

Attachment A

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center

MEMBER
ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777

FOREST CONSERVATION WORKSHEET

15700 SHADY GROVE ROAD (Within same Watershed or Priority Area)

NET TRACT AREA:

A. Total tract area ...	2.00
B. Additions to tract area (Off-Site Work, etc., construction required by this plan)...	0.18
C. Land dedication acres (parks, county facility, etc.) ...	0.00
D. Land dedication for roads or utilities (construction not required by this plan) ...	0.00
E. Area to remain in commercial agricultural production/use ...	0.00
F. Other deductions (specify) ...	0.00
G. Net Tract Area	2.18

LAND USE CATEGORY:

(from Chapter 22A-3, Definitions)
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1

G. Afforestation Threshold ...	15%	x G =	0.33
H. Conservation Threshold ...	15%	x G =	0.33

EXISTING FOREST COVER:

I. Existing forest cover ...	0.00
J. Area of forest above afforestation threshold ...	0.00
K. Area of forest above conservation threshold ...	0.00

BREAK EVEN POINT:

L. Forest retention above threshold with no mitigation ...	0.00
M. Clearing permitted without mitigation ...	0.00

PROPOSED FOREST CLEARING:

N. Total area of forest to be cleared ...	0.00
O. Total area of forest to be retained ...	0.00

PLANTING REQUIREMENTS:

P. Reafforestation for clearing above conservation threshold ...	0.00
Q. Reafforestation for clearing below conservation threshold ...	0.00
R. Credit for retention above conservation threshold ...	0.00
S. Total reafforestation required ...	0.00
T. Total afforestation required ...	0.33
U. Credit for landscaping (may not exceed 20% of "S") ...	0.00
V. Total reafforestation and afforestation required ...	0.33

REFORESTATION PROVIDED ...	0.00 Ac.
OFFSITE REFORESTATION REQUIRED ...	0.33 Ac.

*The Forest Conservation requirements will either be satisfied by purchase of an offsite bank or fee-in-lieu payment.

FOREST CONSERVATION WORKSHEET

15700 SHADY GROVE ROAD (Outside of Watershed or Priority Area)

NET TRACT AREA:

A. Total tract area ...	2.00
B. Additions to tract area (Off-Site Work, etc., construction required by this plan)...	0.18
C. Land dedication acres (parks, county facility, etc.) ...	0.00
D. Land dedication for roads or utilities (construction not required by this plan) ...	0.00
E. Area to remain in commercial agricultural production/use ...	0.00
F. Other deductions (specify) ...	0.00
G. Net Tract Area	2.18

LAND USE CATEGORY:

(from Chapter 22A-3, Definitions)
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1

G. Afforestation Threshold ...	15%	x G =	0.33
H. Conservation Threshold ...	15%	x G =	0.33

EXISTING FOREST COVER:

I. Existing forest cover ...	0.00
J. Area of forest above afforestation threshold ...	0.00
K. Area of forest above conservation threshold ...	0.00

BREAK EVEN POINT:

L. Forest retention above threshold with no mitigation ...	0.00
M. Clearing permitted without mitigation ...	0.00

PROPOSED FOREST CLEARING:

N. Total area of forest to be cleared ...	0.00
O. Total area of forest to be retained ...	0.00

PLANTING REQUIREMENTS:

P. Reafforestation for clearing above conservation threshold ...	0.00
Q. Reafforestation for clearing below conservation threshold ...	0.00
R. Credit for retention above conservation threshold ...	0.00
S. Total reafforestation required ...	0.00
T. Total afforestation required ...	0.33
U. Credit for landscaping (may not exceed 20% of "S") ...	0.00
V. Total reafforestation and afforestation required ...	0.33

REFORESTATION PROVIDED ...	0.00 Ac.
OFFSITE REFORESTATION REQUIRED ...	0.33 Ac.

The Forest Conservation requirements will either be satisfied by purchase of an offsite bank or fee-in-lieu payment.

Forest Conservation Data Table

Tract	Number of Acres
Remaining in Agricultural Use	0.00
Road & Utility ROWs*	0.00
Total Existing Forest	0.00
Forest Retention	0.00
Forest Cleared	0.00

Land Use & Thresholds†	Land Use Category	ARA, MDR, IDA, HDR, MDP, ...
Conservation Threshold	20%	percent
Afforestation Threshold	15%	percent

Stream(s)	Total Channel Length (ft.)	Average Buffer Width (ft.) ³
	0.00	0.00

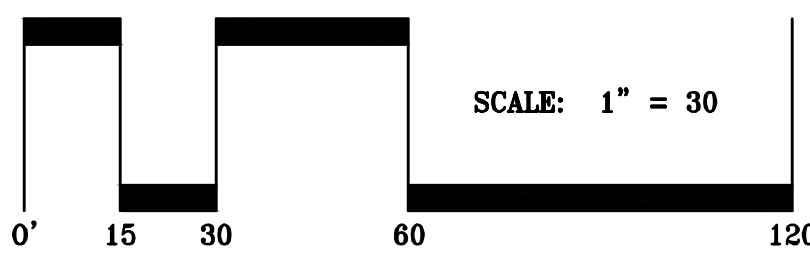
Acres of Forest in	Retained	Cleared	Planted
Wetlands	0.00	0.00	0.00
100-Year Floodplain	0.00	0.00	0.00
Stream Buffers	0.00	0.00	0.00
Priority Areas	0.00	0.00	0.00

* Only Road or Utility ROWs not to be improved as part of development application.
† Information from FC Land Use Categories & Thresholds document.
‡ Measured from stream edge to buffer edge.

SOILS

SYMBOL	SOIL NAME	PRIME FARMLAND	EROSION HAZARD	K-FACTOR	HYDRIC RATING	HYDROLOGIC GROUP	DRAINAGE CLASS
6A	Baile silt loam, 0-3% slopes	NO	SLIGHT	0.31	HYDRIC	G/D	POORLY DRAINED
400	Urban land complex, 0-8% slopes	NO	NOT RATED	NOT RATED	NONHYDRIC	D	NOT RATED

DESIGNED BY	KAF
DRAWN BY	ZG
CHECKED BY	KAF
DATE	
REVISION	
BY	
APP'R.	

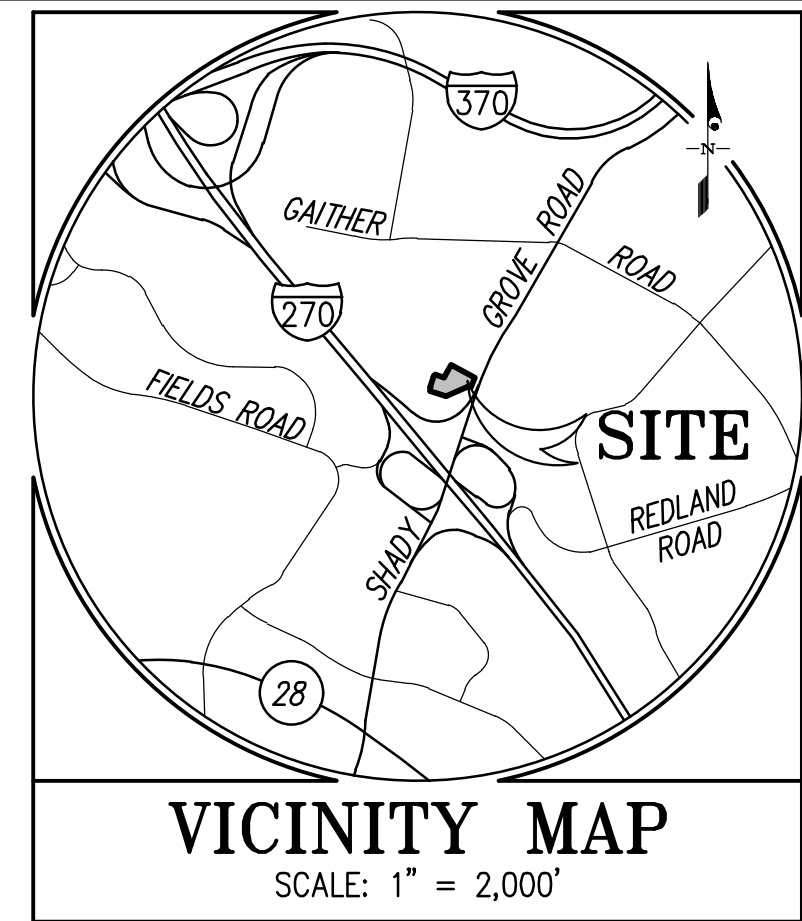


PREPARED FOR:
THE WILLS GROUP
102 CENTENNIAL STREET
LA PLATA, MD 20646
BERTHA BALLEW
EMAIL: BBALLEW@WILLSGROUP.COM
PHONE: 301-932-3600

SCALE	1"=30'
ZONING	GR
DATE	FEB, 2026
TAX MAP - GRID	FS-62 & 221 WSSC GRID 221N09

FINAL FOREST CONSERVATION PLAN
15700 SHADY GROVE ROAD GAS STATION
PARCEL 7-C
WASHINGTON INDUSTRIAL PARK
PLAT #11309
N598

G. L. W. FILE No.
25073
SHEET
1 OF 3



LEGEND

- PROPERTY LINE
- EX. TREE CANOPY
- EX. SCRUB LINE
- EX. CONTOURS
- EX. CURB
- EX. EDGE OF PAVING
- EX. WATER
- EX. SENIER
- EX. STORM DRAIN
- EX. ELECTRIC
- EX. OVERHEAD WIRE
- EX. UNDERGROUND ELECTRIC
- EX. GASLINE
- EX. FIBER OPTICS
- EX. FENCE
- EX. UTILITY POLE
- PROP. LIGHT POLE
- SOILS DELINEATION
- PROP. TREE PROTECTION FENCE
- PROP. LOD
- ROOT PRUNING
- EX. FOREST CONSERVATION EASEMENT
- PROPOSED BUILDINGS
- EX. TREE < 24"
- FIELD SURVEYED VARIANCE REQUEST TREE
- TREE TO BE REMOVED
- EX. TREE > 24"
- CRITICAL ROOT ZONE
- PROPOSED MITIGATION TREE

SITE DATA

EXISTING SITE AREA:	1.915 Ac.
EXISTING ZONING:	GR
EXISTING USE:	RESTAURANT
EXISTING BUILDING:	7,473 SF
PROPOSED USE:	RETAIL/RESTAURANT ESTABLISHMENT
PERMITTED USE:	CAR WASH-LIMITED USE FILLING STATION-CONDITIONAL USE

GENERAL NOTES

- This property is zoned (GR) General Retail.
- Owner: Gelly, LLC, 11105 Centurion Way, Potomac MD 20854.
- Applicant: The Wills Group, 102 Centennial Street, La Plata, MD 20646.
- Site Address: 15700 Shady Grove Road, Gaithersburg, MD 20877.
- Parcel 7-C (Tax Parcel N598), Tax ID: 0154300, L: 66043 F: 00209, Plat 11309 (1.91 Ac.).
- Watershed (2 Digit): Muddy Branch (021402020848), Watershed Use Class: L-P.
- Boundary Survey By: TFS Dated: TFS Dated.
- Topography By: TFS Dated.
- Water & Sewer Service Category: Water Category: PH, Sewer Category: S-1.
- Utility Companies: Gas - Washington Gas Electric - Potomac Edison, Telephone/Internet/Cable - Verizon, Comcast.
- According to MD Merlin Online, US Fish & Wildlife Service, NRI, and Field Observation, there are no wetlands or Associated Buffers within 100' of the property.
- A topography survey has been performed on the property and the existing grades have been determined to contain no steep slopes. There is no Floodplain on Site per FEMA Map #24031C0321D and #24031C0310 (Effective Date 4/26/2009).
- According to Maryland Department of Natural Resources there are no Rare, Threaten or Endangered Species on the site as stated in the DNR letter received on October 1, 2025.
- The Aerial Extent of the Forest Canopy is identified per Montgomery County MGATLAS Image Viewer, August 29, 2025.
- The Property is not listed on The Locational Atlas and Index of Historic Sites in Montgomery County, MD.
- There are no Perennial or Intermittent Streams and Environmental Buffers Onsite.
- The Site is not located in a Special Protection Area.
- Off-site within the wooded area there is a significant amount of tire and trash debris.
- There is an absence of Trees designated by the State or County as a County State or National Champion Tree, or a tree that is 75% or more of the current State Champion for that species.
- Trees were measured with a "D-Tape" in the field on August 24, 2025 by Kevin Foster of Gutschick, Little & Weber, P.A., Adjacent offsite. Tree locations are estimated.
- The forested area located west of the property line is consider "Priority Urban Forest" by Maryland County Department of Natural Resources.

SPECIMEN TREE MITIGATION SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT. / B4B	COMMENTS
SHADE TREES						
TA	3	Tilia americana	American Linden	3" Cal.	B4B	Min. 6' branching ht.

Tree Mitigation Calculations for 30" and Greater Trees to be removed (Tree #1,) 30"DBH / 4 = 15' of Mitigation/ 3" caliper proposed Native Trees = 3 Trees

SPECIMEN TREE LIST

No.	Common Name	Species Name	DBH	Condition	CRZ SF	CRZ IMPACT %	COMMENTS
1	Pin Oak	Quercus palustris	30"	Good			Remove
2	Tulip Poplar	Liriodendron tulipifera	31"	Good	6,783	0%	Save
3	Red Maple	Acer rubrum	21"	Fair	5,153	0%	Save
4	Silver Maple	Acer saccharinum	34"	Poor- base rot	4,671	1%	Save
5	Silver Maple	Acer saccharinum	30"	Good	6,361	0%	Save
6	Pin Oak	Quercus palustris	21"	Fair- base gall	5,153	14%	Save
7	Tulip Poplar	Liriodendron tulipifera	30"	Good	6,361	10%	Save

FINAL FOREST CONSERVATION PLAN PREPARED BY:

Ki Foster

Kevin Foster
Gutschick, Little & Weber, P.A.
3909 National Drive, Suite 250
Burtonsville, Maryland 20866
Ph: (301) 421-4024 Fax: (301) 421-4186
Registered Landscape Architect #807

DATE: 02/23/2026

DEVELOPER'S CERTIFICATE

The Underigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20260360 including financial, bonding forest planting, maintenance and all other applicable agreements.

Developer's Name: The Wills Group

Contact Person or Owner: BERTHA BALLEW

Address: 102 Centennial Street
LaPlata, MD 20646

Phone: 301-932-3600

Signature: Bertha Ballew, Construction Manager

MNCPPC PLAN No. F20260360

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

SEQUENCE OF CONSTRUCTION

- PRE-CONSTRUCTION**
- AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED AFTER THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED AND BEFORE ANY LAND DISTURBANCE. THE PROPERTY OWNER MUST ARRANGE FOR THE MEETING AND FOLLOWING PEOPLE SHOULD PARTICIPATE AT THE PRE-CONSTRUCTION MEETING: THE PROPERTY OWNER OR THEIR REPRESENTATIVE, CONSTRUCTION SUPERINTENDENT, INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST/MARYLAND LICENSED TREE EXPERT (REPRESENTING OWNER) THAT WILL IMPLEMENT THE TREE PROTECTION MEASURES, THE PLANNING DEPARTMENT FOREST CONSERVATION INSPECTOR, AND MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (DPS) SEDIMENT CONTROL INSPECTOR. THE PURPOSE OF THIS MEETING IS TO VERIFY THE LIMITS OF DISTURBANCE AND DISCUSS SPECIFIC TREE PROTECTION AND TREE CARE MEASURES SHOWN ON THE APPROVED PLAN. NO LAND DISTURBANCE SHALL BEGIN BEFORE TREE PROTECTION AND STRESS-REDUCTION MEASURES HAVE BEEN IMPLEMENTED AND APPROVED BY THE PLANNING DEPARTMENT'S FOREST CONSERVATION INSPECTOR.
 - TYPICAL TREE PROTECTION DEVICES INCLUDE:
 - CHAIN LINK FENCE (FOUR FEET HIGH)
 - SUPER SILT FENCE WITH WIRE STRING BETWEEN THE SUPPORT POLES (MINIMUM 4 FEET HIGH) WITH HIGH VISIBILITY FLAGGING.
 - 1/4 GAUGE, 2 INCH X 4 INCH WELDED WIRE FENCING SUPPORTED BY STEEL T-BAR POSTS (MINIMUM 4 FEET HIGH) WITH HIGH VISIBILITY FLAGGING.
 - TYPICAL STRESS REDUCTION MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO:
 - ROOT PRUNING WITH A ROOT CUTTER OR VIBRATORY PLOW DESIGNED FOR THAT PURPOSE. TRENCHERS ARE NOT ALLOWED, UNLESS APPROVED BY THE FOREST CONSERVATION INSPECTOR.
 - CROWN REDUCTION OR PRUNING
 - WATERING
 - FERTILIZING
 - VERTICAL MULCHING
 - ROOT AERATION SYSTEMS
 - MEASURES NOT SPECIFIED ON THE FOREST CONSERVATION PLAN MAY BE REQUIRED AS DETERMINED BY THE FOREST CONSERVATION INSPECTOR IN COORDINATION WITH THE PROPERTY OWNER'S ARBORIST.
 - A MARYLAND LICENSED TREE EXPERT MUST PERFORM OR DIRECTLY SUPERVISE, THE IMPLEMENTATION OF ALL STRESS REDUCTION MEASURES. DOCUMENTATION OF THE PROCESS (INCLUDING PHOTOGRAPHS) MAY BE REQUIRED BY THE FOREST CONSERVATION INSPECTOR, AND WILL BE DETERMINED AT THE PRE-CONSTRUCTION MEETING.
 - TEMPORARY TREE PROTECTION DEVICES MUST BE INSTALLED PER THE APPROVED FOREST CONSERVATION PLAN, EXEMPTION PLAN, OR TREE SAVE PLAN AND PRIOR TO ANY LAND DISTURBANCE. THE FOREST CONSERVATION INSPECTOR, IN COORDINATION WITH THE DPS SEDIMENT CONTROL INSPECTOR, MAY MAKE FIELD ADJUSTMENTS TO INCREASE THE SURVIVABILITY OF TREES AND FOREST SHOWN AS SAVED ON THE APPROVED PLAN. TREE PROTECTION FENCING MUST BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER FOR THE DURATION OF CONSTRUCTION PROJECT AND MUST NOT BE ALTERED WITHOUT PRIOR APPROVAL FROM THE FOREST CONSERVATION INSPECTOR. ALL CONSTRUCTION ACTIVITY WITHIN PROTECTED TREE AND FOREST AREAS IS PROHIBITED. THIS INCLUDES THE FOLLOWING ACTIVITIES:
 - PARKING OR DRIVING OF EQUIPMENT, MACHINERY OR VEHICLES OF ANY TYPE.
 - STORAGE OF ANY CONSTRUCTION MATERIALS, EQUIPMENT, STOCKPILING, FILL, DEBRIS, ETC.
 - DUMPING OF ANY CHEMICALS (I.E., PAINT THINNER, MORTAR OR CONCRETE REMAINDER, TRASH, GARBAGE, OR DEBRIS OF ANY KIND.
 - FELLING OF TREES INTO A PROTECTED AREA.
 - TRENCHING OR GRADING FOR UTILITIES, IRRIGATION, DRAINAGE, ETC.
 - FOREST AND TREE PROTECTION SIGNS MUST BE INSTALLED AS REQUIRED BY THE FOREST CONSERVATION INSPECTOR. THE SIGNS MUST BE WATERPROOF AND WORDING PROVIDED IN BOTH ENGLISH AND SPANISH.

