHOUSE FRONT DOOR MAXIMUM 50' TO FIRE ACCESS LANE - NO HEIGHT RESTRICTION

OPTIONAL WINDOW/DORMERS OPTIONAL HABITABLE ATTIC 14RD FLOOR 3RD FLOOR WITHIN 50' OF FIRE ACCESS ROUTE

2ND FLOOR 1ST FLOOR FRONT REAR

ACCESS SCENARIO 2: TOWNHOUSE FRONT DOOR MAXIMUM 150' TO FRONT FIRE ACCESS LANE & 50' TO REAR FIRE ACCESS LANE - NO HEIGHT RESTRICTION

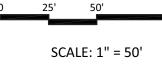


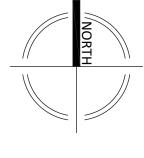
FIRE CODE ENFORCEMENT

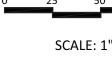
Fire Department Access Review

Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from ommisions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation BY: SMC FM: DPS DATE: 6/13/2025

120250100 includ	agrees to execute all the fe ling Approval Conditions and	atures of the Preliminary Plan Approval N d Certified Preliminary Plan.
Developer:		
	Company	Contact Person
Address:		
Phone:		









ARCHITECT: VIKA MARYLAND 20251 CENTURY BLVD. SUITE 400 GERMANTOWN, MD 20874 CONTACT: JULIA LAPIDES (301) 916-4100 lapides@vika.com

REVISIONS	



6TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND WSSC GRID: 218NW11 TAX MAP:FR12



120250100 PROFESSIONAL SEAL 12:19:12-04'00' I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. ENGINEER'S NAME: JULIA LAPIDES, P.E. LICENSE No.: <u>49870</u> EXPIRATION DATE: <u>SEPTEMBER 8, 2026</u> THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE FORWARDED, SHARED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC VIOLATIONS MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES. © 2019 VIKA MARYLAND, LLC DRAWN BY: SG DESIGNED BY: JS DATE ISSUED: <u>04/23/2025</u> VIKA PROJECT VM1407

DRAWING

SHEET NO. FIRE-1

NO.



Marc Elrich County Executive Christopher R. Conklin Director

June 3, 2025

Mr. Mark Beall, Zoning Planner UpCounty Planning Division The Maryland-National Capital Park & Planning Commission 2425 Reedie Dr Wheaton, MD 20902

RE: Preliminary Plan No. 120250100 13741 & 13751 Travilah Rd Preliminary Plan Letter

Dear Mr. Beall:

We have completed our review of the revised preliminary plan uploaded to eplans on April 23, 2025. A previous version of the plans was reviewed by the Development Review Committee at its April 8, 2025, meeting. This plan is tentatively scheduled for the July 17, 2025, Planning Board meeting. We recommend approval of the plans, subject to the following comments:

Significant Comments

 Travilah Road is classified as an Area Connector with two travel lanes and a minimum right-of-way (ROW) of 70 feet. According to Plat #9926, the current ROW from the centerline is 30-feet. Based on this plat, DOT believes that additional dedication to reach 35-feet from the centerline is necessary.

The certified preliminary plan shall reflect a 70-foot ROW with the following proposed frontage improvements extending from the edge of the centerline of the road to the edge of the property line along the entirety of the project's frontage (shown on Plan 07-PREL-120250100-001 V4):