DURING CONSTRUCTION

 - PERIODIC INSPECTIONS WILL BE MADE BY THE FOREST CONSERVATION INSPECTOR. CORRECTIONS AND REPAIRS TO TREE PROTECTION DEVICES MUST BE COMPLETED WITHIN THE TIMEFRAME GIVEN BY THE INSPECTOR.
 - THE PROPERTY OWNER MUST IMMEDIATELY NOTIFY THE FOREST CONSERVATION INSPECTOR OF ANY DAMAGE TO TREES, FORESTS, UNDERSTORY, GROUND COVER, AND ANY OTHER UNDISTURBED AREAS SHOWN ON THE APPROVED PLAN. REMEDIAL ACTIONS, AND THE RELATIVE TIMEFRAMES TO RESTORE THESE AREAS, WILL BE DETERMINED BY THE FOREST CONSERVATION INSPECTOR.

POST-CONSTRUCTION

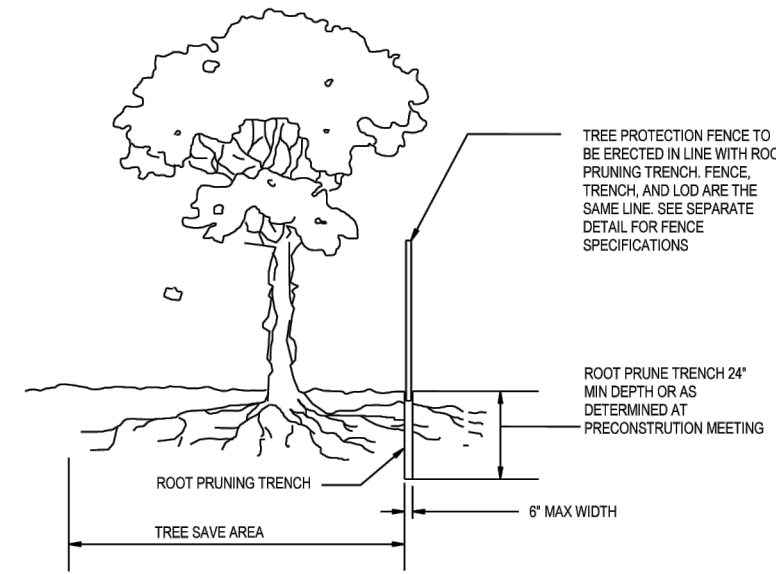
 - AFTER CONSTRUCTION IS COMPLETED, BUT BEFORE TREE PROTECTION DEVICES HAVE BEEN REMOVED, THE PROPERTY OWNER MUST REQUEST A FINAL INSPECTION WITH THE FOREST CONSERVATION INSPECTOR. AT THE FINAL INSPECTION, THE FOREST CONSERVATION INSPECTOR MAY REQUIRE ADDITIONAL CORRECTIVE MEASURES, WHICH MAY INCLUDE:
 - REMOVAL, AND POSSIBLE REPLACEMENT, OF DEAD, DYING, OR HAZARDOUS TREES
 - PRUNING OF DEAD OR DECLINING LIMBS
 - SOIL AERATION
 - FERTILIZATION
 - WATERING
 - WOUND REPAIR
 - CLEAN UP OF RETENTION AREAS, INCLUDING TRASH REMOVAL
 - AFTER THE FINAL INSPECTION AND COMPLETION OF ALL CORRECTIVE MEASURES THE FOREST CONSERVATION INSPECTOR WILL REQUEST ALL TEMPORARY TREE AND FOREST PROTECTION DEVICES BE REMOVED FROM THE SITE. REMOVAL OF TREE PROTECTION DEVICES THAT ALSO OPERATE FOR EROSION AND SEDIMENT CONTROL MUST BE COORDINATED WITH BOTH DPS AND THE FOREST CONSERVATION INSPECTOR AND CANNOT BE REMOVED WITHOUT PERMISSION OF THE FOREST CONSERVATION INSPECTOR. NO ADDITIONAL GRADING, SODDING, OR BURIAL MAY TAKE PLACE AFTER THE TREE PROTECTION FENCING IS REMOVED.
 - LONG-TERM PROTECTION MEASURES, INCLUDING PERMANENT SIGNAGE, MUST BE INSTALLED PER THE APPROVED PLAN. INSTALLATION WILL OCCUR AT THE APPROPRIATE TIME DURING THE CONSTRUCTION PROJECT. REFER TO THE APPROVED PLAN DRAWING FOR THE LONG-TERM PROTECTION MEASURES TO BE INSTALLED.

INSPECTION SCHEDULE DETAIL

- ALL FIELD INSPECTIONS MUST BE REQUESTED BY THE APPLICANT. FIELD INSPECTIONS MUST BE CONDUCTED AS FOLLOWS:
- PLANS WITHOUT PLANTING REQUIREMENTS:**
- AFTER THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED, BUT BEFORE ANY CLEARING OR GRADING BEGINS.
 - AFTER NECESSARY STRESS REDUCTION MEASURES HAVE BEEN COMPLETED AND PROTECTION MEASURES HAVE BEEN INSTALLED, BUT BEFORE ANY CLEARING AND GRADING BEGIN AND BEFORE RELEASE OF THE BUILDING PERMIT.
 - AFTER COMPLETION OF ALL CONSTRUCTION ACTIVITIES, BUT BEFORE REMOVAL OF TREE PROTECTION FENCING, TO DETERMINE THE LEVEL OF COMPLIANCE WITH THE PROVISIONS OF THE FOREST CONSERVATION.
- ADDITIONAL REQUIREMENTS FOR PLANS WITH PLANTING REQUIREMENTS:**
- BEFORE THE START OF ANY REQUIRED REFORESTATION AND AFFORESTATION PLANTING.
 - AFTER THE REQUIRED REFORESTATION AND AFFORESTATION PLANTING HAS BEEN COMPLETED TO VERIFY THAT THE PLANTING IS ACCEPTABLE AND PRIOR TO THE START THE MAINTENANCE PERIOD.
 - AT THE END OF THE MAINTENANCE PERIOD TO DETERMINE THE LEVEL OF COMPLIANCE WITH THE PROVISIONS OF THE PLANTING PLAN, AND IF APPROPRIATE, RELEASE OF THE PERFORMANCE BOND.
 - AT THE END OF THE MAINTENANCE PERIOD TO DETERMINE THE LEVEL OF COMPLIANCE WITH THE PROVISIONS OF THE PLANTING PLAN, AND IF APPROPRIATE, RELEASE OF THE PERFORMANCE BOND.

FOREST CONSERVATION NOTES:

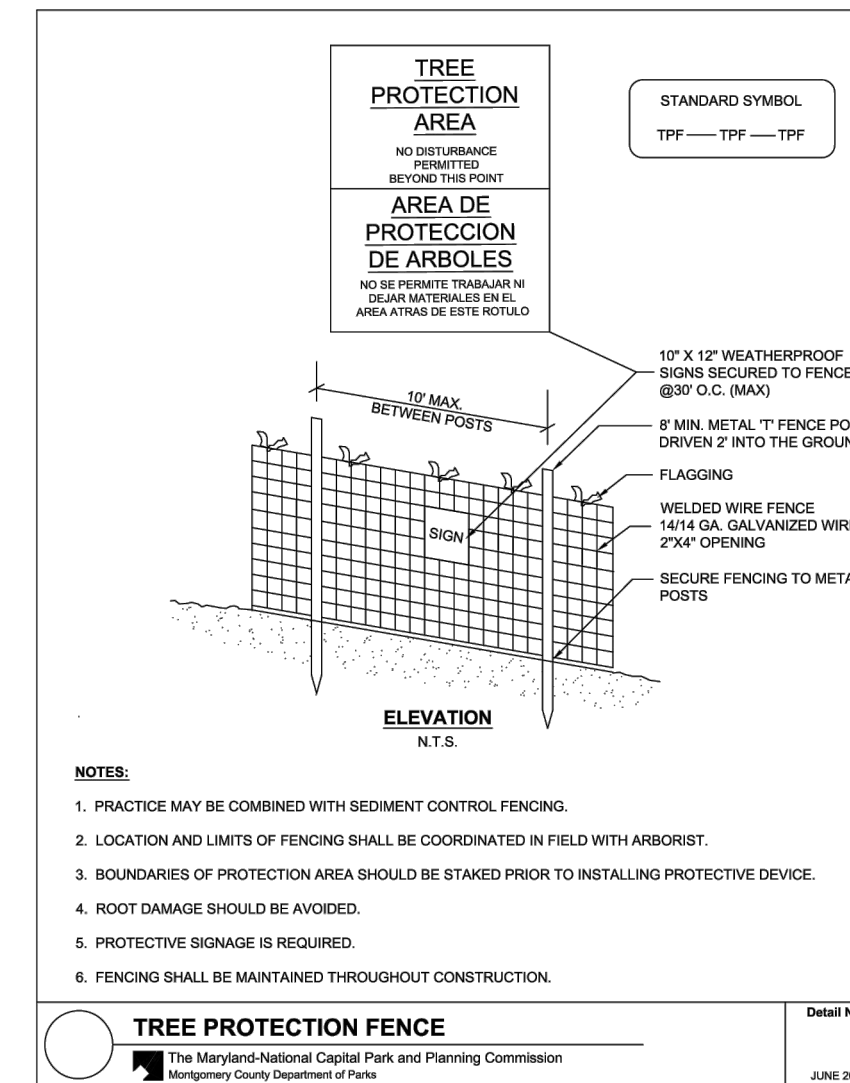
- THE APPLICANT MUST, AS PART OF THE PRE-CONSTRUCTION ACTIVITIES OCCURRING ON THE SUBJECT PROPERTY:
 - ALL TRASH AND DEBRIS IN FOREST RETENTION (FCE) AREA SHALL BE REMOVED. SPECIAL CARE IS REQUIRED WHEN REMOVING EXISTING TRASH AND DEBRIS FROM FOREST CONSERVATION AREAS, WHERE POSSIBLE, TRASH AND DEBRIS WILL BE REMOVED WITH HAND EQUIPMENT AND CARRIED OUT OF THE FCE AREAS. WHEN HAND WORK IS NOT POSSIBLE, A TRACKHOE OR OTHER MECHANICAL EQUIPMENT WILL BE PLACED OUTSIDE OF THE FCE AREA AND REACH INWARD TO LIFT OUT OR DRAG DEBRIS OUT. SPECIAL CARE WILL BE TAKEN TO MINIMIZE DISTURBANCE TO EXISTING TREES AND SOIL. ANY WORK WITHIN FOREST CONSERVATION AREAS TO BE UNDER THE DIRECTION OF AN ARBORIST AND WITH PRIOR APPROVAL BY THE FOREST CONSERVATION INSPECTOR.
 - EXTREME CARE FOR INSTALLATION OF MITIGATION TREE PLANTINGS IS REQUIRED FOR AREAS WITHIN THE CRITICAL ROOT ZONE OF ALL TREES WITHIN THE FOREST CONSERVATION AREAS.
 - THE APPLICANT MUST PLANT THE ONSITE MITIGATION TREES, PRIOR TO ISSUANCE OF USE AND OCCUPANCY CERTIFICATE FOR EACH ASSOCIATED LOT. ROOT PRUNING SHALL OCCUR DURING THE DORMANT SEASON (DECEMBER-FEBRUARY) TO REDUCE THE STRESS FROM ROOT LOSS. DO NOT ROOT PRUNE DURING THE SPRING SEASON OF MARCH - MAY.



- NOTES:
- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRECONSTRUCTION MEETING.
 - BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRECONSTRUCTION MEETING AND FLAGGED PRIOR TO TRENCHING.
 - EXACT LOCATION OF TRENCH SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FOREST CONSERVATION (FC) INSPECTOR.
 - TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FC INSPECTOR.
 - ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.
 - ALL PRUNING MUST BE EXECUTED WITH LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FC INSPECTOR.

ROOT PRUNING DETAIL

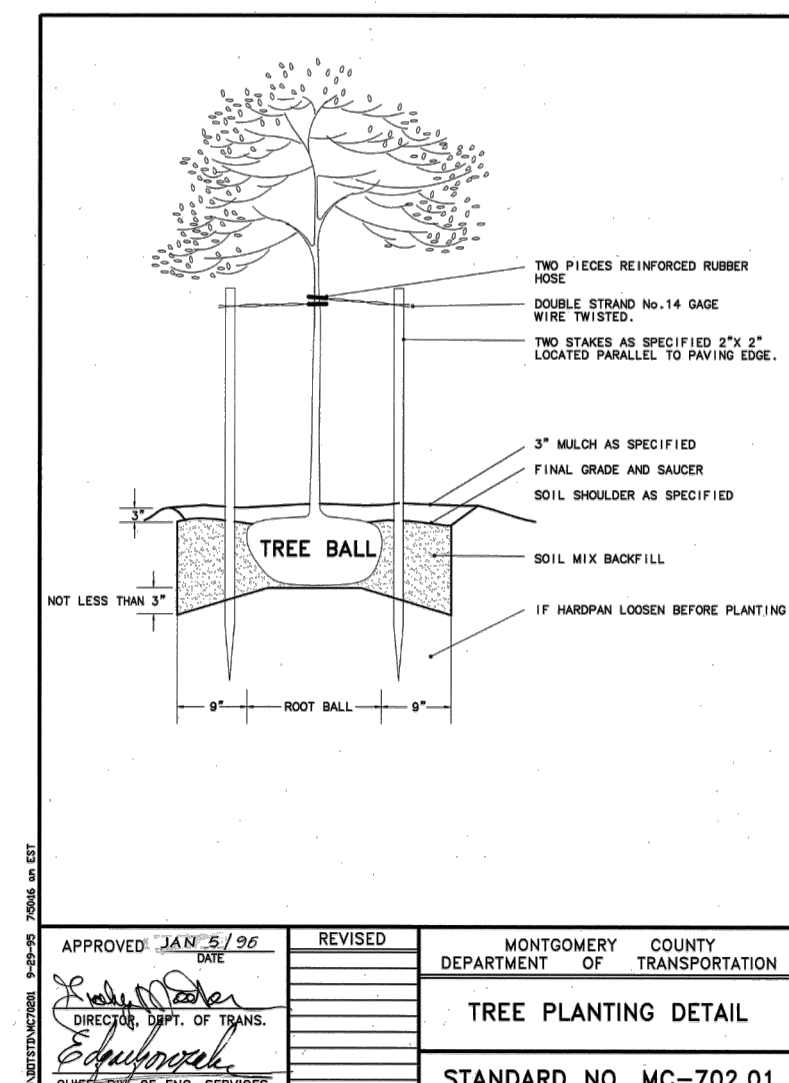
NTS



- NOTES:
- PRACTICE MAY BE COMBINED WITH SEDIMENT CONTROL FENCING.
 - LOCATION AND LIMITS OF FENCING SHALL BE COORDINATED IN FIELD WITH ARBORIST.
 - BOUNDARIES OF PROTECTION AREA SHOULD BE STAKED PRIOR TO INSTALLING PROTECTIVE DEVICE.
 - PROTECTIVE SIGNAGE IS REQUIRED.
 - FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE

Detail No. JUNE 2007



APPROVED	REVISED	MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION
DESIGNED BY: <i>[Signature]</i>		TREE PLANTING DETAIL
CHECKED BY: <i>[Signature]</i>		STANDARD NO. MC-702.01



Wes Moore, Governor
Aruna Miller, Lt. Governor
Josh Hartz, Secretary
David Gashorn, Deputy Secretary

September 30, 2025

Mr. Zaire Garrett
Gutschick, Little & Webber, P.A.
3909 National Drive
Suite 250
Burtonsville, MD 20866

RE: Environmental Review for 15700 Shady Grove Road, Gaithersburg, Montgomery County, Maryland.

Dear Mr. Garrett:

The Wildlife and Heritage Service has no official records for State or Federal listed, candidate, proposed, or rare plant or animal species within the project area shown on the map provided. As a result, we have no specific concerns regarding potential impacts to such species or recommendations for protection measures at this time. If the project changes in the future such that the limits of proposed disturbance or overall site boundaries are modified, please provide us with revised project maps and we will provide you with an updated evaluation.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at lari.byrne@maryland.gov or at (410) 260-8573.

Sincerely,

Lori A. Byrne

Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER# 2025.1786.mo

Towers State Office Building - 580 Taylor Avenue - Annapolis, Maryland 21403
410-260-80NR or toll free in Maryland 877-620-80NR - dnr.maryland.gov - TTY Users Call via the Maryland Relay

FINAL FOREST CONSERVATION PLAN PREPARED BY:

Kevin Foster
Gutschick, Little & Weber, P.A.
3909 National Drive, Suite 250
Burtonsville, Maryland 20866
Ph: (301) 421-4024 Fax: (301) 421-4186
Registered Landscape Architect #807

DATE: 02/02/2026

DEVELOPER'S CERTIFICATE

The Undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20260360 including financial, bonding forest planting, maintenance and all other applicable agreements.

Developer's Name: The Wills Group

Contact Person or Owner: BERTHA BALLEW

Address: 102 Centennial Street
LaPlata, MD 20646

Phone: 301-432-3600

Signature: Bertha Ballew, Construction Manager

MNCPPC PLAN No. F20260360

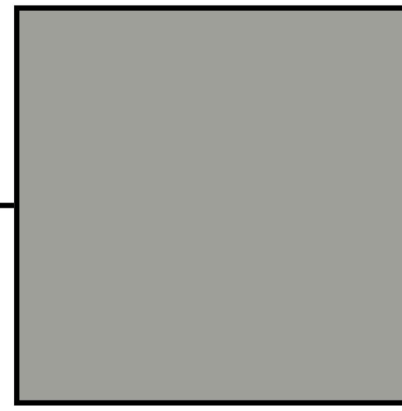
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY	KAF				
DRAWN BY	ZG				
CHECKED BY	KAF				
DATE		REVISION		BY	APP'R.

PREPARED FOR: THE WILLS GROUP 102 CENTENNIAL STREET LA PLATA, MD 20646 EMAIL: BBALLEW@WILLGROUP.COM PHONE: 301-932-3600	SCALE 1"=30'	ZONING GR	FINAL FOREST CONSERVATION PLAN DETAILS		G. L. W. FILE No.
	DATE FEB, 2026	TAX MAP - GRID FS-62 & 221	15700 SHADY GROVE ROAD GAS STATION		25073
		WSSC GRID 221N09	PARCEL 7-C		SHEET
			WASHINGTON INDUSTRIAL PARK		3 OF 3
			PLAT #11309 N598		
			GAITHERSBURG ELECTION DISTRICT No. 9		
			MONTGOMERY COUNTY, MARYLAND		

L:\CADD\DRAWINGS\25073\PLANS BY GLW\VCP\25073\FOP-V2.dwg
PLOTTED 2/2/2026 1:56 PM, LAST SAVED 2/2/2026 1:53 PM, PLOTTED BY: John Connor

PT-2 EXTERIOR PAINT
SW7655 STAMPED
CONCRETE



FC-1 HARDIEPANEL VERTICAL
SIDING WITH BATTEN BOARDS;
SMOOTH BLACK



WD-1 DECORATIVE
WOOD BEAMS



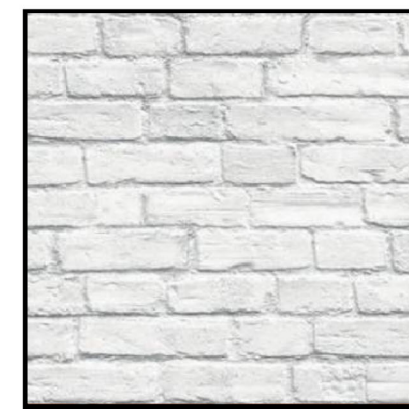
PT-5 EXTERIOR PAINT
SW6991 BLACK MAGIC



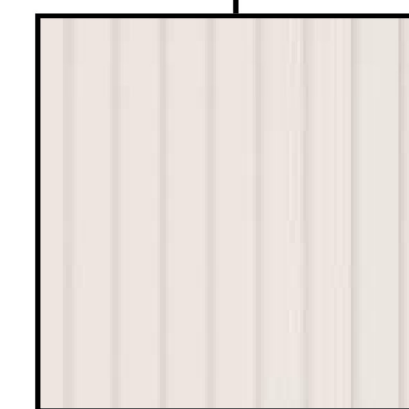
MTL-3 BRAKE METAL
18 GAUGE; COLOR
TO MATCH
STOREFRONT



BR-1 EXTERIOR THIN
BRICK; MCNEAR
BRICK AND BLOCK -
GENOVA. PAINTED
PT-1 SW7005 PURE
WHITE



FC-1 HARDIEPANEL
VERTICAL
SIDING WITH BATTEN
BOARDS;
WHITE



MTL-1 EXTERIOR ALUMINUM
SCREENING; LONGBOARD -
ONYX BLACK



SHEET E-14

CORE STATES

46 East Main Street
Suite 201
Somerville, NJ 08876
908.462.9700
www.core-states.com

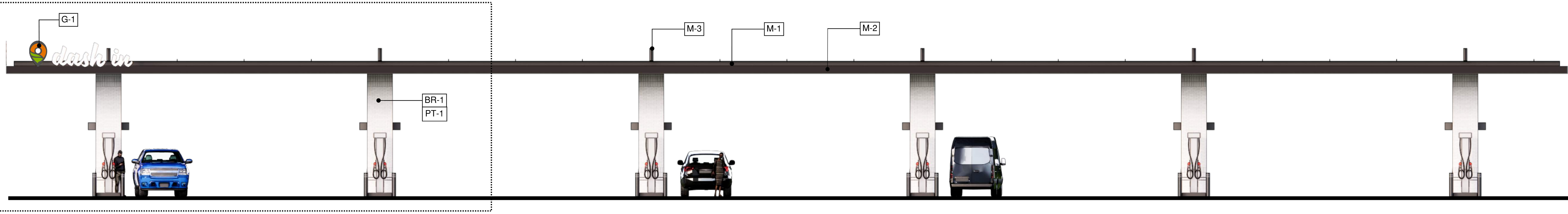
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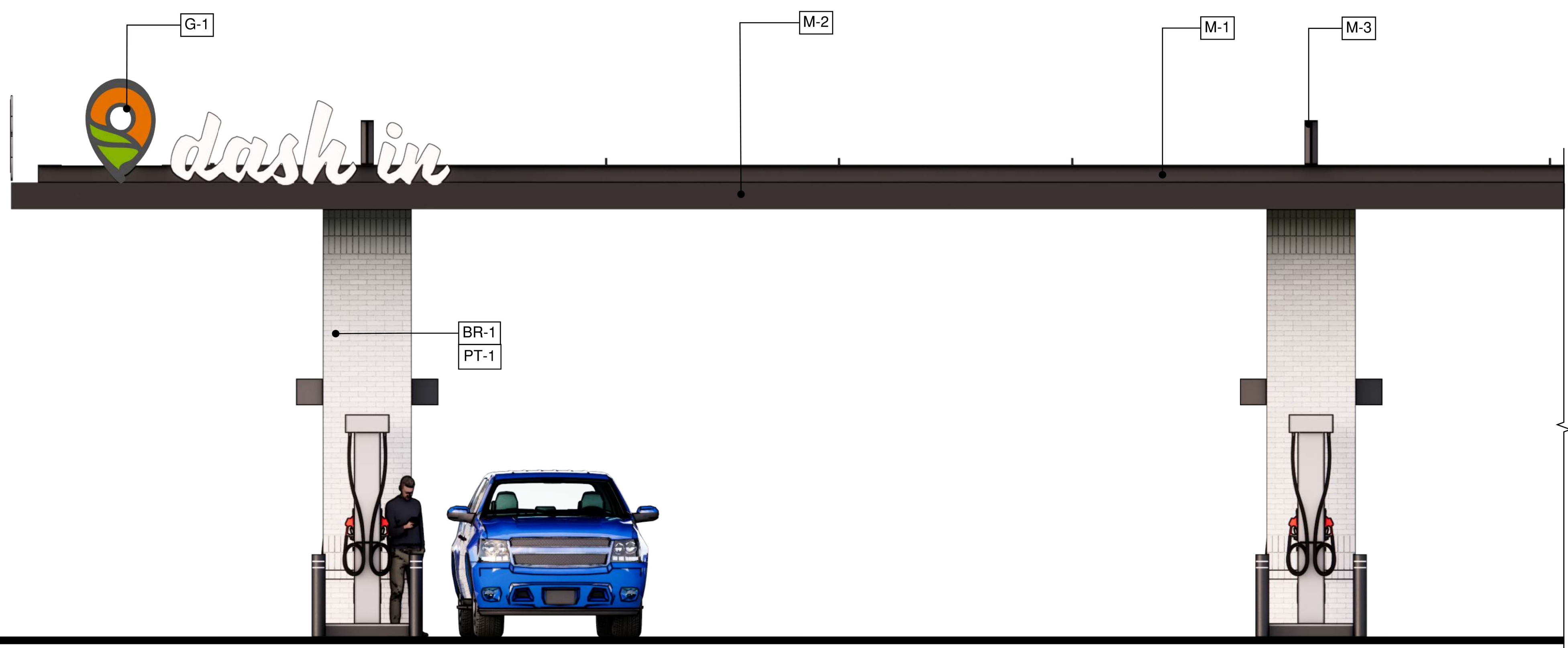
MATERIAL BOARD

DASH-IN STORE #1880
15700 Shady Grove Rd.
Gaithersburg, MD 20877

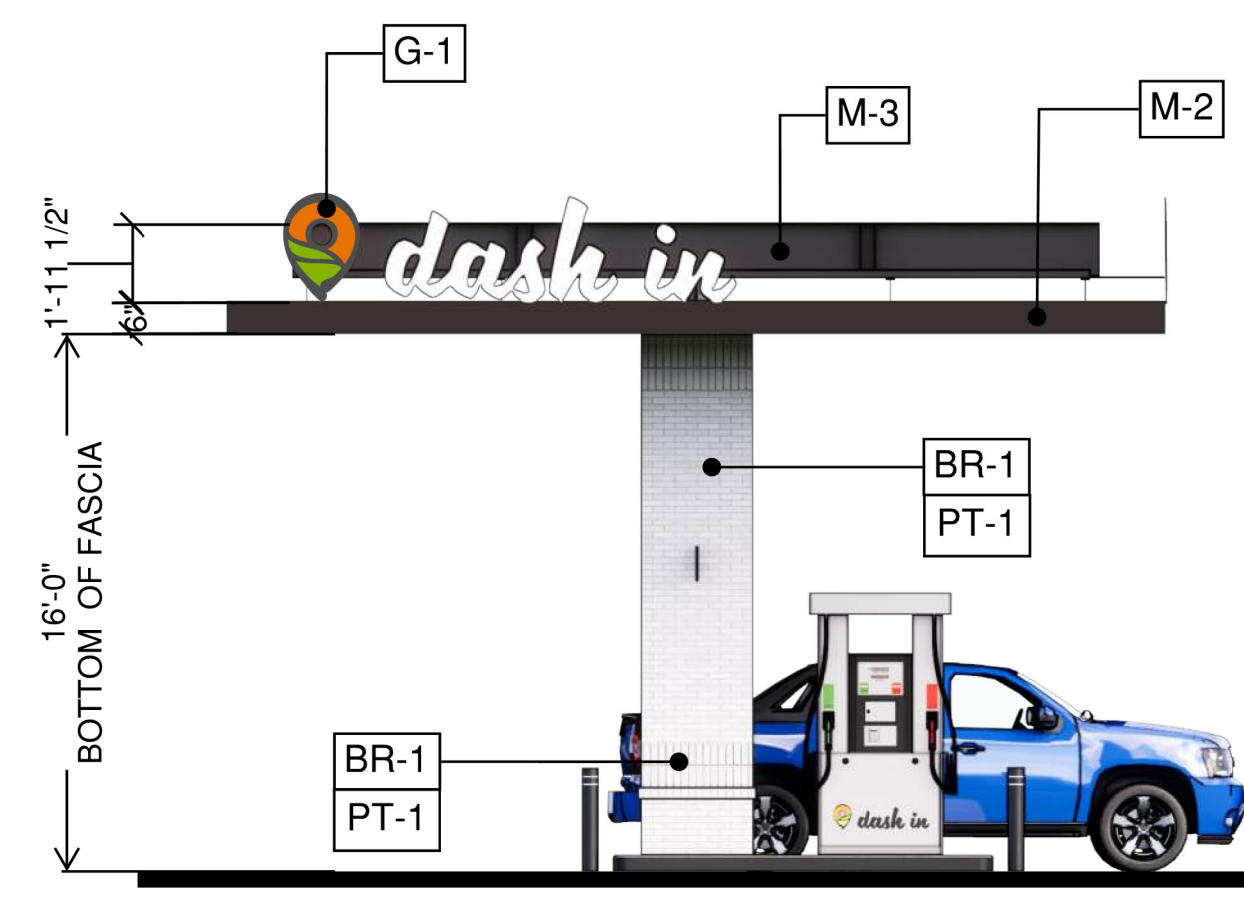




1 FRONT ELEVATION
SCALE: N.T.S.



3 ENLARGE FRONT ELEVATION
SCALE: N.T.S.



2 SIDE ELEVATION
SCALE: N.T.S.

□ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □

MARK	DESCRIPTION
BR-1	EXTERIOR THIN BRICK (RUNNING & SOLDIER COURSES) - MCNEAR BRICK & BLOCK
PT-1	

MARK	DESCRIPTION
M1	GALVANIZED METAL DECKING - GRAY
M2	FASCIA PANEL - BLACK
M3	PAINTED STRUCTURAL MEMBERS - BLACK

MARK	DESCRIPTION
G1	SIGNAGE (BY OTHERS)
PT-1	EXTERIOR PAINT, SW7005 PURE WHITE

SHEET E-15

CORE STATES

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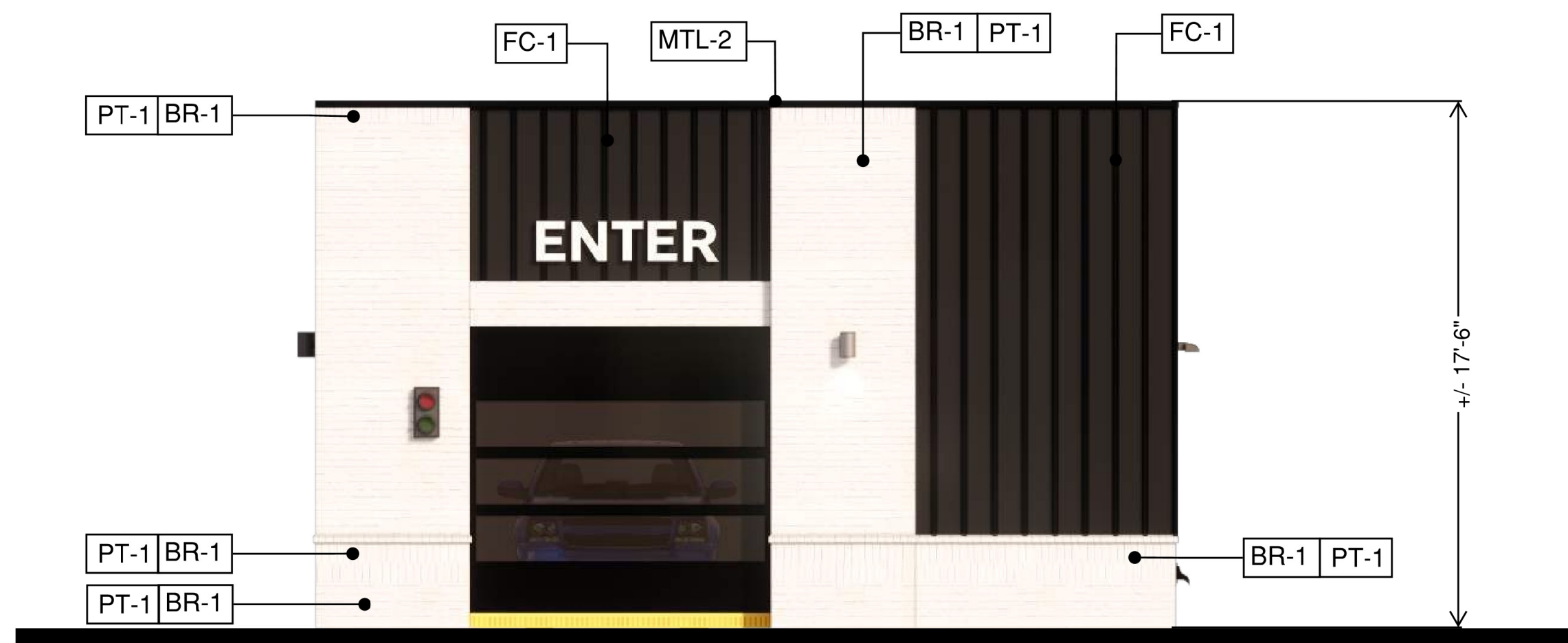
GROUP



CANOPY ELEVATIONS

DASH-IN STORE #1880
15700 Shady Grove Rd.
Gaithersburg, MD 20877

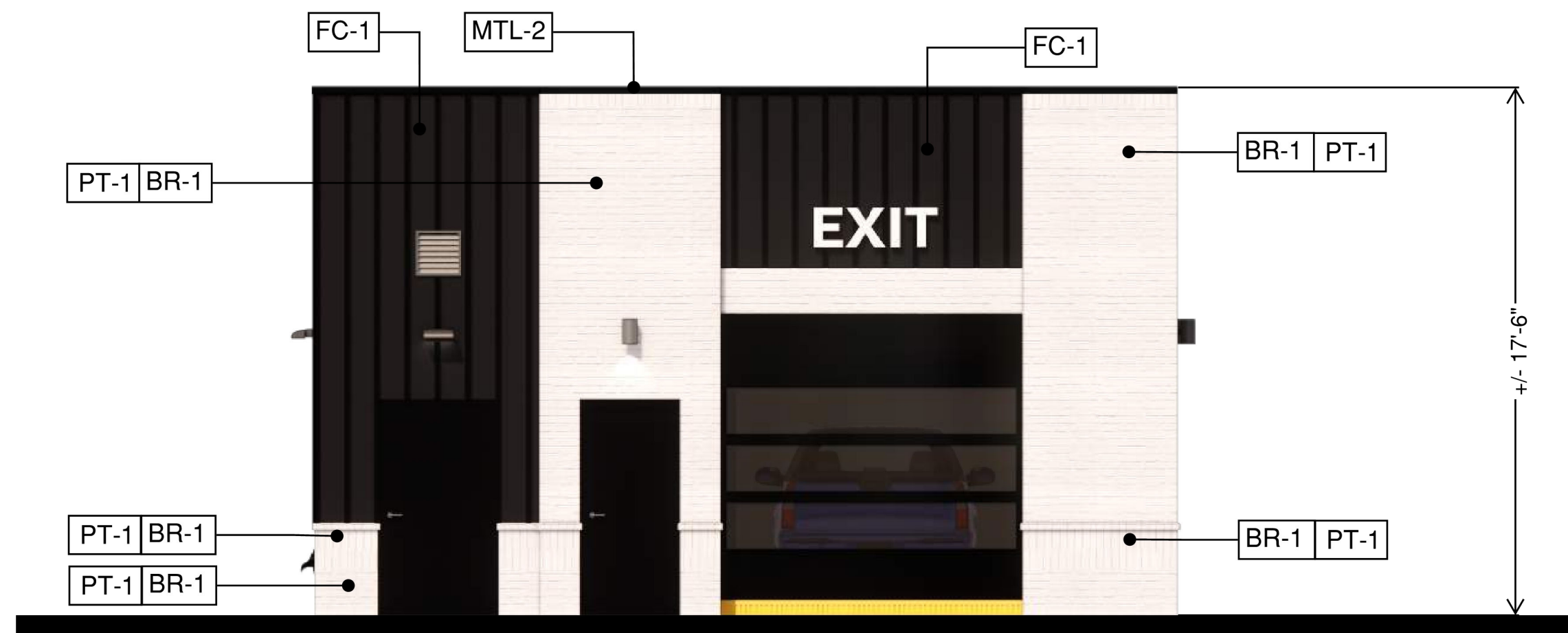




1 FRONT ELEVATION
SCALE: N.T.S.



3 SIDE ELEVATION
SCALE: N.T.S.



2 REAR ELEVATION
SCALE: N.T.S.



4 SIDE ELEVATION
SCALE: N.T.S.

□ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □

MARK	DESCRIPTION
BR-1	EXTERIOR THIN BRICK (MCNEAR BRICK & BLOCK)
FC-1	BOARD & BATTEN SIDING: BLACK

MARK	DESCRIPTION
MTL-2	ALUMINUM COPING: COLOR BLACK
G-1	SIGNAGE (BY OTHERS)