- 12-foot drive lane
- 9-foot pedestrian buffer

Office of the Director

101 Monroe Street, 10th Floor, Rockville, MD 20850 · 240-777-7170 · 240-777-7178 Fax www.montgomerycountymd.gov/mcdot



Mr. Mark Beall Preliminary Plan No. 120250100 June 3, 2025 Page 2

- 6-foot sidewalk
- 8-tree panel
- Sight Distance: A copy of the accepted Sight Distances Evaluation certification form is enclosed for your information and reference. The applicant is responsible for ensuring sight distance, which should be clear of any existing or proposed obstructions within the line of sight (tree trimming and/or removal, relocation of existing utility pole, removal of street parking, etc.) to achieve a minimum sight distance in each direction.
- 3. <u>Storm Drain Study:</u> The storm drain analysis was reviewed and is acceptable to MCDOT. No improvements are needed to the downstream public storm drain system for this plan.
- 4. There is a bus stop within 200 feet on one side of the proposed project. Provide a minimum ADA clearance of a 5-foot-wide by 8-foot-long bus stop landing pad with a curb ramp and a bench. Prior to the issuance of any building permit or right-of-way permit, please contact Mr. Wayne Miller of our Division of Transit Services to finalize the improvements and identify any additional improvements required. You can reach Mr. Miller at 240 777-5836 or via email at <u>Wayne.Miller2@montgomerycountymd.gov</u>.
 - a. Include the development review team in all correspondence.
- All private streets and alleys should be located on their own separate parcel. Recorded covenant for the operation and maintenance of any private streets (including alleys), storm drainage systems, and/or open space areas. Public Access Easements may be required along select segments.

Standard Comments

- 6. All Planning Board Opinions relating to this plan or any subsequent revision, project plans or site plans should be submitted to the Department of Permitting Services (DPS) in the package for record plats, storm drain, grading or paving plans, or application for access permit. Include this letter and all other correspondence from this department.
- 7. Design all access points and alleys to be at-grade with the sidewalk, dropping down to street level between the sidewalk and roadway.
- 8. Upgrade pedestrian facilities at intersections to comply with current ADA standards.
- Ensure adequate ADA parking as required by State and Federal requirements. Note the new PROWAG which notably affects ADA spaces required and their design requirements including on-street spaces.
- 10. The Forest Conservation shall not extend into Slope Easements and the Public Utility Easements.
- 11. Stop sign locations, crosswalks and markings will be shown on the signing and marking plans and be reviewed and approved at the right-of-way permit stage.

- 12. The owner will be required to submit a recorded covenant for the operation and maintenance of any private storm drain systems, and/or open space areas prior to MCDPS approval of the record plat. The deed reference for this document is to be provided on the record plat.
- 13. The applicant is responsible for relocating utilities along existing roads to accommodate the required roadway improvements.
- 14. Trees in the County rights of way spacing and species to be in accordance with the applicable MCDOT standards. Tree planting within the public right of way must be coordinated with DPS Right-of-Way Plan Review Section.
- 15. Erosion and sediment control measures as required by Chapter 19 and on-site stormwater management where applicable shall be provided by the Developer (at no cost to the County) at such locations deemed necessary by MCDPS and will comply with their specifications. Erosion and sediment control measures are to be built prior to construction of streets, houses and/or site grading and are to remain in operation (including maintenance) as long as deemed necessary by MCDPS.
- 16. Posting of a right-of-way permit bond is a prerequisite to DPS approval of the record plat. The right-of-way permit will include, but not necessarily be limited to, the following improvements:
 - a. Curbs and gutters, buffer, sidewalk and handicap ramps, storm drainage and appurtenances, and street trees along Travilah Road per Significant Plan Review Comments.
 - b. Enclosed storm drainage and/or engineered channel (in accordance with the MCDOT <u>Storm Drain Design Criteria</u>) within the County rights-of-way and all drainage easements.
 - c. Permanent monuments and property line markers, as required by Section 50.4.3(G) of the Subdivision Regulations.

Thank you for the opportunity to review this preliminary plan. If you have any questions or comments regarding this letter, please contact me for this project at <u>brenda.pardo@montgomerycountymd.gov</u> or at (240) 777-7170.

Sincerely,

Brenda M. Pardo

Brenda M. Pardo, Engineer III Development Review Team Office to Transportation Policy

SharePoint\teams\DOT\Director's Office\Transportation Policy\Development Review\Brenda\Preliminary Plan\PP120250100 13741 & 13751 Travilah Rd\12025100-13741 & 13751 Travilah Rd-DOT Preliminary Plan Letter_6.3.25

Attachments: Approved Sight Distance Study

cc: Correspondence folder FY 2025

cc-e:	Mark Terry	MCDOT DTEO
	Atiq Panjshiri	MCDPS RWPR
	Sam Farhadi	MCDPS RWPR
	Rebecca Torma	MCDOT OTP



MONTGOMERY COUNTY, MARYLAND

DEPARTMENT OF TRANSPORTATION DEPARTMENT OF PERMITTING SERVICES

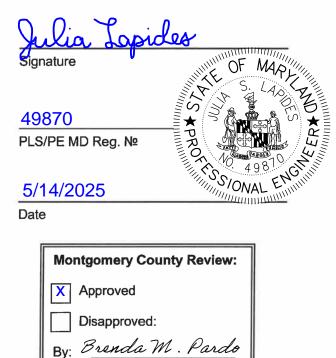
SIGHT DI

Plan Number:

Project Name:

ENGINEER/ SURVEYOR CERTIFICATE

I hereby certify that this information is accurate and was collected in accordance with these guidelines.