MARK	DESCRIPTION
R-1	STANDING SEAM METAL ROOF, COLOR: BLACK
R-3	ROOF GUTTERS & DOWNSPOUTS, COLOR: BLACK

SHEET E-16

CORE STATES

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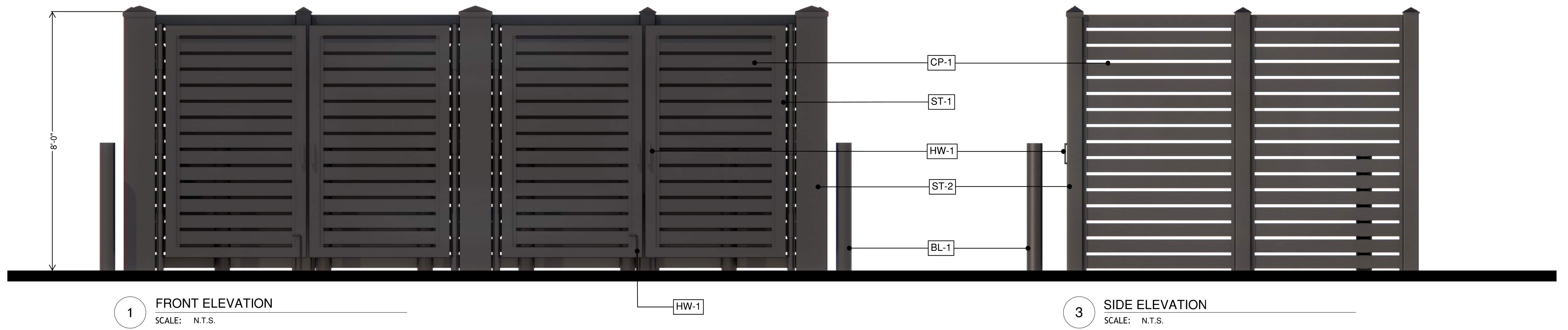
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CAR WASH ELEVATIONS

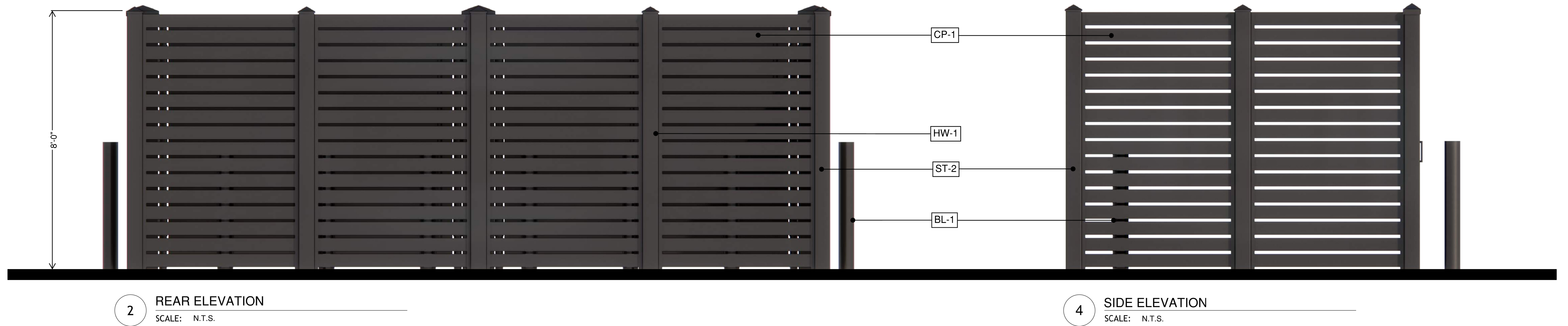
DASH-IN STORE #1880
15700 Shady Grove Rd.
Gaithersburg, MD 20877





1 FRONT ELEVATION
SCALE: N.T.S.

3 SIDE ELEVATION
SCALE: N.T.S.



2 REAR ELEVATION
SCALE: N.T.S.

4 SIDE ELEVATION
SCALE: N.T.S.

□ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □

MARK	DESCRIPTION
CP-1	COMPOSITE PANEL - LONGBOARD; COLOR: ONYX BLACK
HW-1	GATE HARDWARE BY MANUFACTURER; COLOR: BLACK

MARK	DESCRIPTION
ST-1	GATED STEEL FRAME; COLOR: BLACK
ST-2	STEEL POST WITH CROWN, 96" TALL; COLOR BLACK

MARK	DESCRIPTION
BL-1	BOLLARDS - 4" DIA PIPE, 48" TALL; COLOR: BLACK

SHEET E-17

CORE STATES

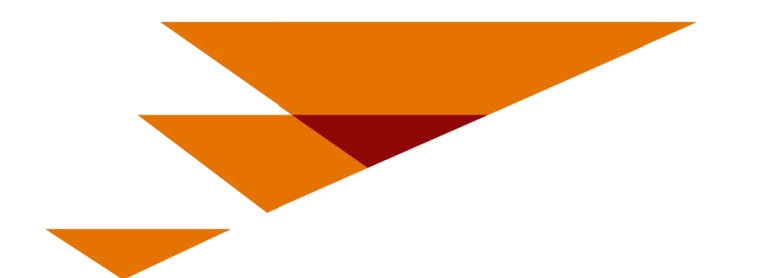
46 East Main Street
Suite 201
Somerville, NJ 08876
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GROUP



COLOR ELEVATIONS

DASH-IN STORE #1880
15700 Shady Grove Rd.
Gaithersburg, MD 20877

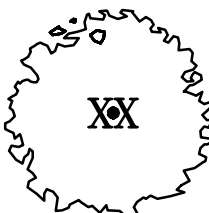
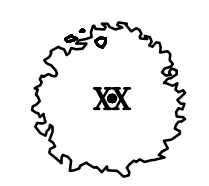
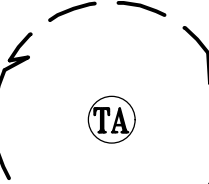
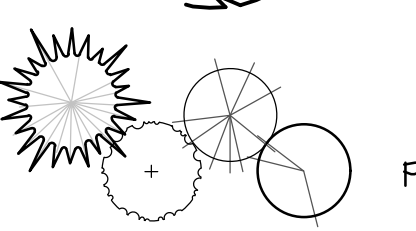



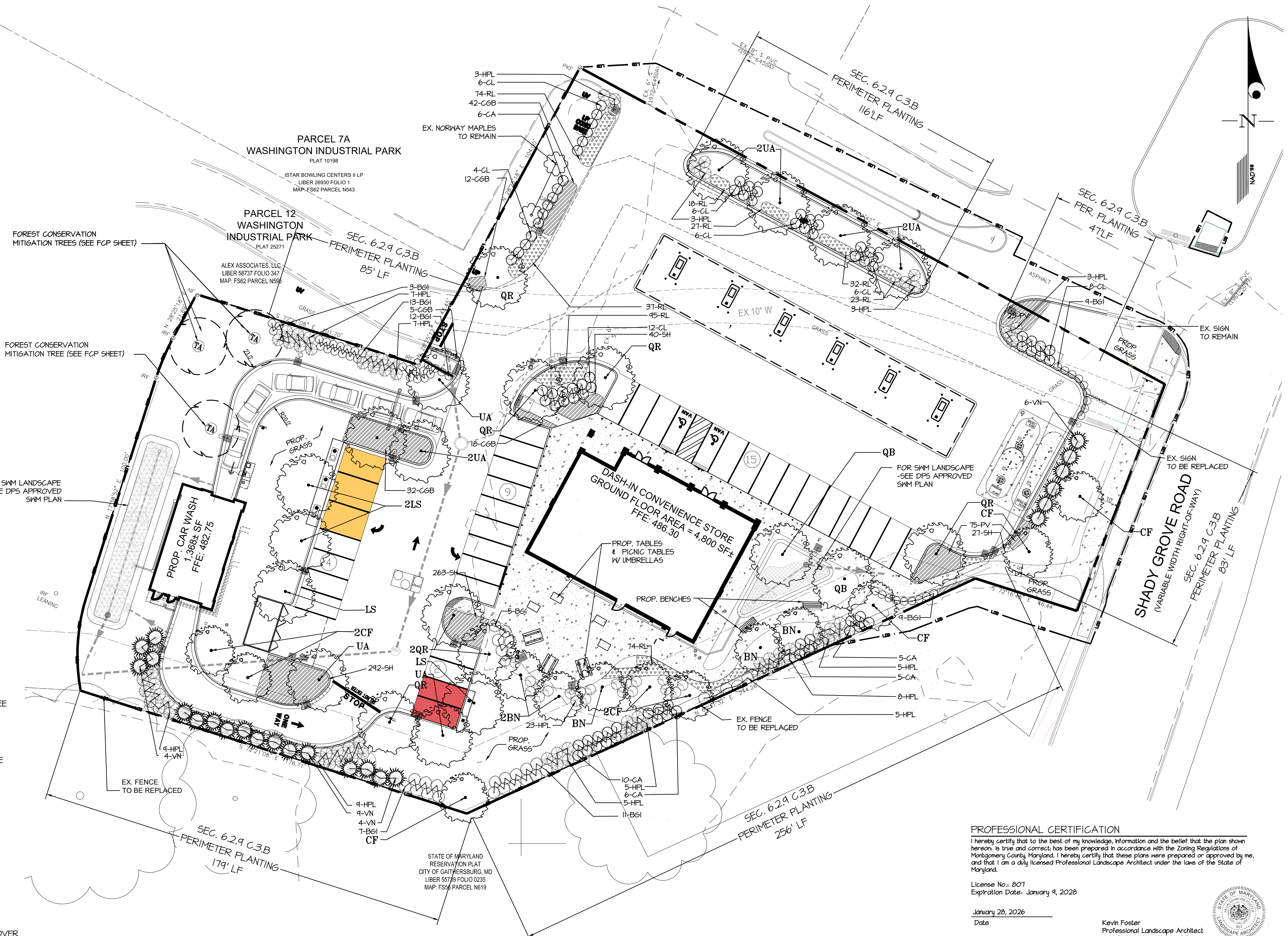
Wills Group

LEGEND

- VACUUM STATION
- EV CHARGING STATION

LANDSCAPE LEGEND

-  PROP. MAJOR SHADE TREE
-  PROP. MINOR SHADE TREE
-  PROP. MITIGATION TREE
-  PROP. SHRUBS
-  PROPOSED PERENNIALS & GROUND COVER



PROFESSIONAL CERTIFICATION
 I hereby certify that to the best of my knowledge, information and the belief that the plan shown hereon is true and correct; has been prepared in accordance with the Zoning Regulations of Montgomery County, Maryland. I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the laws of the State of Maryland.

License No.: 801
 Expiration Date: January 9, 2028

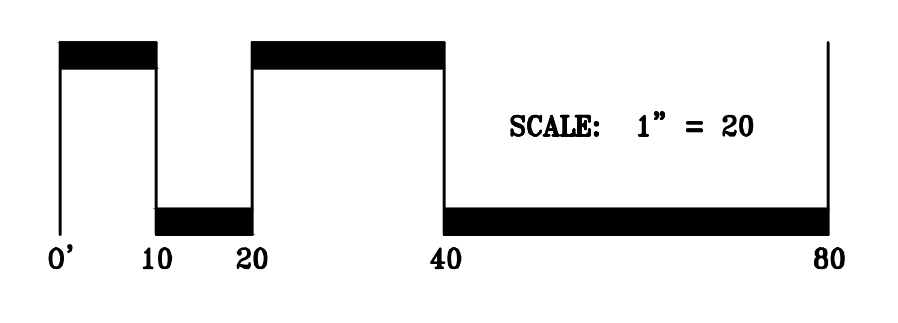
January 28, 2026
 Date

Kevin Foster
 Professional Landscape Architect
 Gutschick, Little & Weber, P.A.



GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BAL: 410-850-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	KAF			
DRAWN BY:	ZG			
CHECKED BY:	KAF			
DATE		REVISION	BY	APP'R



PREPARED FOR
 THE WILLS GROUP
 102 CENTENNIAL STREET
 LA PLATA, MD 20646
 CONTACT
 EMAIL: BBALLEW@WILLGROUP.COM
 PHONE: 301-932-3600

SCALE	1" = 20'
DATE	JAN, 2026
ZONING	GR
TAX MAP - GRID	FS-62

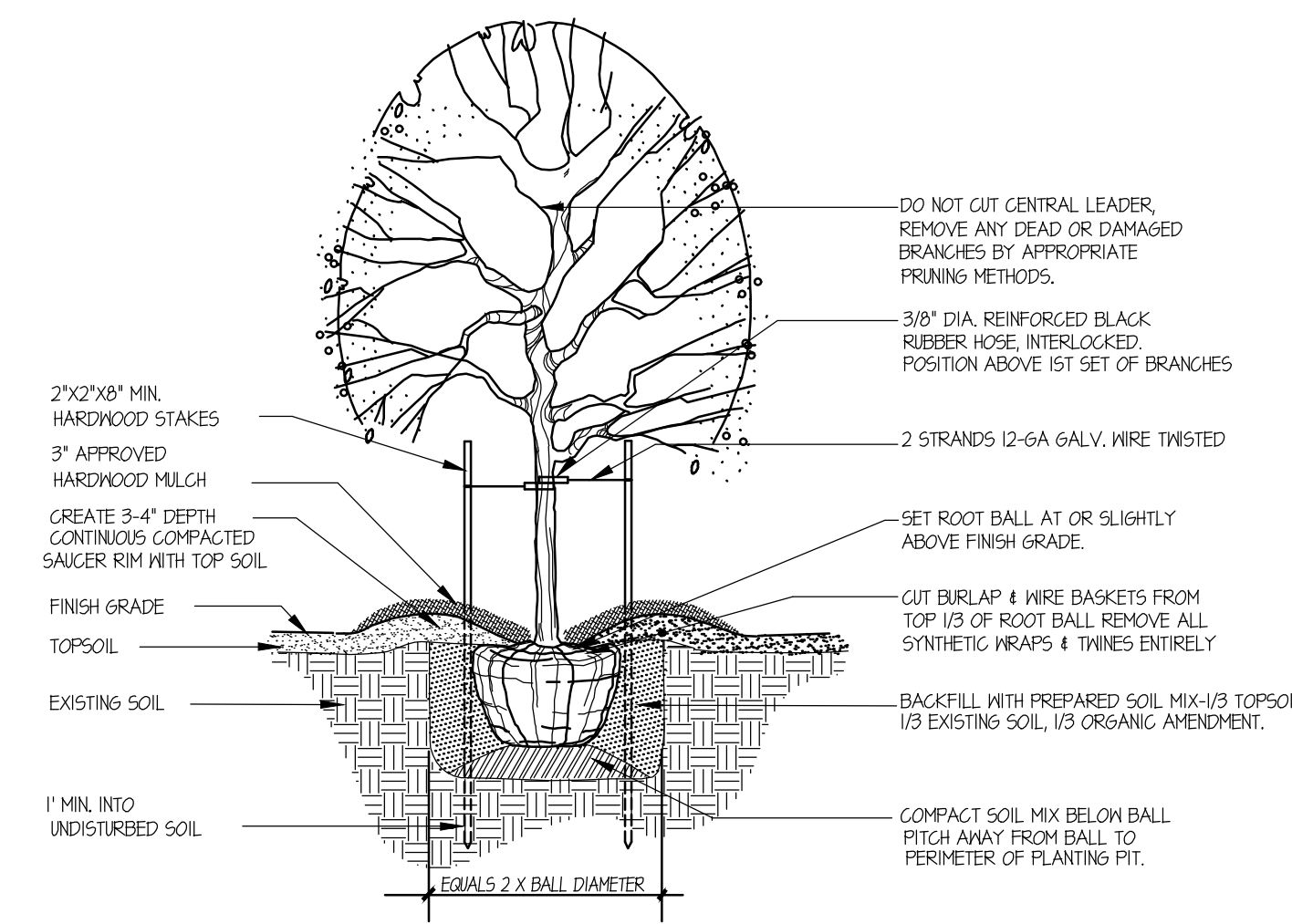
LANDSCAPE PLAN
15700 SHADY GROVE ROAD
DASH-IN CAR WASH
 GAITHERSBURG, MARYLAND

G. L. W. FILE No.	25073
SHEET	1 OF 2

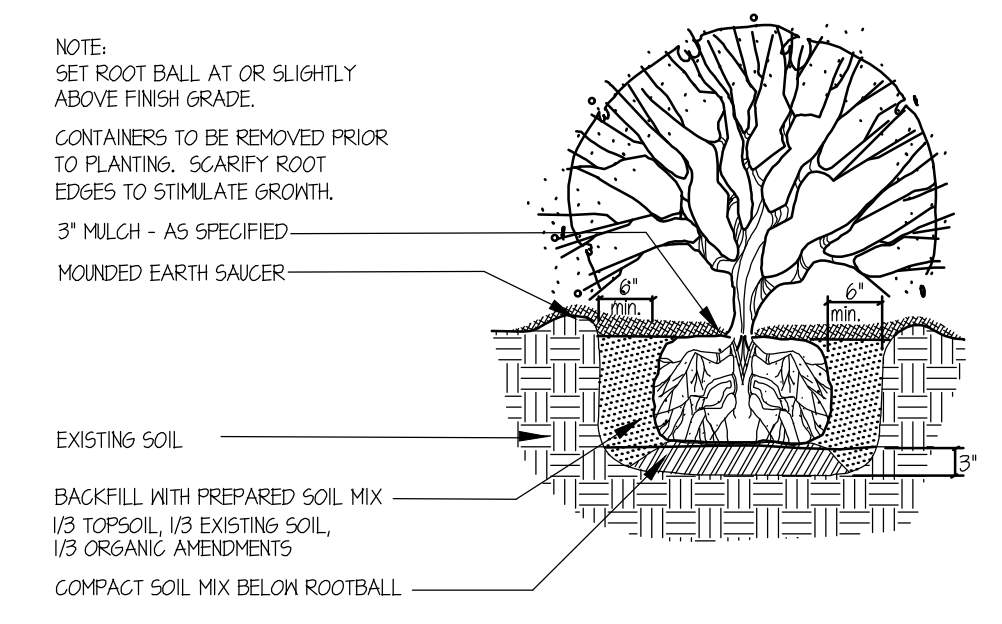
L:\CADD\DRAWINGS\25073\PLANS BY G\W\SITE PLAN\25073-R31-LANDSCAPE PLAN.dwg
 PLOTTED: 2/26/2026 4:19 PM, LAST SAVER: 2/26/2026 3:34 PM, PLOTTED BY: Stone, Dennis
 © GLW 2025

- 1.0 GENERAL CONDITIONS
- 1.1 SCOPE OF WORK
- A. The landscape contractor shall provide all materials, labor and equipment to complete all landscape work as shown on the plans and specifications.
- B. Total number of plants shall be drawn on the landscape plan. If there is a discrepancy between the drawing and the list on the plans, the contractor shall request clarification from the landscape architect.
- 1.2 STANDARDS
- A. All plant material shall conform to the current issue of the American Standard for Nursery Stock published by the American Association of Nurserymen. All trees to branch symmetrically around central leader. No forked leader stock will be accepted.
- B. Plant material must be selected from nurseries that have been inspected and certified by state plant inspectors.
- C. Nomenclature will be in accordance with Horticulturist.
- 1.3 SUBSTITUTIONS
- When requested by the owner or owner's representative, samples of all material other than plants shall be submitted to the owner's designated representative for approval.
- 1.4 APPROVALS
- All approvals will be in writing.
- 1.5 SUBSTITUTIONS
- It is the landscape contractor's responsibility to make every reasonable effort to find the material specified by the landscape architect. The landscape contractor may offer substitutions to the landscape architect for his/her consideration. The landscape contractor will notify the landscape architect if there are known disease or insect resistant species that can be substituted for a selected pest-prone plant. All substitutions shall be approved by M-NCPPC.
- 1.6 UTILITIES AND UNDERGROUND FEATURES
- The landscape contractor shall notify utility companies and/or the general contractor in advance of construction to locate utilities.
- 1.7 DRAINAGE
- If plants are to be installed in areas that show obvious poor drainage, and the plants are inappropriate for that condition, the landscape contractor shall notify the landscape architect and owner. If they deem necessary, the plants shall be relocated, the contract shall be adjusted to allow for drainage correction at a negotiated cost, or the plant selection modified by the landscape architect to accommodate the poor drainage situation.
- 1.8 WORKMANSHIP
- A. During delivery and installation, the landscape contractor shall perform in a workmanlike manner, conducting his/her activities so as not to interfere unduly with the work of other trades and leaving his/her work areas clean of litter and debris at the close of each workday.
- B. During planting, all areas shall be kept neat and clean and precautions shall be taken to avoid damage to existing plants, large trees, turf and structures. Where existing trees are to be preserved, additional precautions shall be taken to avoid unnecessary accumulation of excavated materials, soil compaction or root damage.
- C. Upon completion, all debris and waste material resulting from planting operations shall be removed from the project and the area cleaned up.
- D. Any damage to the existing utilities, buildings, paving, curb and walls, and vegetation (not so designated for removal on these plans) shall be repaired to previous condition or replaced by the Contractor at his expense.
- 1.9 WATER
- A. The owner shall supply water on site at no cost. If the landscape contractor has to supply water to the site, it shall be at an additional cost.
- 1.10 PLANTING SEASONS
- A. Willow Oak, Red Maple and Broad Leaf Evergreens will not be planted between November 15 and March 1, unless the landscape contractor states in writing that he/she will guarantee plants.
- 1.11 INSPECTIONS AND ACCEPTANCE
- A. Initial inspection: Prior to planting, all plant locations shall be staked in the field by the contractor. The landscape architect shall be contacted to inspect and approve all plant locations before planting.
- B. Final acceptance inspection: A verification of performance for work by contract documents, to be conducted by the landscape architect or owner's representative on-site and in the presence of the landscape contractor for the purpose of acceptance.
- C. Final warranty inspection: The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the one year period.
- 1.12 WARRANTY
- A. The standard warranty is for one (1) year period, excluding bulbs and annuals, commencing on the date of initial acceptance. All plants shall be alive and in satisfactory growth at the end of the guarantee period.
- B. Any material that is 25% dead or more shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died back, or 25% of the crown is dead.
- C. Perennials shall be guaranteed for one year after initial acceptance.
- 2.0 PLANT MATERIALS
- 2.1 SCOPE OF WORK
- The landscape contractor shall be responsible for furnishing and installing all plant material shown on the drawings and plant list.
- 2.2 INSPECTION
- A. Plants shall be subject to inspection and approval by the owner or owner's representative at the place of growth (before digging - trees) or holding yard (shrubs) for conformity to specification requirements as to quality, size, and variety.

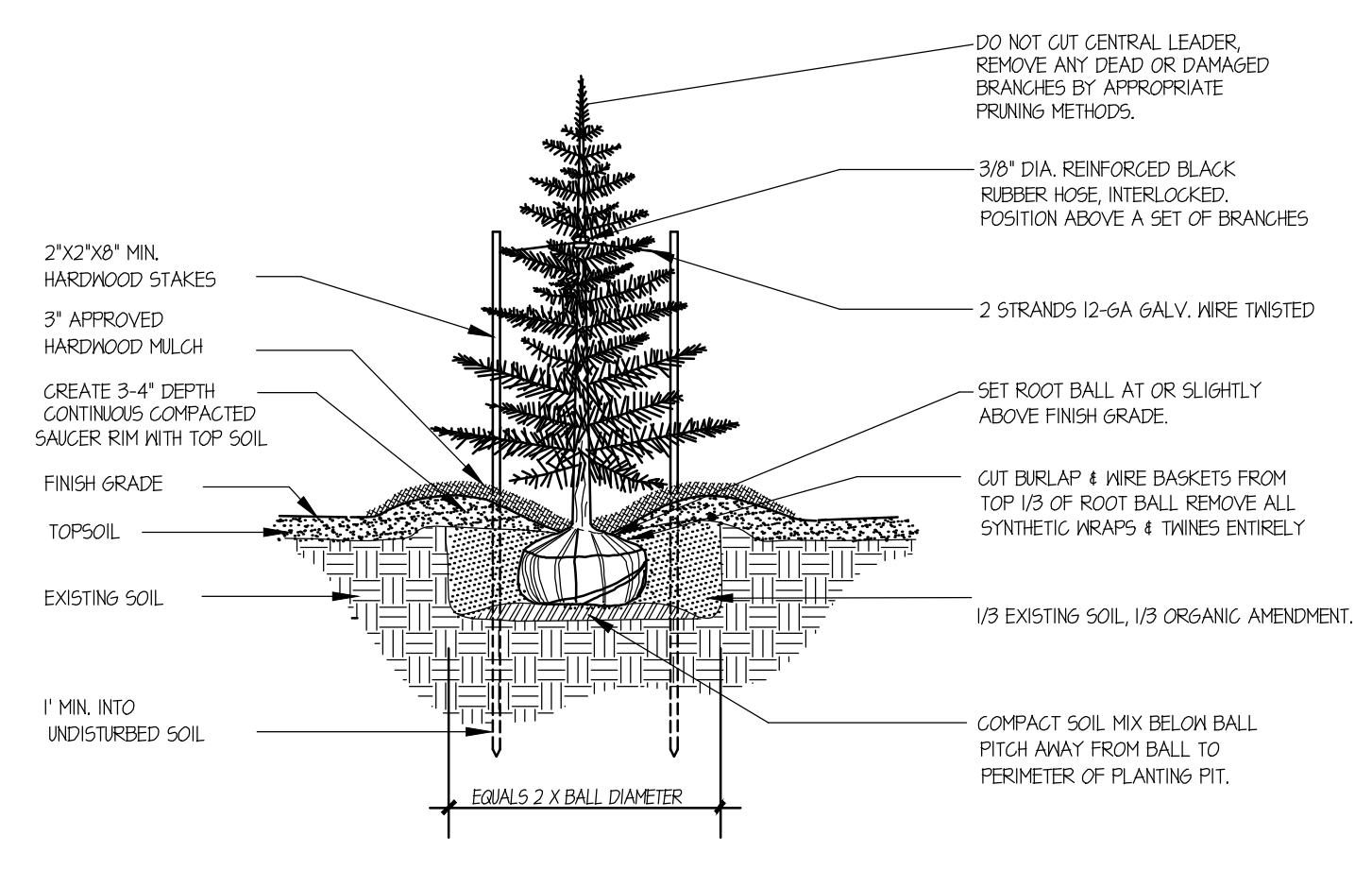
- 3.0 PRODUCTS
- 3.1 QUALITY ASSURANCE
- Manufacturer's certified analysis shall accompany packaged standard products.
- 3.2 ORGANIC MATTER
- A. Peat Moss - Type 1 sphagnum peat moss; finely divided with a pH of 3.1 to 5.0.
- B. Sedge Peat - decomposed peat containing no identifiable fibers.
- C. Leaf Compost - that is screened and free to trash.
- D. Composted Sewage Sludge - approved, screened, polymer-dewatered sewage sludge with a pH of 4.2 - 12.0 na
- 3.3 TOPSOIL
- A. It shall be free of stones, lumps, plants, roots and other debris over 1/2". Topsoil must also be free of plants or plant parts of Bermuda grass, quackgrass, Johnson grass, mugwort, nutedge, poison ivy, Canadian thistle or others as specified.
- B. It shall not contain toxic substances harmful to plant growth, i.e. pesticide residues.
- 3.4 BACKFILL MIXTURE
- A. Backfill mixture for trees and shrubs shall be 1/3 topsoil, 1/3 existing soil, and 1/3 organic amendment.
- 3.5 MULCH
- A. Material shall be composted, shredded hardwood bark, with less than 10% sawwood, dark brown in color, or approved equal.
- B. Material shall be uniform in size and free of foreign matter.
- 4.0 PLANTING PROCEDURE FOR TREES
- 4.1 TREE PLANTING
- A. All trees shall be dug so that they are vertical or sloping outward in heavy soils, be and scarified.
- B. The tree pit must be a minimum of 4" larger on every side than the ball of the tree.
- C. Place the tree in the pit carrying the ball and then lowering it into the pit. Never lift the tree by the trunk or branches.
- D. Set the tree straight and in the center of the pit with the most desirable side facing toward the prominent view.
- E. Backfill tree pit with a soil mixture stated in the specifications.
- F. Cut and remove rope or wire off the top 50% of rootball and pull burlap back to the edge of the ball. Remove as much burlap, woven products and twine as possible. All plastic or synthetic film must be removed from the rootball. Cut all twine away from trunk.
- G. Form a saucer above existing grade, around the outer rim of the tree pit, especially on slopes and in heavy soils.
- H. Mulch top of root ball and saucer to a minimum depth of 2", not to exceed 3". Do not place mulch against the trunk.
- I. Water thoroughly on the interior of the tree saucer until it is filled, even if it is raining. A second watering may be necessary to insure saturation of the root ball and elimination of air pockets.
- J. Fitting should be restricted to corrective pruning to improve form only.
- K. Stake tree per planting detail.
- 5.0 PLANTING PROCEDURES FOR SHRUBS
- 5.1 PLANTING SHRUBS
- A. For a single shrub, the pit shall be dug 1" wider than the rootball and deep enough to allow 1/8th of the rootball to set above existing grade. (Single shrub plantings only if noted on plans)
- B. For a shrub mass planting, the entire bed area shall be tilled 4-6" deep. Tilling should only be done in dry soil to avoid compaction. If the soil is heavy in clay and silt, organic material should be added. Each shrub pit shall be excavated for the proper setting of the rootball. Place the shrub in the pit by lifting and carrying it by the rootball. Remove containers from all container-grown shrubs; slash the edges of the rootball from top to bottom, at least 1" deep.
- C. Set the shrub and in the center of the pit with the most desirable side facing toward the prominent view.
- D. Cut and remove rope or wire off the top 50% of rootball and pull burlap back to the edge of the ball. Remove as much burlap, woven products and twine as possible. All plastic or synthetic film must be removed from the rootball. Cut all twine away from trunk.
- E. Form a saucer above the existing grade and completely around the planting pit.
- F. Mulch top of rootball and saucer a maximum depth of 2".
- G. Water shrub mass thoroughly even if it is raining. A second watering may be necessary to insure saturation of the root ball and elimination of air pockets.
- 6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS
- 6.1 PLANTING GROUND COVER, PERENNIALS AND ANNUALS
- A. The planting bed shall be loosened when the soil is dry prior to planting by tilling. Soil shall be loosened to a depth of 4 to 6".
- B. Organic matter shall be spread over the bed to a depth of 2" for peat moss or 1" deep for compost, i.e. not to exceed 4 cubic yards of compost/1000 square feet, after the soil has been loosened. The organic matter shall be worked into the bed by tilling.
- C. Fertilizer shall be top-dressed over bed area.
- D. The plant, either potted or bare root, shall be installed so that the roots are surrounded by soil below the mulch. Potted plants shall be set so that the top of the pot is even with the existing grade. The roots of bare root plants shall be covered to the crown.
- E. Spacing of plants shall be installed as noted on the landscape plan.
- F. The entire bed shall be mulched to a minimum depth of 1", 2" maximum, with approved mulch. The entire planting bed shall be thoroughly watered.



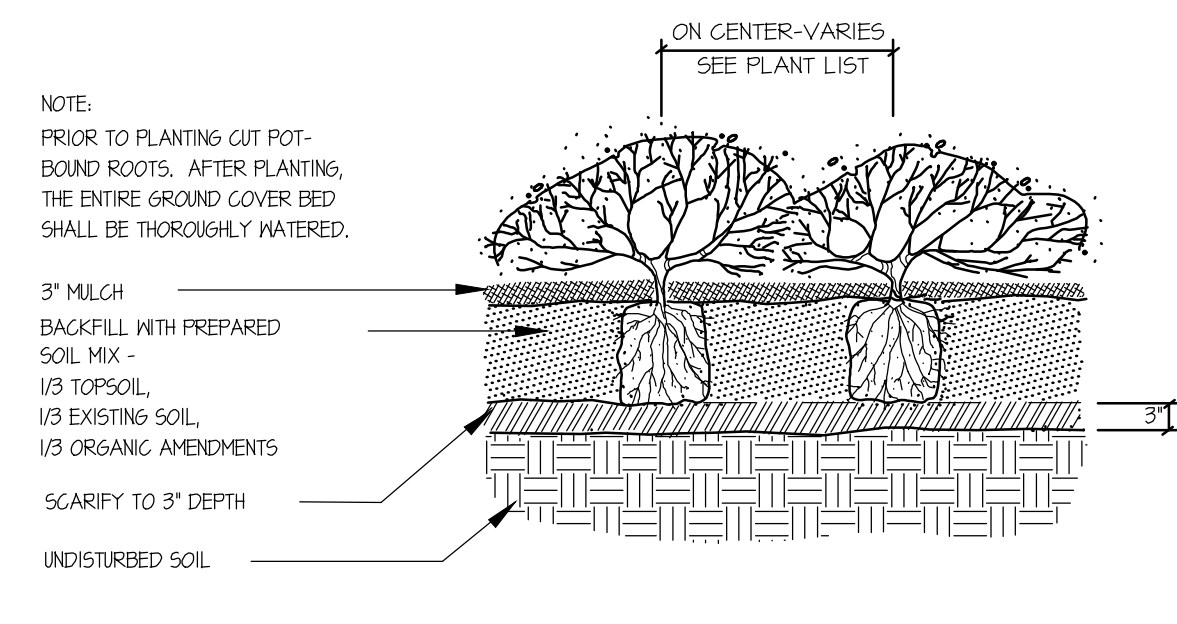
DECIDUOUS TREE PLANTING DETAIL
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS



SHRUB PLANTING DETAIL NTS



EVERGREEN TREE PLANTING DETAIL NTS



GROUNDCOVER PLANTING DETAIL NTS

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT./	COMMENTS
SHADE TREES						
QR	7	Quercus Rubra	Northern Red Oak	25"-3" Cal.	B4B	6' min. branching ht.
UA	4	Ulmus Americana	American Elm	25"-3" Cal.	B4B	6' min. branching ht.
LS	4	Liquidambar styraciflua	Sweet Gum	25"-3" Cal.	B4B	6' min. branching ht.
QB	2	Quercus bicolor	Swamp White Oak	25"-3" Cal.	B4B	6' min. branching ht.
MINOR SHADE TREES						
BN	5	Betula nigra 'BNM1'	Dura Heat River Birch	1-1/2"-1-3/4" cal.	B4B	Multi-Stem
CF	8	Cornus florida	Flowering Dogwood	1-1/2"-1-3/4" cal.	B4B	Multi-Stem
SHRUBS						
BGI	85	Buxus 'Green Velvet'	Green Velvet Boxwood	#3	Cont.	36" o.c.
HPL	40	Hydrangea paniculata 'Little Lime'	Panicle hydrangea	#3	Cont.	36" o.c.
CL	54	Clethra alnifolia 'Hummingbird'	Sweet pepperbush	#3	Cont.	36" o.c.
CA	32	Calliandra americana	American beautyberry	#3	Cont.	36" o.c.
VN	23	Viburnum nudum	Possumhaw Viburnum	#5	Cont.	36" o.c.
GRASSES & PERENNIALS						
PV	48	Panicum virgatum 'North Wild'	Switch Grass	#2	Cont.	36" o.c.
SH	622	Sporobolus heterolepis	Prairie Dropseed	1 quart	Cont.	24" o.c.
CB	104	Carex glauc. 'Blue Zinger'	Blue Sedge	1 quart	Cont.	24" o.c.
RL	353	Rudbeckia lanceolata 'Autumn Sun'	Black Eyed Susan	1 quart	Cont.	12" o.c.

*Shade tree calipers to be 25 - 3" min. caliper at the time of planting.

SPECIMEN TREE MITIGATION SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT. / B4B	COMMENTS
SHADE TREES						
TA	3	Tilia americana	American Linden	3" Cal.	B4B	Min. 6' branching ht.

Tree Mitigation Calculations for 30" and Greater Trees to be removed (Tree #1.) 30"DBH / 4 = 7.5' of Mitigation/ 3" caliper proposed Native Trees = 3 Trees

- NOTE:
- The Applicant must install the plantings shown on the landscape plans submitted to M-NCPPC. Any variation in plant species or quantity needs approval of M-NCPPC staff.
 - ** Final shrub, grasses, groundcover and perennial selections will be from the this plant list or an equivalent as determined by staff.
 - Any planting in the right of way will be approved by MC-DPS.
 - The Applicant must install the site elements as shown on the landscape plans submitted to M-NCPPC or an equivalent as determined by Staff.

SECTION 6.2.9.C.3-B
PERIMETER PLANTING
 PROPERTY ABUTS RIGHT-OF-WAY
 AND OTHER ZONED PROPERTIES TOTAL 120' LF

1) LANDSCAPE STRIP MUST BE A MINIMUM OF 6' FEET WIDE
 REQUIRED 6' PROVIDED > OR 8'

2) CONTAINS A HEDGE OR LOW WALL A MINIMUM OF 3 FEET HIGH: YES

3) CONTAINS SHADE TREES SPACED 30 FEET ON CENTER: YES

4) THE PROPERTY ABUTS ANOTHER PARKING LOT, IN WHICH CASE A PERIMETER PLANTING AREA IS NOT REQUIRED.

PROFESSIONAL CERTIFICATION

I hereby certify that to the best of my knowledge, information and the belief that the plan shown hereon: is true and correct; has been prepared in accordance with the Zoning Regulations of Montgomery County, Maryland; I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the laws of the State of Maryland.

License No.: 807
 Expiration Date: January 9, 2028

January 13, 2026
 Date

Kevin Foster
 Professional Landscape Architect
 Gutschick, Little & Heber, P.A.