Date: <u>6/3/2025</u>

TAN	CE EVA	LUATION				
TRAVILAH ROAD						
CLASS AREA CONNECTOR						
	SPEED (MPH) 30 MPH					
APPROACHING MOTOR VEHICLES						
ICAL		TARGET (FT)	MEASURED (FT)	OK?		
VERTICAL	L	335'	400'	YES		
	R	319'	400'	YES		
HORIZONTAL APPROACHING MOTOR VEHICLES						
	Grade	TARGET (FT)	MEASURED (FT)	OK?		
L	2.29%	335'	335'	YES		
R	-3.72%	319'	400'	YES		
HORIZONTAL APPROACHING BIKEWAYS						
	Grade	TARGET (FT)	MEASURED (FT)	OK?		
L						
R						
HORIZONTAL APPROACHING SIDEWALK (IF DIRECTED)						
	Grade	TARGET (FT)	MEASURED (FT)	OK?		
L						
R						
		Соммен	NTS			
Horizontal: L: 2.29%, @30mph 335' required R: -3.72%, @30mph 319'required ~290'(Flat)*1.1(-3->-4% multiplier)=319						
Montgomery County Department of Transportation						

FORM APPROVED 11.8.2023 Date Date	<u>REVISED</u>	Montgomery County Department of Transportation
Chief, Division of Transportation Engineering Montgomery County Dept. of Transportation Chief, Land Development Montgomery County Dept. of Permitting Services		Sight Distance Review Form



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich County Executive Rabbiah Sabbakhan Director

June 13, 2025

Ms. Julia Lapides, PE VIKA Maryland, LLC 20251 Century Boulevard, Suite 400 Germantown, Maryland 20874

> Re: COMBINED STORMWATER MANAGEMENT CONCEPT/SITE DEVELOPMENT STORMWATER MANAGEMENT PLAN for Travilah Road Preliminary Plan #: 120250100 Special Exception #: CU-2023-10 SM File #: 288694 Tract Size: 10.64 acres/463,509 sq.ft. Zone: RE-2 Total Concept Area: 8.97 acres/390,804 sq.ft. Lots/Block: Proposed 60 Lots Parcel(s): B Watershed and Class: Watts Branch/I Redevelopment (Yes/No): No

Dear Ms. Lapides:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above-mentioned site is **acceptable**. The plan proposes to meet required stormwater management goals via the use of micro-bioretention and a partial SWM waiver for area which could not be treated in the existing public right-of-way.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

- 1. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
- 2. An engineered sediment control plan must be submitted for this project.
- 3. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.
- 4. This project has a drainage area greater than 30 acres to the drainage way. Therefore, a flood plain delineation study may be required at the final design stage if it is determined that there is disturbed area in the unmapped flood plain or flood plain buffer. Please contact Bill Musico at <u>William.musico@montgomerycountymd.gov</u> with any questions regarding the flood plain requirements.



2425 Reedie Drive, 7th Floor, Wheaton, Maryland 20902 | 240-777-0311 www.montgomerycountymd.gov/permittingservices Ms. Julia Lapides June 13, 2025 Page **2** of **2**

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 is required.

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Sherry Mitchell at 240-777-5206 or sherryl.mitchell@montgomerycountymd.gov.

Sincerely,

Mark Cheridge Mark Etheridge, Manager

Mark Etheridge, Manager Water Resources Section Division of Land Development Services

cc: Neil Braunstein SM File # 288694

On-site ESD: Required/Provided 21,535 cf / 21,636 cf PE: Target/Achieved: 1.65"/1.66" STRUCTURAL: 0 cf WAIVED: 0 cf.

ROW ESD: Required/Provided 1,165 cf / 0 cf PE: Target/Achieved: 1.65"/0" STRUCTURAL: 0 cf WAIVED: 1,165 cf.