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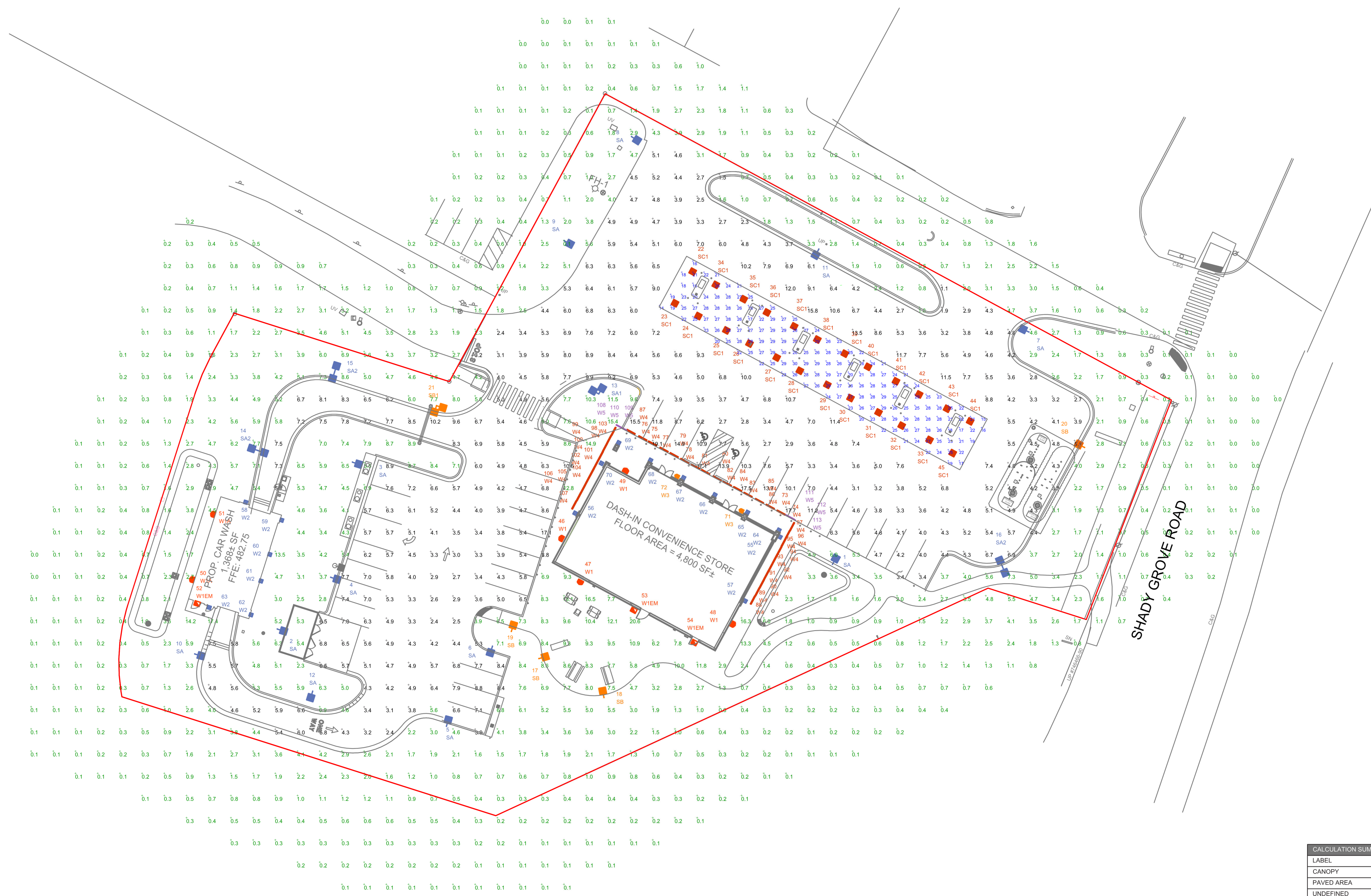
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 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	KAF				
DRAWN BY	ZG				
CHECKED BY	KAF				
DATE		REVISION		BY	APP'R

PREPARED FOR	SCALE	ZONING
THE WILLS GROUP 102 CENTENNIAL STREET LA PLATA, MD 20646 CONTACT EMAIL: BBALLEW@WILLGROUP.COM PHONE: 301-932-3600		GR
DATE	TAX MAP - GRID	
JAN, 2026	FS-62	

NOTES AND DETAILS SHEET		G. L. W. FILE No.
15700 SHADY GROVE ROAD		25073
DASH-IN CAR WASH		SHEET
GAITHERSBURG, MARYLAND		2 OF 2

L:\CADD\DRAWINGS\25073\PLANS BY GJM\SITE PLAN\25073-R31-NOTES AND DETAIL PLAN.dwg
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NOTES:
 - POLE MOUNTED FIXTURES ARE MOUNTED ON A 15 FT POLE ATOP A 24 INCH HIGH CONCRETE BASE.
 - FOOTCANDLE LEVEL CALCULATED AT GRADE USING INITIAL LUMEN VALUES.

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY			LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.	LUM NO.	LABEL	MTG. HT.
1	SA	17	57	W2	10
2	SA	17	58	W2	10
3	SA	17	59	W2	10
4	SA	17	60	W2	10
5	SA	17	61	W2	10
6	SA	17	62	W2	10
7	SA	17	63	W2	10
8	SA	17	64	W2	10
9	SA	17	65	W2	10
10	SA	17	66	W2	10
11	SA	17	67	W2	10
12	SA	17	68	W2	10
13	SA1	17	69	W2	10
14	SA2	17	70	W3	8
15	SA2	17	71	W3	8
16	SA2	17	72	W3	8
17	SB	17	73	W4	18.85
18	SB	17	74	W4	18.85
19	SB	17	75	W4	18.85
20	SB	17	76	W4	18.85
21	SB1	17	77	W4	18.85
22	SC1	15	78	W4	18.85
23	SC1	15	79	W4	18.85
24	SC1	15	80	W4	18.85
25	SC1	15	81	W4	18.85
26	SC1	15	82	W4	18.85
27	SC1	15	83	W4	18.85
28	SC1	15	84	W4	18.85
29	SC1	15	85	W4	18.85
30	SC1	15	86	W4	18.85
31	SC1	15	87	W4	18.85
32	SC1	15	88	W4	18.85
33	SC1	15	89	W4	18.85
34	SC1	15	90	W4	18.85
35	SC1	15	91	W4	18.85
36	SC1	15	92	W4	18.85
37	SC1	15	93	W4	18.85
38	SC1	15	94	W4	18.85
39	SC1	15	95	W4	18.85
40	SC1	15	96	W4	18.85
41	SC1	15	97	W4	18.85
42	SC1	15	98	W4	18.85
43	SC1	15	99	W4	18.85
44	SC1	15	100	W4	18.85
45	SC1	15	101	W4	18.85
46	W1	9	102	W4	18.85
47	W1	9	103	W4	18.85
48	W1	9	104	W4	18.85
49	W1	9	105	W4	18.85
50	W1A	10	106	W4	18.85
51	W1A	10	107	W4	18.85
52	W1EM	10	108	W5	18.85
53	W1EM	9	109	W5	18.85
54	W1EM	9	110	W5	18.85
55	W2	10	111	W5	18.85
56	W2	10	112	W5	18.85
			113	W5	18.85

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVGMIN	MAXMIN
CANOPY	24.87	30	14	1.78	2.14
PAVED AREA	5.89	19.1	1.1	5.35	17.36
UNDEFINED	2.00	20.6	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURE	CATALOG LOGIC
	12	SA	Single	12325	1.000	B2-U0-G4	90.12	1081.44	Lithonia Lighting	DSXO LED P5 50K 70CRI TSM MVOLT FAO XX
	1	SA1	2 @ 90 DEG	12325	1.000	B2-U0-G4	90.12	180.24	Lithonia Lighting	DSXO LED P5 50K 70CRI TSM MVOLT FAO XX
	3	SA2	Back-Back	12325	1.000	B2-U0-G4	90.12	540.72	Lithonia Lighting	DSXO LED P5 50K 70CRI TSM MVOLT FAO XX
	4	SB	Single	12509	1.000	B2-U0-G4	90.12	360.48	Lithonia Lighting	DSXO LED P5 50K 70CRI T4M MVOLT FAO XX
	1	SB1	2 @ 90 DEG	12509	1.000	B2-U0-G4	90.12	180.24	Lithonia Lighting	DSXO LED P5 50K 70CRI T4M MVOLT FAO XX
	24	SC1	Single	7165	1.000	B3-U0-G1	42.5378	1020.907	Lithonia Lighting	RCNY LED ALO2 50K 80CRI SYMC MVOLT BZL DWHXD (Setting 2) WHITE
	4	W1	SINGLE	4124	1.000	B1-U0-G1	29.4252	117.701	Lithonia Lighting	ARC2 LED P4 40K MVOLT FAO-XXXX
	2	W1A	SINGLE	1587	0.610	B0-U0-G1	10.6112	21.222	Lithonia Lighting	ARC2 LED P1 40K MVOLT FAO-XXXX (SETTING 4)
	3	W1EM	SINGLE	4124	1.000	B1-U0-G1	29.4252	88.276	Lithonia Lighting	ARC2 LED P4 40K MVOLT EBWC FAO-XXXX (EMERGENCY)
	16	W2	SINGLE	3008	1.000	B1-U0-G0	45	720	FC/SSL Lighting	FCCSQ412W-UNV-940-3038L-BKE-D50U50-LD
	2	W3	SINGLE	407	1.000	N.A.	9.9	19.8	Lightalms	CAMSD8-CW
	35	W4	Single	2583	1.000	B1-U2-G1	19.422	679.77	SSL	MC-4-4K-CR180-120
	6	W5	Single	543	1.000	B0-U1-G0	4.626	27.756	SSL	MC-1-4K-CR180-120

SHEET - L10



REV.	BY	DATE	DESCRIPTION
R1	TAS	10/22/25	REDUCED LIGHTING AT PROPERTY LINE AND CANOPY
R2	TAS	11/14/25	RELOCATED LIGHT POLES FOR EXISTING STORM SEWER
R3	TAS	2/4/26	UPDATED SITE PLAN
R4	TAS	2/5/26	REVISED FIXTURE TYPES

DISCLAIMER
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SCALE:
 1" = 30'
 DWG SIZE:
 D

LAYOUT BY:
 TAS
 DATE:
 9/19/25

PROJECT NAME:
DASH IN #1880
GAITHERSBURG, MD
 DRAWING NUMBER:
RL-10617-S1-R4



QTY	LABEL	DESCRIPTION
12	SA	DSXO LED P5 50K 70CRI T3M MVOLT FAO XX
1	SA1	DSXO LED P5 50K 70CRI T3M MVOLT FAO XX
3	SA2	DSXO LED P5 50K 70CRI T3M MVOLT FAO XX
4	SB	DSXO LED P5 50K 70CRI T4M MVOLT FAO XX
1	SB1	DSXO LED P5 50K 70CRI T4M MVOLT FAO XX

ADDITIONAL FIXTURE INFO

D-Series Size 0 LED Area Luminaire

Specifications

Depth: 0.44 ft (5.3 in)
 Length: 26.1 in (216.0 mm)
 Width: 14.0 in (355.6 mm)
 Height H1: 2.26" (57.4 mm)
 Height H2: 7.42" (189.6 mm)
 Weight: 23 lbs (10.4 kg)

Introduction



The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSXO LED P6 40K 70CRI T3M MVOLT SPA NLAIR2 PIRHN DBX0

Series	LEDs	Color Temperature	Color Rendering Index	Protection	Voltage	Mounting
DSXO LED	Forward optics P1 P2 P3 P4 P5 P6 P7 P8 P9 P10 P11 P12 P13 P14 P15 P16 P17 P18 P19 P20 P21 P22 P23 P24 P25 P26 P27 P28 P29 P30 P31 P32 P33 P34 P35 P36 P37 P38 P39 P40 P41 P42 P43 P44 P45 P46 P47 P48 P49 P50 P51 P52 P53 P54 P55 P56 P57 P58 P59 P60 P61 P62 P63 P64 P65 P66 P67 P68 P69 P70 P71 P72 P73 P74 P75 P76 P77 P78 P79 P80 P81 P82 P83 P84 P85 P86 P87 P88 P89 P90 P91 P92 P93 P94 P95 P96 P97 P98 P99 P100 P101 P102 P103 P104 P105 P106 P107 P108 P109 P110 P111 P112 P113 P114 P115 P116 P117 P118 P119 P120 P121 P122 P123 P124 P125 P126 P127 P128 P129 P130 P131 P132 P133 P134 P135 P136 P137 P138 P139 P140 P141 P142 P143 P144 P145 P146 P147 P148 P149 P150 P151 P152 P153 P154 P155 P156 P157 P158 P159 P160 P161 P162 P163 P164 P165 P166 P167 P168 P169 P170 P171 P172 P173 P174 P175 P176 P177 P178 P179 P180 P181 P182 P183 P184 P185 P186 P187 P188 P189 P190 P191 P192 P193 P194 P195 P196 P197 P198 P199 P200 P201 P202 P203 P204 P205 P206 P207 P208 P209 P210 P211 P212 P213 P214 P215 P216 P217 P218 P219 P220 P221 P222 P223 P224 P225 P226 P227 P228 P229 P230 P231 P232 P233 P234 P235 P236 P237 P238 P239 P240 P241 P242 P243 P244 P245 P246 P247 P248 P249 P250 P251 P252 P253 P254 P255 P256 P257 P258 P259 P260 P261 P262 P263 P264 P265 P266 P267 P268 P269 P270 P271 P272 P273 P274 P275 P276 P277 P278 P279 P280 P281 P282 P283 P284 P285 P286 P287 P288 P289 P290 P291 P292 P293 P294 P295 P296 P297 P298 P299 P300 P301 P302 P303 P304 P305 P306 P307 P308 P309 P310 P311 P312 P313 P314 P315 P316 P317 P318 P319 P320 P321 P322 P323 P324 P325 P326 P327 P328 P329 P330 P331 P332 P333 P334 P335 P336 P337 P338 P339 P340 P341 P342 P343 P344 P345 P346 P347 P348 P349 P350 P351 P352 P353 P354 P355 P356 P357 P358 P359 P360 P361 P362 P363 P364 P365 P366 P367 P368 P369 P370 P371 P372 P373 P374 P375 P376 P377 P378 P379 P380 P381 P382 P383 P384 P385 P386 P387 P388 P389 P390 P391 P392 P393 P394 P395 P396 P397 P398 P399 P400 P401 P402 P403 P404 P405 P406 P407 P408 P409 P410 P411 P412 P413 P414 P415 P416 P417 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P618 P619 P620 P621 P622 P623 P624 P625 P626 P627 P628 P629 P630 P631 P632 P633 P634 P635 P636 P637 P638 P639 P640 P641 P642 P643 P644 P645 P646 P647 P648 P649 P650 P651 P652 P653 P654 P655 P656 P657 P658 P659 P660 P661 P662 P663 P664 P665 P666 P667 P668 P669 P670 P671 P672 P673 P674 P675 P676 P677 P678 P679 P680 P681 P682 P683 P684 P685 P686 P687 P688 P689 P690 P691 P692 P693 P694 P695 P696 P697 P698 P699 P700 P701 P702 P703 P704 P705 P706 P707 P708 P709 P710 P711 P712 P713 P714 P715 P716 P717 P718 P719 P720 P721 P722 P723 P724 P725 P726 P727 P728 P729 P730 P731 P732 P733 P734 P735 P736 P737 P738 P739 P740 P741 P742 P743 P744 P745 P746 P747 P748 P749 P750 P751 P752 P753 P754 P755 P756 P757 P758 P759 P760 P761 P762 P763 P764 P765 P766 P767 P768 P769 P770 P771 P772 P773 P774 P775 P776 P777 P778 P779 P780 P781 P782 P783 P784 P785 P786 P787 P788 P789 P790 P791 P792 P793 P794 P795 P796 P797 P798 P799 P800 P801 P802 P803 P804 P805 P806 P807 P808 P809 P810 P811 P812 P813 P814 P815 P816 P817 P818 P819 P820 P821 P822 P823 P824 P825 P826 P827 P828 P829 P830 P831 P832 P833 P834 P835 P836 P837 P838 P839 P840 P841 P842 P843 P844 P845 P846 P847 P848 P849 P850 P851 P852 P853 P854 P855 P856 P857 P858 P859 P860 P861 P862 P863 P864 P865 P866 P867 P868 P869 P870 P871 P872 P873 P874 P875 P876 P877 P878 P879 P880 P881 P882 P883 P884 P885 P886 P887 P888 P889 P890 P891 P892 P893 P894 P895 P896 P897 P898 P899 P900 P901 P902 P903 P904 P905 P906 P907 P908 P909 P910 P911 P912 P913 P914 P915 P916 P917 P918 P919 P920 P921 P922 P923 P924 P925 P926 P927 P928 P929 P930 P931 P932 P933 P934 P935 P936 P937 P938 P939 P940 P941 P942 P943 P944 P945 P946 P947 P948 P949 P950 P951 P952 P953 P954 P955 P956 P957 P958 P959 P960 P961 P962 P963 P964 P965 P966 P967 P968 P969 P970 P971 P972 P973 P974 P975 P976 P977 P978 P979 P980 P981 P982 P983 P984 P985 P986 P987 P988 P989 P990 P991 P992 P993 P994 P995 P996 P997 P998 P999 P1000 P1001 P1002 P1003 P1004 P1005 P1006 P1007 P1008 P1009 P1010 P1011 P1012 P1013 P1014 P1015 P1016 P1017 P1018 P1019 P1020 P1021 P1022 P1023 P1024 P1025 P1026 P1027 P1028 P1029 P1030 P1031 P1032 P1033 P1034 P1035 P1036 P1037 P1038 P1039 P1040 P1041 P1042 P1043 P1044 P1045 P1046 P1047 P1048 P1049 P1050 P1051 P1052 P1053 P1054 P1055 P1056 P1057 P1058 P1059 P1060 P1061 P1062 P1063 P1064 P1065 P1066 P1067 P1068 P1069 P1070 P1071 P1072 P1073 P1074 P1075 P1076 P1077 P1078 P1079 P1080 P1081 P1082 P1083 P1084 P1085 P1086 P1087 P1088 P1089 P1090 P1091 P1092 P1093 P1094 P1095 P1096 P1097 P1098 P1099 P1100 P1101 P1102 P1103 P1104 P1105 P1106 P1107 P1108 P1109 P1110 P1111 P1112 P1113 P1114 P1115 P1116 P1117 P1118 P1119 P1120 P1121 P1122 P1123 P1124 P1125 P1126 P1127 P1128 P1129 P1130 P1131 P1132 P1133 P1134 P1135 P1136 P1137 P1138 P1139 P1140 P1141 P1142 P1143 P1144 P1145 P1146 P1147 P1148 P1149 P1150 P1151 P1152 P1153 P1154 P1155 P1156 P1157 P1158 P1159 P1160 P1161 P1162 P1163 P1164 P1165 P1166 P1167 P1168 P1169 P1170 P1171 P1172 P1173 P1174 P1175 P1176 P1177 P1178 P1179 P1180 P1181 P1182 P1183 P1184 P1185 P1186 P1187 P1188 P1189 P1190 P1191 P1192 P1193 P1194 P1195 P1196 P1197 P1198 P1199 P1200 P1201 P1202 P1203 P1204 P1205 P1206 P1207 P1208 P1209 P1210 P1211 P1212 P1213 P1214 P1215 P1216 P1217 P1218 P1219 P1220 P1221 P1222 P1223 P1224 P1225 P1226 P1227 P1228 P1229 P1230 P1231 P1232 P1233 P1234 P1235 P1236 P1237 P1238 P1239 P1240 P1241 P1242 P1243 P1244 P1245 P1246 P1247 P1248 P1249 P1250 P1251 P1252 P1253 P1254 P1255 P1256 P1257 P1258 P1259 P1260 P1261 P1262 P1263 P1264 P1265 P1266 P1267 P1268 P1269 P1270 P1271 P1272 P1273 P1274 P1275 P1276 P1277 P1278 P1279 P1280 P1281 P1282 P1283 P1284 P1285 P1286 P1287 P1288 P1289 P1290 P1291 P1292 P1293 P1294 P1295 P1296 P1297 P1298 P1299 P1300 P1301 P1302 P1303 P1304 P1305 P1306 P1307 P1308 P1309 P1310 P1311 P1312 P1313 P1314 P1315 P1316 P1317 P1318 P1319 P1320 P1321 P1322 P1323 P1324 P1325 P1326 P1327 P1328 P1329 P1330 P1331 P1332 P1333 P1334 P1335 P1336 P1337 P1338 P1339 P1340 P1341 P1342 P1343 P1344 P1345 P1346 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P2509 P2510 P2511 P2512 P2513 P2514 P2515 P2516 P2517 P2518 P2519 P2520 P2521 P2522 P25					

QTY	LABEL	DESCRIPTION
COVELINE	 35	W4 MC-4-4K-CR180-120
	 6	W5 MC-1-4K-CR180-120



MINI COVELINE



Type: _____ Approved: _____
 Fixture: _____
 Project: _____

The MINI COVELINE is a very slim profile luminaire, less than 1 inch tall, that's perfect for tight spaces that require a maximum range of light output. MINI COVELINE is available in 1' or 4' lengths with 27K, 3K, 30K or 4K color temperatures. The housing is constructed of extruded aluminum with hooded end caps and is rated for dry and damp locations. In Chicago Code Compliant mounting the standards for application use in Chicago, IL, and features Plug N' Play connector for easy installation. Standard bracket has 135° rotation capability for adjusting beam direction. Flicker free dimmable to 0% full brightness with ELV trailing edge dimming.



SPECIFICATIONS	
PHYSICAL	
beam spread (θ), (cut)	 60° 120°
LEDs per foot	14 per foot
length/dimensions (LxWxH)	12" x 1.28" x .95" 48" x 1.28" x .95"
weight	1 foot (75 lbs) / 4 foot (3 lbs)
housing	extruded aluminum housing with hooded end caps
lens	standard, etched polycarbonate
mounting	standard, surface mount bracket with 135° rotation
ingress protection	IP44 rated for damp and dry interior locations
fixture connections	daisy chain with male and female, 3-PIN, plug-n-play connectors
PERFORMANCE	
color temperature	2700K 3000K 3500K 4000K
lumen output (at ea.)	532 Lms / ft 541 Lms / ft 553 Lms / ft 564 Lms / ft
lumen maintenance	> 70,000 hours / L70
temperature	operating: -4°F to 104°F (-20°C to 40°C) start up: -4°F to 104°F (-20°C to 40°C) storage: -40°F to 176°F (-40°C to 80°C)
color consistency	2 SDCM / standard: CRI > 80 (87 typical) optional: CRI > 90 CRI
junction temperature	60°C @ T₂₅C
warranty	5 year limited warranty (refer to website for details)
ELECTRICAL	
input voltage	Universal 120-277V AC
power supply	integral Class II, electronic, high-power factor 98% @ 120V
certification	ETL / ETL listed, EIC Title 24 - JAB Compliant
standards	UL 1598 / CSA C22.2 No. 250.0, IESLM-79-LM-80; FCC Part 15
power consumption	1 ft @ full power (4.2W) 4 ft @ full power (16.8W)
dimming interface	dimmable to 0%, (ELV) electronic low-voltage trailing edge, synchronized w/soft shut-off, 0-10V Dim Module (see per part)

Due to continuous development and improvements, specifications are subject to change without notice. Solid State Luminaires reserves the right to change list book details or specifications without notice. Product use conforms agreement to Solid State Luminaires terms and conditions.

US Commercial Lighting Manufacturer Since 1982

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Ordering Information

PART NUMBERS						
MC						
MODEL	LENGTH	CCT	CR	OPICS		
MC MINI COVLINE	1 12 in. [305 mm]	27K 2700K	CR80 80-CR	60 60° beam		
	4 48 in. [1219 mm]	3K 3000K	CR90 90-CR	120 120° beam		
		30K 3000K				
		4K 4000K				

Each fixture includes Surface Mount Bracket with 135° rotation

Mounting Options (indicate the quantity needed for each item.)
 _____ 1TR1 Mounting Track 12 inch
 _____ 1TR4 Mounting Track 48 inch

Cable Accessories (indicate the quantity needed for each item.)
REQUIRED: Starter Cable (SC) and Terminator Cap (TCAP) for every run. **Maximum Run Length** = 80 feet @ 120V AC and 120 feet @ 277V AC
 _____ SC6 6 ft. Starter Connection Cord _____ EC06 6 in. Extension Cord
 _____ TCAP Terminator Cap _____ EC12 12 in. Extension Cord
 _____ _____ EC24 24 in. Extension Cord
 _____ _____ EC48 48 in. Extension Cord

Control Components (indicate the quantity needed for each item.)
 needed
 MC-10VELDIM 0-10V ELV Dim Module w/Starlink Remote Enclosure (1 module per part)

Due to continuous development and improvements, specifications are subject to change without notice. Solid State Luminaires reserves the right to change list book details or specifications without notice. Product use conforms agreement to Solid State Luminaires terms and conditions.

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SHEET- L12

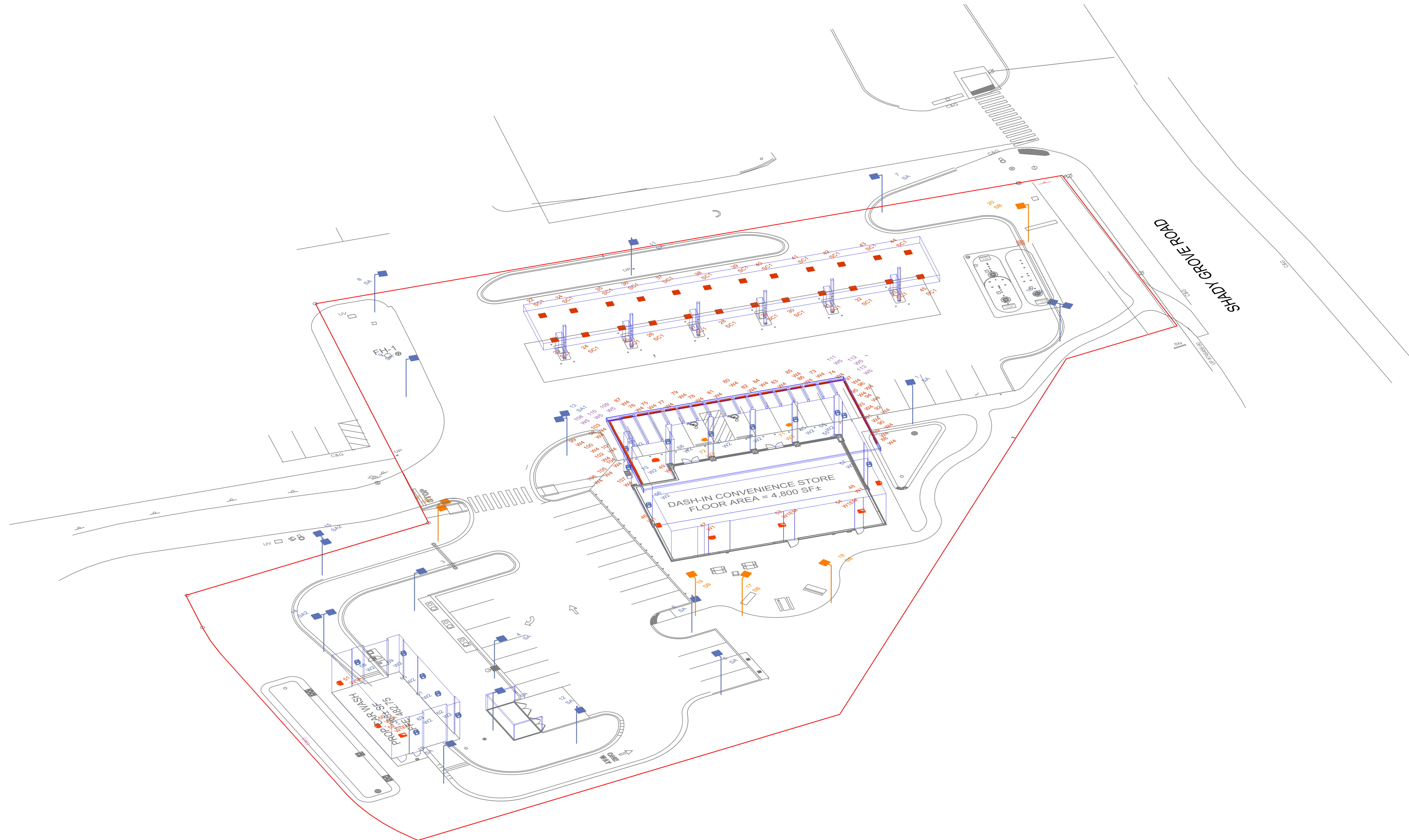


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 513-674-9500 | redleonard.com

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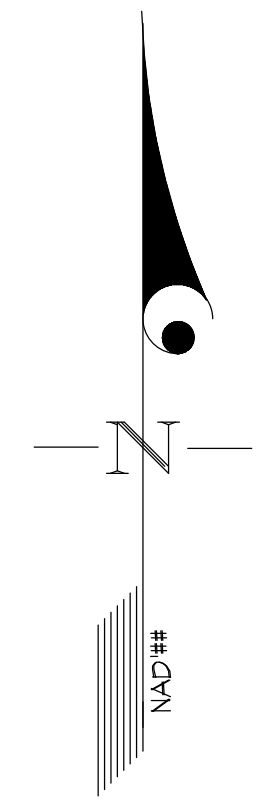
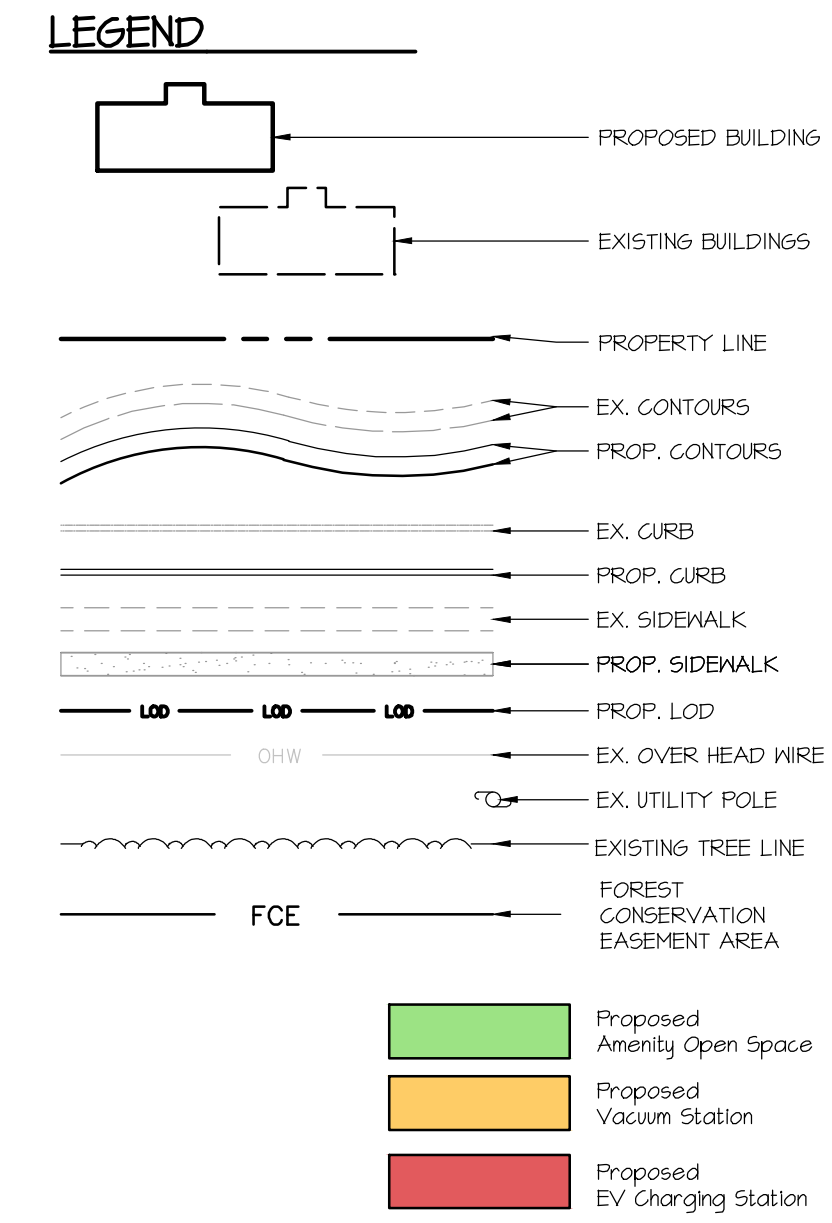
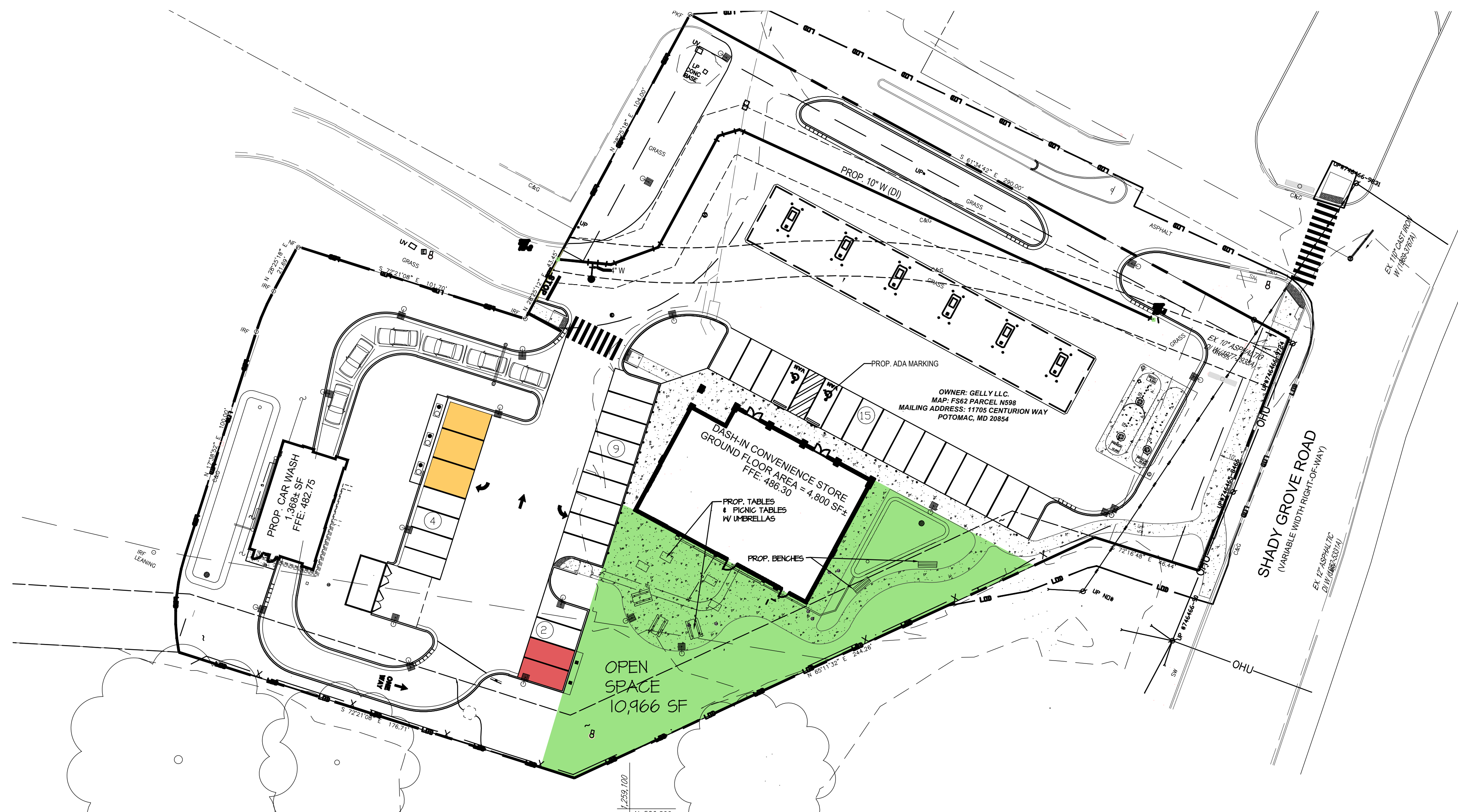
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DASH IN #1880
GAITHERSBURG, MD
 DRAWING NUMBER:
RL-10617-S1-R4





SHEET- L13





OPEN SPACE - SITE DATA
 Amenity Open Space
 Commercial Area: 1.99 Ac. or 85,884 SF
 Required (10%): 0.19 Ac. or 8,588 SF
 Provided (12%): 0.25 Ac. or 10,966 SF

NOTE:
 FURNITURE IS CONCEPTUAL AND CAN BE REFERENCE TO THE CONDITIONAL USE AMENDMENT.



NOTES:
 MODEL: OUTDOOR DIAMOND STEEL TRASH WITH DOME LID
 QUANTITY: PER PLAN
 MFR: BARCO PRODUCTS
 4215 KELLNAY CIRCLE, SUITE 162
 ADDISON, TX 75001
 FINISH: POWDERCOATED BLACK

LITTER RECEPTACLE
 NTS



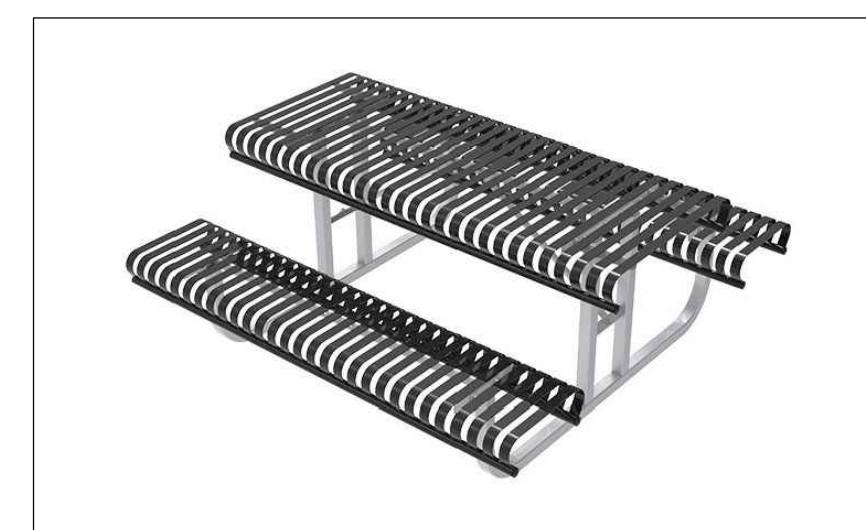
NOTES:
 MODEL: 6 FT. STEEL SLATTED, HANNAH BENCH
 QUANTITY: PER PLAN
 MFR: BARCO PRODUCTS
 4215 KELLNAY CIRCLE, SUITE 162
 ADDISON, TX 75001
 FINISH: METALLIC CENTER

BENCH
 NTS



NOTES:
 MODEL: ADA 46" SQUARE PICNIC TABLE, IN-GROUND MOUNT
 QUANTITY: PER PLAN
 MFR: GLOBAL INDUSTRIAL
 11 HARBOR PARK DRIVE,
 PORT WASHINGTON, NY 11050
 FINISH: POWDERCOATED BLACK

IN-GROUND ADA TABLE
 NTS



NOTES:
 MODEL: JACKSON COLLECTION PICNIC TABLE
 QUANTITY: PER PLAN
 MFR: BELSON OUTDOORS, LLC
 621 Amersale Drive
 Naperville, IL 60563
 FINISH: POWDERCOATED BLACK

PICNIC TABLES
 NTS



NOTES:
 MODEL: 2 BIKE 'V' BIKE RACKS
 QUANTITY: PER PLAN
 MFR: BELSON OUTDOORS, LLC
 621 Amersale Drive
 Naperville, IL 60563
 FINISH: STAINLESS STEEL

BIKE RACK
 NTS



NOTES:
 MODEL: PULLEY LIFT UMBRELLA, ULINE
 QUANTITY: PER PLAN
 MFR: ULINE
 12515 ULINE DRIVE
 PLEASANT PRAIRIE, WI 53150
 FINISH: GRAY

FIBERGLASS PULLEY LIFT UMBRELLA
 NTS

PROFESSIONAL CERTIFICATION
 I hereby certify that to the best of my knowledge, information and the belief that the plan shown hereon: is true and correct; has been prepared in accordance with the Zoning Regulations of Montgomery County, Maryland. I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the laws of the State of Maryland.

License No.: 807
 Expiration Date: January 2028
 January 28, 2026
 Date

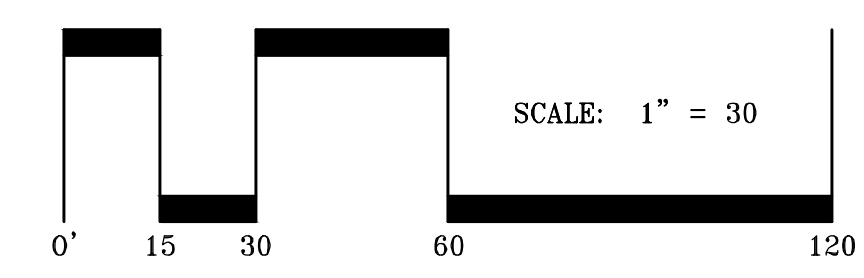
Kevin Foster
 Professional Landscape Architect
 Gutschick, Little & Heber, P.A.



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GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APP'R
KAF	ZG	KAF				

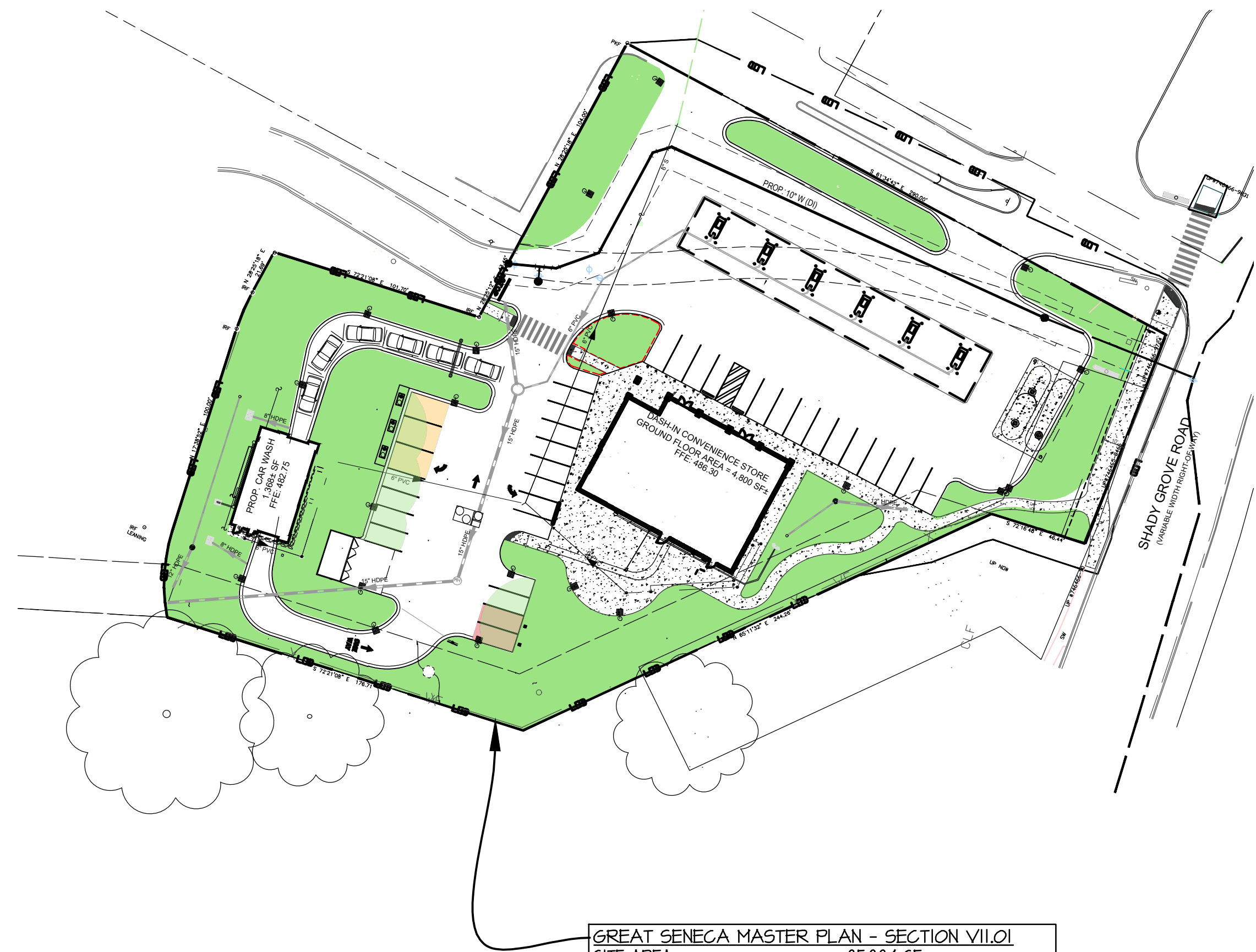


PREPARED FOR:
 THE WILLS GROUP
 102 CENTENNIAL STREET
 LA PLATA, MD 20646
 CONTACT
 301-932-3600
 BBALLEW@WILLSGROUP.COM

SCALE	ZONING
1" = 30'	GR
DATE	TAX MAP - GRID
FEB. 2026	FS62

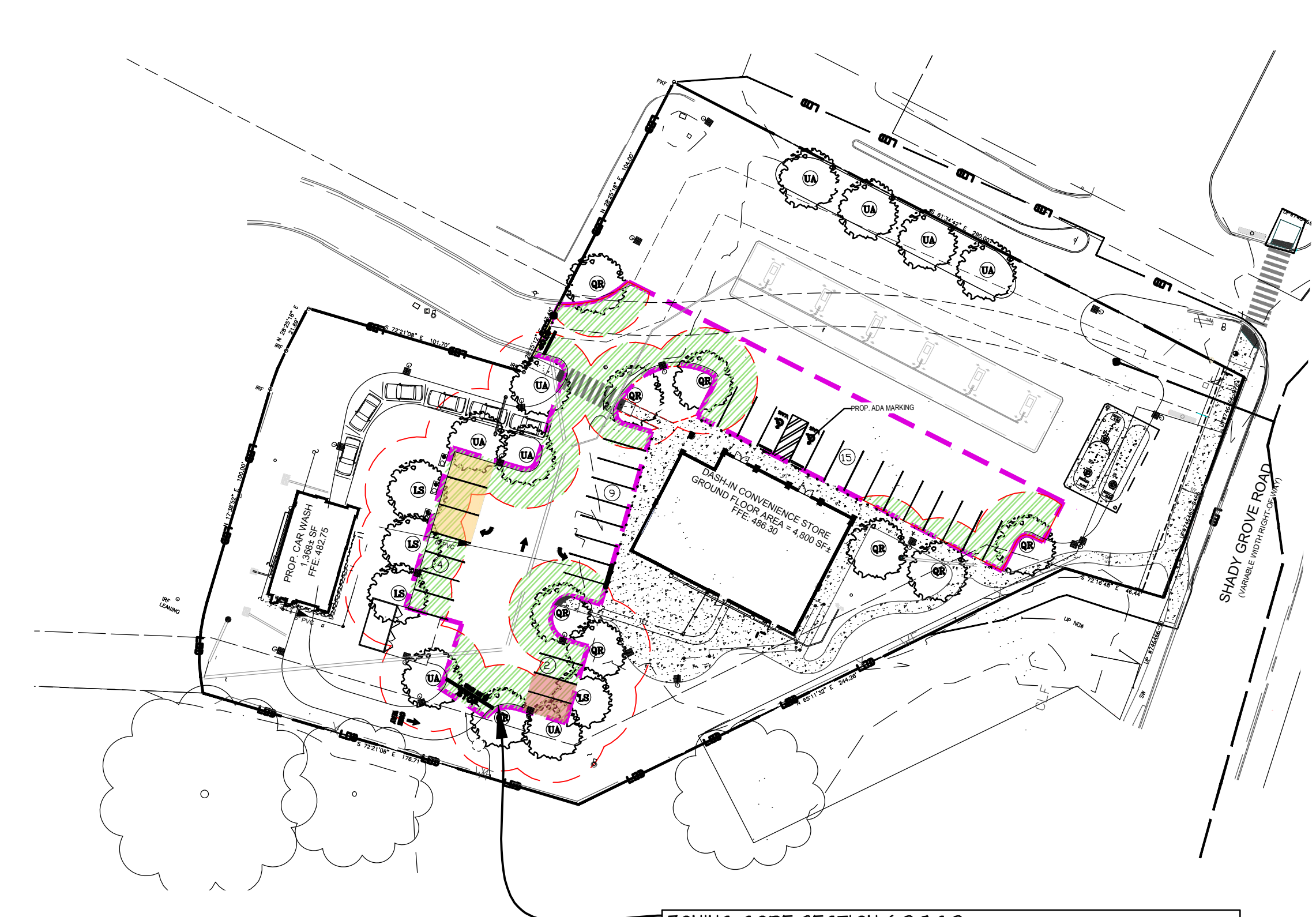
AMENITY SPACE EXHIBIT
15700 SHADY GROVE ROAD
FS62-0000-N598
DASH-IN CAR WASH
 PARCEL ID: N598
 GAITHERSBURG ELECTION DISTRICT No. 09
 GAITHERSBURG, MARYLAND

G. L. W. FILE No.	25073
SHEET	1 OF 1



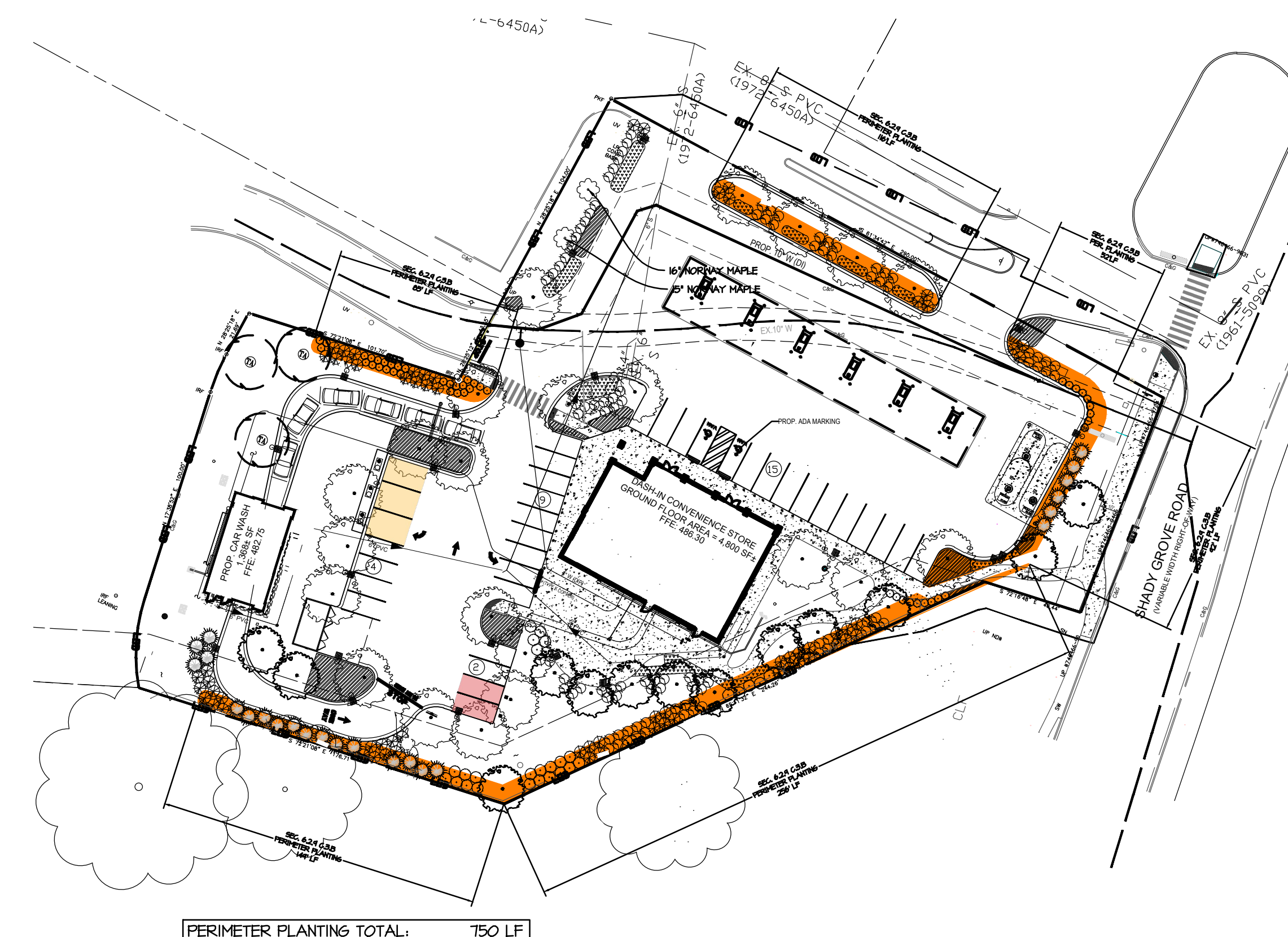
GREAT SENECA MASTER PLAN - SECTION VII.01		
SITE AREA:	85,884 SF	
SITE GREEN COVER REQUIRED:	30,054 SF	35%
SITE GREEN COVER PROVIDED:	31,213 SF	36%

SITE GREEN COVER
SCALE: 1"=50'



ZONING CODE SECTION 6.2.9.C.2		
PARKING LOT TREE CANOPY REQUIRED:	25%	4,672 SF
PARKING LOT TREE CANOPY PROVIDED:	50%	9,325 SF
GREAT SENECA MASTER PLAN - SECTION VII.02		
PARKING LOT TREE CANOPY REQUIRED:	50%	9,345 SF
PARKING LOT TREE CANOPY PROVIDED:	50%	9,325 SF

TREE CANOPY PARKING LOT COVERAGE
SCALE: 1"=20'



PERIMETER PLANTING TOTAL: 1750 LF

PERIMETER PLANTING
SCALE: 1"=50'

**SECTION 6.2.9.C.3-B
PERIMETER PLANTING**
PROPERTY ABUTS RIGHT-OF-WAY
AND OTHER ZONED PROPERTIES TOTAL 1750' LF

- 1) LANDSCAPE STRIP MUST BE A MINIMUM OF 6' FEET WIDE
REQUIRED 6'
PROVIDED > OR 6'
- 2) CONTAINS A HEDGE OR LOW WALL A MINIMUM OF 3 FEET HIGH. YES
- 3) CONTAINS SHADE TREES SPACED 30 FEET ON CENTER. YES
- 4) THE PROPERTY ABUTS ANOTHER PARKING LOT, IN WHICH CASE A PERIMETER PLANTING AREA IS NOT REQUIRED.

FOR WESTERN PROPERTY LINES ADJACENT TO THE LUCKY STRIKE AND GARVANA'S PARKING LOT.

LEGEND

- CONDITIONAL USE LIMITS
- Parking Lot Area Boundary
- PERIMETER PLANTING BOUNDARY
- GREEN AREA COVERAGE
- VACUUM STATION
- EV CHARGING STATION
- Tree Canopy 4 20 years of growth, as defined by the Planning Board's Trees Technical Manual

Parking Lot tree list
Estimated canopy size at 20 years growth (Diameter)
(Size estimated per Manual of Woody Landscape Plants by Michael A. Dirr)

Quercus Rubra (QR)	48'
Ulmus Americana (UA)	40'
Liquidambar styraciflua (LS)	40'

PROFESSIONAL CERTIFICATION

I hereby certify that to the best of my knowledge, information and the belief that the plan shown hereon is true and correct; has been prepared in accordance with the Zoning Regulations of Montgomery County, Maryland. I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the laws of the State of Maryland.

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Date

Kevin Foster
Professional Landscape Architect
Gutschick, Little & Weber, P.A.

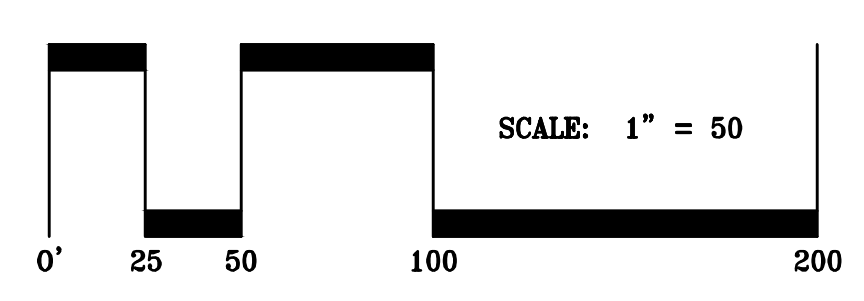


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DESIGNED BY:	XXX			
DRAWN BY:	XXX			
CHECKED BY:	XXX			
DATE		REVISION	BY	APP'R



PREPARED FOR:
THE WILLS GROUP
102 CENTENNIAL STREET
LA PLATA, MD 20646
CONTACT
301-932-3600
BBALLEW@WILLSGROUP.COM

SCALE	1"=20'
ZONING	GR
DATE	FEB. 2026
TAX MAP - GRID	FS62

SITE GREEN AREA, PARKING LOT GREEN & SHADING EXHIBIT

15700 SHADY GROVE ROAD
FS62-0000-N598
DASH-IN CAR WASH
PARCEL ID: N598

GAITHERSBURG ELECTION DISTRICT No. 09
GAITHERSBURG, MARYLAND

G. L. W. FILE No.	25073
SHEET	1 OF 1



DASH-IN

15700 SHADY GROVE ROAD

Gaithersburg, Maryland

